

SATURDAYSTUDIO.COM.AU

DRAWING #	DRAWING NAME	REV	ISSUE	DESCRIPTION	DATE
100:01	SITE PLAN	M	DA	ISSUED FOR DA	10/7/21
100:02	GROUND FLOOR PLAN	M	DA	ISSUED FOR DA	10/7/21
100:03	ROOF PLAN	M	DA	ISSUED FOR DA	10/7/21
100:04	SUBDIVISION PLAN	M	DA	ISSUED FOR DA	10/7/21
100:05	FIRST FLOOR PLAN	M	DA		10/7/21
110:01	LOT 22 - LGF & GF PLAN	M	DA	ISSUED FOR DA	10/7/21
110:02	LOT 22 - FF & ROOF PLAN	M	DA	ISSUED FOR DA	10/7/21
110:03	LOT 2 - LGF & GF PLAN	M	DA	ISSUED FOR DA	10/7/21
110:04	LOT 2 - FF & ROOF PLAN	M	DA	ISSUED FOR DA	10/7/21
110:05	LOT 3 & 5 - GROUND PLAN	M	DA	ISSUED FOR DA	10/7/21
110:06	LOT 3 & 5 - FIRST PLAN	M	DA	ISSUED FOR DA	10/7/21
110:07	LOT 3 & 5 - ROOF PLAN	M	DA	ISSUED FOR DA	10/7/21
110:08	LOT 4 & 6 - GROUND PLAN	M	DA	ISSUED FOR DA	10/7/21
110:09	LOT 4 & 6 - FIRST PLAN	M	DA	ISSUED FOR DA	10/7/21
110:10	LOT 4 & 6 - ROOF PLAN	M	DA	ISSUED FOR DA	10/7/21
110:11	LOT 7 - PLANS	M	DA	ISSUED FOR DA	10/7/21
110:12	LOT 7 - ROOF PLAN	M	DA	ISSUED FOR DA	10/7/21
110:13	LOT 8 - PLANS	M	DA	ISSUED FOR DA	10/7/21
110:14	LOT 8 - ROOF PLAN	M	DA	ISSUED FOR DA	10/7/21
110:15	LOT 9 - PLANS	M	DA	ISSUED FOR DA	10/7/21
110:16	LOT 9 - ROOF PLAN	M	DA	ISSUED FOR DA	10/7/21
110:17	LOT 10 - PLANS	M	DA	ISSUED FOR DA	10/7/21
110:18	LOT 10 - ROOF PLAN	M	DA	ISSUED FOR DA	10/7/21
110:19	LOT 11 - PLANS	M	DA	ISSUED FOR DA	10/7/21
110:20	LOT 11 - ROOF PLAN	M	DA	ISSUED FOR DA	10/7/21
110:21	LOT 12 - PLANS	M	DA	ISSUED FOR DA	10/7/21
110:22	LOT 12 - ROOF PLAN	M	DA	ISSUED FOR DA	10/7/21
110:23	LOT 13 - PLANS	M	DA	ISSUED FOR DA	10/7/21
110:24	LOT 13 - ROOF PLAN	M	DA	ISSUED FOR DA	10/7/21
110:25	LOT 14 - PLANS	M	DA	ISSUED FOR DA	10/7/21
110:26	LOT 14 - ROOF PLAN	M	DA	ISSUED FOR DA	10/7/21
110:27	LOT 15 - PLANS	M	DA	ISSUED FOR DA	10/7/21
110:28	LOT 15 - ROOF PLAN	M	DA	ISSUED FOR DA	10/7/21
110:29	LOT 16 - PLANS	M	DA	ISSUED FOR DA	10/7/21
110:30	LOT 16 - ROOF PLAN	M	DA	ISSUED FOR DA	10/7/21
110:31	LOT 17 - PLANS	M	DA	ISSUED FOR DA	10/7/21
110:32	LOT 17 - ROOF PLAN	M	DA	ISSUED FOR DA	10/7/21
110:33	LOT 18 - PLANS	M	DA	ISSUED FOR DA	10/7/21
110:34	LOT 18 - ROOF PLAN	M	DA	ISSUED FOR DA	10/7/21
110:35	LOT 19 - PLANS	M	DA	ISSUED FOR DA	10/7/21
110:36	LOT 19 - ROOF PLAN	M	DA	ISSUED FOR DA	10/7/21

[illegible]

