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#### 20023 WARRIEWOOD - DOCUMENT TRANSMITTAL

53A WARRIEWOOD ROAD WARRIEWOOD NSW

DRAWING #	DRAWING NAME	REV	ISSUE	DESCRIPTION	DATE
100:01	SITE PLAN	М	DA	ISSUED FOR DA	10/7/21
100:02	GROUND FLOOR PLAN	M	DA	ISSUED FOR DA	10/7/21
100:03	ROOF PLAN	М	DA	ISSUED FOR DA	10/7/21
100:04	SUBDIVISION PLAN	M	DA	ISSUED FOR DA	10/7/21
100:05	FIRST FLOOR PLAN	М	DA		10/7/21
110:01	LOT 22 - LGF & GF PLAN	М	DA	ISSUED FOR DA	10/7/21
110:02	LOT 22 - FF & ROOF PLAN	M	DA	ISSUED FOR DA	10/7/21
110:03	LOT 2 - LGF & GF PLAN	М	DA	ISSUED FOR DA	10/7/21
110:04	LOT 2 - FF & ROOF PLAN	M	DA	ISSUED FOR DA	10/7/21
110:05	LOT 3 & 5 - GROUND PLAN	М	DA	ISSUED FOR DA	10/7/21
110:06	LOT 3 & 5 - FIRST PLAN	М	DA	ISSUED FOR DA	10/7/21
110:07	LOT 3 & 5 - ROOF PLAN	М	DA	ISSUED FOR DA	10/7/21
110:08	LOT 4 & 6 - GROUND PLAN	М	DA	ISSUED FOR DA	10/7/21
110:09	LOT 4 & 6 - FIRST PLAN	М	DA	ISSUED FOR DA	10/7/21
110:10	LOT 4 & 6 - ROOF PLAN	М	DA	ISSUED FOR DA	10/7/21
110:11	LOT 7 - PLANS	М	DA	ISSUED FOR DA	10/7/21
110:12	LOT 7 - ROOF PLAN	М	DA	ISSUED FOR DA	10/7/21
110:13	LOT 8 - PLANS	М	DA	ISSUED FOR DA	10/7/21
110:14	LOT 8 - ROOF PLAN	М	DA	ISSUED FOR DA	10/7/21
110:15	LOT 9 - PLANS	М	DA	ISSUED FOR DA	10/7/21
110:16	LOT 9 - ROOF PLAN	М	DA	ISSUED FOR DA	10/7/21
110:17	LOT 10 - PLANS	M	DA	ISSUED FOR DA	10/7/21
110:18	LOT 10 - ROOF PLAN	М	DA	ISSUED FOR DA	10/7/21
110:19	LOT 11 - PLANS	М	DA	ISSUED FOR DA	10/7/21
110:20	LOT 11 - ROOF PLAN	М	DA	ISSUED FOR DA	10/7/21
110:21	LOT 12 - PLANS	М	DA	ISSUED FOR DA	10/7/21
110:22	LOT 12 - ROOF PLAN	М	DA	ISSUED FOR DA	10/7/21
110:23	LOT 13 - PLANS	M	DA	ISSUED FOR DA	10/7/21
110:24	LOT 13 - ROOF PLAN	М	DA	ISSUED FOR DA	10/7/21
110:25	LOT 14 - PLANS	M	DA	ISSUED FOR DA	10/7/21
110:26	LOT 14 - ROOF PLAN	М	DA	ISSUED FOR DA	10/7/21
110:27	LOT 15 - PLANS	М	DA	ISSUED FOR DA	10/7/21
110:28	LOT 15 - ROOF PLAN	М	DA	ISSUED FOR DA	10/7/21
110:29	LOT 16 - PLANS	М	DA	ISSUED FOR DA	10/7/21
110:30	LOT 16 - ROOF PLAN	М	DA	ISSUED FOR DA	10/7/21
110:31	LOT 17 - PLANS	М	DA	ISSUED FOR DA	10/7/21
110:32	LOT 17 - ROOF PLAN	М	DA	ISSUED FOR DA	10/7/21
110:33	LOT 18 - PLANS	М	DA	ISSUED FOR DA	10/7/21
110:34	LOT 18 - ROOF PLAN	М	DA	ISSUED FOR DA	10/7/21
110:35	LOT 19 - PLANS	М	DA	ISSUED FOR DA	10/7/21
110:36	LOT 19 - ROOF PLAN	М	DA	ISSUED FOR DA	10/7/21

Distribution	Contact		
PVD No 21 PTY LTD	James Fyfe		
	Martin Cork		
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NORTHERN BEACHES COUNCIL			
Documentation			
	Co = Coordination CC = Construction	PAA	
T = Tender S = Costing N = Signing V = Variation Costing	I = Information Certificate		
Stage SK = Sketch Design DA = Development Application	Date Day	13   07   29	
CC = Construction Certificate CD = Construction Documentation	Month		
CO = Construction Certificate CD = Construction Documentation	Year	21 21 21	

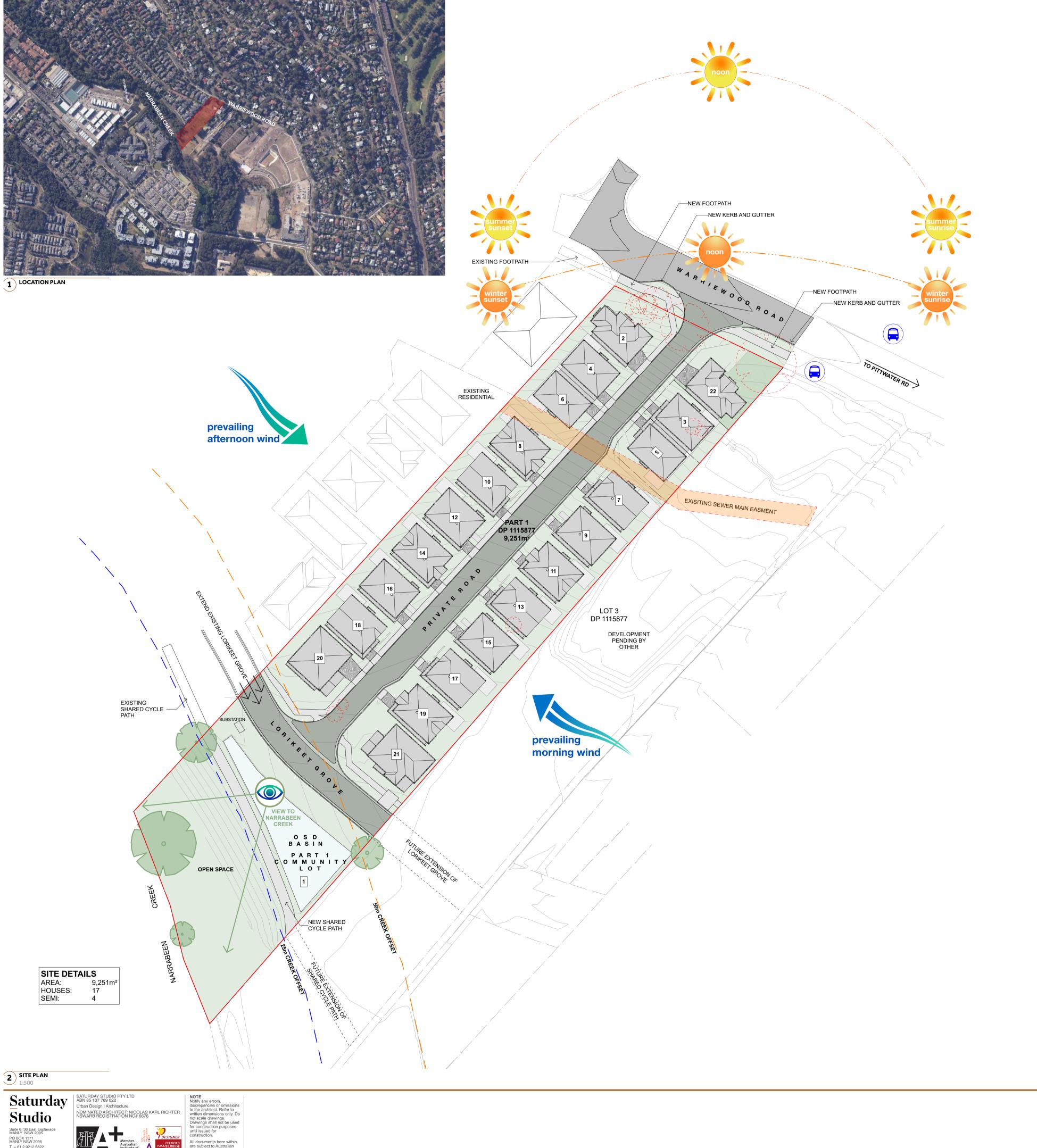
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#### 20023 WARRIEWOOD - DOCUMENT TRANSMITTAL

53A WARRIEWOOD ROAD WARRIEWOOD NSW

DRAWING #	DRAWING NAME	REV	ISSUE	DESCRIPTION	DATE
110:37	LOT 20 - PLANS	М	DA	ISSUED FOR DA	10/7/21
110:38	LOT 20 - ROOF PLAN	М	DA	ISSUED FOR DA	10/7/21
110:39	LOT 21 - PLANS	М	DA	ISSUED FOR DA	10/7/21
110:40	LOT 21 - ROOF PLAN	М	DA	ISSUED FOR DA	10/7/21
200:01	SITE ELEVATIONS	М	DA	ISSUED FOR DA	10/7/21
210:01	LOT 22 - ELEVATIONS	М	DA	ISSUED FOR DA	10/7/21
210:02	LOT 2 - ELEVATIONS	М	DA	ISSUED FOR DA	10/7/21
210:03	LOT 3 & 5 - ELEVATIONS	М	DA	ISSUED FOR DA	10/7/21
210:04	LOT 3 & 5 - ELEVATIONS	М	DA	ISSUED FOR DA	10/7/21
210:05	LOT 4 & 6 - ELEVATIONS	М	DA	ISSUED FOR DA	10/7/21
210:06	LOT 4 & 6 - ELEVATIONS	М	DA	ISSUED FOR DA	10/7/21
210:07	LOT 7 - ELEVATIONS	М	DA	ISSUED FOR DA	10/7/21
210:08	LOT 8 - ELEVATIONS	М	DA	ISSUED FOR DA	10/7/21
210:09	LOT 9 - ELEVATIONS	М	DA	ISSUED FOR DA	10/7/21
210:10	LOT 10 - ELEVATIONS	М	DA	ISSUED FOR DA	10/7/21
210:11	LOT 11 - ELEVATIONS	М	DA	ISSUED FOR DA	10/7/21
210:12	LOT 12 - ELEVATIONS	М	DA	ISSUED FOR DA	10/7/21
210:13	LOT 13 - ELEVATIONS	М	DA	ISSUED FOR DA	10/7/21
210:14	LOT 14 - ELEVATIONS	М	DA	ISSUED FOR DA	10/7/21
210:15	LOT 15 - ELEVATIONS	М	DA	ISSUED FOR DA	10/7/21
210:16	LOT 16 - ELEVATIONS	М	DA	ISSUED FOR DA	10/7/21
210:17	LOT 17 - ELEVATIONS	М	DA	ISSUED FOR DA	10/7/21
210:18	LOT 18 - ELEVATIONS	М	DA	ISSUED FOR DA	10/7/21
210:19	LOT 19 - ELEVATIONS	М	DA	ISSUED FOR DA	10/7/21
210:20	LOT 20 - ELEVATIONS	М	DA	ISSUED FOR DA	10/7/21
210:21	LOT 21 - ELEVATIONS	М	DA	ISSUED FOR DA	10/7/21
700:01	TYPICAL MATERIALS	М	DA	ISSUED FOR DA	10/7/21
700:02	AREAS	М	DA	ISSUED FOR DA	10/7/21
700:03	AREAS	М	DA	ISSUED FOR DA	10/7/21
710:01	WINTER SOLSTICE 9AM	М	DA	ISSUED FOR DA	10/7/21
710:02	WINTER SOLSTICE 12PM	М	DA	ISSUED FOR DA	10/7/21
710:03	WINTER SOLSTICE 3PM	М	DA	ISSUED FOR DA	10/7/21

Distribu	ıtion				Contact													
PVD No 2°	1 PTY LTD				James Fyfe		-	-	-	-								
					Martin Cork		✓	1	✓	1								
CRAIG & F	RHODES Suite	7.01 Level 7,	3 Rider Blv	d, Rhodes NSW 2138	Andrew Morelli		✓	1	✓	1								
NORTHER	RN BEACHES CO	UNCIL					-	1	✓	1								
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Stage	SK = Sketch Desig	ın	DA = Develo	pment Application	Date	Day		07										
	CC = Construction Certificate CD = Construction Documentation				06													
		uction Documentation		Year	21	21	21	21										



#### THERMAL PERFORMANCE REQUIREMENTS

#### THERMAL PERFORMANCE REQUIREMENTS Dwellings on Lots 2-22 inclusive 53A Warriewood Road, Warriewood NSW 2102

See NatHERs Certificate for further information Builder to confirm insulation and glazing requirements in NatHERs Certificate prior to co

Dwellings - Lot 2 & 22	Construction	Added Insulation
External walls	Lower Ground Floor – 270mm double brick with cavity	Lower Ground Floor – No insulation re
	<b>Ground &amp; First Floors</b> – 90mm timber stud with lightweight cladding	Ground & First Floors - R2.5 bulk insufoil, reflective both sides, in all external v
Internal walls	Double brick with cavity	No insulation required in any internal wa
	90mm timber stud walls with plasterboard lining	
External Floors on	Concrete slab on ground	No insulation required to slab on ground
ground or suspended	Suspended concrete slab with enclosed subfloor below	R2.0 insulation under suspended concrewith subfloor under
	Suspended timber floor under Bed 3, Ensuite & Bathroom (First Floor)	R1.5 insulation under suspended floor of Ensuite & Bathroom
Ceilings between Floors	Lower Ground Floor – Concrete ceiling with plasterboard beneath	LGF – R2.0 insulation to ceilings excludi Laundry where no insulation is required.
	<b>Ground Floor</b> – Timber ceiling with plasterboard beneath	GF- R2.5 insulation to ceilings of Groun
Ceiling to roof cavity	Lower Ground Floor – Concrete ceiling	LGF – R2.0 insulation to ceilings excludi laundry
	<b>Ground Floor</b> – Timber roof structure with plasterboard beneath	GF – R2.5 insulation to ceilings
	First Floor - Timber roof structure with plasterboard beneath	FF - R4.0 bulk insulation to ceiling roof of
Roof	Ground Floor - Metal roof sheeting @ 2 degrees	Under all roof sheeting – R1.3 roof bla under roof sheeting
	First Floor – Metal roof sheeting @ 30 degrees	
Ceiling Fans	Included	1 x 1200mm diameter ceiling fan in Livin
Fixed floor coverings	Lower Ground Floor – Bare concrete	
	Ground Floor - Timber flooring	
	First Floor – Bathroom and ensuite -tiles; Bedrooms, WIR and hallway – carpet	
Glazing - All glazing to	Aluminum frames (draft sealed)	Double glazed clear, U-value 4.80 SHG0
be in accordance with BCA standards.	Note: Assessment with default windows – Allowable window values: Only a +/- 5% SHGC tolerance is allowed with this rating.	0.59 Some windows have external shutters at noted on drawings
	NB: This tolerance only applies to SHGC, the U-value can always be lower but not higher than the values stated.	TOOL OF GRAPHINGS
Ceiling Penetration		This assessment has been rated with LE downlights and exhaust fans
		Assessment conducted M

#### THERMAL PERFORMANCE REQUIREMENTS Dwellings on Lots 2-22 inclusive 53A Warriewood Road, Warriewood NSW 2102

See NatHERs Certificate for further information

	insulation and glazing requirements in Nat tion and glazing must meet BCA and Austr	
Dwelling – Lot 5	Construction	Added Insulation
External walls	Ground & First Floors – 90mm timber stud with lightweight cladding Brick veneer wall to back wall of ground floor	Ground & First Floors - R2.5 bulk in + foil, reflective both sides, in all exte
Internal walls	90mm timber stud walls with plasterboard lining	R2.0 to internal walls of garage. No i required to party walls of remaining i walls of dwelling on Lot 5.
Common wall between dwellings	270mm Double brick with cavity	No insulation required
External Floors on	Concrete slab on ground	No insulation required to slab on group
ground or suspended	Suspended timber floor under WIR (first floor) with carport below	R1.5 insulation required under suspetimber floor of WIR.
Ceilings between Floors	Ground Floor – Timber ceiling with plasterboard beneath	<b>GF</b> – R2.5 insulation to ceilings
Ceiling to roof cavity	Ground Floor – Timber roof structure with plasterboard beneath First Floor - Timber roof structure with plasterboard beneath	GF – R2.5 insulation to ceilings FF – R4.0 bulk insulation to ceiling ro
Roof	Ground Floor - Metal roof sheeting @ 2 degrees First Floor - Metal roof sheeting @ 30 degrees	Under all roof sheeting – R1.3 roof under roof sheeting
Ceiling Fans	Not included	
Fixed floor coverings	Ground Floor – Bare concrete to garage; Timber flooring to living zones First Floor – Bathroom and ensuite -tiles; Bedrooms, WIR and hallway – carpet	
Glazing - All glazing to be in accordance with BCA standards.	Aluminum frames (draft sealed)  Note: Assessment with default windows — Allowable window values: Only a +/- 5% SHGC tolerance is allowed with this rating. NB: This tolerance only applies to SHGC, the U-value can always be lower but not higher than the values stated.	Double glazed clear, U-value 4.80 SI & 0.59 Some windows have external shutter as noted on drawings Skylight – Single glazed dome over stairs/hallway of first floor
Ceiling Penetration		This assessment has been rated with downlights and exhaust fans

#### THERMAL PERFORMANCE REQUIREMENTS Dwellings on Lots 2-22 inclusive 53A Warriewood Road, Warriewood NSW 2102

Assessment conducted May 2021

Builder to confirm	53A Warriewood Road, Warriewoo  See NatHERs Certificate for further insulation and glazing requirements in Nat	information
All insula	tion and glazing must meet BCA and Austr	ralian Standard requirements
Dwelling – Lot 20	Construction	Added Insulation
External walls	Ground & First Floors – 90mm timber stud with lightweight cladding Brick veneer wall to back wall of ground floor	Ground & First Floors - R2.5 bulk insulation + foil, reflective both sides, in all external was
Internal walls	90mm timber stud walls with plasterboard lining	No insulation required in any internal walls.
Common wall between dwellings	270mm Double brick with cavity	No insulation required
External Floors on	Concrete slab on ground	No insulation required to slab on ground.
ground or suspended	Suspended timber floor under WIR (first floor) with carport below	No insulation required under suspended timber floor of WIR.
Ceilings between Floors	Ground Floor – Timber ceiling with plasterboard beneath	GF- R2.5 insulation to ceilings
Ceiling to roof cavity	Ground Floor – Timber roof structure with	GF - R2.5 over laundry and garage
	plasterboard beneath	R4.0 insulation to ceilings over media & powder
	First Floor - Timber roof structure with plasterboard beneath	FF - R4.0 bulk insulation to ceiling roof cavi
Roof	Ground Floor - Metal roof sheeting @ 2 degrees First Floor – Metal roof sheeting @ 30	Under all roof sheeting – R1.3 roof blanke under roof sheeting
	degrees	
Ceiling Fans	Not included	
Fixed floor coverings	Ground Floor –	
	Bare concrete to garage; Timber flooring to living zones	
	First Floor – Bathroom and ensuite -tiles; Bedrooms, WIR and hallway – carpet	
Glazing - All glazing to be in accordance with BCA	Aluminum frames (draft sealed)	Double glazed clear, U-value 4.80 SHGC 0.
standards.	Note: Assessment with default windows – Allowable window values: Only a +/- 5% SHGC tolerance is allowed with this rating.	& 0.59  Some windows have external shutters adde as noted on drawings
	NB: This tolerance only applies to SHGC, the U-value can always be lower but not higher than the values stated.	
Ceiling Penetration		This assessment has been rated with LED downlights and exhaust fans
		Assessment conducted May 20

# THERMAL PERFORMANCE REQUIREMENTS

Dwellings on Lots 2-22 inclusive 53A Warriewood Road, Warriewood NSW 2102

See NatHERs Certificate for further information
Builder to confirm insulation and glazing requirements in NatHERs Certificate prior to const

All insula	tion and glazing must meet BCA and Austr	alian Standard requirements
Dwellings – Lots 3, 4 & 6	Construction	Added Insulation
External walls	Ground & First Floors – 90mm timber stud with lightweight cladding	Ground & First Floors - R2.5 bulk insulation + foil, reflective both sides, in all external walls
	Brick veneer wall to back wall of ground floor	
Internal walls	90mm timber stud walls with plasterboard lining	No insulation required in any internal walls.
Common wall between dwellings	270mm Double brick with cavity	No insulation required
External Floors on	Concrete slab on ground	No insulation required to slab on ground.
ground or suspended	Suspended timber floor under WIR (first floor) with carport below	No insulation required under suspended timber floor of WIR.
Ceilings between Floors	Ground Floor – Timber ceiling with plasterboard beneath	GF- R2.5 insulation to ceilings
Ceiling to roof cavity	<b>Ground Floor</b> – Timber roof structure with plasterboard beneath	<b>GF</b> – R2.5 insulation to ceilings
	First Floor - Timber roof structure with plasterboard beneath	FF – R4.0 bulk insulation to ceiling roof cavity
Roof	Ground Floor - Metal roof sheeting @ 2 degrees	Under all roof sheeting – R1.3 roof blanket under roof sheeting
	First Floor – Metal roof sheeting @ 30 degrees	
Ceiling Fans	Not included	
Fixed floor coverings	Ground Floor –	
	Bare concrete to garage; Timber flooring to living zones	
	First Floor – Bathroom and ensuite -tiles; Bedrooms, WIR and hallway – carpet	
Glazing - All glazing to be	Aluminum frames (draft sealed)	Double glazed clear, U-value 4.80 SHGC 0.51
in accordance with BCA standards.	Note: Assessment with default windows -	& 0.59
	Allowable window values: Only a +/- 5% SHGC tolerance is allowed with this rating.	Some windows have external shutters added as noted on drawings
	NB: This tolerance only applies to SHGC, the U-value can always be lower but not higher than the values stated.	Skylight – Single glazed dome over stairs/hallway of first floor
Ceiling Penetration		This assessment has been rated with LED downlights and exhaust fans
		Assessment conducted May 2021

#### THERMAL PERFORMANCE REQUIREMENTS Dwellings on Lots 2-22 inclusive 53A Warriewood Road, Warriewood NSW 2102

See NatHERs Certificate for further information
Builder to confirm insulation and glazing requirements in NatHERs Certificate prior to constructio All insulation and glazing must meet BCA and Australian Standard requirements

Dwellings – Lots 7 to 19	Construction	Added Insulation		
External walls	Ground & First Floors – 90mm timber stud with lightweight cladding Brick veneer wall to back wall of ground floor	Ground & First Floors - R2.5 bulk insulation + foil, reflective both sides, in all external walls		
Internal walls	90mm timber stud walls with plasterboard lining	No insulation required in any internal walls.		
External Floors on	Concrete slab on ground or suspended	No insulation required to slab on ground.		
ground	floors of first floor	No insulation required under suspended timber floors of first floor.		
Ceilings between Floors	<b>Ground Floor</b> – Timber ceiling with plasterboard beneath	GF- R2.5 insulation to ceilings		
Ceiling to roof cavity	Ground Floor – Timber roof structure with plasterboard beneath	GF – R2.5 insulation to ceilings		
	First Floor - Timber roof structure with plasterboard beneath	FF – R4.0 bulk insulation to ceiling roof cavity		
Roof	Ground Floor - Metal roof sheeting @ 2 degrees	Under all roof sheeting – R1.3 roof blanket under roof sheeting		
	First Floor – Metal roof sheeting @ 30 degrees			
Ceiling Fans	Not included			
Fixed floor coverings	Ground Floor –			
	Bare concrete to garage; Timber flooring to living zones			
	First Floor – Bathroom and ensuite -tiles; Bedrooms, WIR and hallway – carpet			
Glazing - All glazing to be in accordance with BCA	Aluminum frames (draft sealed)	Double glazed clear, U-value 4.80 SHGC 0.51		
standards.	Note: Assessment with default windows – Allowable window values: Only a +/- 5% SHGC tolerance is allowed with this rating.	& 0.59  Some windows have external shutters added as noted on drawings		
	NB: This tolerance only applies to SHGC, the U-value can always be lower but not higher than the values stated.	Skylight – Single glazed dome over stairs/hallway of first floor		
Ceiling Penetration		This assessment has been rated with LED downlights and exhaust fans		
		Assessment conducted May 202		

#### Dwellings on Lots 2-22 inclusive 53A Warriewood Road, Warriewood NSW 2102

THERMAL PERFORMANCE REQUIREMENTS

See NatHERs Certificate for further information
Builder to confirm insulation and glazing requirements in NatHERs Certificate prior to construction

All insulation and glazing must meet BCA and Australian Standard requirements Construction Ground & First Floors – 90mm timber stud with lightweight cladding

Ground & First Floors - R2.5 bulk insulation + foil, reflective both sides, in all external walls Brick veneer wall to back wall of ground Internal walls 90mm timber stud walls with plasterboard No insulation required in any internal walls. Common wall between dwellings 270mm Double brick with cavity External Floors on ground or suspended

Concrete slab on ground
Suspended timber floor under WIR (first floor) with carport below

No insulation required to slab on ground. No insulation required under suspended timber floor of WIR. Cellings between Floors Ground Floor – Timber ceiling with GF– R2.5 insulation to ceilings plasterboard beneath Ceiling to roof cavity Ground Floor – Timber roof structure with GF – R2.5 insulation to ceilings First Floor - Timber roof structure with plasterboard beneath Ground Floor - Metal roof sheeting @ 2 degrees Under all roof sheeting — R1.3 roof blanket under roof sheeting First Floor – Metal roof sheeting @ 30

Bare concrete to garage; Timber flooring to living zones

First Floor – Bathroom and ensuite -tiles; Bedrooms, WiR and hallway – carpet Glazing - All glazing to be in accordance with BCA standards.

Aluminum frames (draft sealed)

Note: Assessment with default windows – Allowable window values: Only a +/- 5% SHGC tolerance is allowed with this rating. NB: This tolerance only applies to SHGC, the U-value can always be lower but not higher than the values stated.