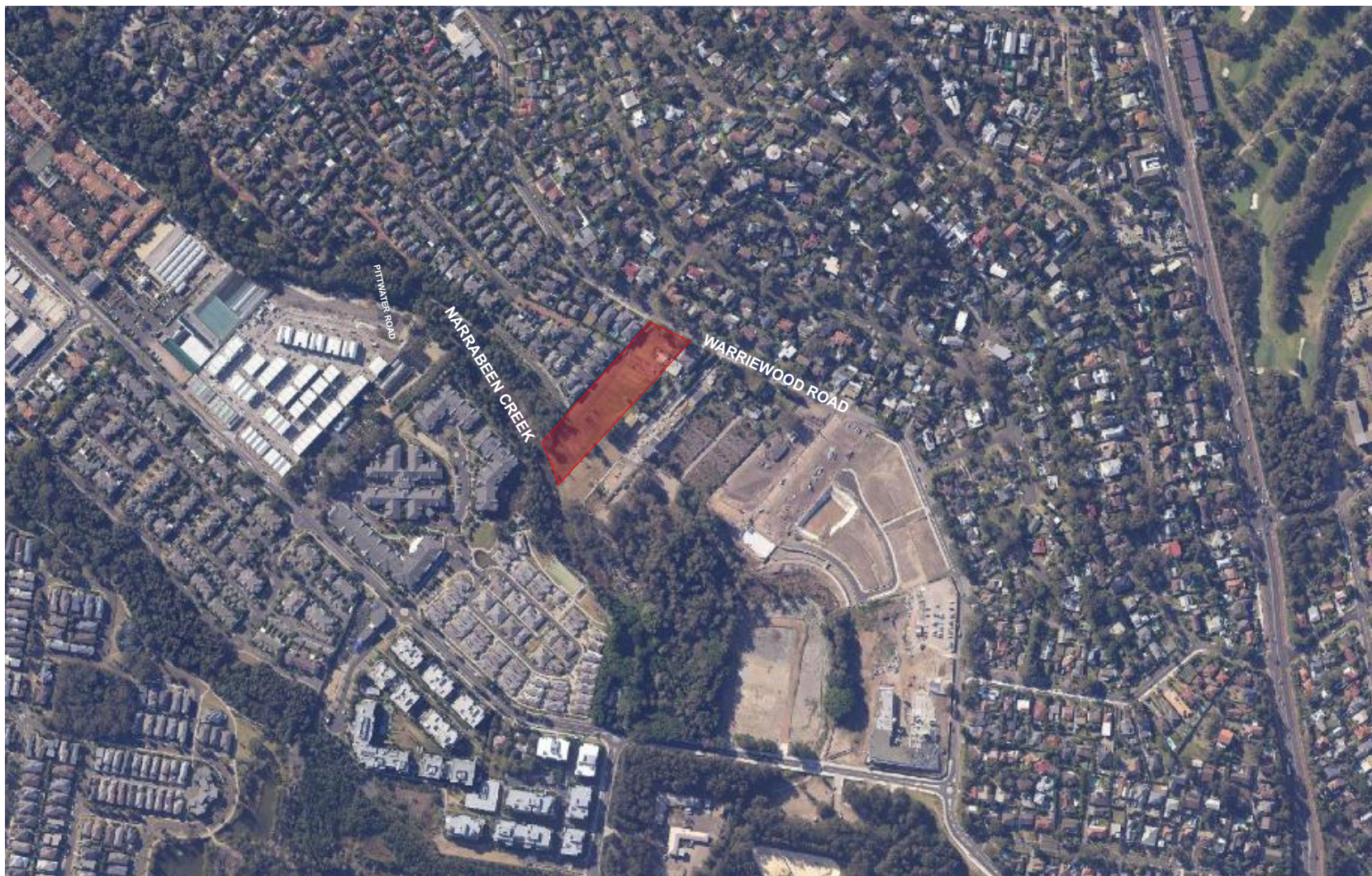
20023 WARRIEWOOD - DOCUMENT TRANSMITTAL

53A WARRIEWOOD ROAD WARRIEWOOD NSW

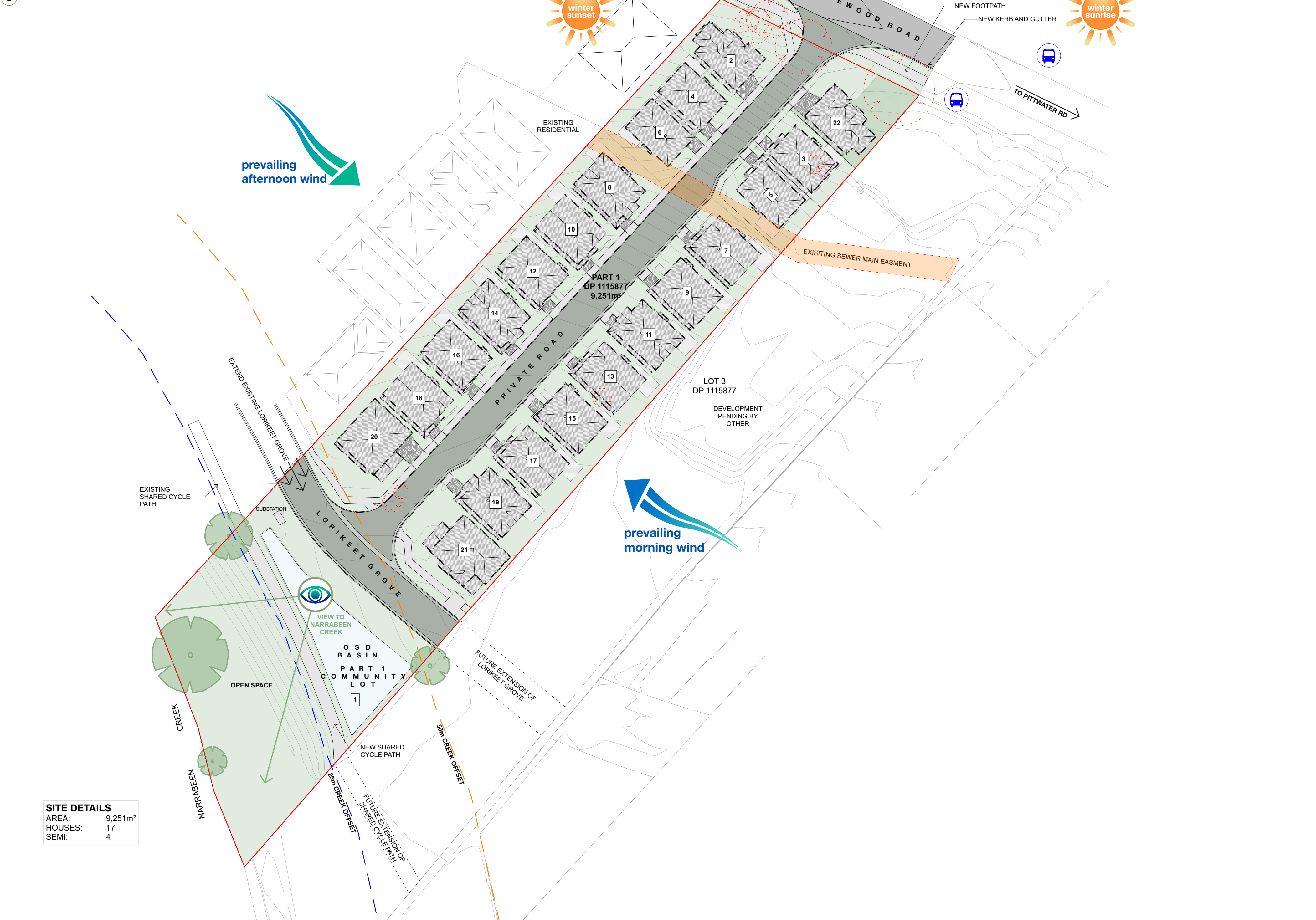
SATURDAYSTUDIO.COM.AU

DRAWING #	DRAWING NAME	REV	ISSUE	DESCRIPTION	DATE
110:37	LOT 20 - PLANS	M	DA	ISSUED FOR DA	10/7/21
110:38	LOT 20 - ROOF PLAN	M	DA	ISSUED FOR DA	10/7/21
110:39	LOT 21 - PLANS	M	DA	ISSUED FOR DA	10/7/21
110:40	LOT 21 - ROOF PLAN	M	DA	ISSUED FOR DA	10/7/21
200:01	SITE ELEVATIONS	M	DA	ISSUED FOR DA	10/7/21
210:01	LOT 22 - ELEVATIONS	M	DA	ISSUED FOR DA	10/7/21
210:02	LOT 2 - ELEVATIONS	M	DA	ISSUED FOR DA	10/7/21
210:03	LOT 3 & 5 - ELEVATIONS	M	DA	ISSUED FOR DA	10/7/21
210:04	LOT 3 & 5 - ELEVATIONS	M	DA	ISSUED FOR DA	10/7/21
210:05	LOT 4 & 6 - ELEVATIONS	M	DA	ISSUED FOR DA	10/7/21
210:06	LOT 4 & 6 - ELEVATIONS	M	DA	ISSUED FOR DA	10/7/21
210:07	LOT 7 - ELEVATIONS	M	DA	ISSUED FOR DA	10/7/21
210:08	LOT 8 - ELEVATIONS	M	DA	ISSUED FOR DA	10/7/21
210:09	LOT 9 - ELEVATIONS	M	DA	ISSUED FOR DA	10/7/21
210:10	LOT 10 - ELEVATIONS	M	DA	ISSUED FOR DA	10/7/21
210:11	LOT 11 - ELEVATIONS	M	DA	ISSUED FOR DA	10/7/21
210:12	LOT 12 - ELEVATIONS	M	DA	ISSUED FOR DA	10/7/21
210:13	LOT 13 - ELEVATIONS	M	DA	ISSUED FOR DA	10/7/21
210:14	LOT 14 - ELEVATIONS	M	DA	ISSUED FOR DA	10/7/21
210:15	LOT 15 - ELEVATIONS	M	DA	ISSUED FOR DA	10/7/21
210:16	LOT 16 - ELEVATIONS	M	DA	ISSUED FOR DA	10/7/21
210:17	LOT 17 - ELEVATIONS	M	DA	ISSUED FOR DA	10/7/21
210:18	LOT 18 - ELEVATIONS	M	DA	ISSUED FOR DA	10/7/21
210:19	LOT 19 - ELEVATIONS	M	DA	ISSUED FOR DA	10/7/21
210:20	LOT 20 - ELEVATIONS	M	DA	ISSUED FOR DA	10/7/21
210:21	LOT 21 - ELEVATIONS	M	DA	ISSUED FOR DA	10/7/21
700:01	TYPICAL MATERIALS	M	DA	ISSUED FOR DA	10/7/21
700:02	AREAS	M	DA	ISSUED FOR DA	10/7/21
700:03	AREAS	M	DA	ISSUED FOR DA	10/7/21
710:01	WINTER SOLSTICE 9AM	M	DA	ISSUED FOR DA	10/7/21
710:02	WINTER SOLSTICE 12PM	M	DA	ISSUED FOR DA	10/7/21
710:03	WINTER SOLSTICE 3PM	M	DA	ISSUED FOR DA	10/7/21

Distribution				Contact																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
PVD No 21 PTY LTD				James Fyfe				-	-	-																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																		</



1 LOCATION PLAN



2 SITE PLAN

Saturday Studio
1:1500

DATE: 10 April 2024
DRAWN BY: MANNY NEW 2024
CHECKED BY: MANNY NEW 2024
DATE: 10 April 2024

SATURDAY STUDIO PTY LTD
ABN 52 107 768 622
Urban Design | Architecture
NOMINATED ARCHITECT: MICHAEL KARL RICHTER
NSW ARCHITECTURE ACT 2015
MEMBER
REGISTERED ARCHITECT
MEMBER
REGISTERED ARCHITECT

NOTE:
Notwithstanding any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

DESIGN AND SUSTAINABILITY ADVISORY PANEL
DESIGN AND SUSTAINABILITY ADVISORY PANEL
DESIGN AND SUSTAINABILITY ADVISORY PANEL
FOR DA
FOR DA SUBMISSION
REVISIONS FOR DA

DATE: 13.05.21
DATE: 20.05.21
DATE: 27.05.21
DATE: 07.06.21
DATE: 30.06.21
DATE: 10.07.21

REVISION
OSAP
OSAP
OSAP
OSAP
DA
DA

REVISION
H
J
K
L
M

DESCRIPTION
Design and Sustainability
Design and Sustainability
Design and Sustainability
Design and Sustainability
FOR DA
FOR DA SUBMISSION
REVISIONS FOR DA

DATE: 13.05.21
DATE: 20.05.21
DATE: 27.05.21
DATE: 07.06.21
DATE: 30.06.21
DATE: 10.07.21

REVISION
OSAP
OSAP
OSAP
OSAP
DA
DA

REVISION
H
J
K
L
M

DESCRIPTION
Design and Sustainability
Design and Sustainability
Design and Sustainability
Design and Sustainability
FOR DA
FOR DA SUBMISSION
REVISIONS FOR DA

DATE: 13.05.21
DATE: 20.05.21
DATE: 27.05.21
DATE: 07.06.21
DATE: 30.06.21
DATE: 10.07.21

REVISION
OSAP
OSAP
OSAP
OSAP
DA
DA

REVISION
H
J
K
L
M

DESCRIPTION
Design and Sustainability
Design and Sustainability
Design and Sustainability
Design and Sustainability
FOR DA
FOR DA SUBMISSION
REVISIONS FOR DA

DATE: 13.05.21
DATE: 20.05.21
DATE: 27.05.21
DATE: 07.06.21
DATE: 30.06.21
DATE: 10.07.21

REVISION
OSAP
OSAP
OSAP
OSAP
DA
DA

REVISION
H
J
K
L
M

DESCRIPTION
Design and Sustainability
Design and Sustainability
Design and Sustainability
Design and Sustainability
FOR DA
FOR DA SUBMISSION
REVISIONS FOR DA

DATE: 13.05.21
DATE: 20.05.21
DATE: 27.05.21
DATE: 07.06.21
DATE: 30.06.21
DATE: 10.07.21

REVISION
OSAP
OSAP
OSAP
OSAP
DA
DA

REVISION
H
J
K
L
M

DESCRIPTION
Design and Sustainability
Design and Sustainability
Design and Sustainability
Design and Sustainability
FOR DA
FOR DA SUBMISSION
REVISIONS FOR DA

DATE: 13.05.21
DATE: 20.05.21
DATE: 27.05.21
DATE: 07.06.21
DATE: 30.06.21
DATE: 10.07.21

REVISION
OSAP
OSAP
OSAP
OSAP
DA
DA

REVISION
H
J
K
L
M

DESCRIPTION
Design and Sustainability
Design and Sustainability
Design and Sustainability
Design and Sustainability
FOR DA
FOR DA SUBMISSION
REVISIONS FOR DA

DATE: 13.05.21
DATE: 20.05.21
DATE: 27.05.21
DATE: 07.06.21
DATE: 30.06.21
DATE: 10.07.21

REVISION
OSAP
OSAP
OSAP
OSAP
DA
DA

REVISION
H
J
K
L
M

DESCRIPTION
Design and Sustainability
Design and Sustainability
Design and Sustainability
Design and Sustainability
FOR DA
FOR DA SUBMISSION
REVISIONS FOR DA

DATE: 13.05.21
DATE: 20.05.21
DATE: 27.05.21
DATE: 07.06.21
DATE: 30.06.21
DATE: 10.07.21

REVISION
OSAP
OSAP
OSAP
OSAP
DA
DA

REVISION
H
J
K
L
M

DESCRIPTION
Design and Sustainability
Design and Sustainability
Design and Sustainability
Design and Sustainability
FOR DA
FOR DA SUBMISSION
REVISIONS FOR DA

DATE: 13.05.21
DATE: 20.05.21
DATE: 27.05.21
DATE: 07.06.21
DATE: 30.06.21
DATE: 10.07.21

REVISION
OSAP
OSAP
OSAP
OSAP
DA
DA

REVISION
H
J
K
L
M

DESCRIPTION
Design and Sustainability
Design and Sustainability
Design and Sustainability
Design and Sustainability
FOR DA
FOR DA SUBMISSION
REVISIONS FOR DA

DATE: 13.05.21
DATE: 20.05.21
DATE: 27.05.21
DATE: 07.06.21
DATE: 30.06.21
DATE: 10.07.21

REVISION
OSAP
OSAP
OSAP
OSAP
DA
DA

REVISION
H
J
K
L
M

DESCRIPTION
Design and Sustainability
Design and Sustainability
Design and Sustainability
Design and Sustainability
FOR DA
FOR DA SUBMISSION
REVISIONS FOR DA

DATE: 13.05.21
DATE: 20.05.21
DATE: 27.05.21
DATE: 07.06.21
DATE: 30.06.21
DATE: 10.07.21

REVISION
OSAP
OSAP
OSAP
OSAP
DA
DA

REVISION
H
J
K
L
M

DESCRIPTION
Design and Sustainability
Design and Sustainability
Design and Sustainability
Design and Sustainability
FOR DA
FOR DA SUBMISSION
REVISIONS FOR DA

DATE: 13.05.21
DATE: 20.05.21
DATE: 27.05.21
DATE: 07.06.21
DATE: 30.06.21
DATE: 10.07.21

REVISION
OSAP
OSAP
OSAP
OSAP
DA
DA

REVISION
H
J
K
L
M

1 THERMAL PERFORMANCE REQUIREMENTS

THERMAL PERFORMANCE REQUIREMENTS		
Dwellings on Lots 2-22 inclusive		
See NABERS Certificate for further information		
Builder to confirm insulation and glazing requirements in NABERS Certificate prior to construction		
All insulation and glazing must meet BCA and Australian Standard requirements		
Dwellings - Lot 2 & 22	Construction	Added Insulation
External walls	Lower Ground Floor - 270mm double brick with cavity Ground & First Floors - 90mm timber stud with lightweight cladding	Lower Ground Floor - R2.5 bulk insulation + foil, reflective both sides, in all external walls
Internal walls	Double brick with cavity 90mm timber stud walls with plasterboard lining	No insulation required in any internal walls.
External Floors on ground or suspended	Concrete slab on ground Suspended timber floor under Bed 3, Ensuite & Bathroom (First Floor)	No insulation required to slab on ground. R2.0 insulation under suspended concrete slab with auditor under Suspended timber floor under Bed 3, Ensuite & Bathroom (First Floor)
Ceilings between Floors	Ground Floor - Timber ceiling with plasterboard beneath Ground Floor - Timber ceiling with plasterboard beneath	GF - R2.0 insulation to ceilings excluding laundry where no insulation is required. GF - R2.5 insulation to ceilings of Ground Floor
Ceiling to roof cavity	Lower Ground Floor - Concrete ceiling Ground Floor - Timber roof structure with plasterboard beneath First Floor - Timber roof structure with plasterboard beneath	LDG - R2.0 insulation to ceilings excluding laundry GF - R2.5 insulation to ceilings FF - R4.0 bulk insulation to ceiling roof cavity
Roof	Ground Floor - Metal roof sheeting @ 2 degrees First Floor - Metal roof sheeting @ 30 degrees	Under all roof sheeting - R1.3 roof blanket under roof sheeting
Ceiling Fans	Not included	Not included
Fixed floor coverings	Lower Ground Floor - Bare concrete Ground Floor - Bathroom and ensuite tiles; Bedrooms, WIR and hallway - carpet	1 x 1200mm diameter ceiling fan in Living room
Glazing - All glazing to be in accordance with BCA standards	Aluminum frames (draft sealed) Note: Assessment with default windows - Allowable window values: Only a +0.5% SHGC tolerance is allowed with this rating. NB: This tolerance only applies to SHGC, the U-value can always be lower but not higher than the values stated.	Double glazed clear, U-value 4.80 SHGC 0.51 & 0.59 Some windows have external shutters added as noted on drawings
Ceiling Penetration		This assessment has been rated with LED downlights and exhaust fans Assessment conducted May 2021

THERMAL PERFORMANCE REQUIREMENTS		
Dwellings on Lots 2-22 inclusive		
See NABERS Certificate for further information		
Builder to confirm insulation and glazing requirements in NABERS Certificate prior to construction		
All insulation and glazing must meet BCA and Australian Standard requirements		
Dwellings - Lots 3, 4 & 6	Construction	Added Insulation
External walls	Ground & First Floors - 90mm timber stud with lightweight cladding Brick veneer wall to back wall of ground floor	Ground & First Floors - R2.5 bulk insulation + foil, reflective both sides, in all external walls
Internal walls	90mm timber stud walls with plasterboard lining	No insulation required in any internal walls.
Common wall between dwellings	270mm Double brick with cavity	No insulation required
External Floors on ground or suspended	Concrete slab on ground Suspended timber floor under WIR (first floor) with carpet below	No insulation required to slab on ground. No insulation required under suspended timber floor of WIR.
Ceilings between Floors	Ground Floor - Timber ceiling with plasterboard beneath First Floor - Timber ceiling with plasterboard beneath	GF - R2.5 insulation to ceilings GF - R2.5 insulation to ceilings
Ceiling to roof cavity	Ground Floor - Timber roof structure with plasterboard beneath First Floor - Timber roof structure with plasterboard beneath	FF - R4.0 bulk insulation to ceiling roof cavity
Roof	Ground Floor - Metal roof sheeting @ 2 degrees First Floor - Metal roof sheeting @ 30 degrees	Under all roof sheeting - R1.3 roof blanket under roof sheeting
Ceiling Fans	Not included	Not included
Fixed floor coverings	Ground Floor - Bare concrete to garage; Timber flooring to living zones First Floor - Bathroom and ensuite tiles; Bedrooms, WIR and hallway - carpet	Double glazed clear, U-value 4.80 SHGC 0.51 & 0.59 Some windows have external shutters added as noted on drawings
Glazing - All glazing to be in accordance with BCA standards	Aluminum frames (draft sealed) Note: Assessment with default windows - Allowable window values: Only a +0.5% SHGC tolerance is allowed with this rating. NB: This tolerance only applies to SHGC, the U-value can always be lower but not higher than the values stated.	Double glazed clear, U-value 4.80 SHGC 0.51 & 0.59 Some windows have external shutters added as noted on drawings
Ceiling Penetration		This assessment has been rated with LED downlights and exhaust fans Assessment conducted May 2021