This assessment has been rated with LED downlights and exhaust fans

Assessment conducted May 2021

ISSUE REVISION DESCRIPTION DATE
DSAP H Design and Sustainability
Advisory Panel 13.05.21 Design and Sustainability 20.05.21 Advisory Panel Design and Sustainability
Advisory Panel
27.05.21 FOR DA FOR DA SUBMISSION 30.06.21

07.06.21

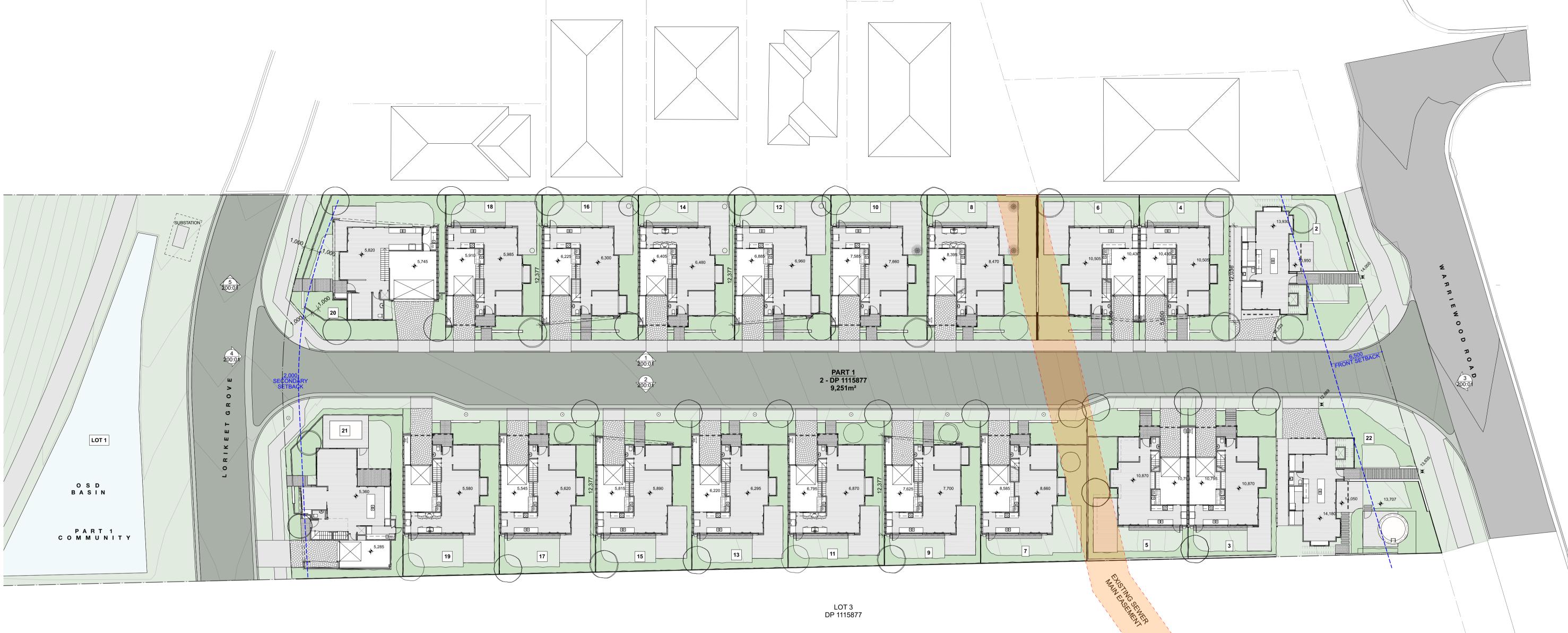
REVISIONS FOR DA 10.07.21

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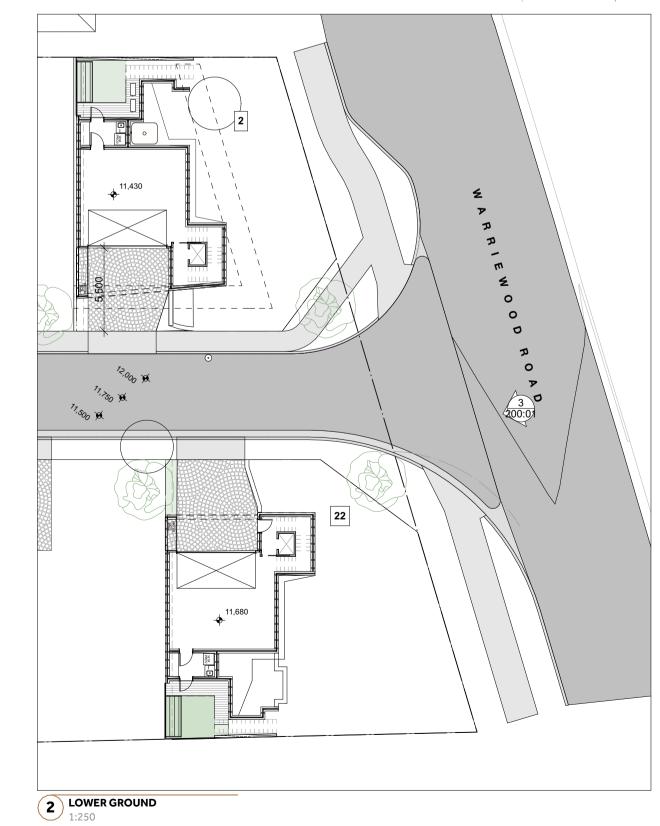
WARRIEWOOD NSW

DRAWING TITLE : SITE PLAN SITE PLAN PROJECT NAME:
WARRIEWOOD 53A WARRIEWOOD ROAD

ISSUE: DA 100:01 REVISION NO. M



**1** GROUND FLOOR PLAN 1:250



Saturday

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T + 61 2 9212 5322
nick@ saturdaystudio.com.au

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Urban Design I Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676

NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.

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ISSUE REVISION DESCRIPTION DATE
DSAP H Design and Sustainability
Advisory Panel 13.05.21 Design and Sustainability
Advisory Panel

20.05.21 Design and Sustainability
Advisory Panel
FOR DA 07.06.21
FOR DA SUBMISSION 30.06.21
REVISIONS FOR DA 10.07.21

SCALE: 1:250
PRINT SIZE: A3
PRINT DATE: 27/7/21

PROJECT NO. **20023** PVD No 21 PTY LTD 53A WARRIEWOOD ROAD

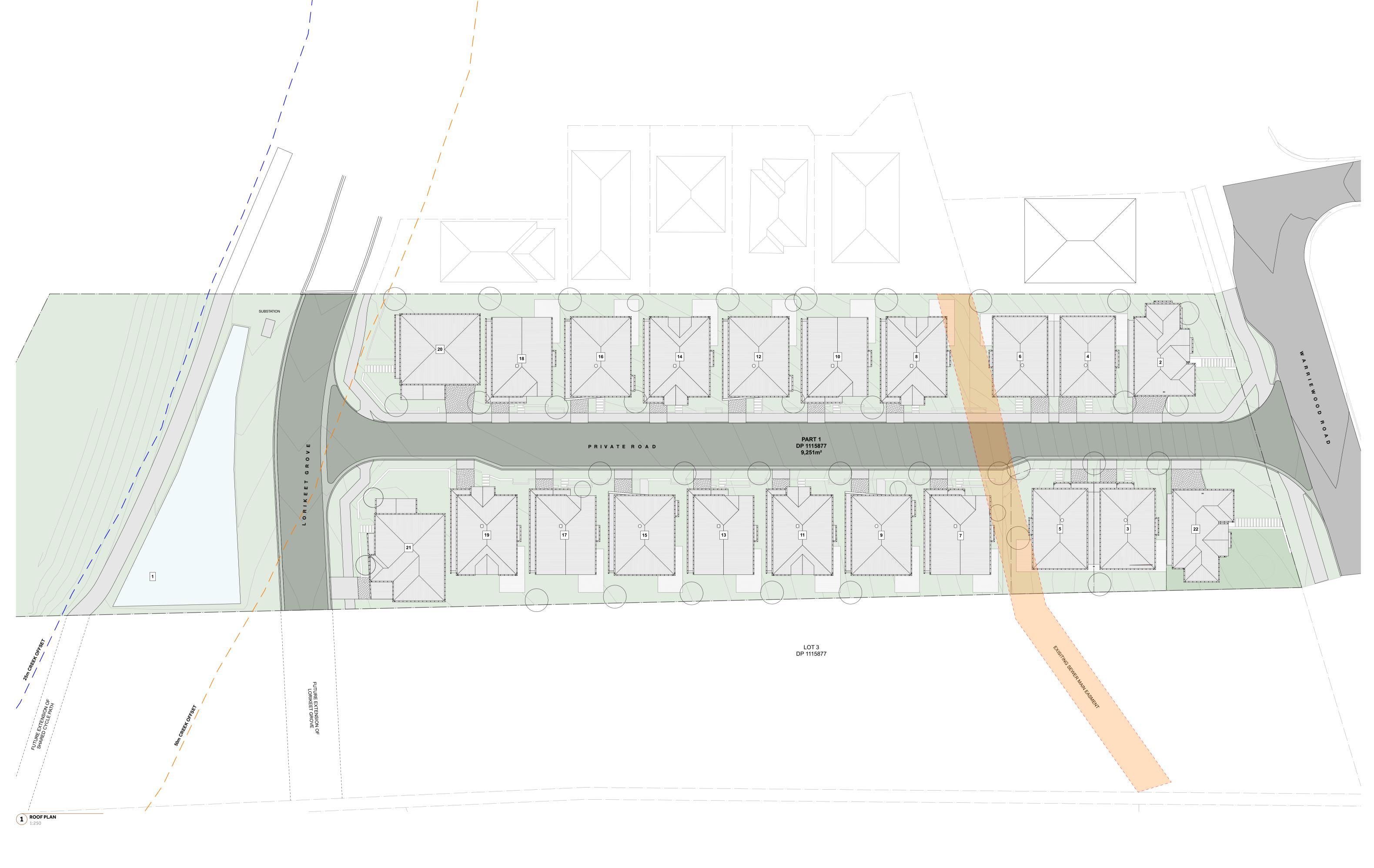
WARRIEWOOD NSW

DRAWING TITLE:
SITE PLAN
GROUND FLOOR PLAN

PROJECT NAME : WARRIEWOOD

DA DRAWING NO. 100:02

REVISION NO.



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Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171

Member

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ABN 85 107 769 022
Urban Design I Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676

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ISSUE REVISION DESCRIPTION DATE
DSAP H Design and Sustainability
Advisory Panel 13.05.21 Design and Sustainability
Advisory Panel

20.05.21

Design and Sustainability
Advisory Panel

FOR DA

FOR DA

O7.06.21

FOR DA SUBMISSION
REVISIONS FOR DA

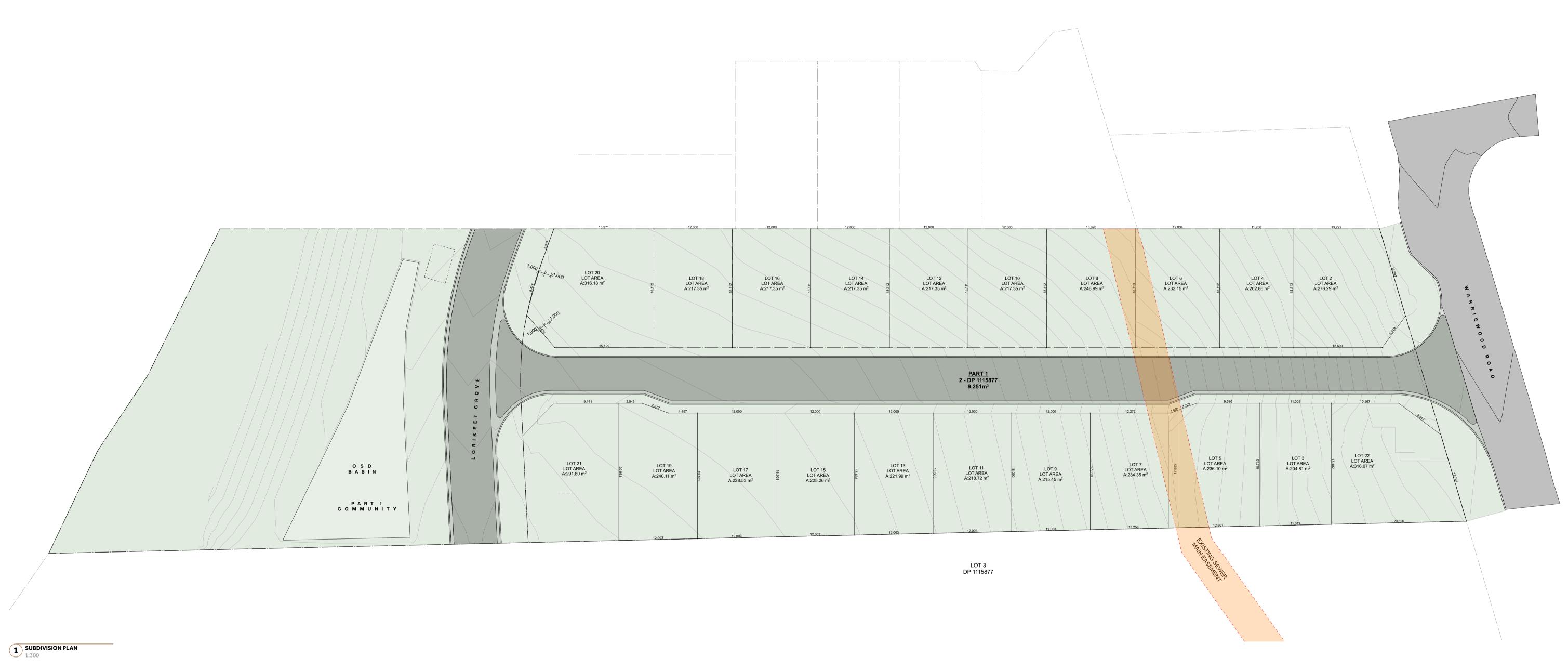
10.07.21

SCALE: 1:250
PRINT SIZE: A3
PRINT DATE: 27/7/21

PROJECT NO. **20023** PVD No 21 PTY LTD 53A WARRIEWOOD ROAD WARRIEWOOD NSW DRAWING TITLE:
SITE PLAN
ROOF PLAN PROJECT NAME : WARRIEWOOD

100:03 REVISION NO.

DA



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ISSUE REVISION DESCRIPTION DATE
DSAP H Design and Sustainability
Advisory Panel 13.05.21 DSAP Design and Sustainability
Advisory Panel

20.05.21 

SCALE: 1:300
PRINT SIZE: A3
PRINT DATE: 27/7/21 CLIENT:

PROJECT NO. **20023** PVD No 21 PTY LTD 53A WARRIEWOOD ROAD

WARRIEWOOD NSW

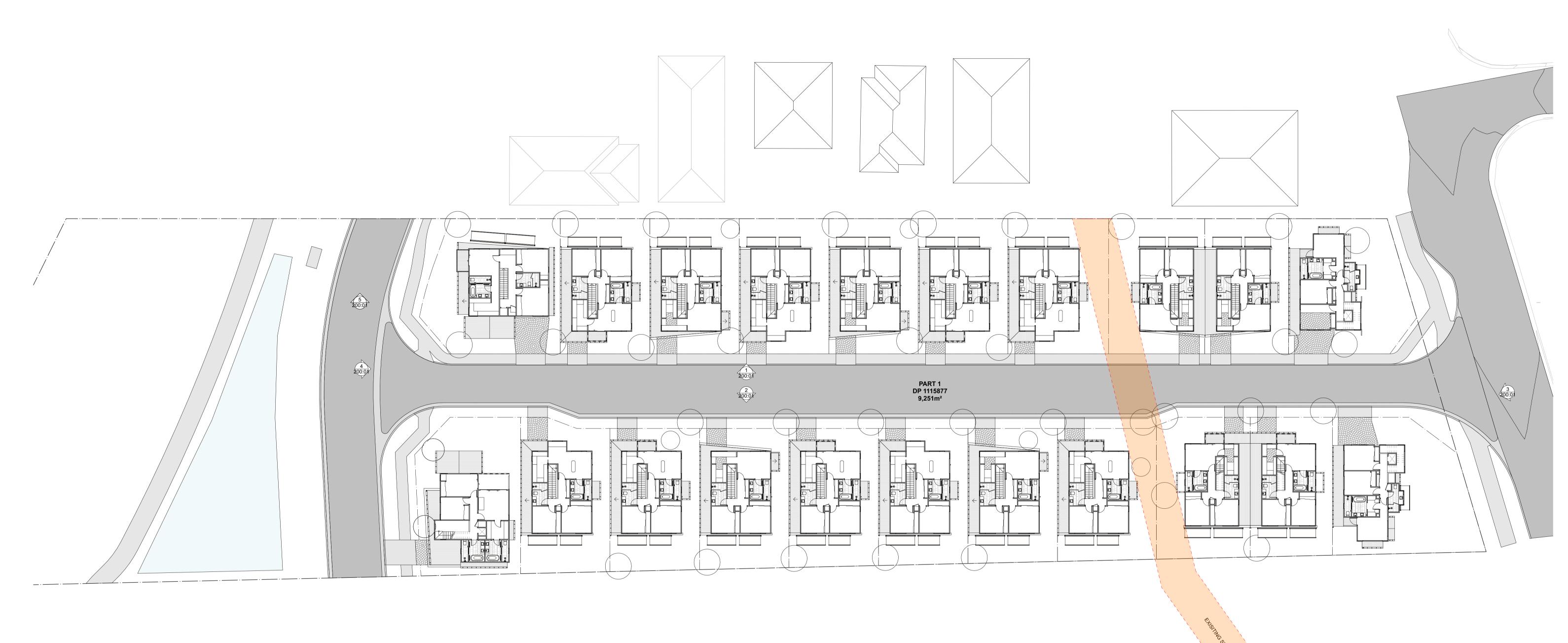
DRAWING TITLE:
SITE PLAN
SUBDIVISION PLAN

PROJECT NAME : WARRIEWOOD

DA DRAWING NO.

100:04

M



FIRST FLOOR PLAN
1:250

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Studio
Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design I Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676

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ISSUE REVISION DESCRIPTION DATE
DSAP H Design and Sustainability Advisory Panel 13.05.21

Design and Sustainability
Advisory Panel

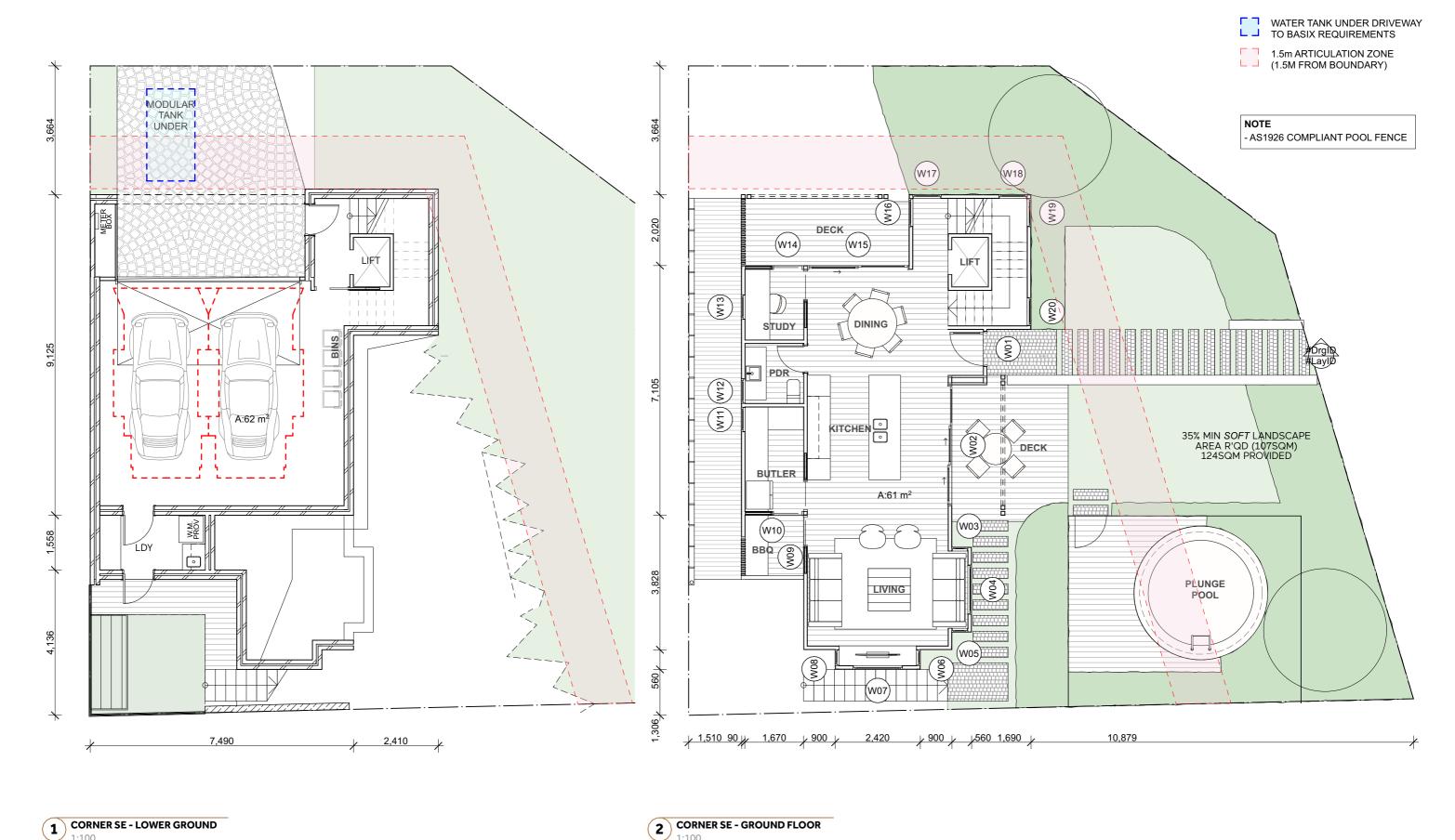
20.05.21 Design and Sustainability
Advisory Panel
FOR DA 07.06.21
FOR DA SUBMISSION 30.06.21
REVISIONS FOR DA 10.07.21

SCALE: 1:250
PRINT SIZE: A3
PRINT DATE: 27/7/21 PVD No 21 PTY LTD 53A WARRIEWOOD ROAD WARRIEWOOD NSW

PROJECT NO. **20023** 

DRAWING TITLE:
SITE PLAN
FIRST FLOOR PLAN

DA DRAWING NO. 100:05 PROJECT NAME : WARRIEWOOD REVISION NO.





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DATE 13.05.21 20.05.21 27.05.21

30.06.21

10.07.21



SCALE: PRINT SIZE: PRINT DATE: CLIENT:

SITE:

A3 27/7/21

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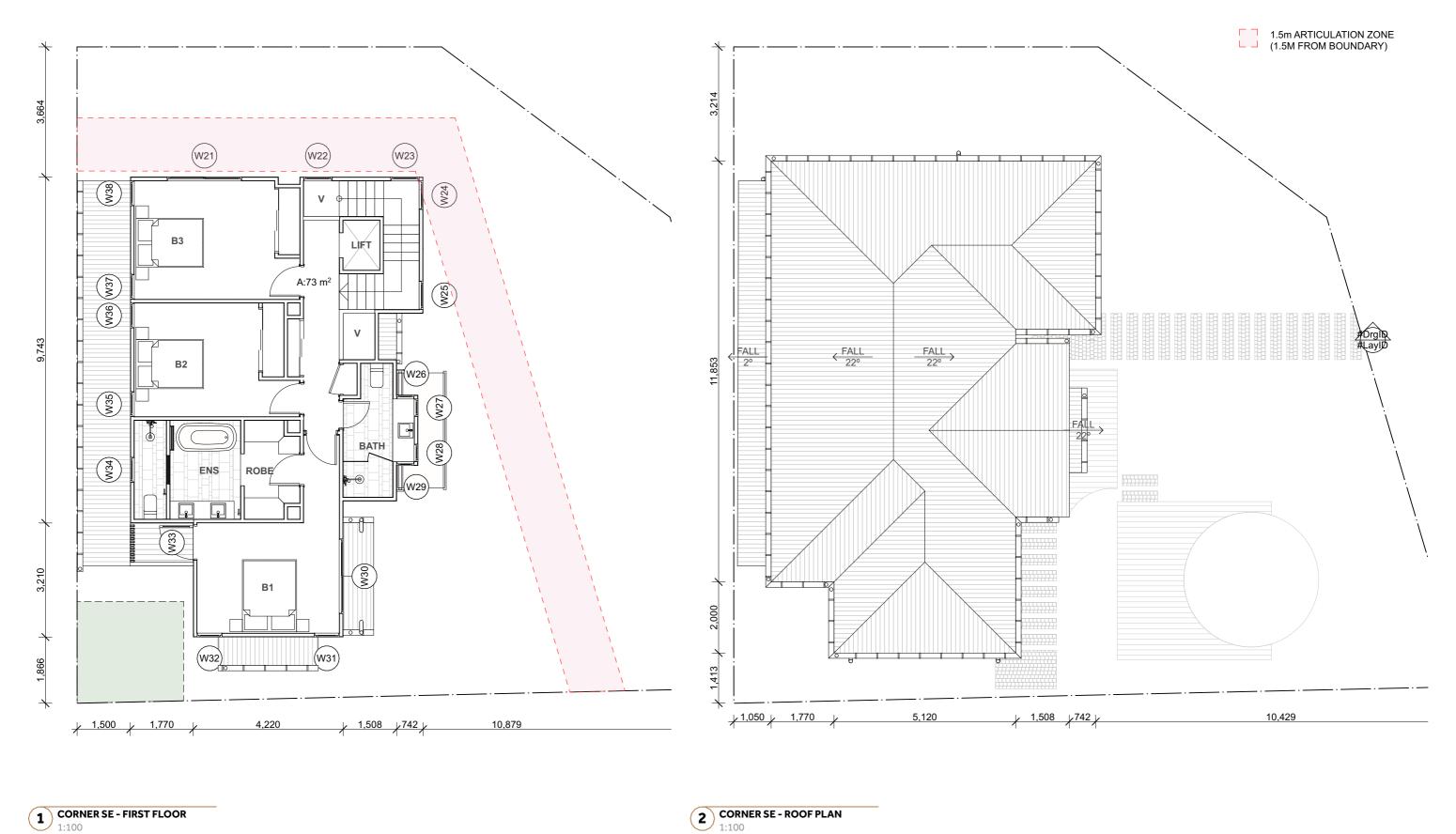
PROJECT NO.

20023

**PVD No 21 PTY LTD 53A WARRIEWOOD ROAD** WARRIEWOOD NSW

**HOUSE PLANS** LOT 22 - LGF & GF PLAN **WARRIEWOOD** 

ISSUE: DA DRAWING NO. 110:01 REVISION NO.





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SITE:

27/7/21

**PVD No 21 PTY LTD** 53A WARRIEWOOD ROAD WARRIEWOOD NSW

20023

DRAWING TITLE : HOUSE PLANS **LOT 22 - FF & ROOF PLAN** 

ISSUE: DA DRAWING NO. 110:02 **WARRIEWOOD** REVISION NO.