THERMAL PERFORMANCE REQUIREMENTS		
Dwellings on Lots 2-22 inclusive		
See NABERS Certificate for further information		
Builder to confirm insulation and glazing requirements in NABERS Certificate prior to construction		
All insulation and glazing must meet BCA and Australian Standard requirements		
Dwellings - Lot 5	Construction	Added Insulation
External walls	Ground & First Floors - 90mm timber stud with lightweight cladding Brick veneer wall to back wall of ground floor	Ground & First Floors - R2.5 bulk insulation + foil, reflective both sides, in all external walls
Internal walls	90mm timber stud walls with plasterboard lining	R2.0 to internal walls of garage. No insulation required to party walls or remaining internal walls of dwelling on Lot 5.
Common wall between dwellings	270mm Double brick with cavity	No insulation required
External Floors on ground or suspended	Concrete slab on ground Suspended timber floor under WIR (first floor) with carpet below	No insulation required to slab on ground. R1.5 insulation required under suspended timber floor of WIR.
Ceilings between Floors	Ground Floor - Timber ceiling with plasterboard beneath Ground Floor - Timber ceiling with plasterboard beneath	GF - R2.5 insulation to ceilings GF - R2.5 insulation to ceilings
Ceiling to roof cavity	Ground Floor - Timber roof structure with plasterboard beneath First Floor - Timber roof structure with plasterboard beneath	GF - R2.5 insulation to ceilings FF - R4.0 bulk insulation to ceiling roof cavity
Roof	Ground Floor - Metal roof sheeting @ 2 degrees First Floor - Metal roof sheeting @ 30 degrees	Under all roof sheeting - R1.3 roof blanket under roof sheeting
Ceiling Fans	Not included	Not included
Fixed floor coverings	Ground Floor - Bare concrete to garage; Timber flooring to living zones First Floor - Bathroom and ensuite tiles; Bedrooms, WIR and hallway - carpet	Aluminum frames (draft sealed) Note: Assessment with default windows - Allowable window values: Only a +0.5% SHGC tolerance is allowed with this rating. NB: This tolerance only applies to SHGC, the U-value can always be lower but not higher than the values stated.
Glazing - All glazing to be in accordance with BCA standards	Aluminum frames (draft sealed) Note: Assessment with default windows - Allowable window values: Only a +0.5% SHGC tolerance is allowed with this rating. NB: This tolerance only applies to SHGC, the U-value can always be lower but not higher than the values stated.	Double glazed clear, U-value 4.80 SHGC 0.51 & 0.59 Some windows have external shutters added as noted on drawings
Ceiling Penetration		This assessment has been rated with LED downlights and exhaust fans Assessment conducted May 2021

THERMAL PERFORMANCE REQUIREMENTS		
Dwellings on Lots 2-22 inclusive		
See NABERS Certificate for further information		
Builder to confirm insulation and glazing requirements in NABERS Certificate prior to construction		
All insulation and glazing must meet BCA and Australian Standard requirements		
Dwellings - Lots 7 to 19	Construction	Added Insulation
External walls	Ground & First Floors - 90mm timber stud with lightweight cladding Brick veneer wall to back wall of ground floor	Ground & First Floors - R2.5 bulk insulation + foil, reflective both sides, in all external walls
Internal walls	90mm timber stud walls with plasterboard lining	No insulation required in any internal walls.
Common wall between dwellings	270mm Double brick with cavity	No insulation required
External Floors on ground or suspended	Concrete slab on ground or suspended floors of first floor	No insulation required to slab on ground. No insulation required under suspended timber floors of first floor.
Ceilings between Floors	Ground Floor - Timber ceiling with plasterboard beneath Ground Floor - Timber ceiling with plasterboard beneath	GF - R2.5 insulation to ceilings GF - R2.5 insulation to ceilings
Ceiling to roof cavity	Ground Floor - Timber roof structure with plasterboard beneath First Floor - Timber roof structure with plasterboard beneath	FF - R4.0 bulk insulation to ceiling roof cavity
Roof	Ground Floor - Metal roof sheeting @ 2 degrees First Floor - Metal roof sheeting @ 30 degrees	Under all roof sheeting - R1.3 roof blanket under roof sheeting
Ceiling Fans	Not included	Not included
Fixed floor coverings	Ground Floor - Bare concrete to garage; Timber flooring to living zones First Floor - Bathroom and ensuite tiles; Bedrooms, WIR and hallway - carpet	Aluminum frames (draft sealed) Note: Assessment with default windows - Allowable window values: Only a +0.5% SHGC tolerance is allowed with this rating. NB: This tolerance only applies to SHGC, the U-value can always be lower but not higher than the values stated.
Glazing - All glazing to be in accordance with BCA standards	Aluminum frames (draft sealed) Note: Assessment with default windows - Allowable window values: Only a +0.5% SHGC tolerance is allowed with this rating. NB: This tolerance only applies to SHGC, the U-value can always be lower but not higher than the values stated.	Double glazed clear, U-value 4.80 SHGC 0.51 & 0.59 Some windows have external shutters added as noted on drawings
Ceiling Penetration		This assessment has been rated with LED downlights and exhaust fans Assessment conducted May 2021

THERMAL PERFORMANCE REQUIREMENTS		
Dwellings on Lots 2-22 inclusive		
See NABERS Certificate for further information		
Builder to confirm insulation and glazing requirements in NABERS Certificate prior to construction		
All insulation and glazing must meet BCA and Australian Standard requirements		
Dwellings - Lot 20	Construction	Added Insulation
External walls	Ground & First Floors - 90mm timber stud with lightweight cladding Brick veneer wall to back wall of ground floor	Ground & First Floors - R2.5 bulk insulation + foil, reflective both sides, in all external walls
Internal walls	90mm timber stud walls with plasterboard lining	No insulation required in any internal walls.
Common wall between dwellings	270mm Double brick with cavity	No insulation required
External Floors on ground or suspended	Concrete slab on ground Suspended timber floor under WIR (first floor) with carpet below	No insulation required to slab on ground. No insulation required under suspended timber floor of WIR.
Ceilings between Floors	Ground Floor - Timber ceiling with plasterboard beneath Ground Floor - Timber ceiling with plasterboard beneath	GF - R2.5 insulation to ceilings GF - R2.5 insulation to ceilings
Ceiling to roof cavity	Ground Floor - Timber roof structure with plasterboard beneath First Floor - Timber roof structure with plasterboard beneath	GF - R2.5 over laundry and garage R4.0 insulation to ceilings over media & powder FF - R4.0 bulk insulation to ceiling roof cavity
Roof	Ground Floor - Metal roof sheeting @ 2 degrees First Floor - Metal roof sheeting @ 30 degrees	Under all roof sheeting - R1.3 roof blanket under roof sheeting
Ceiling Fans	Not included	Not included
Fixed floor coverings	Ground Floor - Bare concrete to garage; Timber flooring to living zones First Floor - Bathroom and ensuite tiles; Bedrooms, WIR and hallway - carpet	Aluminum frames (draft sealed) Note: Assessment with default windows - Allowable window values: Only a +0.5% SHGC tolerance is allowed with this rating. NB: This tolerance only applies to SHGC, the U-value can always be lower but not higher than the values stated.
Glazing - All glazing to be in accordance with BCA standards	Aluminum frames (draft sealed) Note: Assessment with default windows - Allowable window values: Only a +0.5% SHGC tolerance is allowed with this rating. NB: This tolerance only applies to SHGC, the U-value can always be lower but not higher than the values stated.	Double glazed clear, U-value 4.80 SHGC 0.51 & 0.59 Some windows have external shutters added as noted on drawings
Ceiling Penetration		This assessment has been rated with LED downlights and exhaust fans Assessment conducted May 2021

THERMAL PERFORMANCE REQUIREMENTS		
Dwellings on Lots 2-22 inclusive		
See NABERS Certificate for further information		
Builder to confirm insulation and glazing requirements in NABERS Certificate prior to construction		
All insulation and glazing must meet BCA and Australian Standard requirements		
Dwellings - Lot 21	Construction	Added Insulation
External walls	Ground & First Floors - 90mm timber stud with lightweight cladding Brick veneer wall to back wall of ground floor	Ground & First Floors - R2.5 bulk insulation + foil, reflective both sides, in all external walls
Internal walls	90mm timber stud walls with plasterboard lining	No insulation required in any internal walls.
Common wall between dwellings	270mm Double brick with cavity	No insulation required
External Floors on ground or suspended	Concrete slab on ground Suspended timber floor under WIR (first floor) with carpet below	No insulation required to slab on ground. No insulation required under suspended timber floor of WIR.
Ceilings between Floors	Ground Floor - Timber ceiling with plasterboard beneath Ground Floor - Timber ceiling with plasterboard beneath	GF - R2.5 insulation to ceilings GF - R2.5 insulation to ceilings
Ceiling to roof cavity	Ground Floor - Timber roof structure with plasterboard beneath First Floor - Timber roof structure with plasterboard beneath	FF - R4.0 bulk insulation to ceiling roof cavity
Roof	Ground Floor - Metal roof sheeting @ 2 degrees First Floor - Metal roof sheeting @ 30 degrees	Under all roof sheeting - R1.3 roof blanket under roof sheeting
Ceiling Fans	Not included	Not included
Fixed floor coverings	Ground Floor - Bare concrete to garage; Timber flooring to living zones First Floor - Bathroom and ensuite tiles; Bedrooms, WIR and hallway - carpet	Aluminum frames (draft sealed) Note: Assessment with default windows - Allowable window values: Only a +0.5% SHGC tolerance is allowed with this rating. NB: This tolerance only applies to SHGC, the U-value can always be lower but not higher than the values stated.
Glazing - All glazing to be in accordance with BCA standards	Aluminum frames (draft sealed) Note: Assessment with default windows - Allowable window values: Only a +0.5% SHGC tolerance is allowed with this rating. NB: This tolerance only applies to SHGC, the U-value can always be lower but not higher than the values stated.	Double glazed clear, U-value 6.70 SHGC 0.70 Some windows have external shutters added as noted on drawings
Ceiling Penetration		This assessment has been rated with LED downlights and exhaust fans Assessment conducted May 2021

ISSUE	REVISION	DESCRIPTION	DATE
OSAP	H	Design and Sustainability	13.05.21
OSAP	I	Design and Sustainability	20.05.21
OSAP	J	Design and Sustainability	27.05.21
OSAP	K	Design and Sustainability	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21

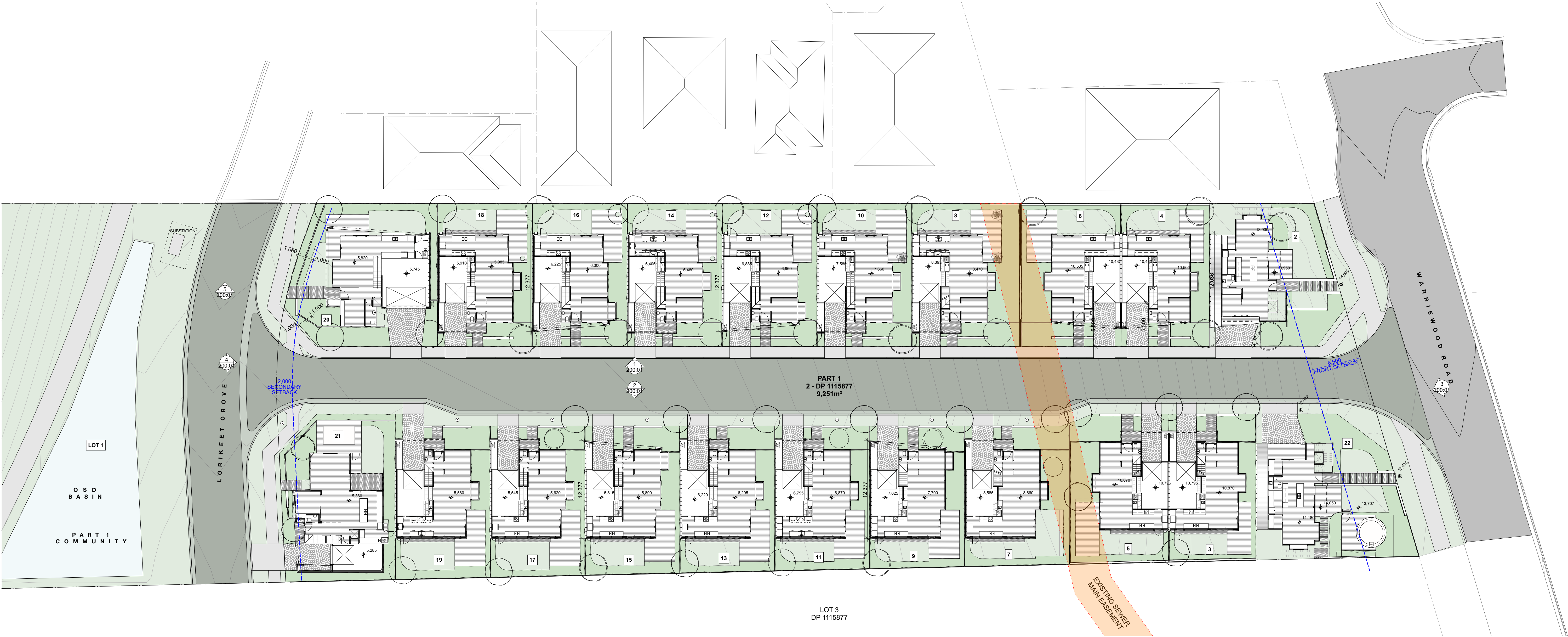


SCALE: 1:500
PRINT SIZE: A3
PRINT DATE: 2/11/21

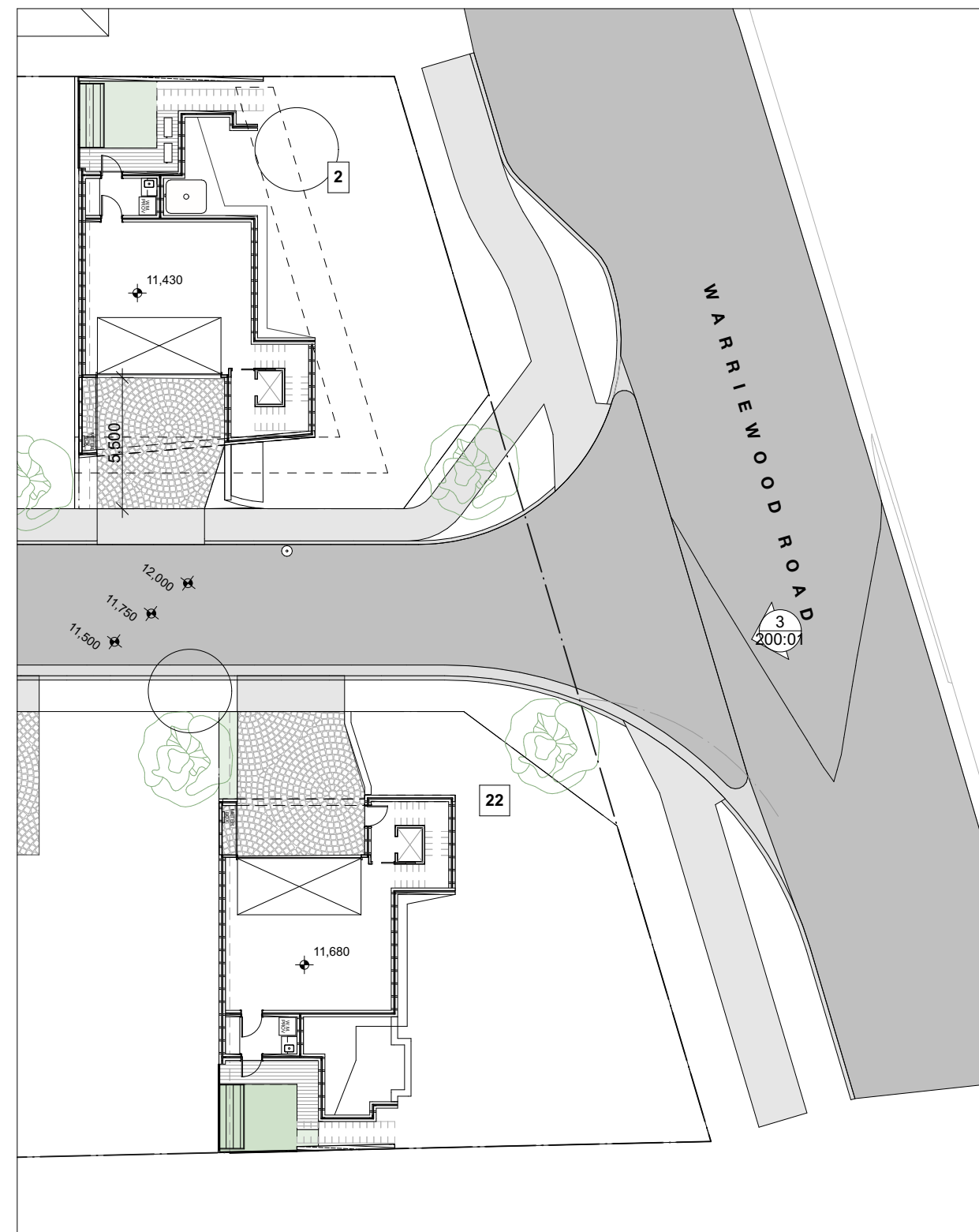
CUSTOMER: PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