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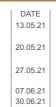
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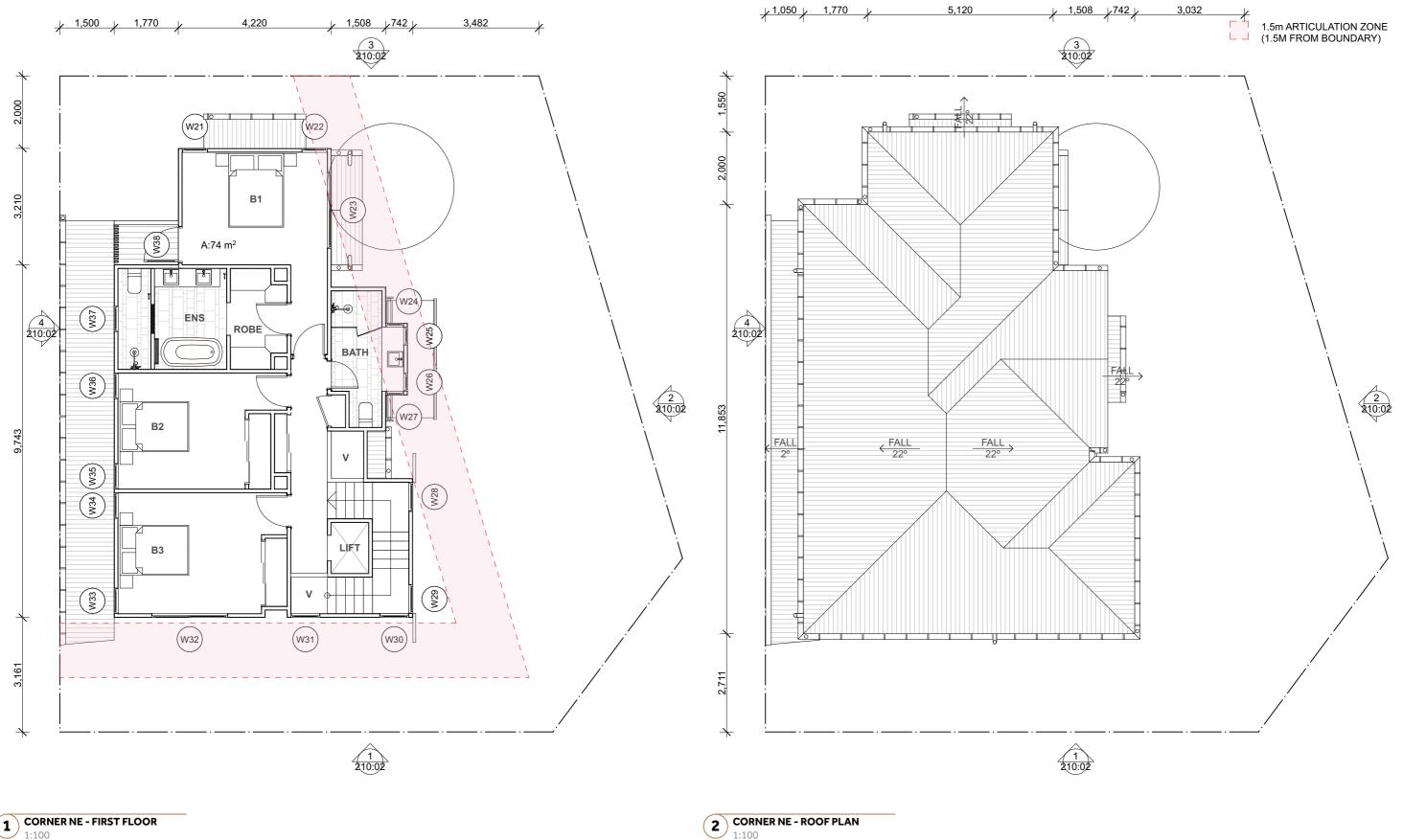
PROJECT NO.

**PVD No 21 PTY LTD 53A WARRIEWOOD ROAD** WARRIEWOOD NSW

DRAWING TITLE: HOUSE PLANS LOT 2 - LGF & GF PLAN
DDO JECT NAME .

**WARRIEWOOD** 

ISSUE: DA DRAWING NO. 110:03 REVISION NO. M



CORNER NE - FIRST FLOOR
1:100

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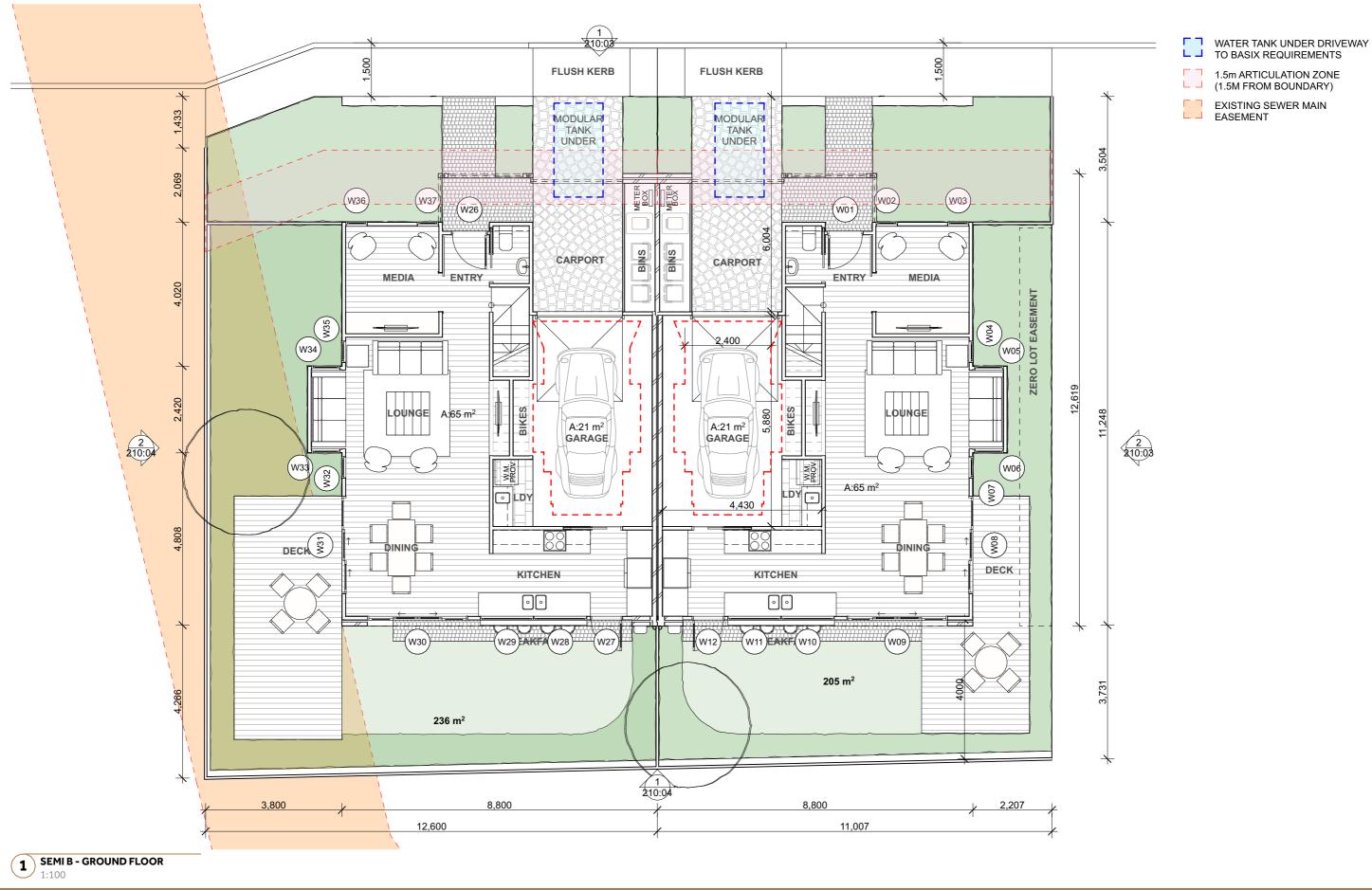
1:100 A3 27/7/21 PROJECT NO. 20023

**PVD No 21 PTY LTD** 53A WARRIEWOOD ROAD WARRIEWOOD NSW

DRAWING TITLE: HOUSE PLANS LOT 2 - FF & ROOF PLAN	
DDO IECT NAME .	

**WARRIEWOOD** 

ISSUE: DA DRAWING NO 110:04 REVISION NO.



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PROJECT NO.

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WARRIEWOOD NSW

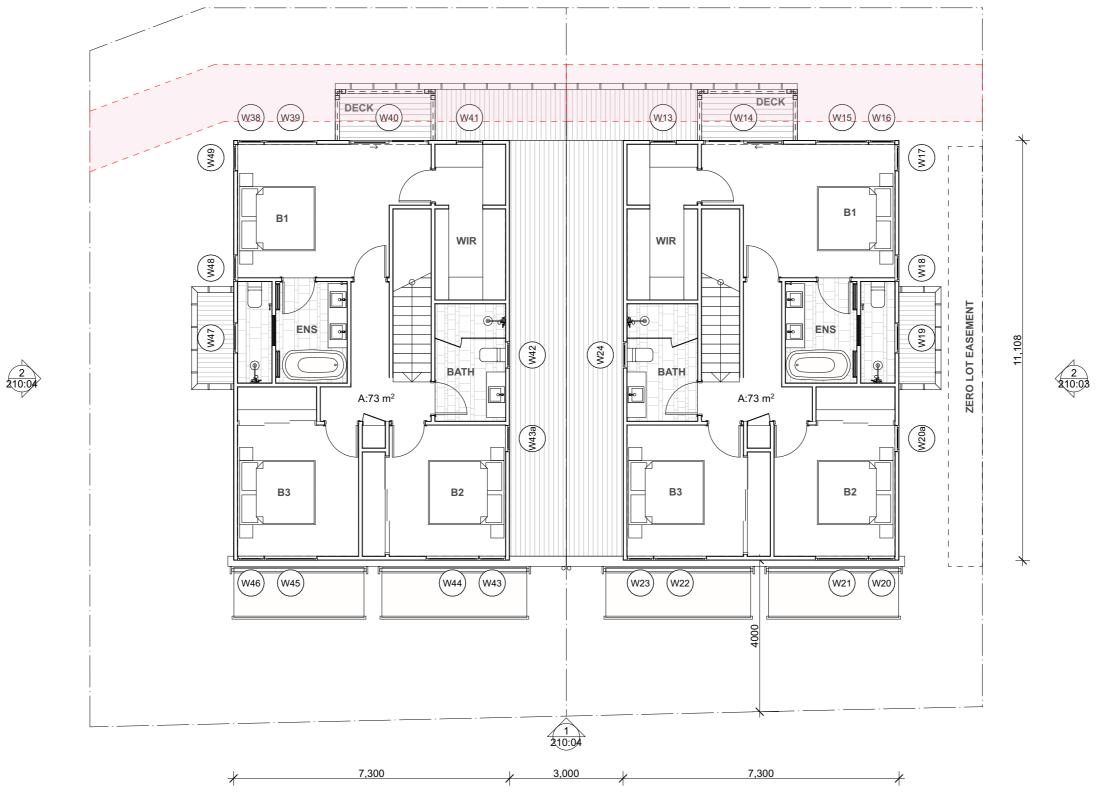
**HOUSE PLANS LOT 3 & 5 - GROUND PLAN** 

**WARRIEWOOD** 

ISSUE: DA DRAWING NO.

110:05 REVISION NO. M





SEMI B - FIRST FLOOR

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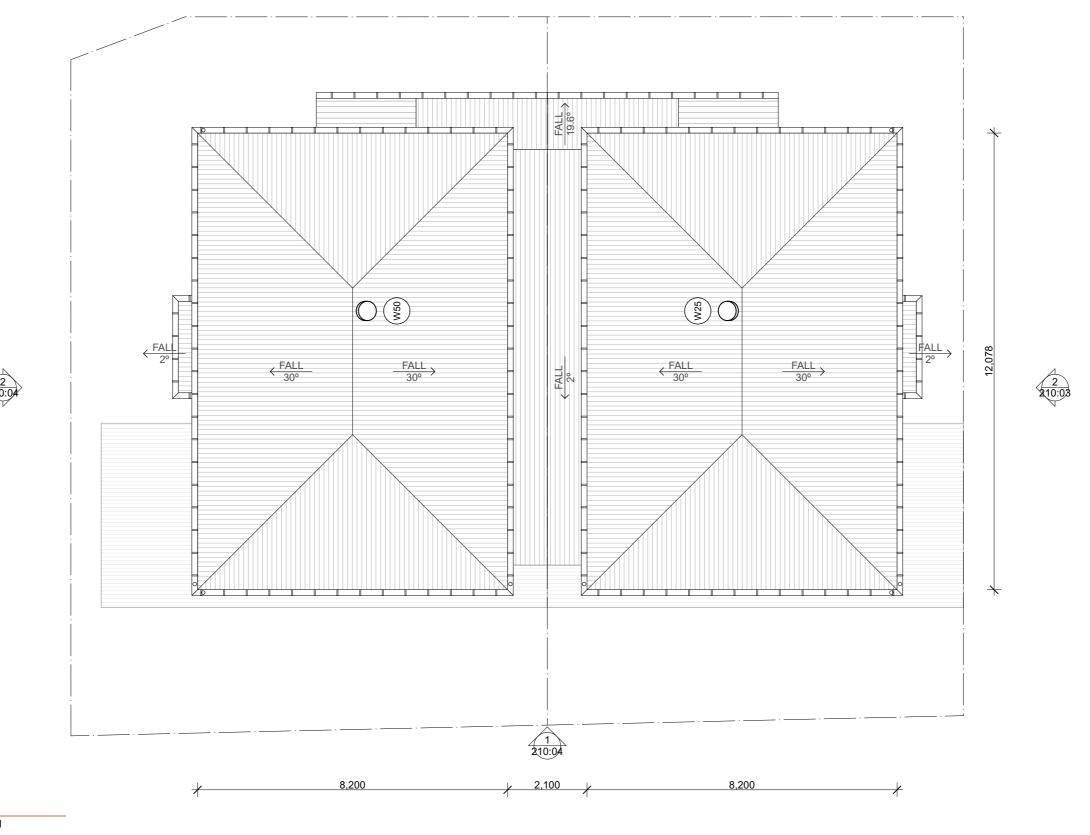
DRAWING TITLE : HOUSE PLANS **LOT 3 & 5 - FIRST PLAN** 

**WARRIEWOOD** 

ISSUE: DA DRAWING NO.

110:06 REVISION NO.







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	chitects gistration ard	DESIGNER
f	A	CERTIFIED PASSIVE HOUSE DESIGNER

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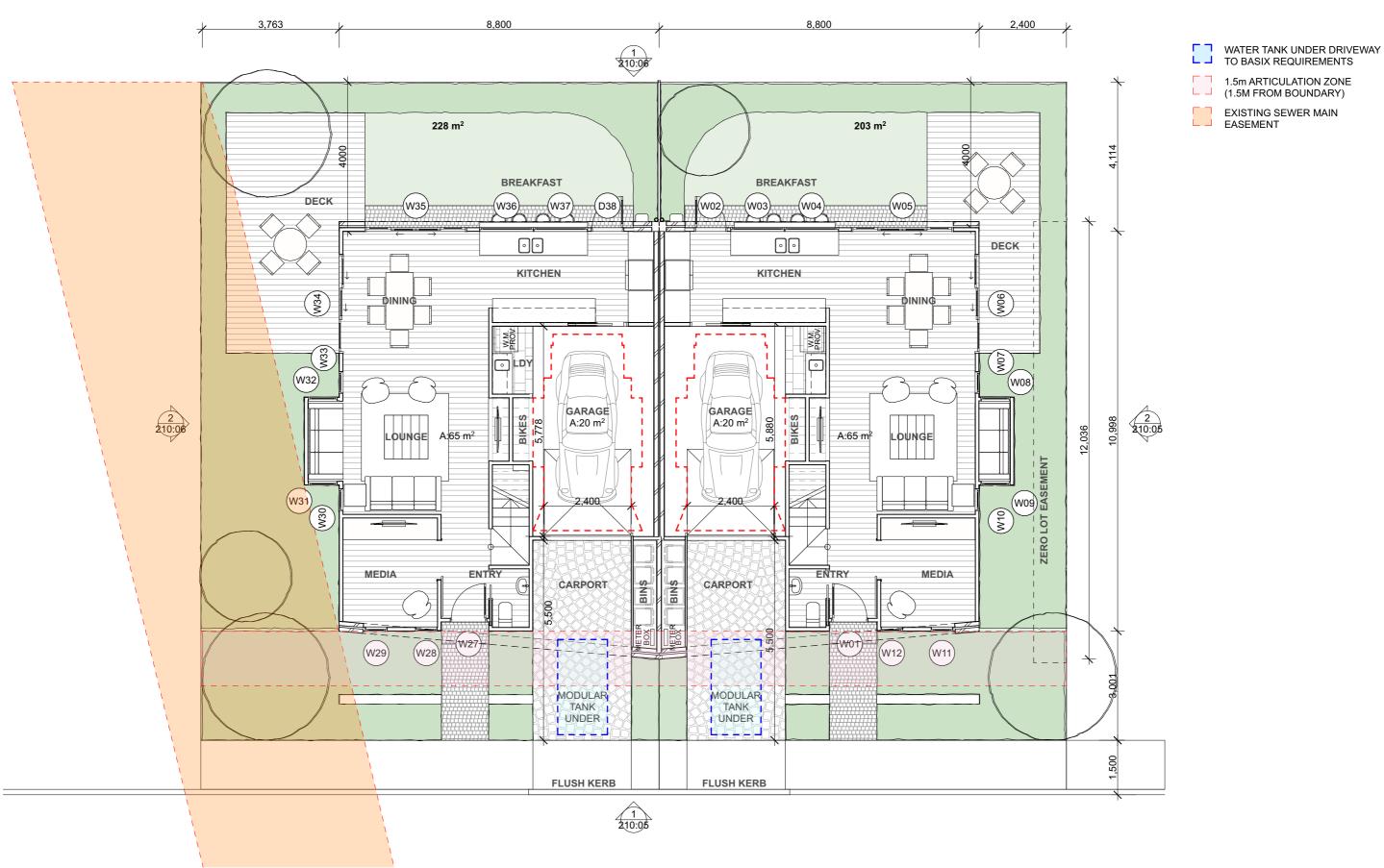
1:100 A3 27/7/21 PROJECT NO. 20023

**PVD No 21 PTY LTD** 53A WARRIEWOOD ROAD WARRIEWOOD NSW

PRAWING TITLE :	
LOT 3 & 5 - ROOF PLA	٨N

**WARRIEWOOD** 

ISSUE: DA DRAWING NO. 110:07



SEMI - GROUND PLAN
1:100

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**PVD No 21 PTY LTD 53A WARRIEWOOD ROAD** WARRIEWOOD NSW

PROJECT NO.

20023

**HOUSE PLANS LOT 4 & 6 - GROUND PLAN** 

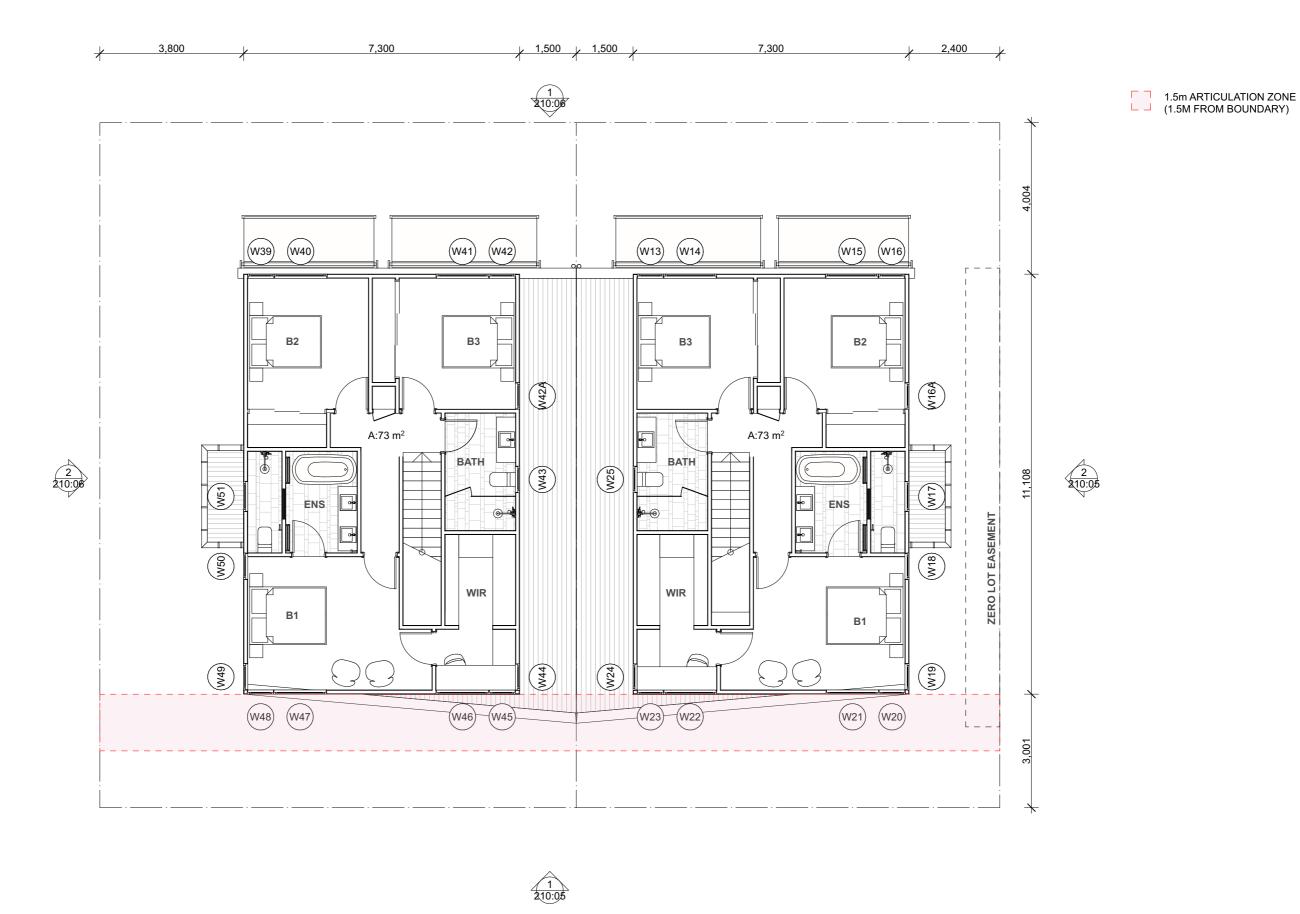
**WARRIEWOOD** 

ISSUE: DA DRAWING NO. 110:08

TO BASIX REQUIREMENTS

EXISTING SEWER MAIN

EASEMENT





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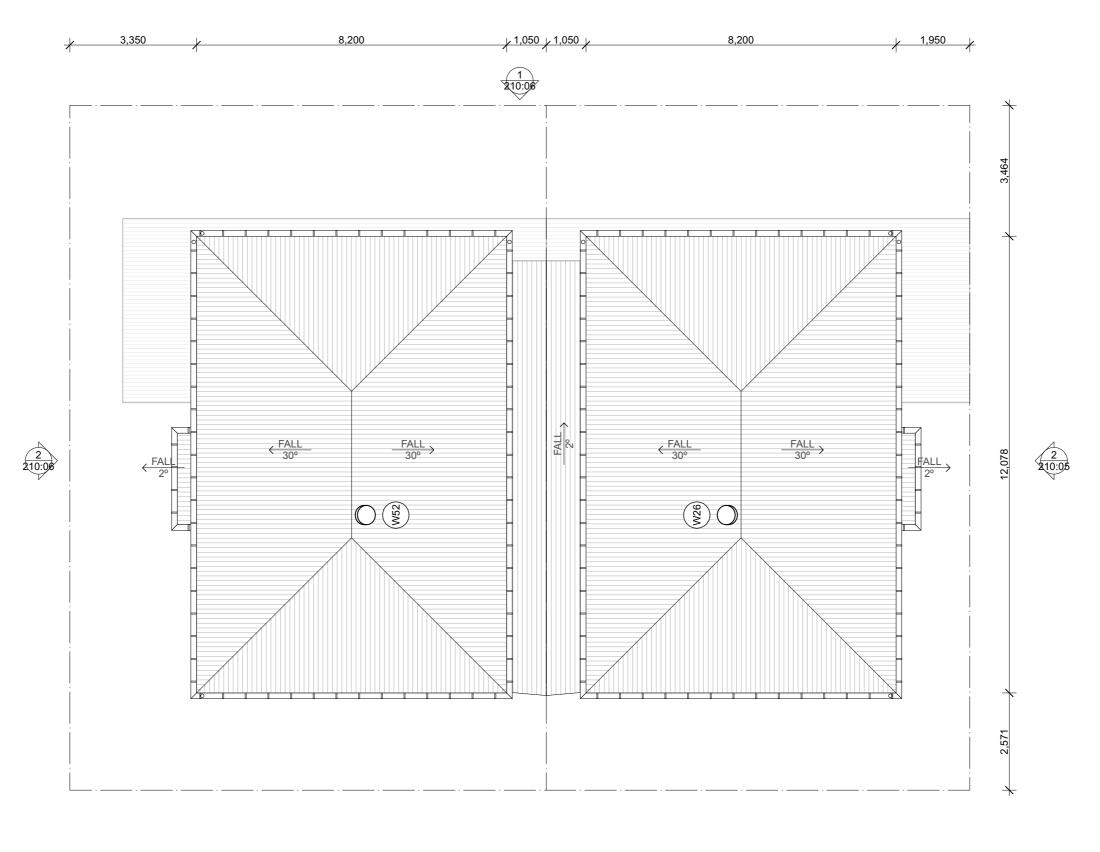
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**HOUSE PLANS LOT 4 & 6 - FIRST PLAN** 

ISSUE: DA DRAWING NO. 110:09 REVISION NO. M

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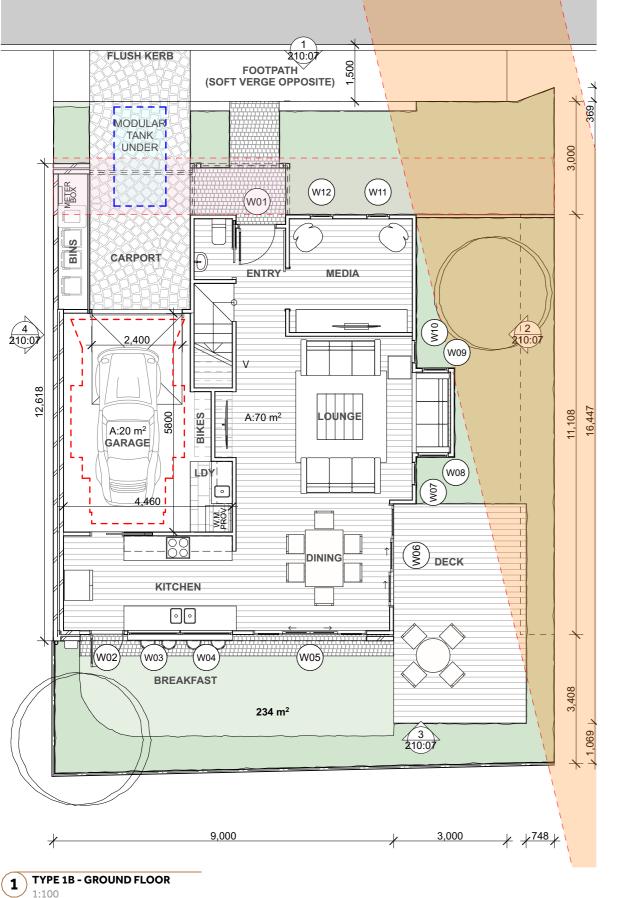
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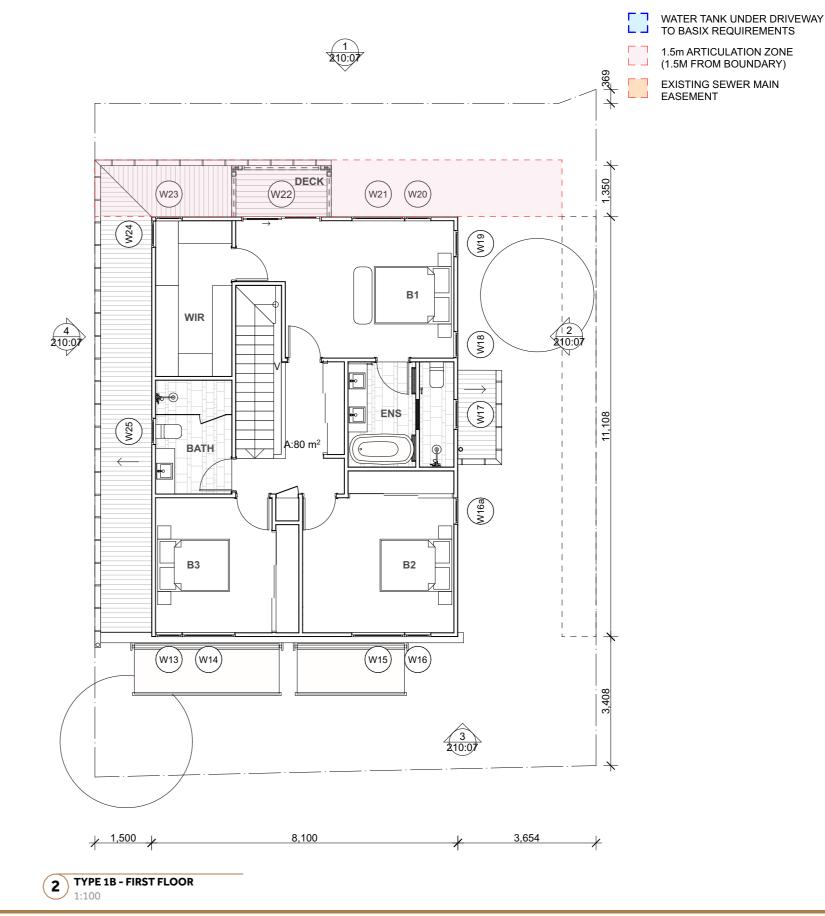
20023

DRAWING TITLE : HOUSE PLANS **LOT 4 & 6 - ROOF PLAN** 

DA DRAWING NO. 110:10 **WARRIEWOOD** REVISION NO. M

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DATE Design and Sustainability Advisory Panel 13.05.21 Design and Sustainability Advisory Panel 20.05.21 Design and Sustainability 27.05.21 FOR DA SUBMISSION

10.07.21

DESCRIPTION

Advisory Panel

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30.06.21

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1:100 A3 27/7/21 PROJECT NO. 20023

**PVD No 21 PTY LTD 53A WARRIEWOOD ROAD** WARRIEWOOD NSW

DRAWING TITLE : **HOUSE PLANS LOT 7 - PLANS** 

**WARRIEWOOD** 

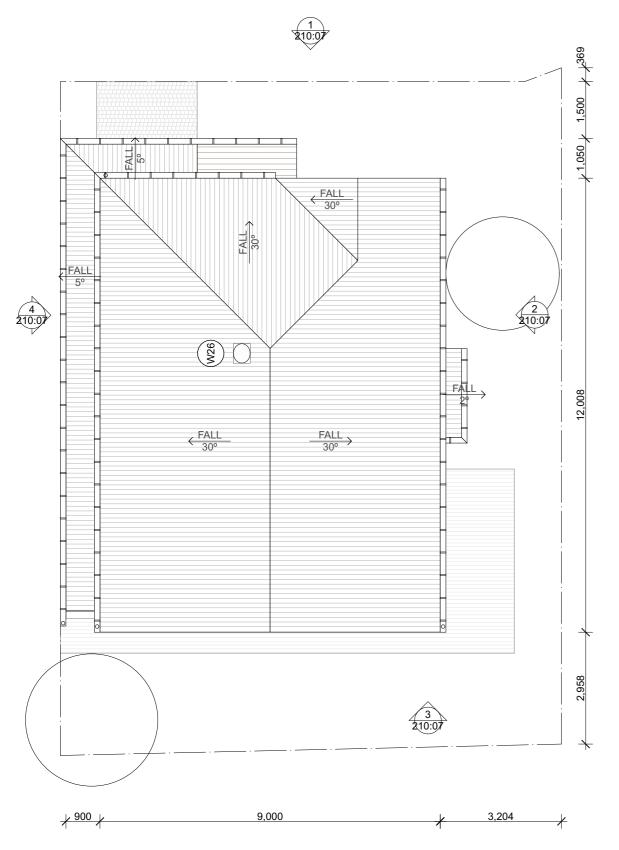
ISSUE: DA DRAWING NO 110:11 REVISION NO.

M

TO BASIX REQUIREMENTS 1.5m ARTICULATION ZONE

EXISTING SEWER MAIN

EASEMENT



TYPE 1B - ROOF PLAN
1:100

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20.05.21

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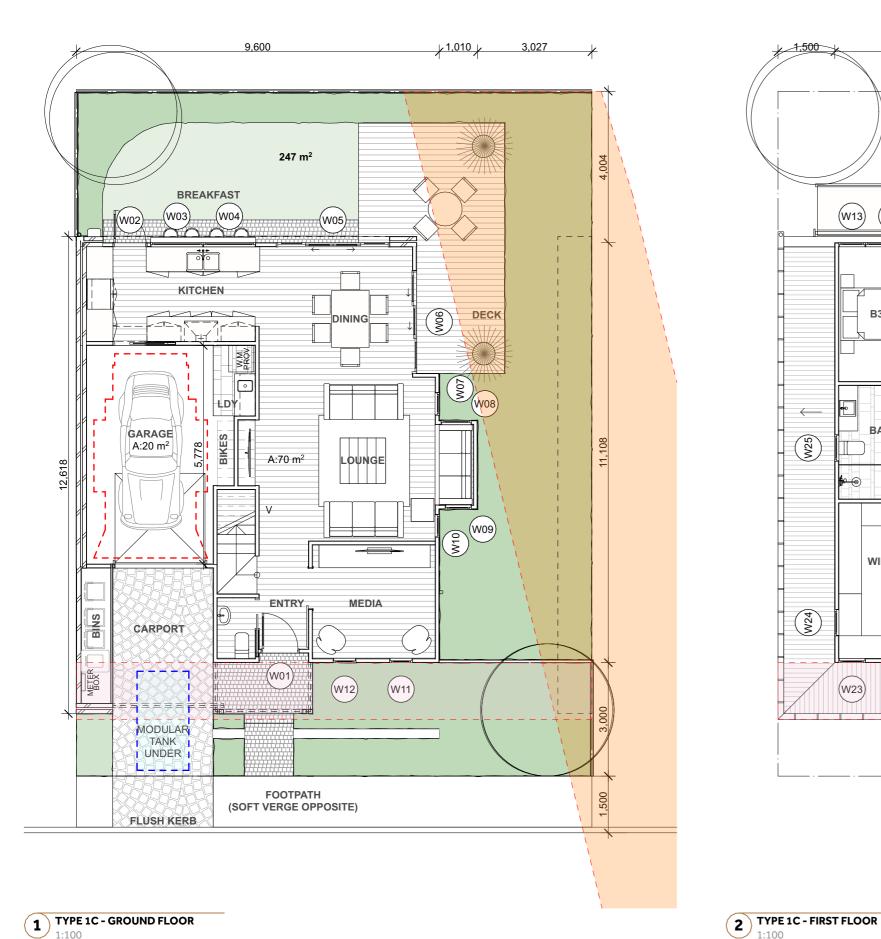
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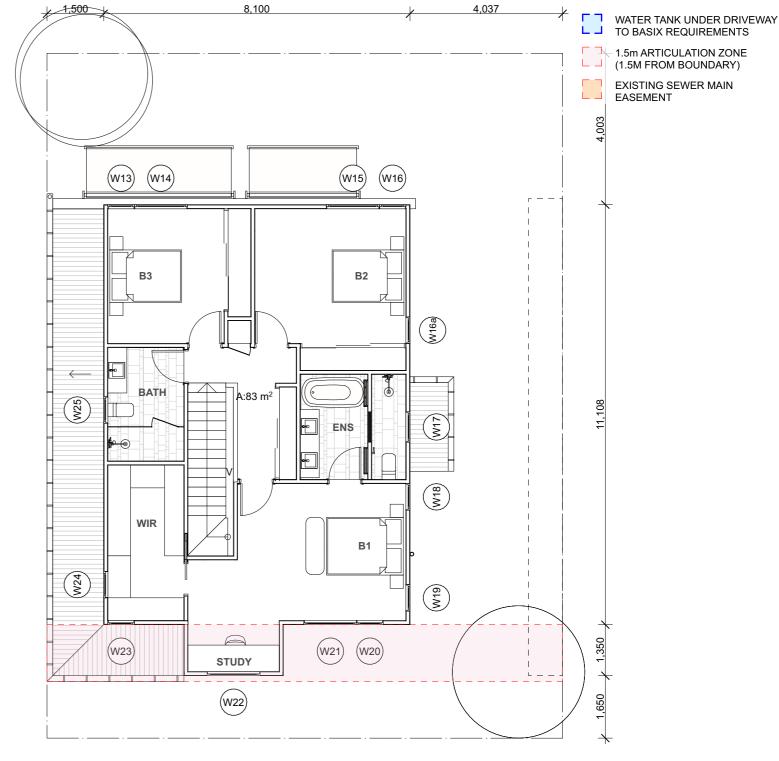
PROJECT NO.

DRAWING TITLE : HOUSE PLANS **LOT 7 - ROOF PLAN** 

**WARRIEWOOD** 

ISSUE: DA DRAWING NO. 110:12





1 TYPE 1C - GROUND FLOOR

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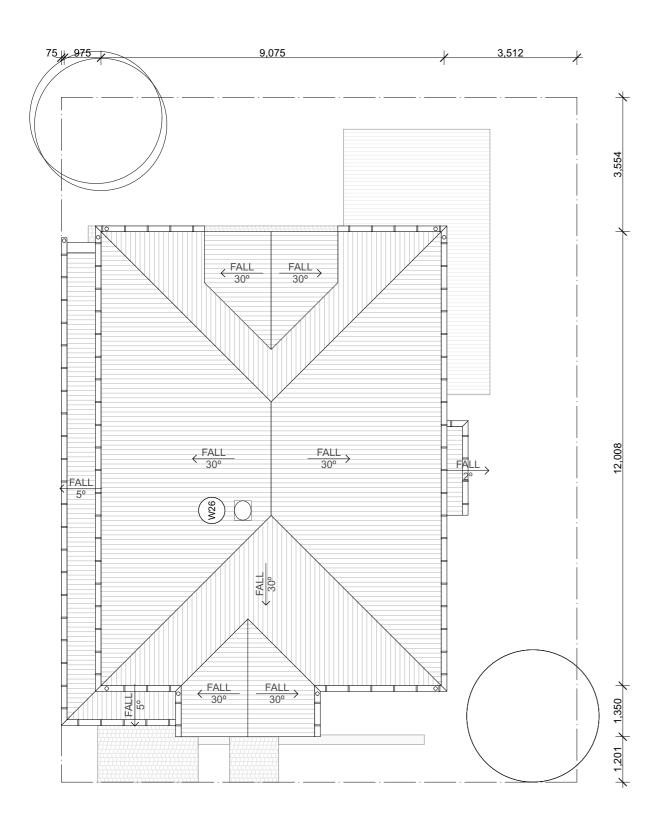
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**PVD No 21 PTY LTD 53A WARRIEWOOD ROAD** WARRIEWOOD NSW

PROJECT NO.

DRAWING TITLE : **HOUSE PLANS LOT 8 - PLANS** 

ISSUE: DA DRAWING NO. 110:13 **WARRIEWOOD** REVISION NO. M





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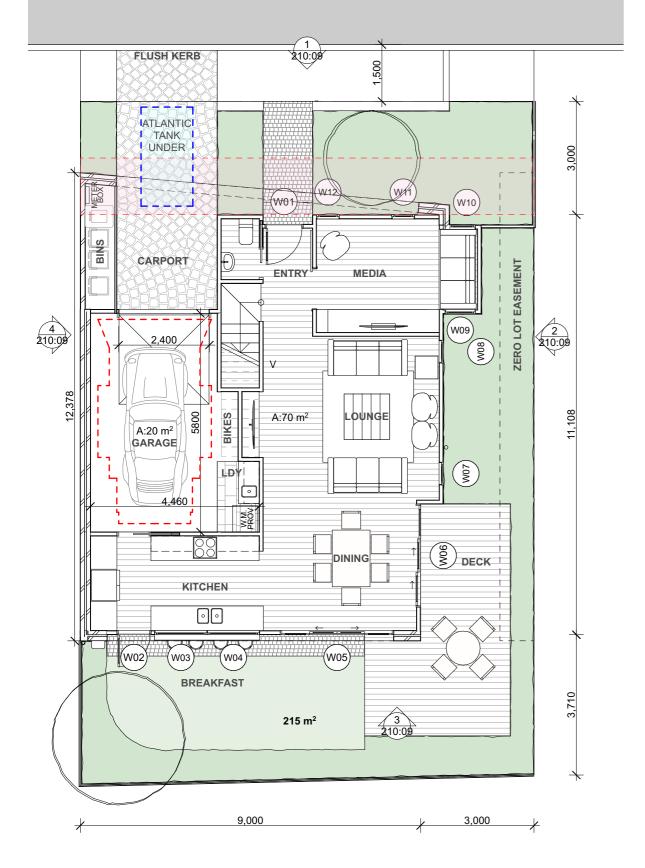
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**PVD No 21 PTY LTD** 53A WARRIEWOOD ROAD WARRIEWOOD NSW

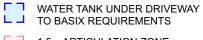
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**WARRIEWOOD** 

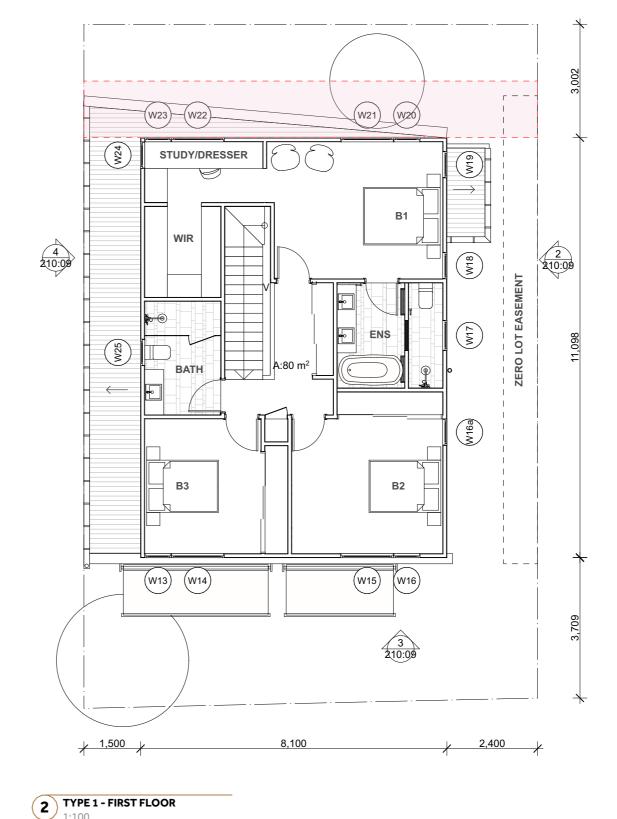
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1.5m ARTICULATION ZONE (1.5M FROM BOUNDARY)



1 TYPE 1 - GROUND FLOOR

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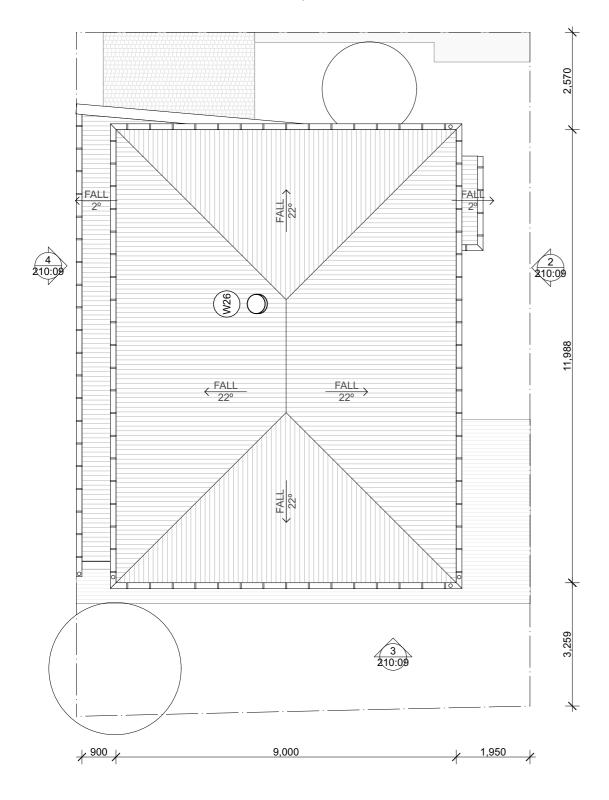
20023

DRAWING TITLE : HOUSE PLANS
LOT 9 - PLANS

**WARRIEWOOD** 

ISSUE: DA DRAWING NO. 110:15 REVISION NO.







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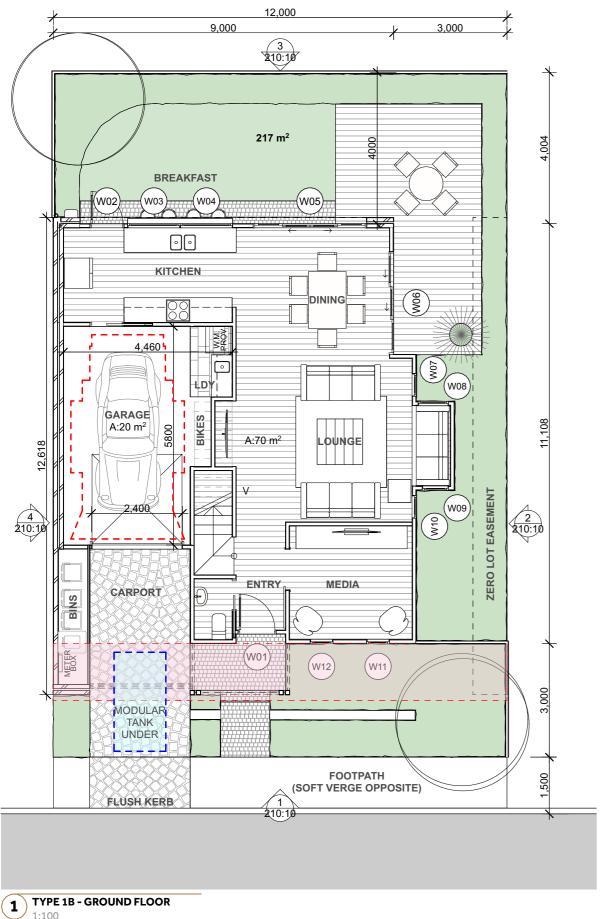
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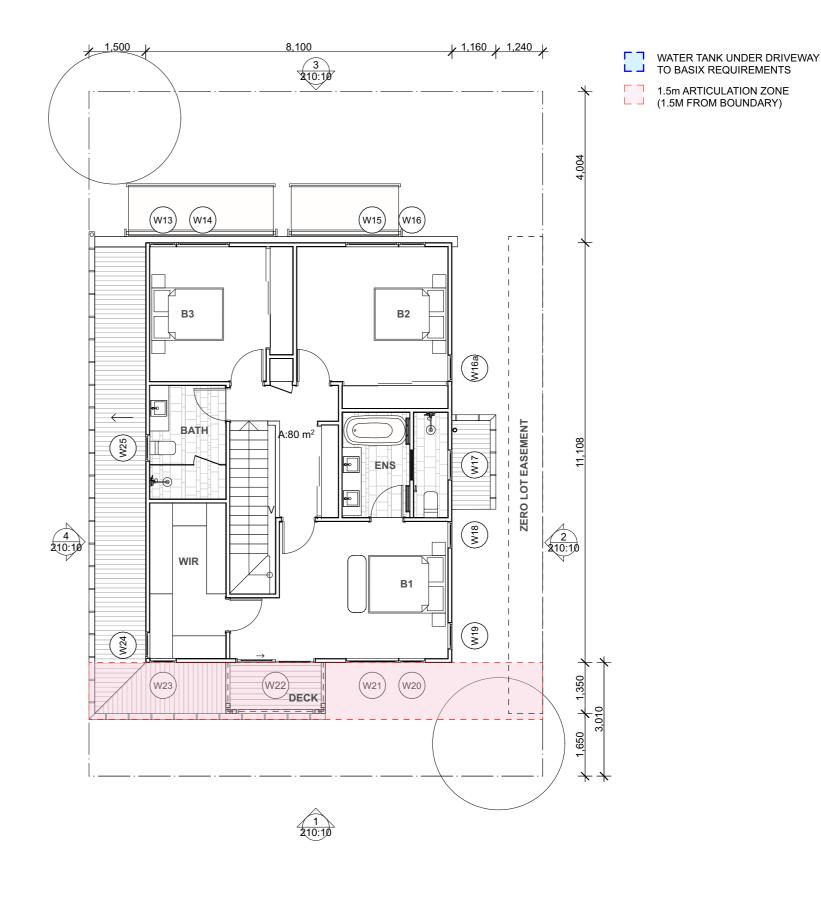
**PVD No 21 PTY LTD** 53A WARRIEWOOD ROAD WARRIEWOOD NSW

DRAWING TITLE : HOUSE PLANS **LOT 9 - ROOF PLAN** 

**WARRIEWOOD** 

ISSUE: DA DRAWING NO. 110:16





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DESCRIPTION

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2 TYPE 1B - FIRST FLOOR

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**PVD No 21 PTY LTD 53A WARRIEWOOD ROAD** WARRIEWOOD NSW

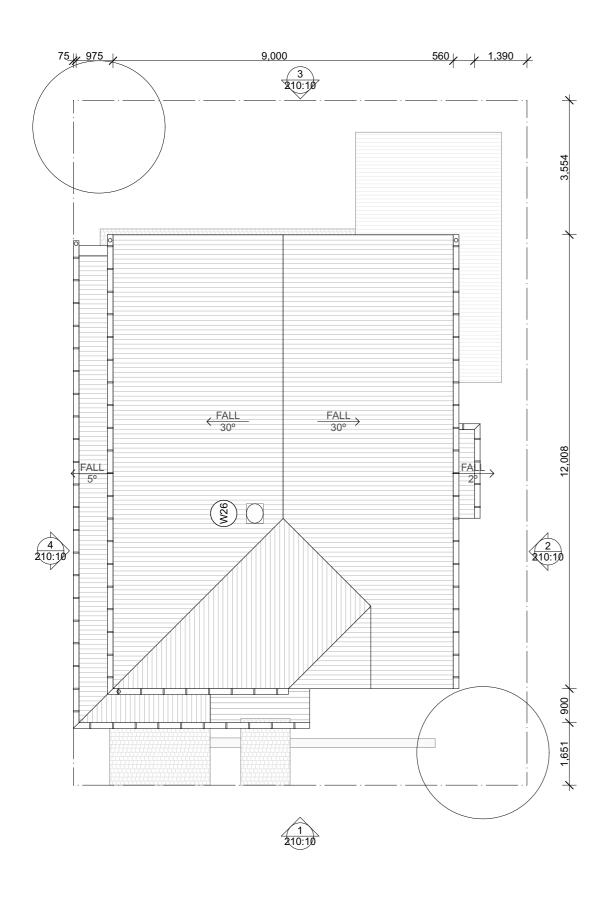
PROJECT NO.