PROJECT NO. 20023
DRAWING TITLE: SITE PLAN
PROJECT NAME: WARRIEWOOD

ISSUE: DA
DRAWING NO. 100:01
REVISION NO. M



1 GROUND FLOOR PLAN
1:250



2 LOWER GROUND
1:250

Saturday
Studio

Suite 8, 80 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9512 5532
rick@saturationstudio.com.au

SATURDAY STUDIO PTY LTD
ABN 52 107 769 622
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARCH REGISTRATION NO: 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings.
Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



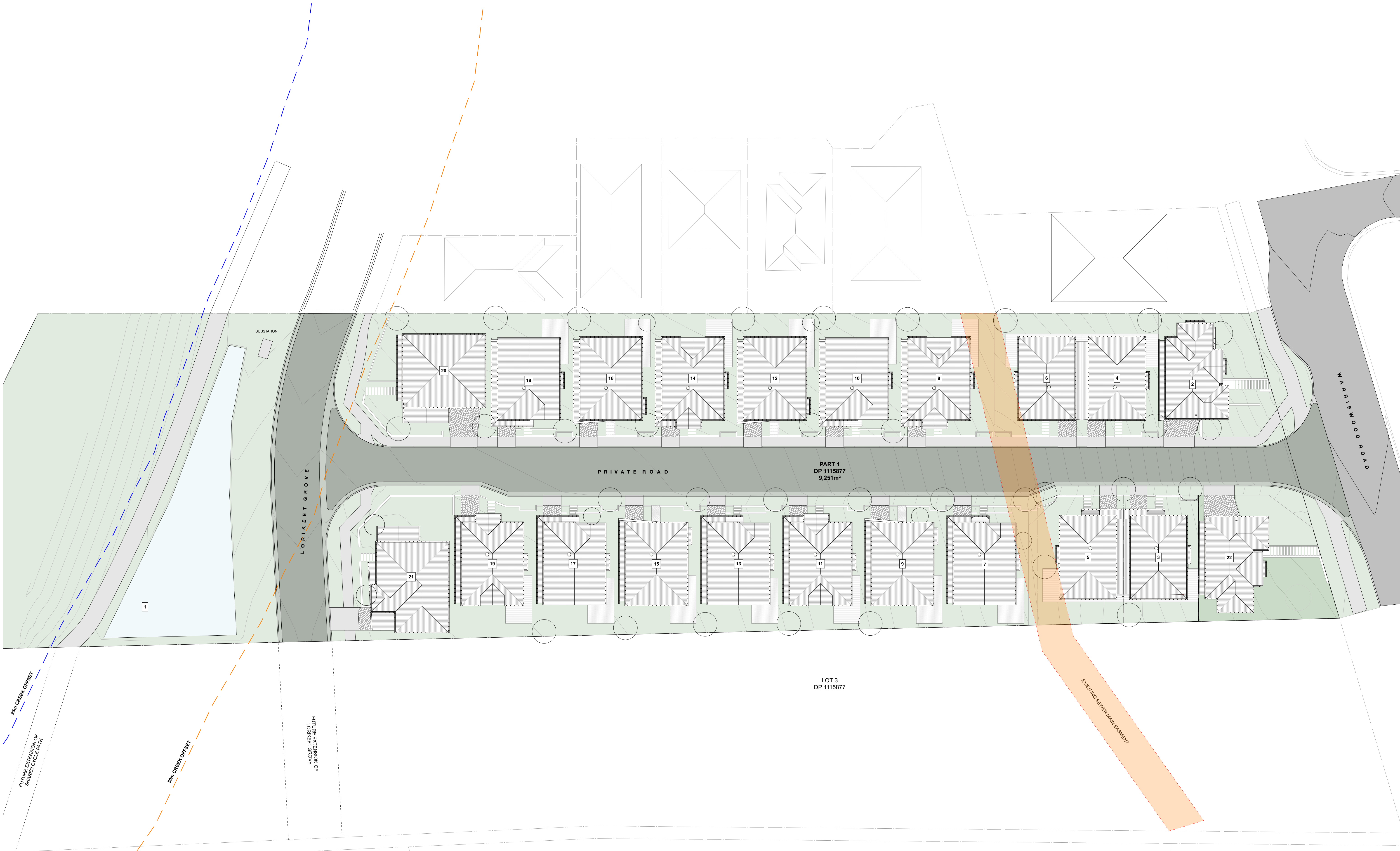
SCALE: 1:250
PRINT SIZE: A3
PRINT DATE: 27/7/21
CLIENT: PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW
SITE:

PROJECT NO.
20023

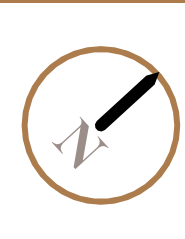
DRAWING TITLE:
SITE PLAN
GROUND FLOOR PLAN

PROJECT NAME:
WARRIEWOOD

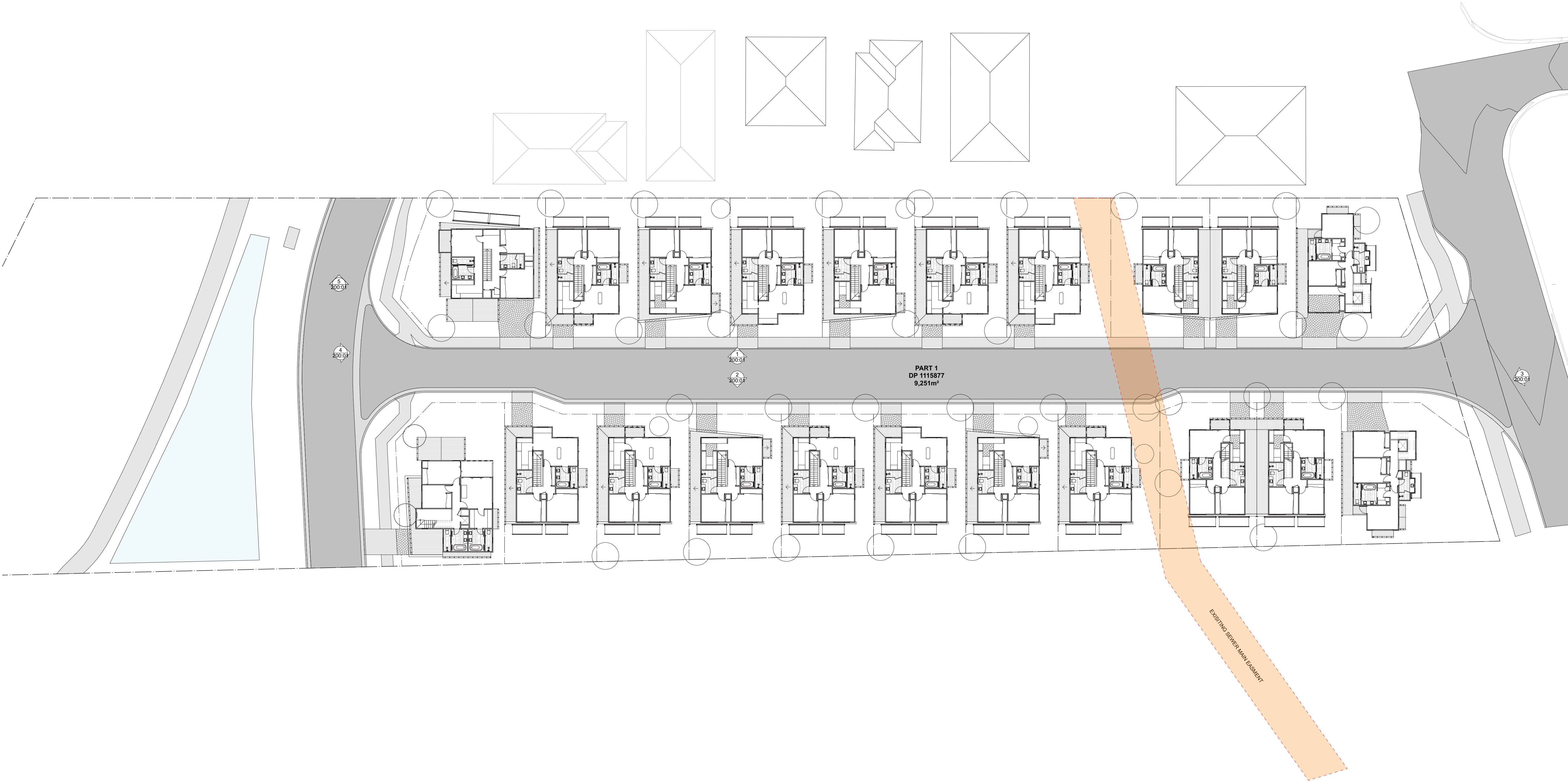
ISSUE:
DA
DRAWING NO.
100:02
REVISION NO.
M