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DRAWING TITLE : **HOUSE PLANS LOT 10 - PLANS** 

ISSUE: DA **WARRIEWOOD** 

DRAWING NO 110:17 REVISION NO. M





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Urban Design I Architecture NOMINATED ARCHITECT: NICOLAS KARL RICHTER NSWARB REGISTRATION NO# 6676



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ISSUE DSAP DSAP DSAP DSAP DA DA

DESCRIPTION REVISION Design and Sustainability Advisory Panel Design and Sustainability Advisory Panel Design and Sustainability Advisory Panel FOR DA SUBMISSION REVISIONS FOR DA М

DATE 13.05.21 20.05.21 27.05.21 30.06.21

10.07.21



SCALE: PRINT SIZE: PRINT DATE: CLIENT:

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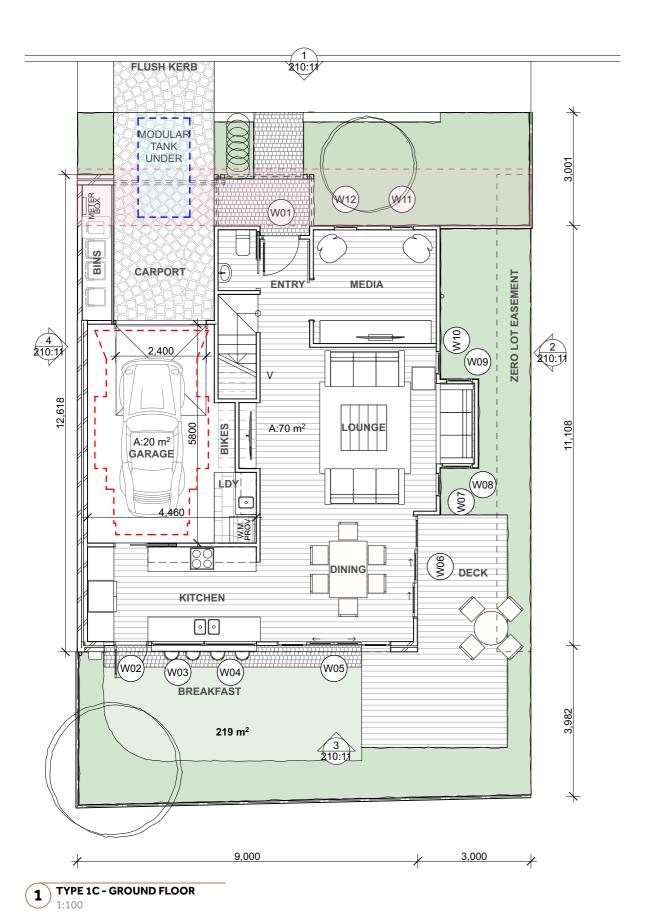
1:100 A3 27/7/21 PROJECT NO. 20023

**PVD No 21 PTY LTD** 53A WARRIEWOOD ROAD WARRIEWOOD NSW

DRAWING TITLE : HOUSE PLANS **LOT 10 - ROOF PLAN** 

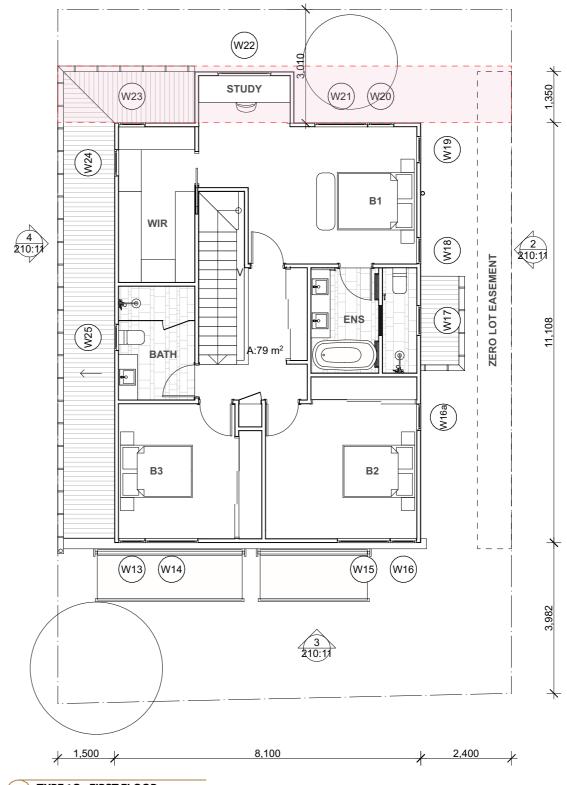
**WARRIEWOOD** 

ISSUE: DA DRAWING NO. 110:18 REVISION NO. M



WATER TANK UNDER DRIVEWAY
TO BASIX REQUIREMENTS

1.5m ARTICULATION ZONE
(1.5M FROM BOUNDARY)



2 TYPE 1C - FIRST FLOOR

SITE:

### Saturday Studio

Suite 6, 36 East Esplanade MANLY NSW 2095 PO BOX 1171 MANLY NSW 2095 T + 61 2 9212 5322 nick@saturdaystudio.com.au 85 107 769 022 n Design I Architecture

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ISSUE REVISION DSAP H

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Advisory Panel
Design and Sustainability
Advisory Panel
Design and Sustainability
Advisory Panel
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FOR DA SUBMISSION
REVISIONS FOR DA



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PVD No 21 PTY LTD 53A WARRIEWOOD ROAD WARRIEWOOD NSW

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**WARRIEWOOD** 

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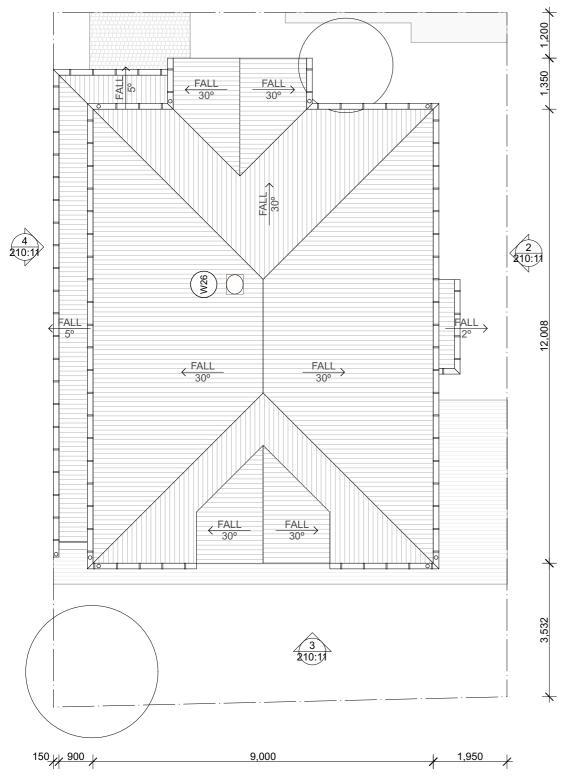
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1 TYPE 1C - ROOF PLAN

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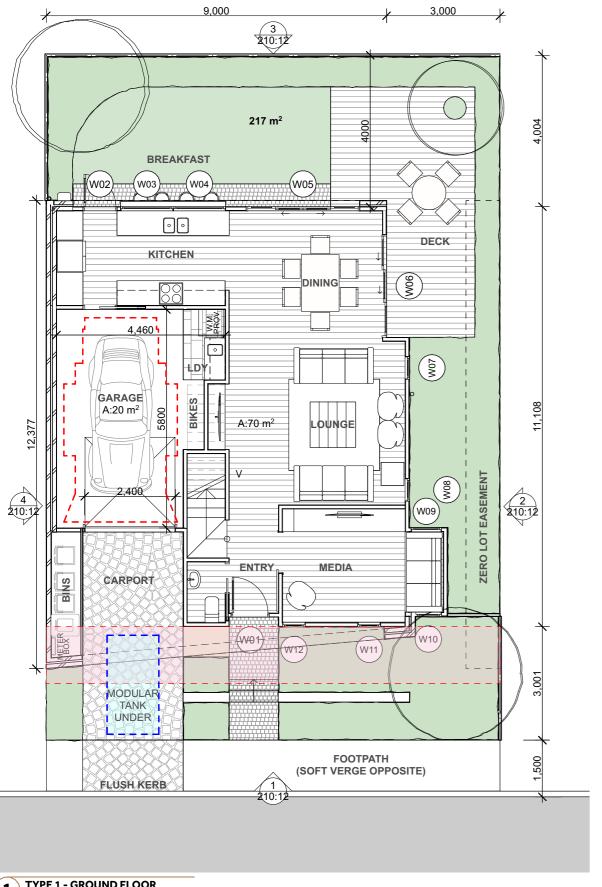
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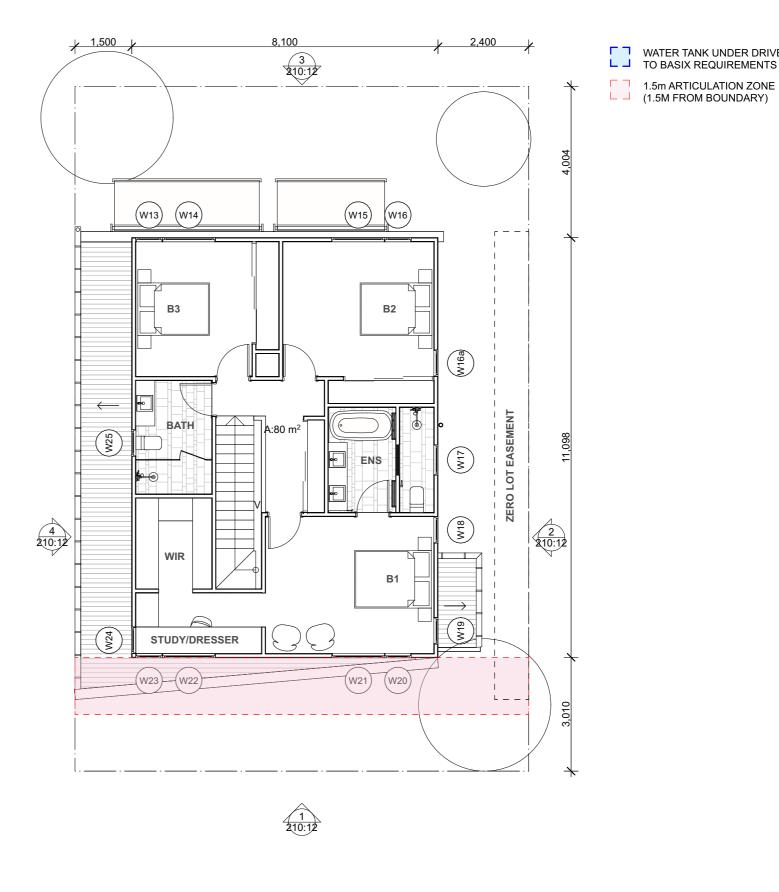
**PVD No 21 PTY LTD** 53A WARRIEWOOD ROAD WARRIEWOOD NSW

DRAWING TITLE : HOUSE PLANS **LOT 11 - ROOF PLAN** 

**WARRIEWOOD** 

ISSUE: DA DRAWING NO. 110:20





2 TYPE 1 - FIRST FLOOR

1 TYPE 1 - GROUND FLOOR

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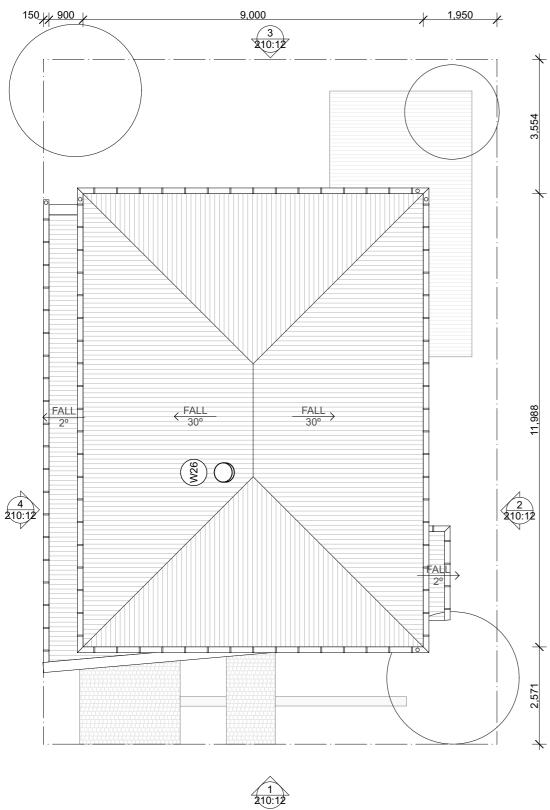
	PLANS 12 - PLANS
PRO IECT	NAME -

**WARRIEWOOD** 

ISSUE: DA DRAWING NO 110:21 REVISION NO. M

WATER TANK UNDER DRIVEWAY

TO BASIX REQUIREMENTS







Suite 6, 36 East Esplanade MANLY NSW 2095 PO BOX 1171 MANLY NSW 2095 T + 61 2 9212 5322 nick@saturdaystudio.

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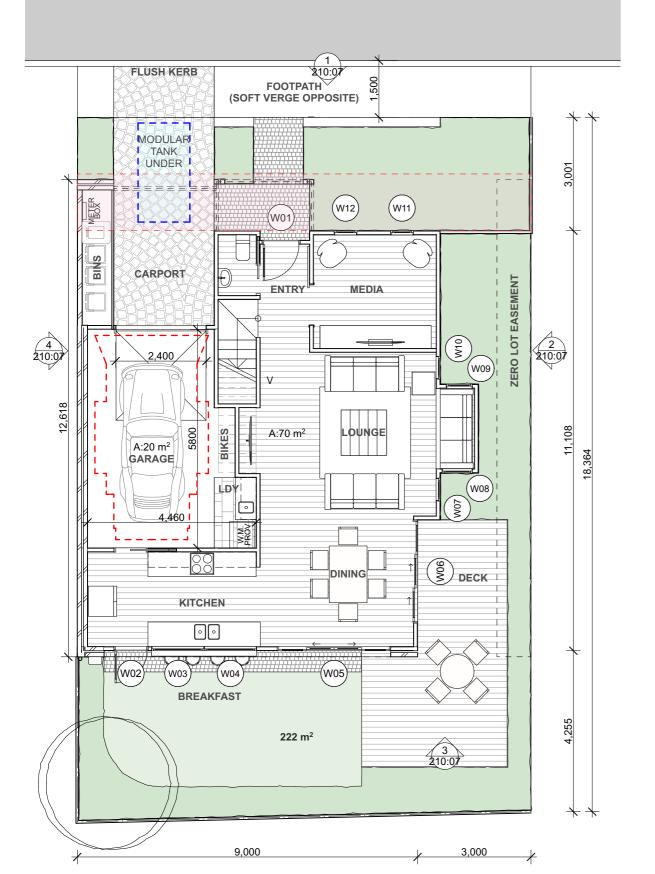
**PVD No 21 PTY LTD** 53A WARRIEWOOD ROAD WARRIEWOOD NSW

DRAWING TITLE : HOUSE PLANS **LOT 12 - ROOF PLAN** 

**WARRIEWOOD** 

ISSUE: DA DRAWING NO.

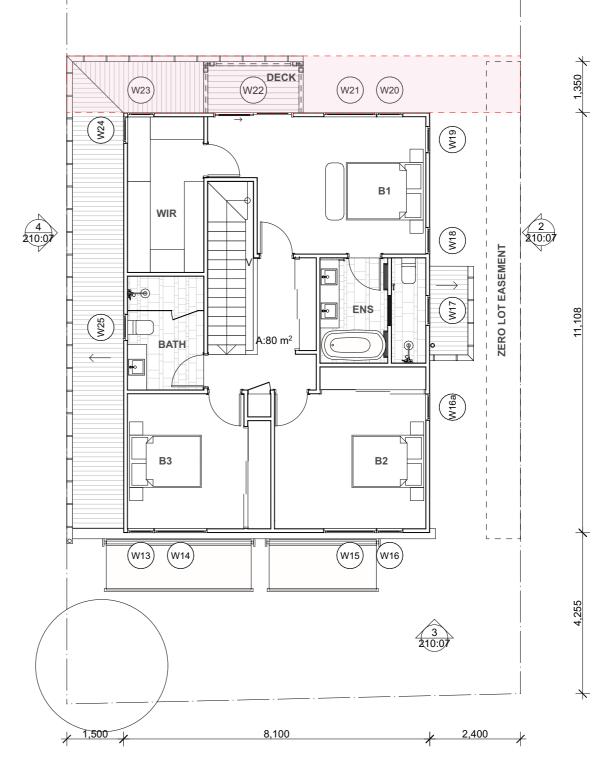
110:22 REVISION NO. M



210:07

WATER TANK UNDER DRIVEWAY TO BASIX REQUIREMENTS

1.5m ARTICULATION ZONE (1.5M FROM BOUNDARY)



2 TYPE 1B - FIRST FLOOR

## Saturday Studio

1 TYPE 1B - GROUND FLOOR

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Urban Design | Architecture NOMINATED ARCHITECT: NICOLAS KARL RICHTER NSWARB REGISTRATION NO# 6676



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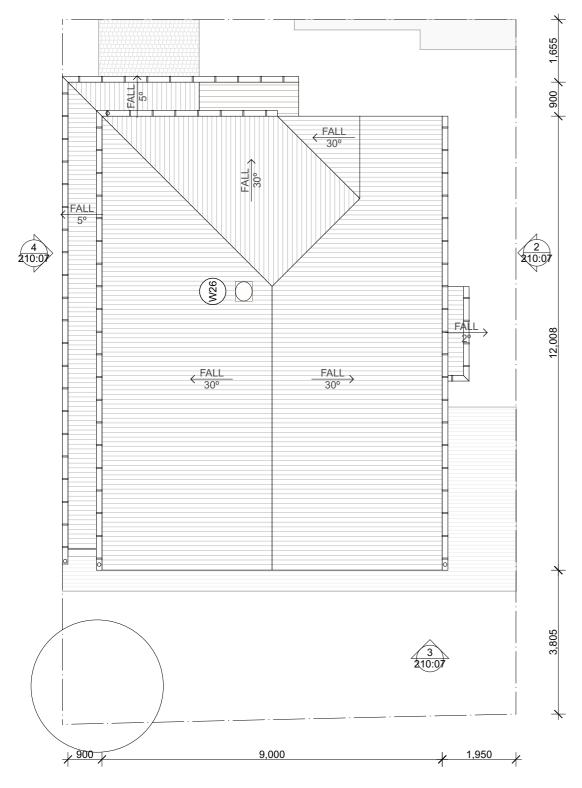
PVD No 21 PTY LTD 53A WARRIEWOOD ROAD WARRIEWOOD NSW

DRAWING TITLE : HOUSE PLANS			
LOT 13 - PLANS			

PROJECT NAME : WARRIEWOOD

DA
DRAWING NO.
110:23
REVISION NO.





1 TYPE 1B - ROOF PLAN 1:100

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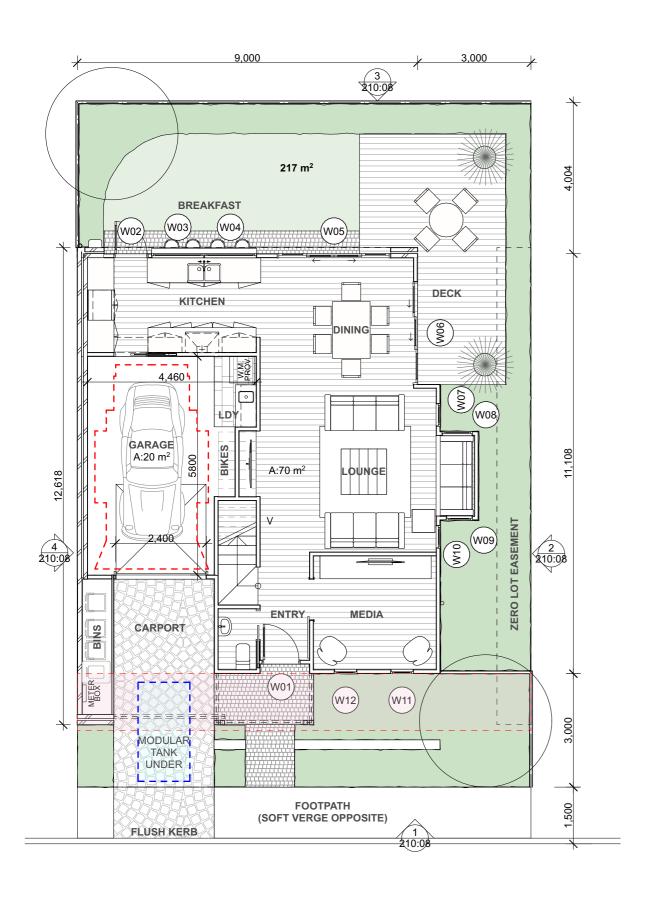
53A WARRIEWOOD ROAD WARRIEWOOD NSW

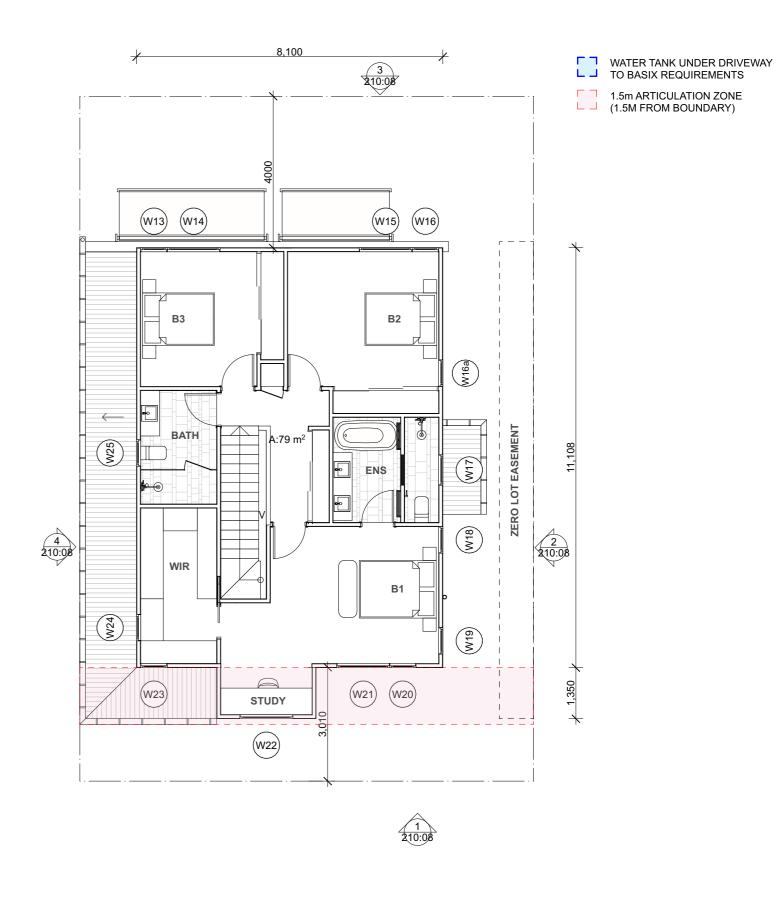
DRAWING TITLE : HOUSE PLANS **LOT 13 - ROOF PLAN** 

**WARRIEWOOD** 

ISSUE: DA DRAWING NO.

110:24 REVISION NO. M





1 TYPE 1C - GROUND FLOOR

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**PVD No 21 PTY LTD 53A WARRIEWOOD ROAD** WARRIEWOOD NSW

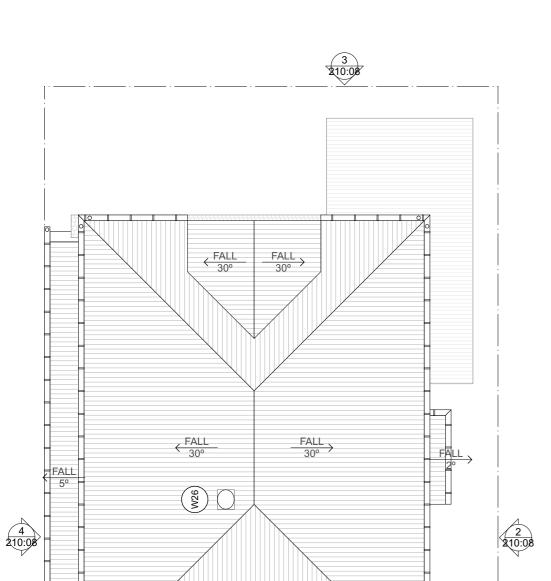
DRAWING TITLE : HOUSE PLANS **LOT 14 - PLANS** 

**WARRIEWOOD** 

ISSUE: DA DRAWING NO. 110:25 REVISION NO.

M

2 TYPE 1C - FIRST FLOOR 1:100







1 TYPE 1C - ROOF PLAN

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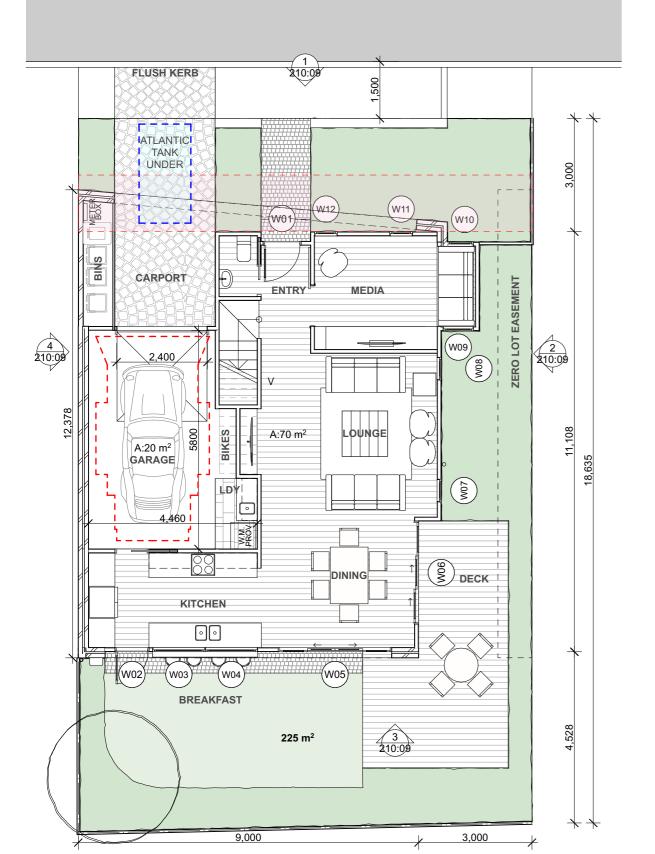
PROJECT NO. 20023

WARRIEWOOD NSW

**PVD No 21 PTY LTD** 53A WARRIEWOOD ROAD

DRAWING TITLE :
HOUSE PLANS
<b>LOT 14 - ROOF PLAN</b>
LOT 14 - KOOF PLAN

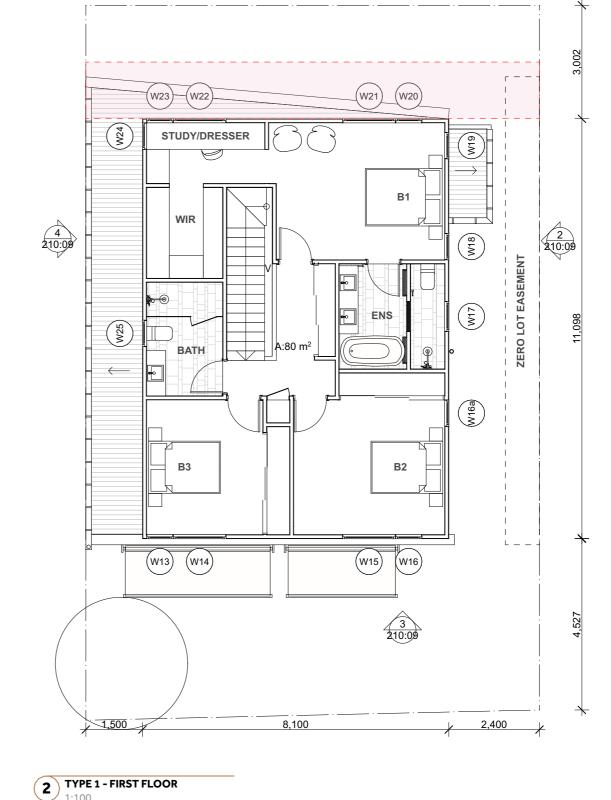
PROJECT NAME : **WARRIEWOOD**  ISSUE: DA DRAWING NO. 110:26





WATER TANK UNDER DRIVEWAY TO BASIX REQUIREMENTS

1.5m ARTICULATION ZONE (1.5M FROM BOUNDARY)



1 TYPE 1 - GROUND FLOOR

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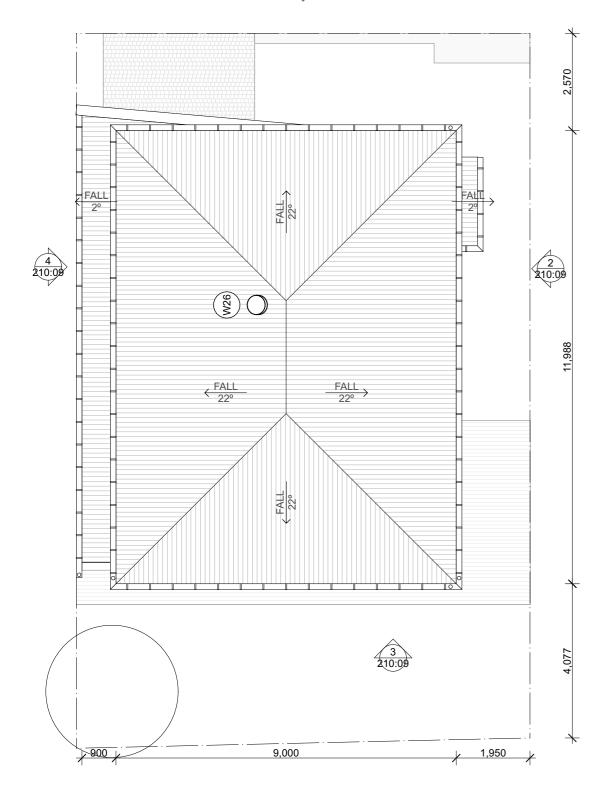
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DRAWING TITLE : HOUSE PLANS **LOT 15 - PLANS** 

**WARRIEWOOD** 

ISSUE: DA DRAWING NO. 110:27 REVISION NO.







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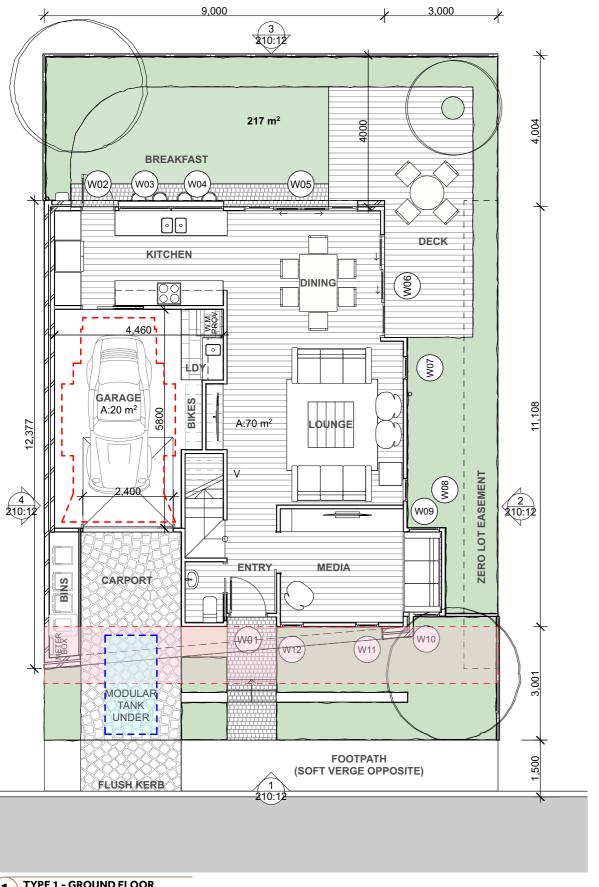
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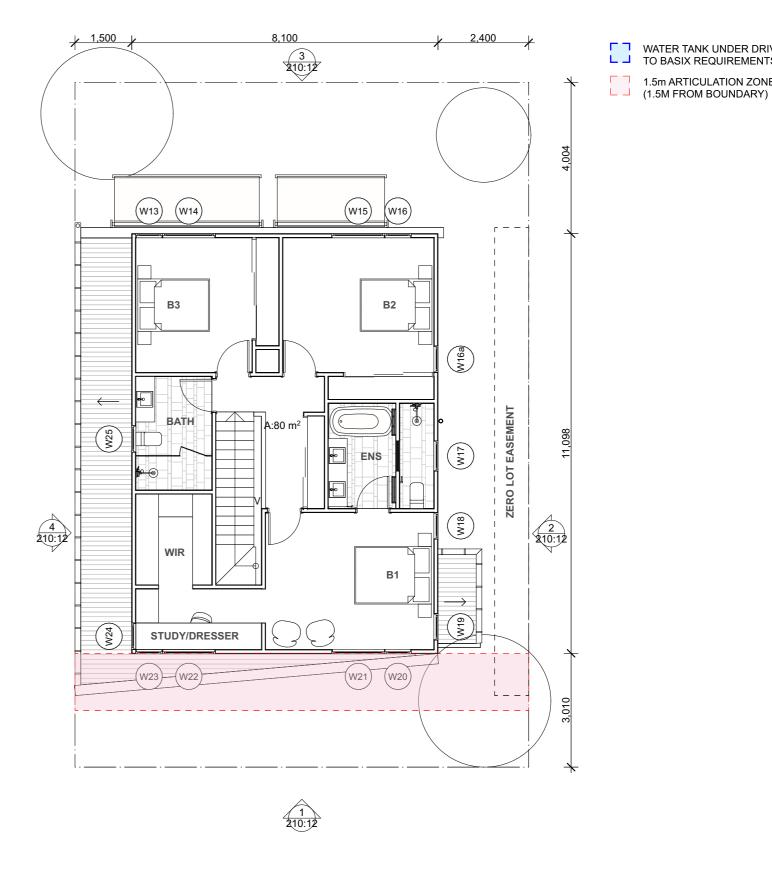
**PVD No 21 PTY LTD** 53A WARRIEWOOD ROAD WARRIEWOOD NSW

DRAWING TITLE : HOUSE PLANS **LOT 15 - ROOF PLAN** 

**WARRIEWOOD** 

ISSUE: DA DRAWING NO. 110:28





1 TYPE 1 - GROUND FLOOR

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2 TYPE 1 - FIRST FLOOR

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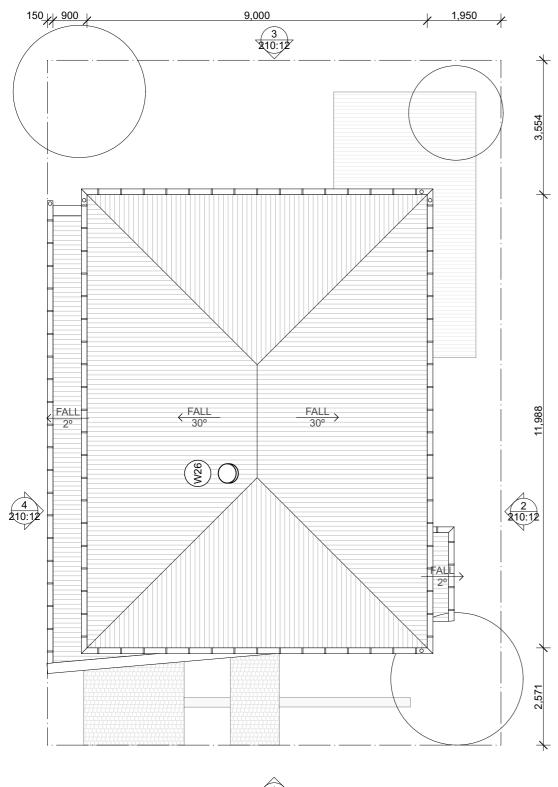
DRAWING TITLE : **HOUSE PLANS LOT 16 - PLANS** 

ISSUE: DA DRAWING NO. 110:29 **WARRIEWOOD** REVISION NO.

M

WATER TANK UNDER DRIVEWAY

TO BASIX REQUIREMENTS 1.5m ARTICULATION ZONE







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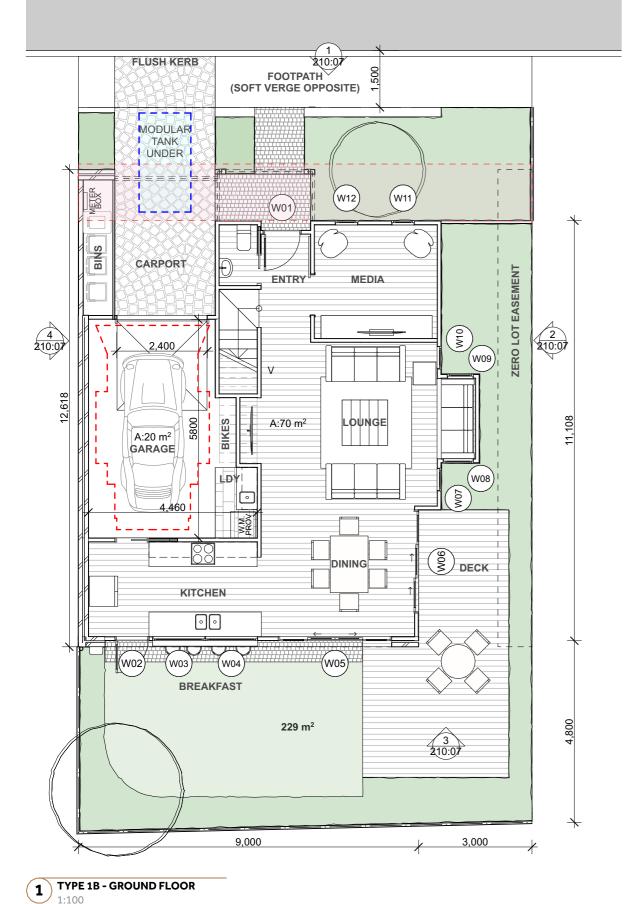
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WARRIEWOOD NSW

DRAWING TITLE : HOUSE PLANS **LOT 16 - ROOF PLAN** 

DA DRAWING NO. 110:30 **WARRIEWOOD** REVISION NO. M

ISSUE:



WATER TANK UNDER DRIVEWAY TO BASIX REQUIREMENTS

1.5m ARTICULATION ZONE (1.5M FROM BOUNDARY)

DECK (W22) (W21) (W23) (W20) (W24) (M19) B1 WIR 210:07 210:07 W18 ZERO LOT EASEMENT (w17) (W25) A:80 m<sup>2</sup> BATH B3 B2 (W13) (W15) (W14) (W16) 210:07 2,400 1,500 8,100

2 TYPE 1B - FIRST FLOOR

CLIENT:

SITE:

# **Saturday**

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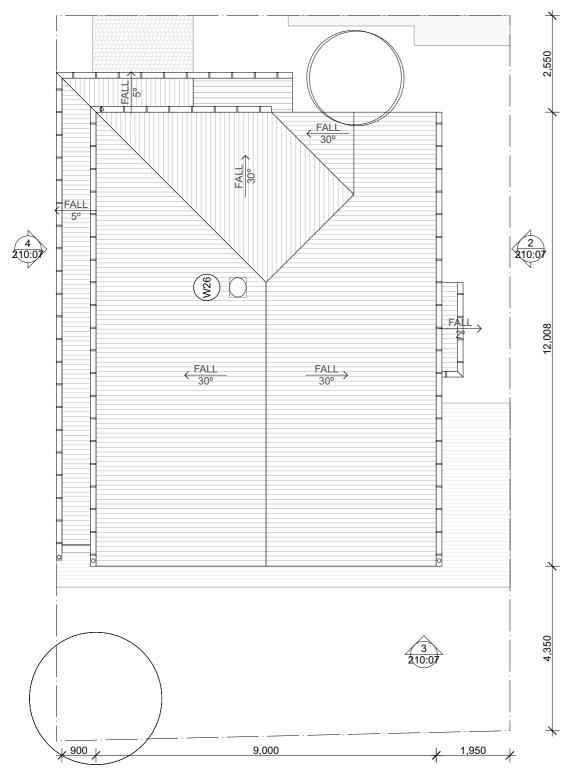
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DRAWING TITLE : **HOUSE PLANS LOT 17 - PLANS** 

**WARRIEWOOD** 

ISSUE: DA DRAWING NO 110:31 REVISION NO.





1 TYPE 1B - ROOF PLAN 1:100

#### **Saturday** Studio

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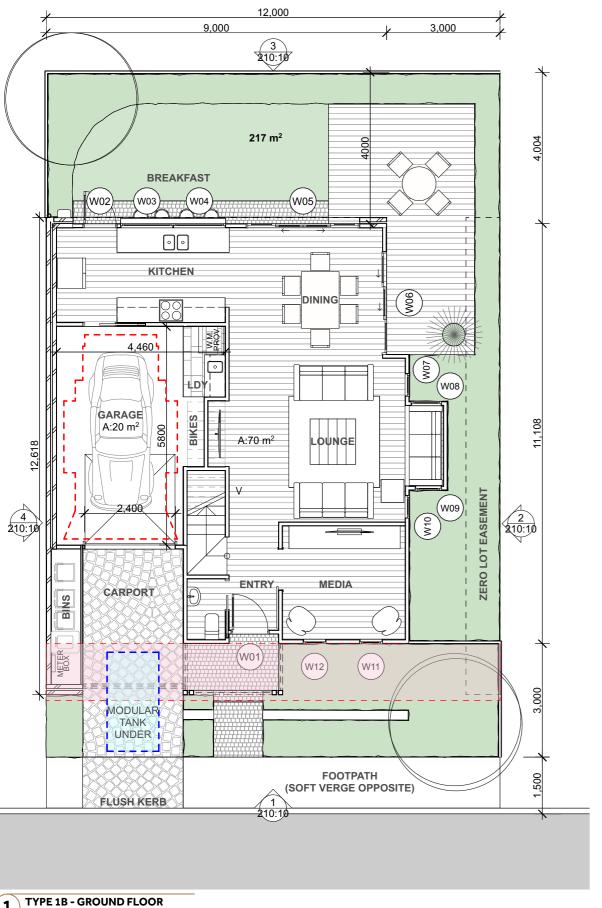
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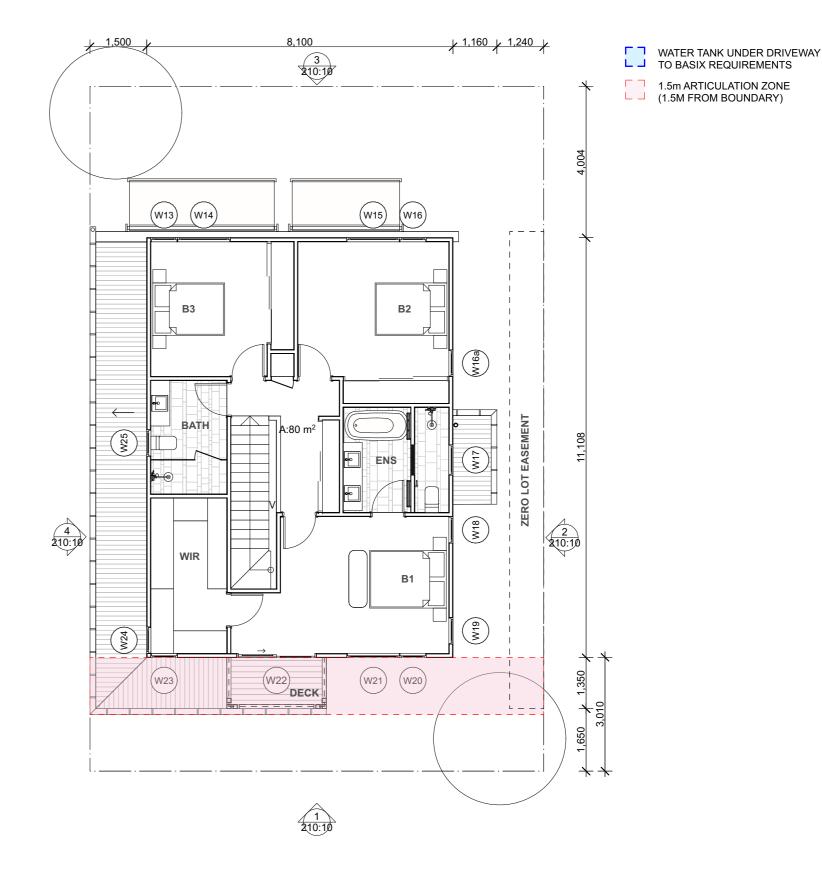
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DRAWING TITLE : HOUSE PLANS **LOT 17 - ROOF PLAN** 

**WARRIEWOOD** 

ISSUE: DA DRAWING NO. 110:32





1 TYPE 1B - GROUND FLOOR

#### Saturday Studio

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WARRIEWOOD NSW

PROJECT NO.

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DRAWING TITLE : **HOUSE PLANS** 

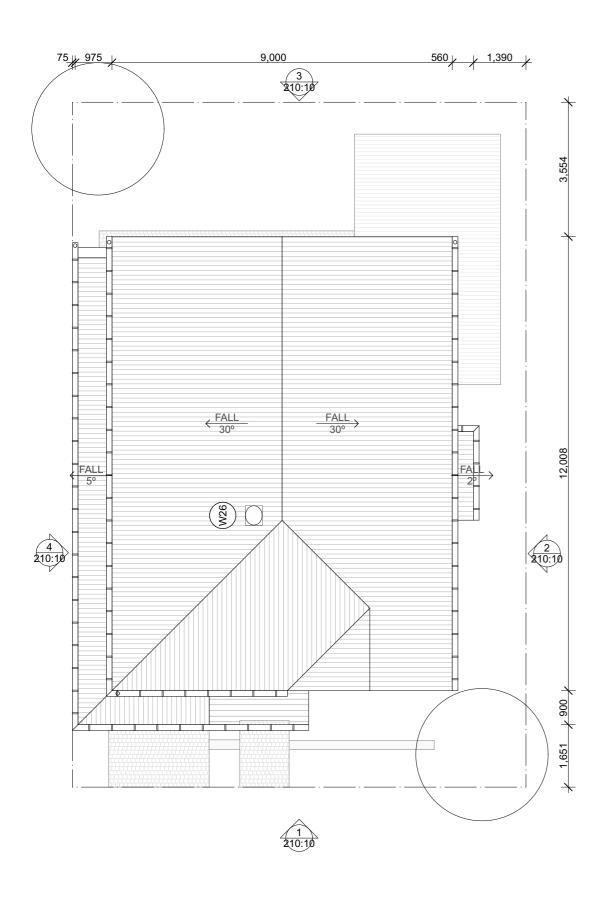
**LOT 18 - PLANS WARRIEWOOD** 

ISSUE: DA DRAWING NO 110:33 REVISION NO.

M

**PVD No 21 PTY LTD 53A WARRIEWOOD ROAD** 

2 TYPE 1B - FIRST FLOOR





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10.07.21



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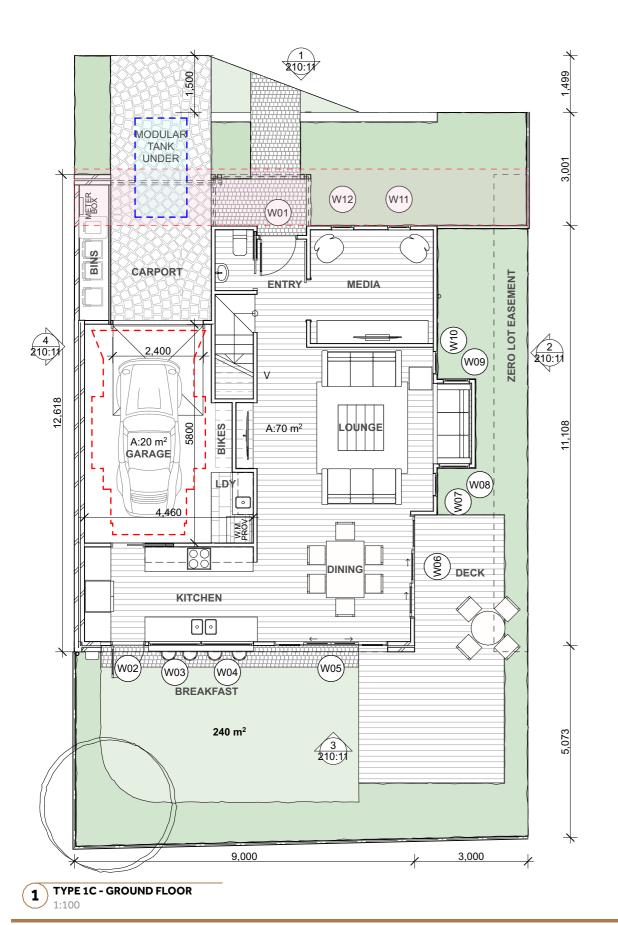
**PVD No 21 PTY LTD** 53A WARRIEWOOD ROAD WARRIEWOOD NSW

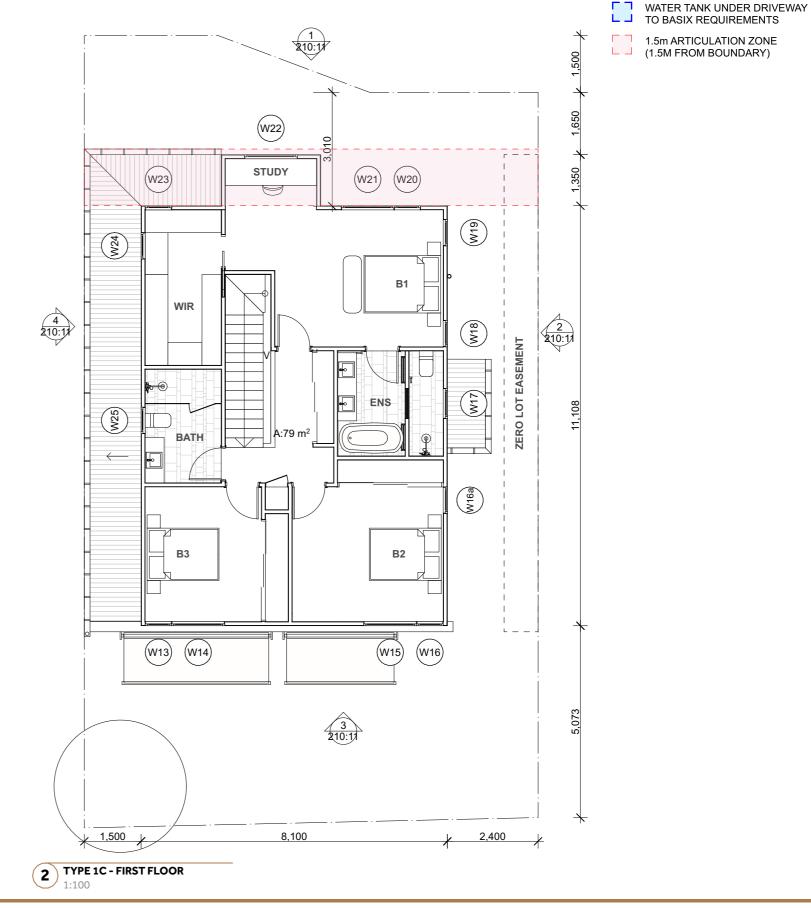
PROJECT NO.

DRAWING TITLE : HOUSE PLANS **LOT 18 - ROOF PLAN** 

**WARRIEWOOD** 

ISSUE: DA DRAWING NO. 110:34





Suite 6, 36 East Esplanade MANLY NSW 2095 PO BOX 1171 MANLY NSW 2095 T + 61 2 9212 5322 nick@saturdaystudio.

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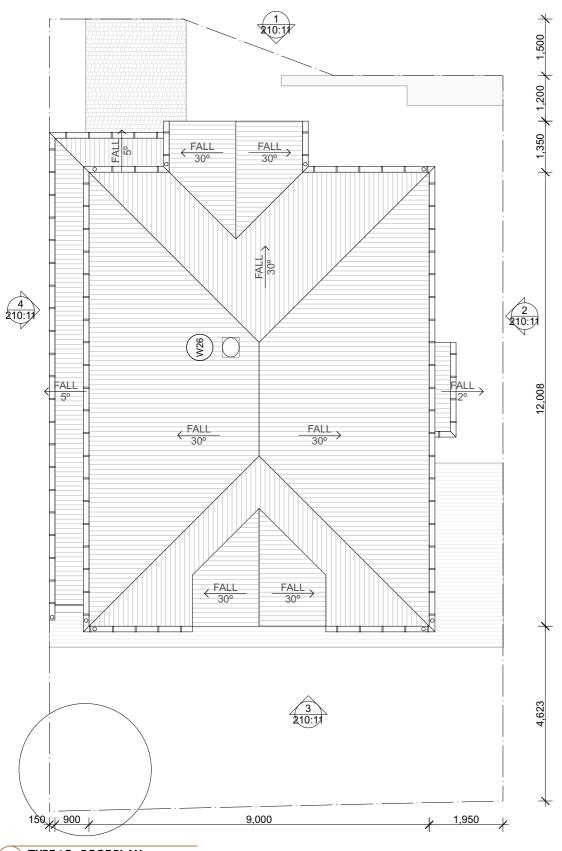
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110:35

REVISION NO.

TO BASIX REQUIREMENTS



1 TYPE 1C - ROOF PLAN

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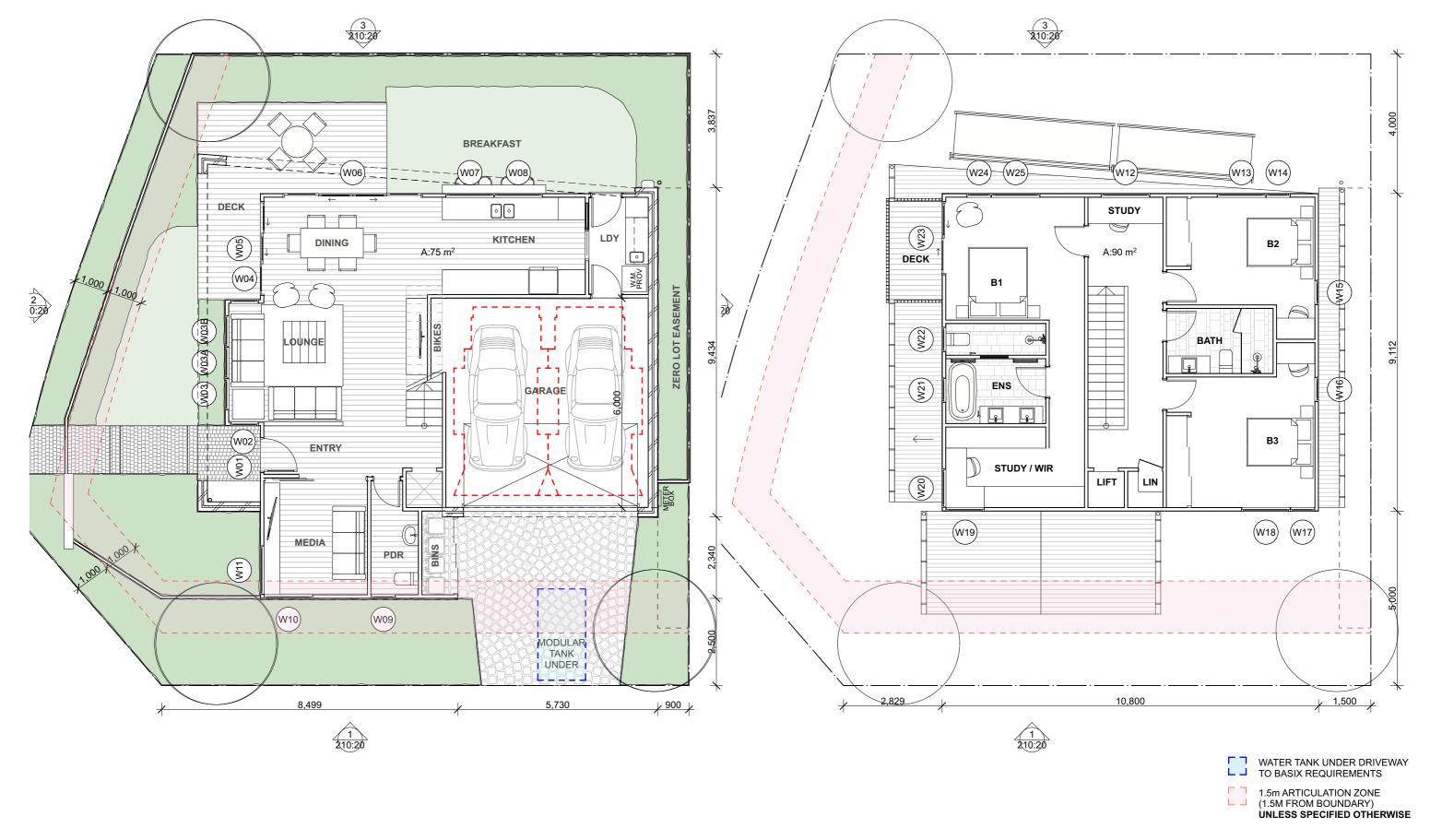
DRAWING TITLE : HOUSE PLANS **LOT 19 - ROOF PLAN** 