1 ROOF PLAN
1:250







1 FIRST FLOOR PLAN
1:250

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21

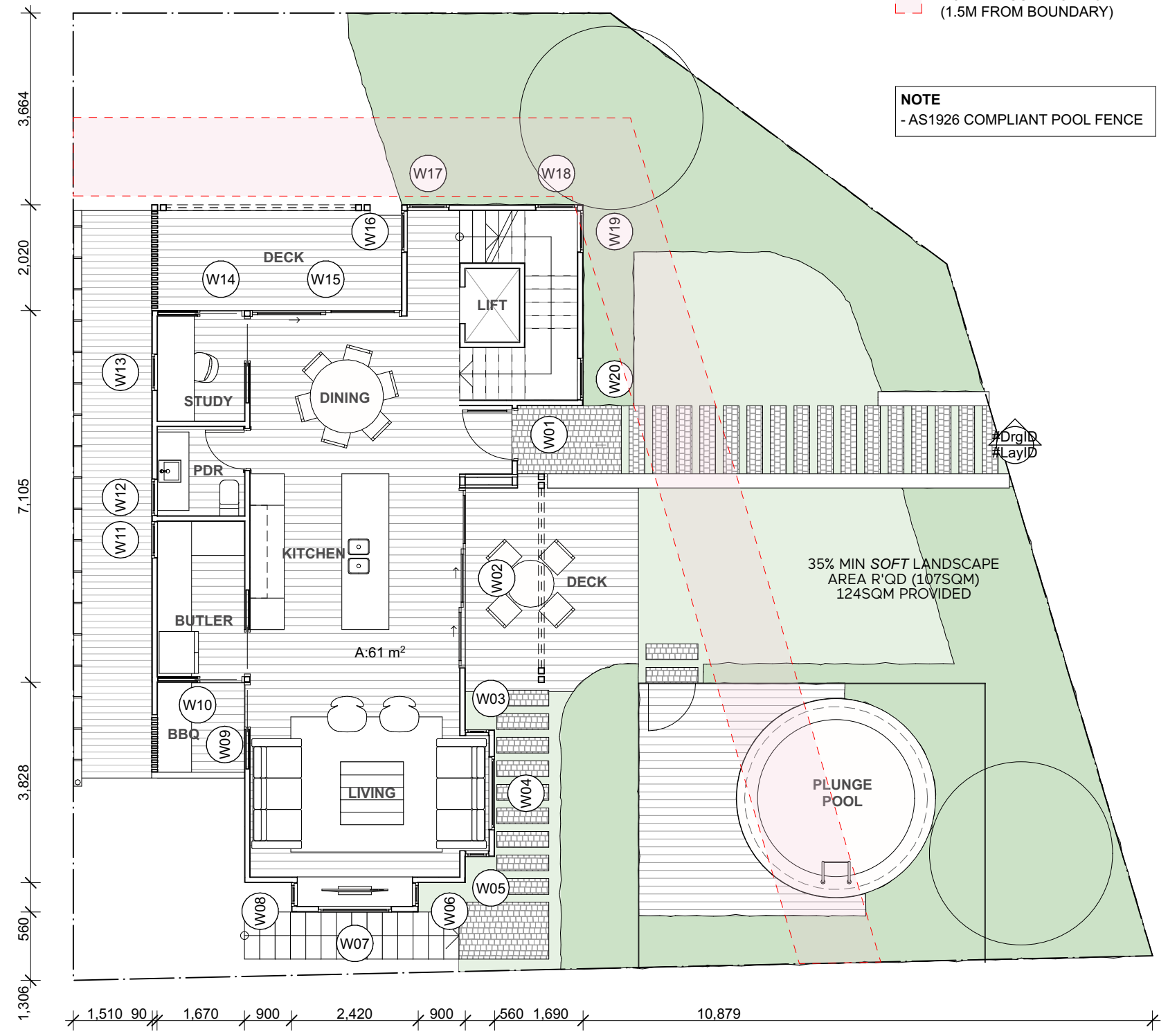
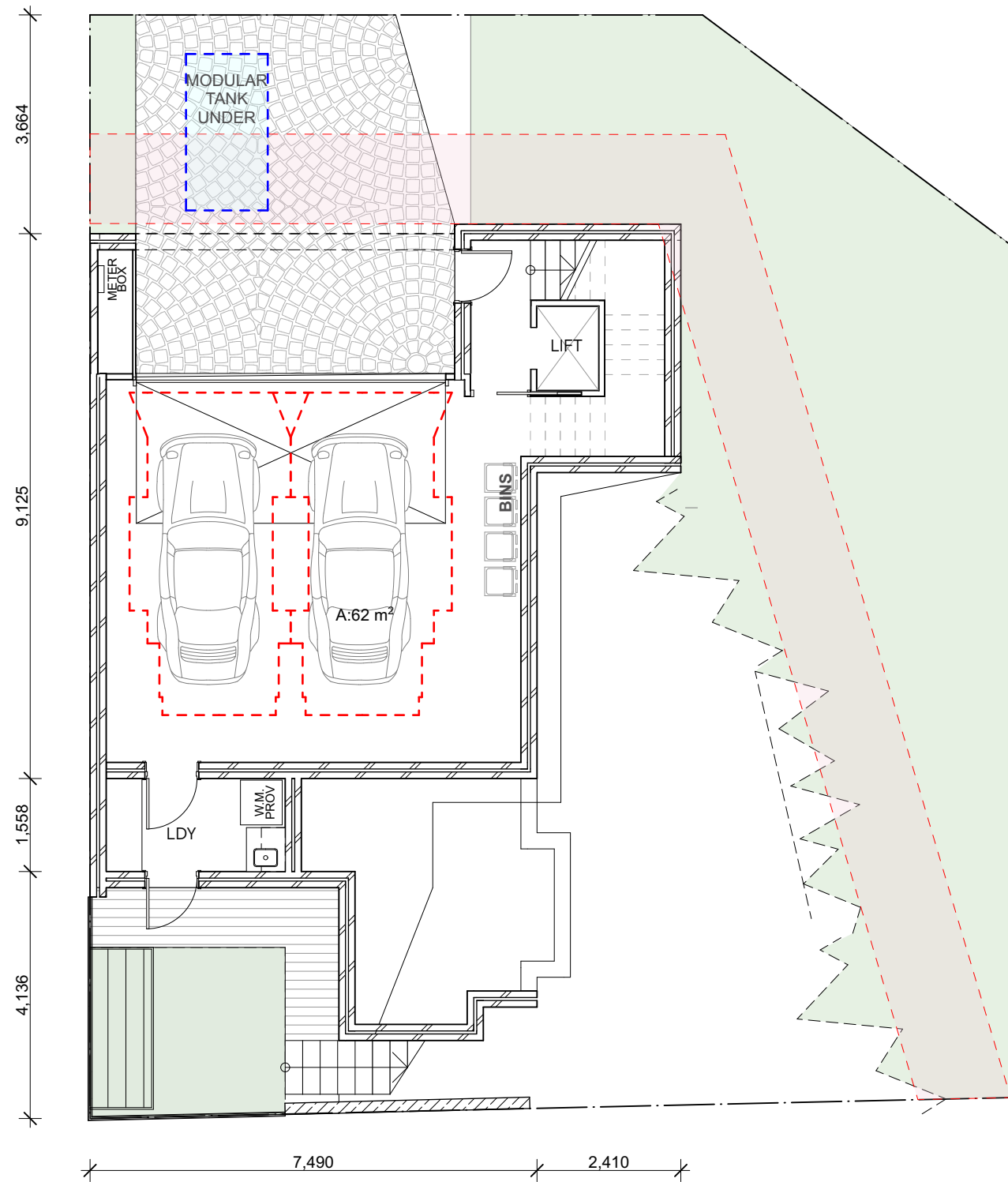


SCALE: 1:250
PRINT SIZE: A3
PRINT DATE: 21/7/21
CLIENT: PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW
SITE:

PROJECT NO. 20023

DRAWING TITLE: SITE PLAN
FIRST FLOOR PLAN
PROJECT NAME: WARRIEWOOD

ISSUE: DA
DRAWING NO. 100:05
REVISION NO. M



- WATER TANK UNDER DRIVEWAY TO BASIX REQUIREMENTS
- 1.5m ARTICULATION ZONE (1.5M FROM BOUNDARY)