**WARRIEWOOD** 

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110:36 REVISION NO. M





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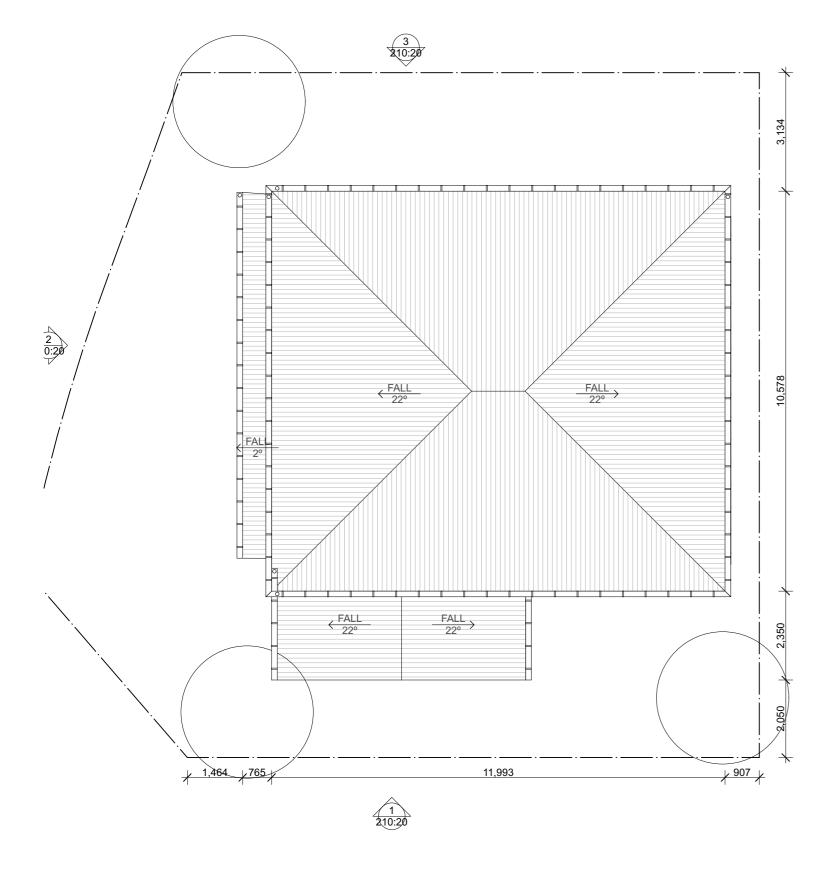
CORNER NW - FIRST FLOOR

1:100 A3 27/7/21 PROJECT NO. 20023

**PVD No 21 PTY LTD 53A WARRIEWOOD ROAD** WARRIEWOOD NSW

DRAWING TITLE : **HOUSE PLANS LOT 20 - PLANS** 

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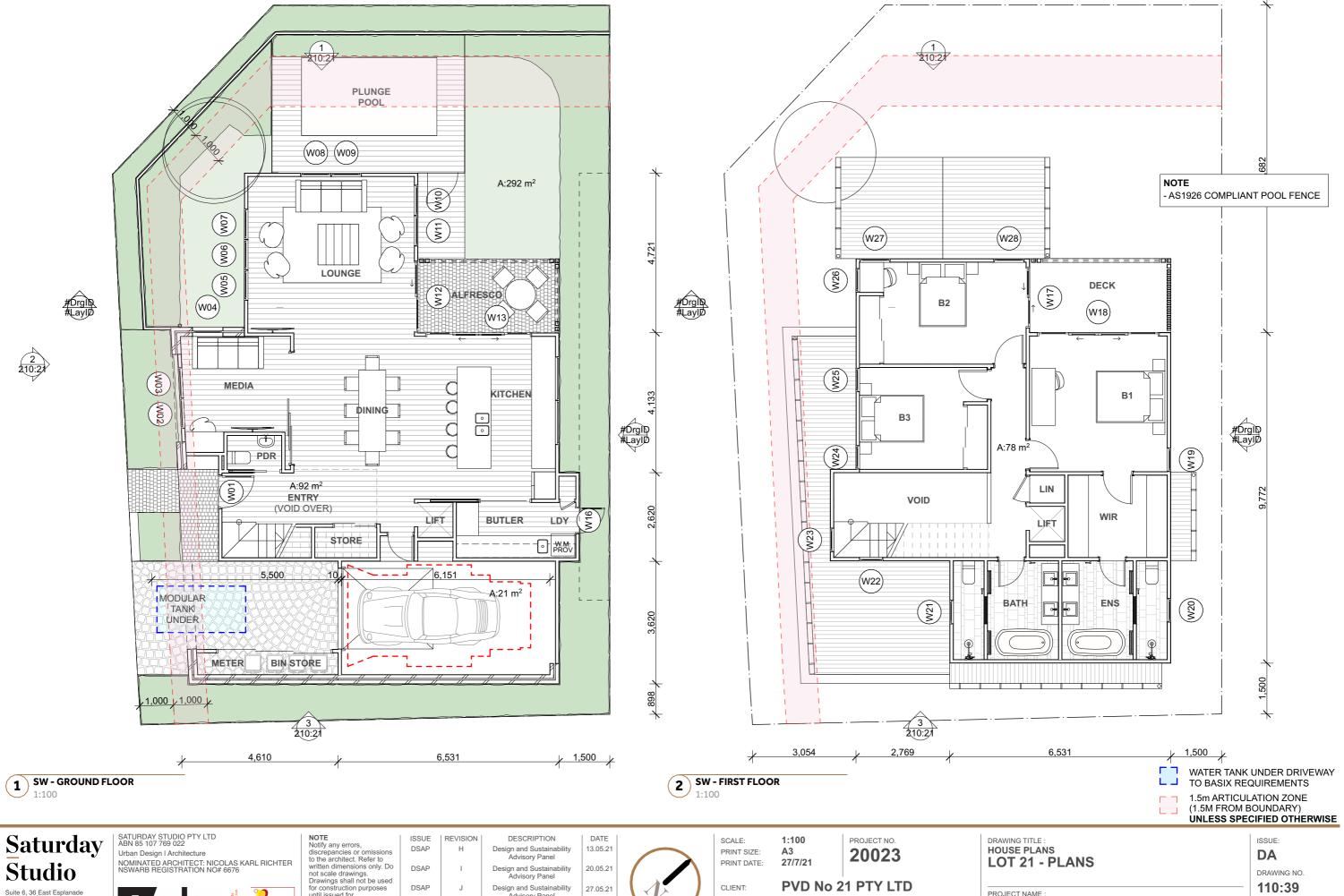
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DRAWING TITLE : HOUSE PLANS **LOT 20 - ROOF PLAN** 

**WARRIEWOOD** 

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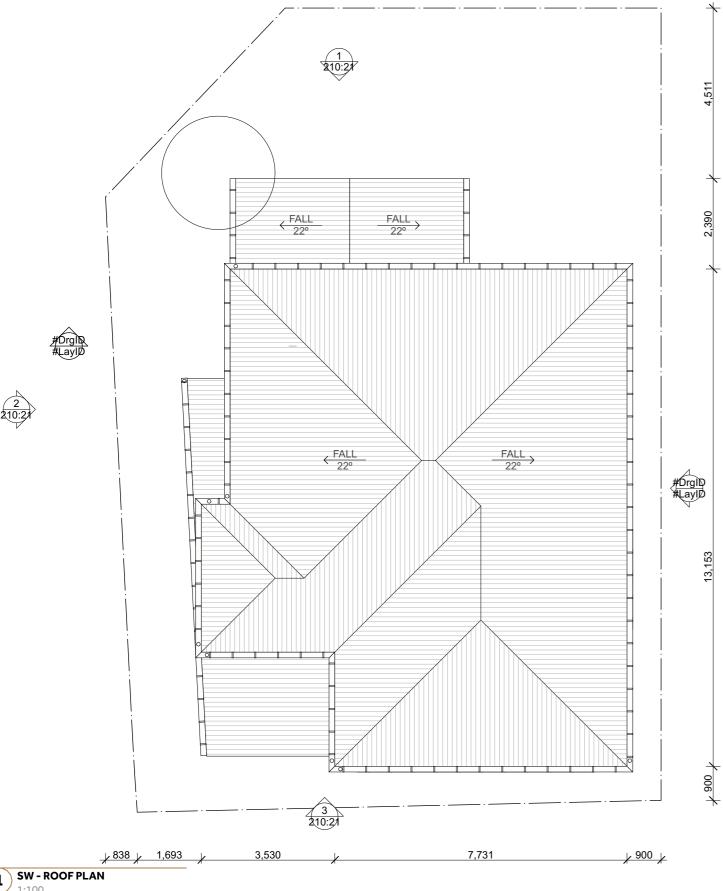
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110:39 **WARRIEWOOD** REVISION NO. M



SW - ROOF PLAN 1:100

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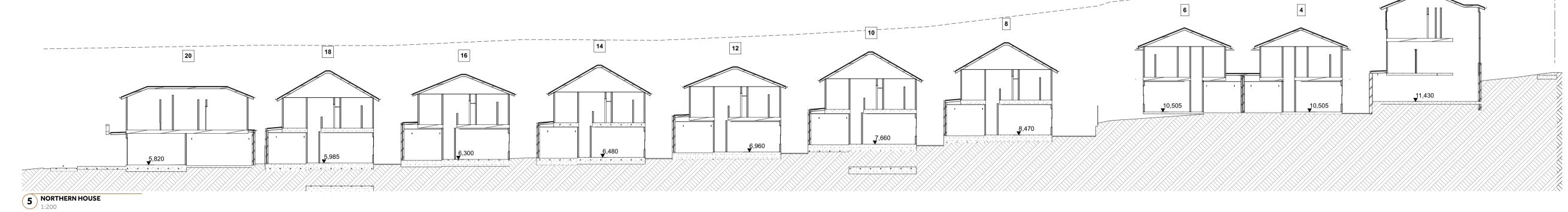
**PVD No 21 PTY LTD** 53A WARRIEWOOD ROAD WARRIEWOOD NSW

DRAWING TITLE : HOUSE PLANS **LOT 21 - ROOF PLAN** 

**WARRIEWOOD** 

ISSUE: DA DRAWING NO. 110:40





<b>S</b> aturday	SATURDAY STUDIO PTY LTD ABN 85 107 769 022 Urban Design I Architecture	NOTE  Notify any errors, discrepancies or omission to the architect. Refer to
Studio	NOMINATED ARCHITECT: NICOLAS KARL RICHTER NSWARB REGISTRATION NO# 6676	written dimensions only. I not scale drawings. Drawings shall not be use
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MANLY NSW 2095 T + 61 2 9212 5322 nick@saturdaystudio.com.au	Australian PASSIVE HOUSE Institute of Architects  Member 2228  PASSIVE HOUSE DESIGNER	All documents here within are subject to Australian Copyright Laws.

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DSAP	Н	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
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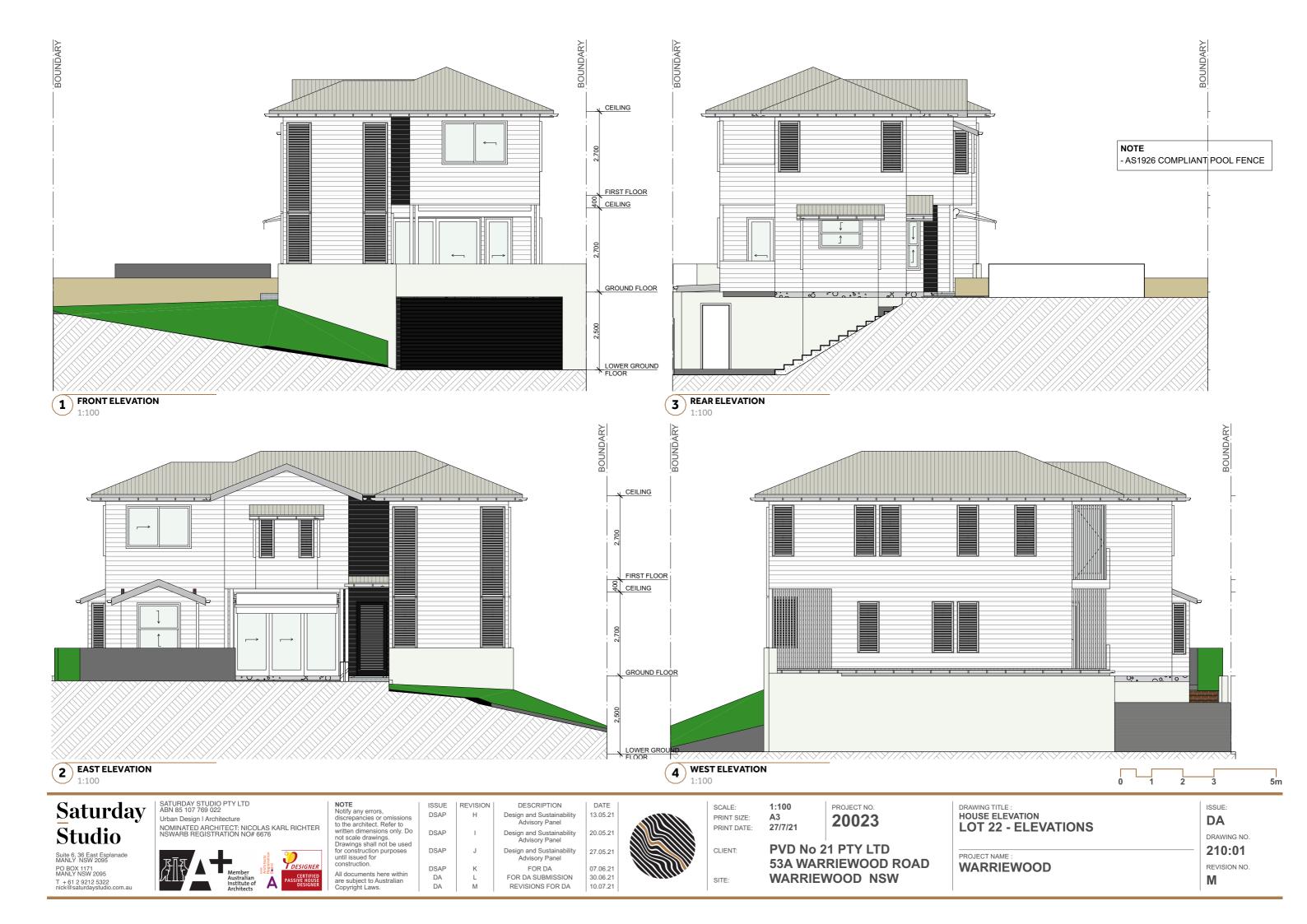
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534 WARRIEWOOD ROA

WARRIEWOOD NSW

DRAWING TITLE:
SITE ELEVATIONS
SITE ELEVATIONS

PROJECT NAME:
WARRIEWOOD

ISSUE:
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200:01
REVISION NO.





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**LOT 2 - ELEVATIONS** 

**WARRIEWOOD** 

DA DRAWING NO.

210:02



1 FRONT ELEVATION

> BOUNDARY √ CEILING FIRST FLOOR 4 CEILING GROUND FLOOR

#### **Saturday Studio**

2 EAST ELEVATION 1:100

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**PVD No 21 PTY LTD** 53A WARRIEWOOD ROAD WARRIEWOOD NSW

PROJECT NO.

DRAWING TITLE : HOUSE ELEVATION **LOT 3 & 5 - ELEVATIONS** 

ISSUE:

DA DRAWING NO. 210:03 REVISION NO.

**WARRIEWOOD** M



REAR ELEVATION

BOUNDARY √ CEILING FIRST FLOOR 4 CEILING GROUND FLOOR

2 WEST ELEVATION
1:100

#### **Saturday Studio**

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PROJECT NO.

DRAWING TITLE : HOUSE ELEVATION **LOT 3 & 5 - ELEVATIONS** 

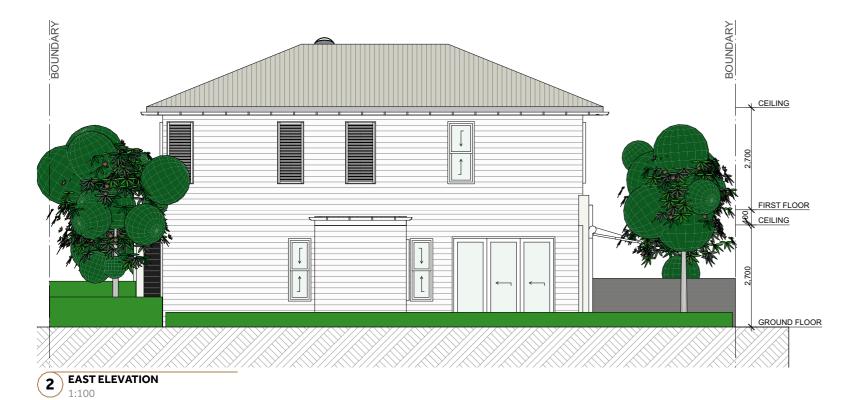
**WARRIEWOOD** 

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210:04



FRONT ELEVATION
1:100



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Advisory Panel

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> **PVD No 21 PTY LTD** 53A WARRIEWOOD ROAD WARRIEWOOD NSW

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DRAWING TITLE : HOUSE ELEVATION **LOT 4 & 6 - ELEVATIONS** 

**WARRIEWOOD** 

ISSUE: DA DRAWING NO.

210:05



REAR ELEVATION 1:100 **1** 

> BOUNDARY CEILING FIRST FLOOR CEILING GROUND FLC

#### **Saturday Studio**

2 WEST ELEVATION 1:100

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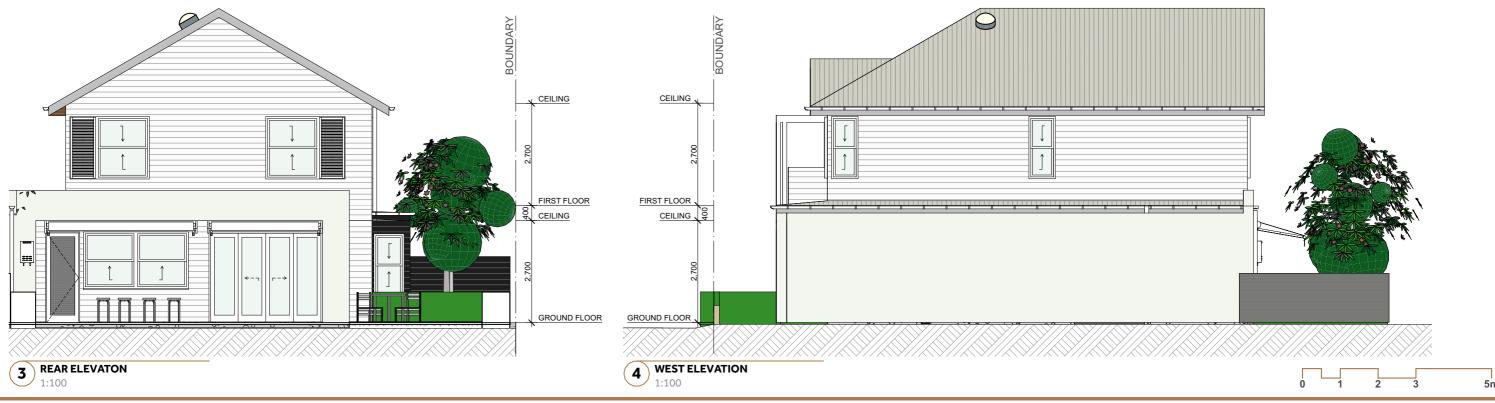
DRAWING TITLE : HOUSE ELEVATION **LOT 4 & 6 - ELEVATIONS** 

**WARRIEWOOD** 

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210:06





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DRAWING TITLE : HOUSE ELEVATION **LOT 7 - ELEVATIONS** 

**WARRIEWOOD** 

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1 FRONT ELEVATION





#### Saturday Studio

REAR ELEVATON
1:100

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CERTIFIED

ASSIVE HOUSE
DESIGNER

DESIGNER

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ISSUE

REVISION DESCRIPTION
H Design and Sustainability
Advisory Panel
I Design and Sustainability
Advisory Panel
J Design and Sustainability
Advisory Panel
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DRAWING TITLE:
HOUSE ELEVATION
LOT 8 - ELEVATIONS

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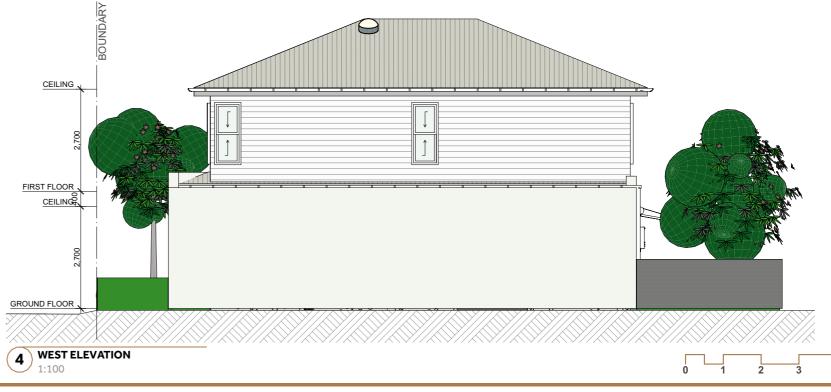
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3 REAR ELEVATON
1:100



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DESIGNER

PASSIVE HOUSE

PASSIVE HOUSE

DESIGNER

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DRAWING TITLE:
HOUSE ELEVATION
LOT 9 - ELEVATIONS

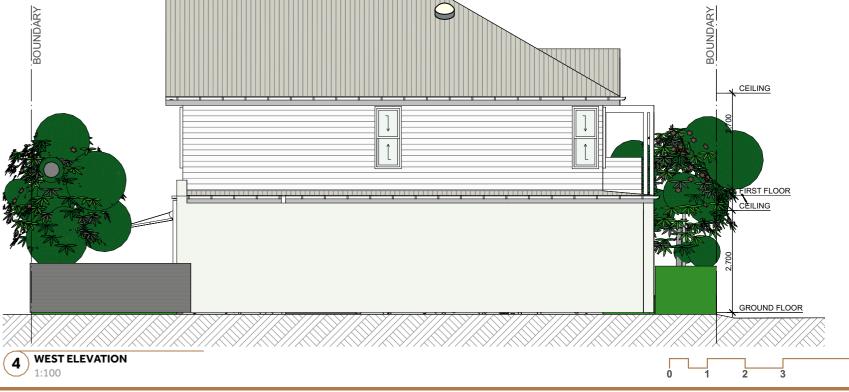
PROJECT NAME : WARRIEWOOD

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210:09





CEILING FIRST FLOOR 6 CEILING 3 REAR ELEVATON 1:100



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DRAWING TITLE : HOUSE ELEVATION **LOT 10 - ELEVATIONS** 

**WARRIEWOOD** 

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BOUNDARY CEILING FIRST FLOOR 6 CEILING GROUND FLOOR

2 EAST ELEVATION
1:100

BOUNDARY CEILING FIRST FLOOR & CEILING GROUND FLOOR 3 REAR ELEVATON

BOUNDARY CEILING FIRST FLOOR CEILING GROUND FLOOR 4 WEST ELEVATION

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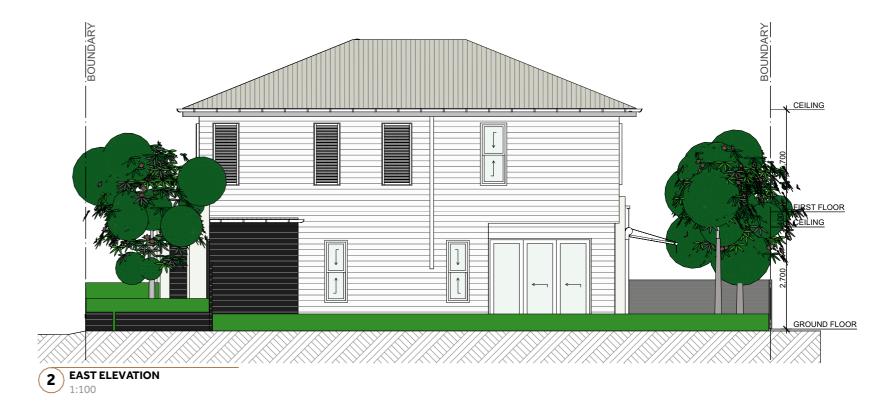
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DRAWING TITLE : HOUSE ELEVATION **LOT 11 - ELEVATIONS** 

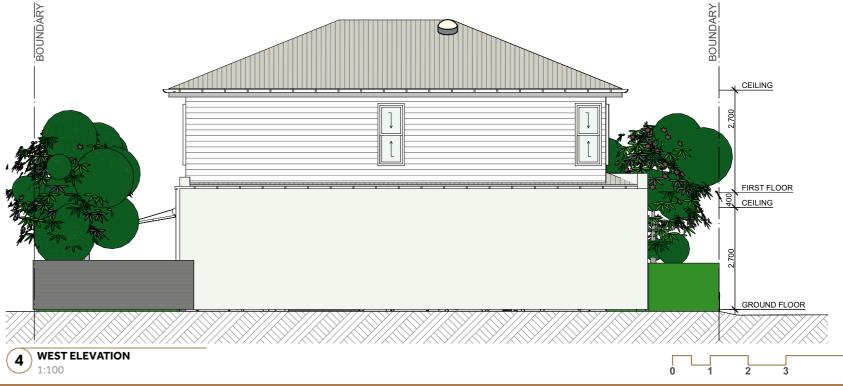
**WARRIEWOOD** 

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DRAWING TITLE : HOUSE ELEVATION **LOT 12 - ELEVATIONS** 

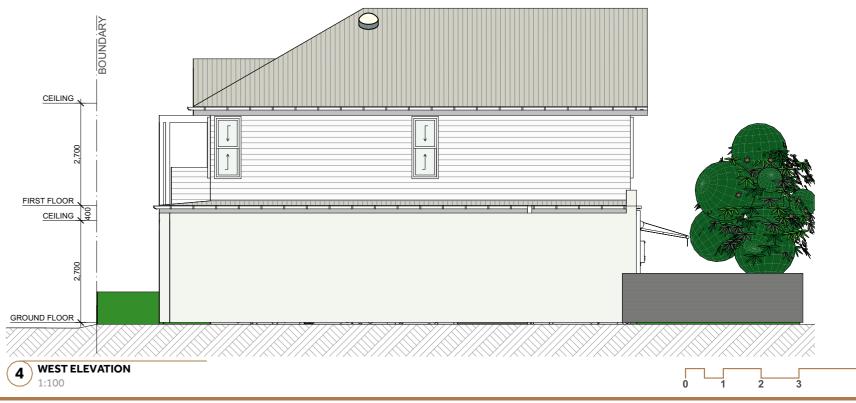
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BOUNDARY CEILING FIRST FLOOR 6 CEILING GROUND FLOOR

2 EAST ELEVATION
1:100





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ISSUE DSAP DSAP DSAP DA DA М

DESCRIPTION REVISION Design and Sustainability Advisory Panel Design and Sustainability Advisory Panel Design and Sustainability Advisory Panel FOR DA SUBMISSION REVISIONS FOR DA

DATE 13.05.21 20.05.21 27.05.21 30.06.21



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20023

**PVD No 21 PTY LTD** 53A WARRIEWOOD ROAD WARRIEWOOD NSW

PROJECT NO.

DRAWING TITLE : HOUSE ELEVATION **LOT 13 - ELEVATIONS** 

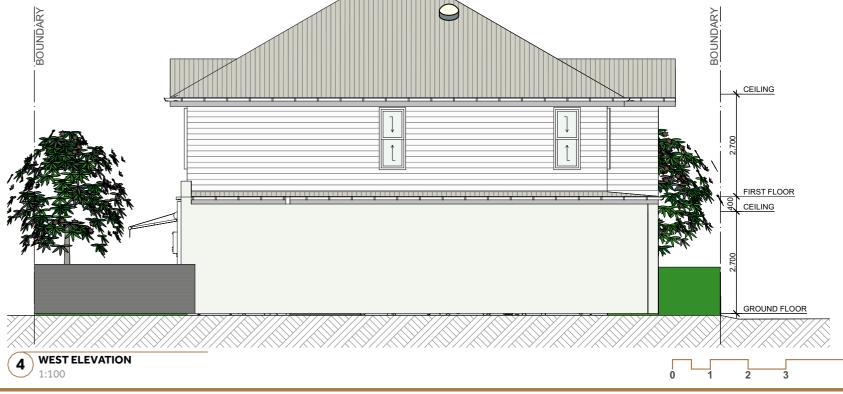
ISSUE: DA DRAWING NO. 210:13

**WARRIEWOOD** 



BOUNDARY CEILING GROUND FLOOR 2 EAST ELEVATION 1:100

BOUNDARY CEILING FIRST FLOOR 6 CEILING



## **Saturday Studio**

REAR ELEVATON
1:100

Suite 6, 36 East Esplanade MANLY NSW 2095 PO BOX 1171 MANLY NSW 2095 T + 61 2 9212 5322 nick@saturdaystudio.

NOMINATED ARCHITECT: NICOLAS KARL RICHTER NSWARB REGISTRATION NO# 6676



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**PVD No 21 PTY LTD** 53A WARRIEWOOD ROAD WARRIEWOOD NSW

PROJECT NO.

20023

DRAWING TITLE : HOUSE ELEVATION **LOT 14 - ELEVATIONS** 

**WARRIEWOOD** 

ISSUE: DA DRAWING NO. 210:14 REVISION NO. M





CEILING FIRST FLOOR 6 CEILING

BOUNDARY CEILING FIRST FLOOR CEILING GROUND FLOOR 4 WEST ELEVATION

#### Saturday **Studio**

3 REAR ELEVATON

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NOMINATED ARCHITECT: NICOLAS KARL RICHTER NSWARB REGISTRATION NO# 6676



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WARRIEWOOD NSW

**PVD No 21 PTY LTD** 53A WARRIEWOOD ROAD DRAWING TITLE : HOUSE ELEVATION **LOT 15 - ELEVATIONS** 

**WARRIEWOOD** 

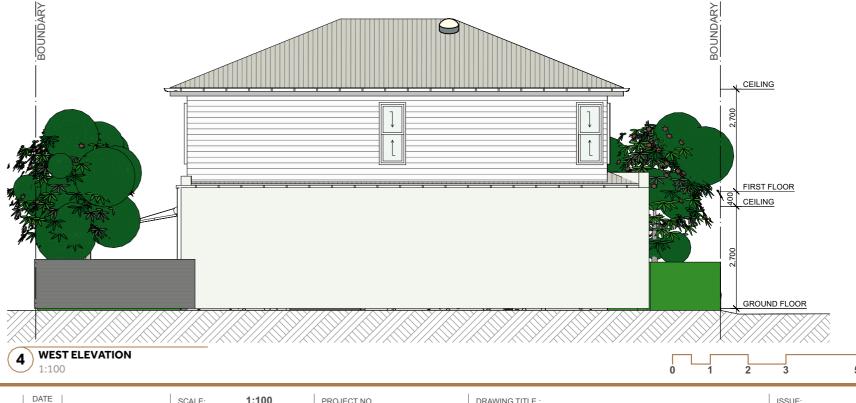
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PROJECT NO.

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DRAWING TITLE : HOUSE ELEVATION **LOT 16 - ELEVATIONS** 

ISSUE: DA DRAWING NO. 210:16 **WARRIEWOOD** REVISION NO. M



FIRST FLOOR SCELLING

GROUND FLOOR

2 EAST ELEVATION 1:100

3 REAR ELEVATON
1:100



#### Saturday Studio

Suite 6, 36 East Esplanade MANLY NSW 2095 PO BOX 1171 MANLY NSW 2095 T + 61 2 9212 5322 nick@saturdaystudio.com.au ABN 85 107 769 022

Urban Design I Architecture

NOMINATED ARCHITECT: NICOLAS KARL RICHTER
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H Design and Sustainability
Advisory Panel
I Design and Sustainability
Advisory Panel
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Advisory Panel
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PVD No 21 PTY LTD 53A WARRIEWOOD ROAD WARRIEWOOD NSW

PROJECT NO.

DRAWING TITLE:
HOUSE ELEVATION
LOT 17 - ELEVATIONS

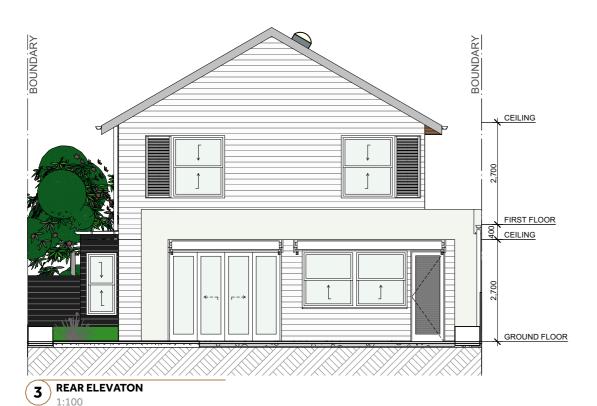
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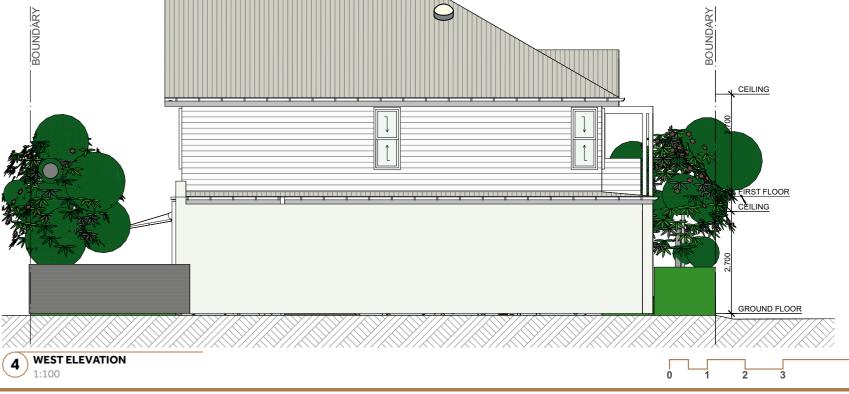
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DA
DRAWING NO.
210:17









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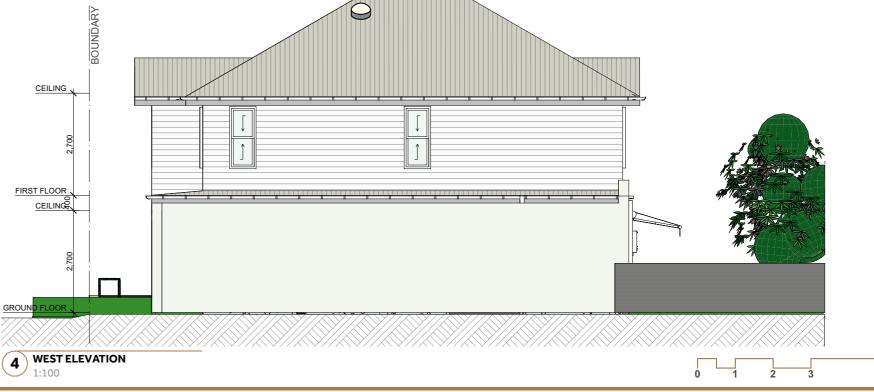
DRAWING TITLE : HOUSE ELEVATION **LOT 18 - ELEVATIONS** 

ISSUE: DA DRAWING NO. 210:18 **WARRIEWOOD** REVISION NO. M



2 EAST ELEVATION
1:100

A REAR ELEVATON
1:100



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Urban Design | Architecture

NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



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H Design and Sustainability
Advisory Panel
I Design and Sustainability
Advisory Panel
J Design and Sustainability
Advisory Panel
K FOR DA
L FOR DA SUBMISSION
M REVISIONS FOR DA



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PVD No 21 PTY LTD 53A WARRIEWOOD ROAD WARRIEWOOD NSW DRAWING TITLE:
HOUSE ELEVATION
LOT 19 - ELEVATIONS

PROJECT NAME :

**WARRIEWOOD** 

DA DRAWING NO. 210:19

210:19
REVISION NO.



SOUTH ELEVATION
1:100

REAR ELEVATION



2 FRONT ELEVATION
1:100 1:100

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DRAWING TITLE : HOUSE ELEVATION **LOT 20 - ELEVATIONS** 

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3 REAR ELEVATION



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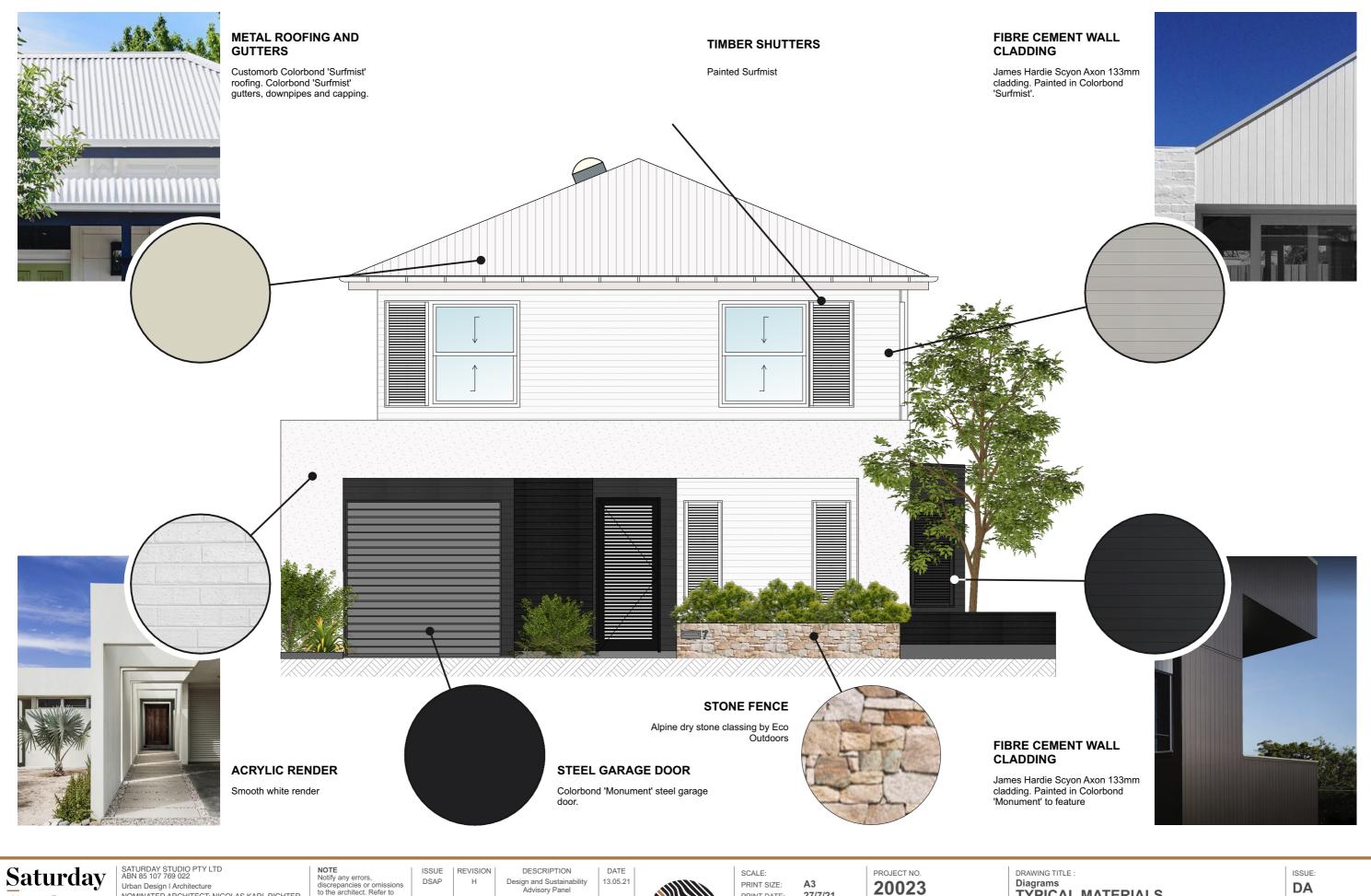
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PROJECT NO.

DRAWING TITLE : HOUSE ELEVATION **LOT 21 - ELEVATIONS** 

**WARRIEWOOD** 

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**PVD No 21 PTY LTD 53A WARRIEWOOD ROAD** WARRIEWOOD NSW

**TYPICAL MATERIALS** 

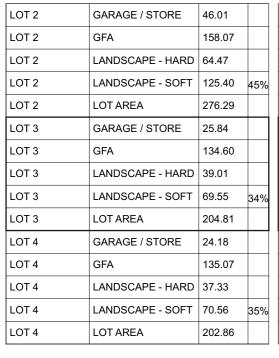
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**WARRIEWOOD** 

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700:01 REVISION NO.



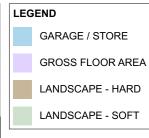


LOT 5	GARAGE / STORE	25.84	
LOT 5	GFA	134.60	
LOT 5	LANDSCAPE - HARD	45.63	
LOT 5	LANDSCAPE - SOFT	94.26	41%
LOT 5	LOT AREA	236.10	
LOT 6	GARAGE / STORE	24.18	
LOT 6	GFA	135.07	
LOT 6	LANDSCAPE - HARD	44.99	
LOT 6	LANDSCAPE - SOFT	92.19	43%
LOT 6	LOT AREA	232.15	
LOT 7	GARAGE / STORE	25.23	
LOT 7	GFA	148.07	
LOT 7	LANDSCAPE - HARD	43.89	
LOT 7	LANDSCAPE - SOFT	88.03	36%
LOT 7	LOT AREA	234.35	

LOT 8	GARAGE / STORE	25.23	
LOT 8	GFA	151.32	
LOT 8	LANDSCAPE - HARD	43.01	
LOT 8	LANDSCAPE - SOFT	101.27	41%
LOT 8	LOT AREA	246.99	
LOT 9	GARAGE / STORE	25.01	
LOT 9	GFA	148.06	
LOT 9	LANDSCAPE - HARD	39.81	
LOT 9	LANDSCAPE - SOFT	72.92	33%
LOT 9	LOT AREA	215.45	
LOT 10	GARAGE / STORE	25.23	
LOT 10	GFA	148.07	
LOT 10	LANDSCAPE - HARD	43.01	
LOT 10	LANDSCAPE - SOFT	71.61	33%
LOT 10	LOT AREA	217.35	
	2.1.12007.11.2.007.1		339

LOT 11	GARAGE / STORE	25.23	
LOT 11	GFA	151.32	
LOT 11	LANDSCAPE - HARD	41.98	
LOT 11	LANDSCAPE - SOFT	74.02	34%
LOT 11	LOT AREA	218.72	
LOT 12	GARAGE / STORE	25.01	
LOT 12	GFA	148.06	
LOT 12	LANDSCAPE - HARD	41.72	
LOT 12	LANDSCAPE - SOFT	72.88	34%
LOT 12	LOT AREA	217.35	
LOT 13	GARAGE / STORE	25.23	
LOT 13	GFA	148.07	
LOT 13	LANDSCAPE - HARD	43.17	
LOT 13	LANDSCAPE - SOFT	76.08	35%
LOT 13	LOT AREA	221.99	

	LOT 14	GARAGE / STORE	25.23	
	LOT 14	GFA	151.32	
	LOT 14	LANDSCAPE - HARD	57.90	
	LOT 14	LANDSCAPE - SOFT	71.61	33%
	LOT 14	LOT AREA	217.35	
	LOT 15	GARAGE / STORE	25.01	
	LOT 15	GFA	148.06	
	LOT 15	LANDSCAPE - HARD	41.45	
	LOT 15	LANDSCAPE - SOFT	81.20	36%
	LOT 15	LOT AREA	225.26	
Ī	LOT 16	GARAGE / STORE	25.01	
	LOT 16	GFA	148.06	
	LOT 16	LANDSCAPE - HARD	27.11	
ĺ	LOT 16	LANDSCAPE - SOFT	72.90	34%
	LOT 16	LOT AREA	217.35	



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**PVD No 21 PTY LTD 53A WARRIEWOOD ROAD** WARRIEWOOD NSW

PROJECT NO. 20023

> PROJECT NAME : **WARRIEWOOD**

DRAWING TITLE :

Diagrams

**AŘEAS** 

ISSUE: DA DRAWING NO. 700:02

REVISION NO.



LOT 17	GARAGE / STORE	25.23	
LOT 17	GFA	148.07	
LOT 17	LANDSCAPE - HARD	45.31	
LOT 17	LANDSCAPE - SOFT	80.52	37%
LOT 17	LOT AREA	228.53	
LOT 18	GARAGE / STORE	25.23	
LOT 18	GFA	148.07	
LOT 18	LANDSCAPE - HARD	43.01	
LOT 18	LANDSCAPE - SOFT	71.64	33%
LOT 18	LOT AREA	217.35	
LOT 19	GARAGE / STORE	25.23	
LOT 19	GFA	151.32	
LOT 19	LANDSCAPE - HARD	50.66	
LOT 19	LANDSCAPE - SOFT	86.96	38%
LOT 19	LOT AREA	240.11	

GARAGE / STORE	37.02	
GFA	165.40	
LANDSCAPE - HARD	51.62	
LANDSCAPE - SOFT	140.60 4	4%
LOTAREA	316.18	
GARAGE / STORE	24.44	
GFA	176.63	
LANDSCAPE - HARD	54.27	
LANDSCAPE - SOFT	110.05 4	10%
LOTAREA	291.80	
GARAGE / STORE	51.19	
GFA	148.47	
LANDSCAPE - HARD	89.29	
LANDSCAPE - SOFT	136.78 4	13%
LOTAREA	316.07	
	GFA  LANDSCAPE - HARD  LANDSCAPE - SOFT  LOT AREA  GARAGE / STORE  GFA  LANDSCAPE - HARD  LANDSCAPE - SOFT  LOT AREA  GARAGE / STORE  GFA  LANDSCAPE - HARD  LANDSCAPE - HARD	GFA 165.40  LANDSCAPE - HARD 51.62  LANDSCAPE - SOFT 140.60 4  LOT AREA 316.18  GARAGE / STORE 24.44  GFA 176.63  LANDSCAPE - HARD 54.27  LANDSCAPE - SOFT 110.05 4  LOT AREA 291.80  GARAGE / STORE 51.19  GFA 148.47  LANDSCAPE - HARD 89.29  LANDSCAPE - SOFT 136.78 4



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PROJECT NO.

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DRAWING TITLE : Diagrams **AŘEAS** 

PROJECT NAME : **WARRIEWOOD**  ISSUE: DA DRAWING NO. 700:03

REVISION NO.



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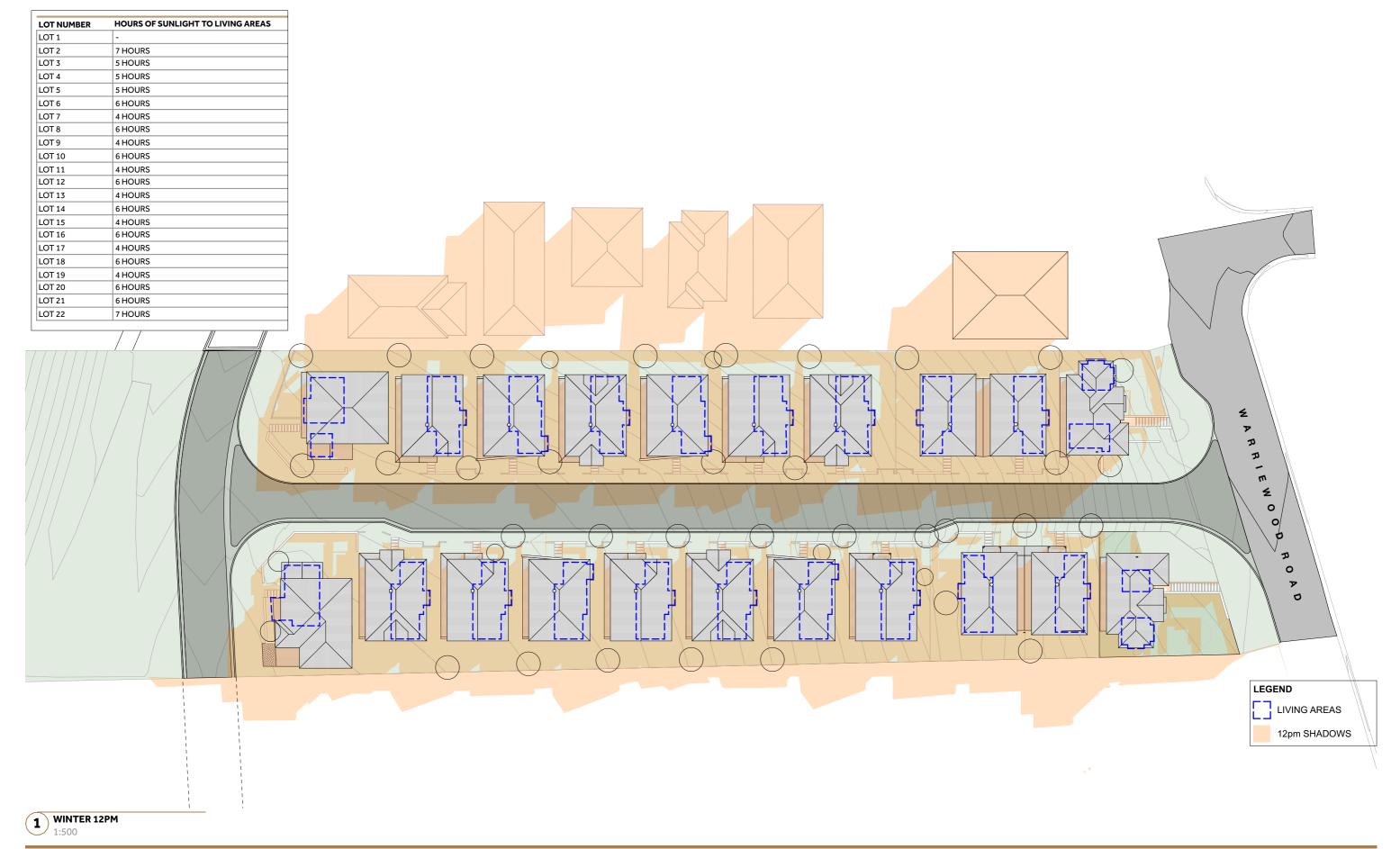
**PVD No 21 PTY LTD** 53A WARRIEWOOD ROAD WARRIEWOOD NSW

DRAWING TITLE: **Shadow Diagrams WINTER SOLSTICE 9AM** 

**WARRIEWOOD** 

ISSUE: DA DRAWING NO.

710:01 REVISION NO. M



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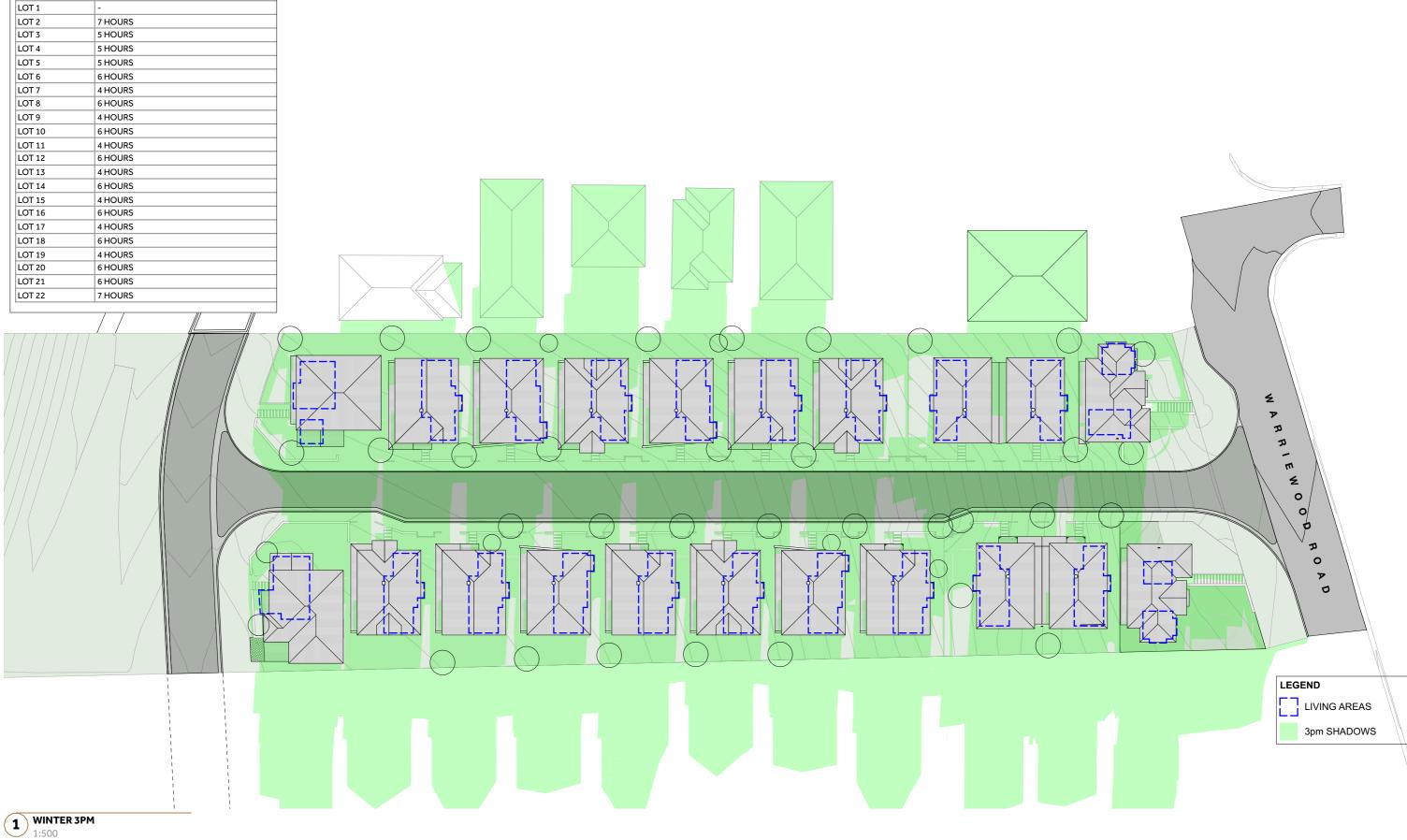
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**Shadow Diagrams WINTER SOLSTICE 12PM** 

**WARRIEWOOD** 

ISSUE: DA DRAWING NO.

710:02 REVISION NO.



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HOURS OF SUNLIGHT TO LIVING AREAS

LOT NUMBER

NOMINATED ARCHITECT: NICOLAS KARL RICHTER NSWARB REGISTRATION NO# 6676



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Advisory Panel

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**PVD No 21 PTY LTD 53A WARRIEWOOD ROAD** WARRIEWOOD NSW

20023

DRAWING TITLE : **Shadow Diagrams WINTER SOLSTICE 3PM** 

**WARRIEWOOD** 

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