NOTE
- AS1926 COMPLIANT POOL FENCE

1 CORNER SE - LOWER GROUND
1:100

2 CORNER SE - GROUND FLOOR
1:100

Saturday Studio

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T +61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: 1:100
PRINT SIZE: A3
PRINT DATE: 27/7/21

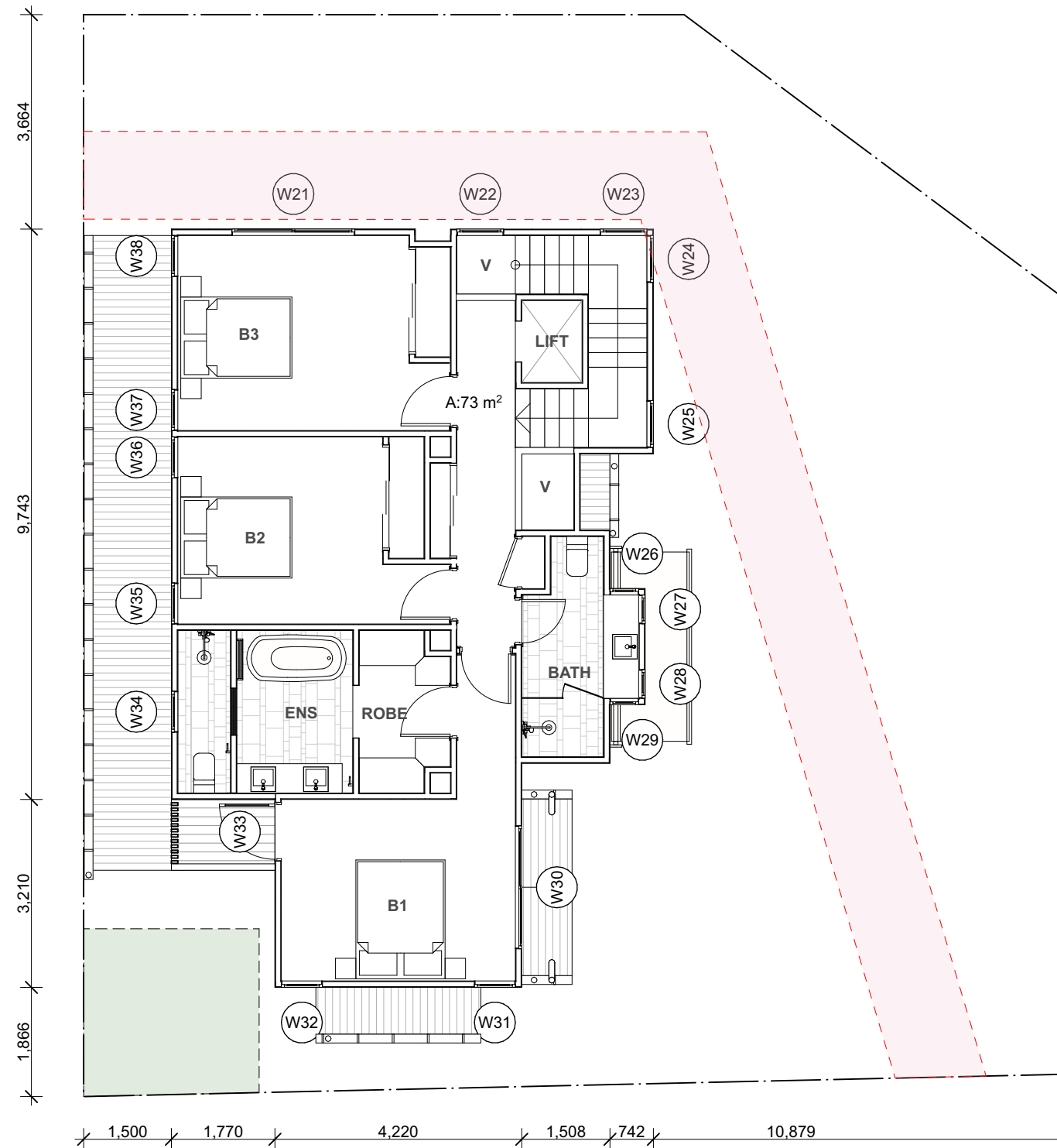
CLIENT:
SITE:

PROJECT NO. 20023
PVD No 21 PTY LTD
53A WARRIWOOD ROAD
WARRIWOOD NSW

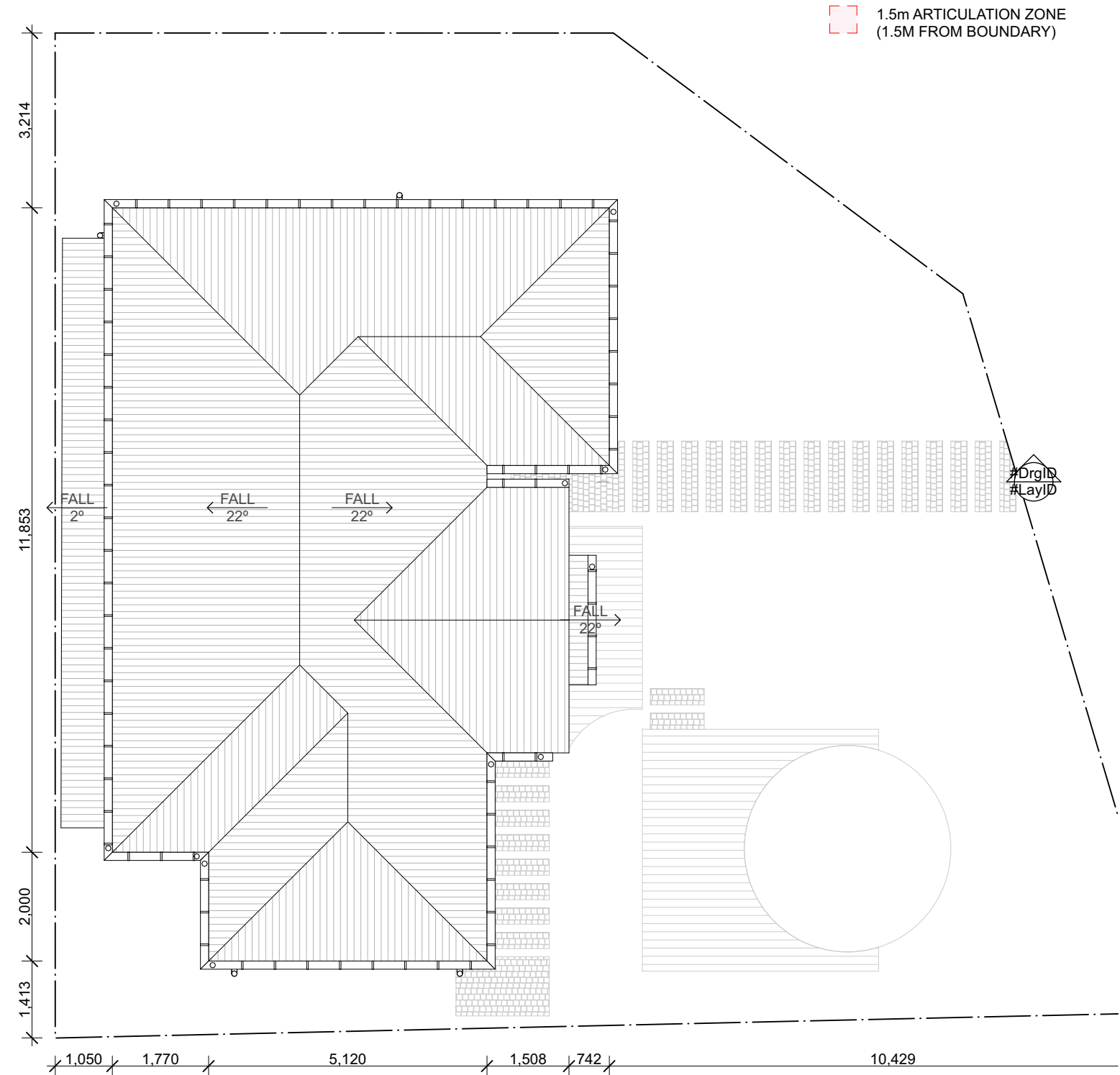
DRAWING TITLE :
HOUSE PLANS
LOT 22 - LGF & GF PLAN

PROJECT NAME :
WARRIWOOD

ISSUE: DA
DRAWING NO. 110:01
REVISION NO. M



1 CORNER SE - FIRST FLOOR
1:100



2 CORNER SE - ROOF PLAN
1:100

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676

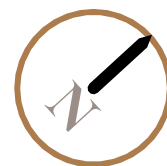


Member
Australian
Institute of
Architects



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: 1:100
PRINT SIZE: A3
PRINT DATE: 27/7/21

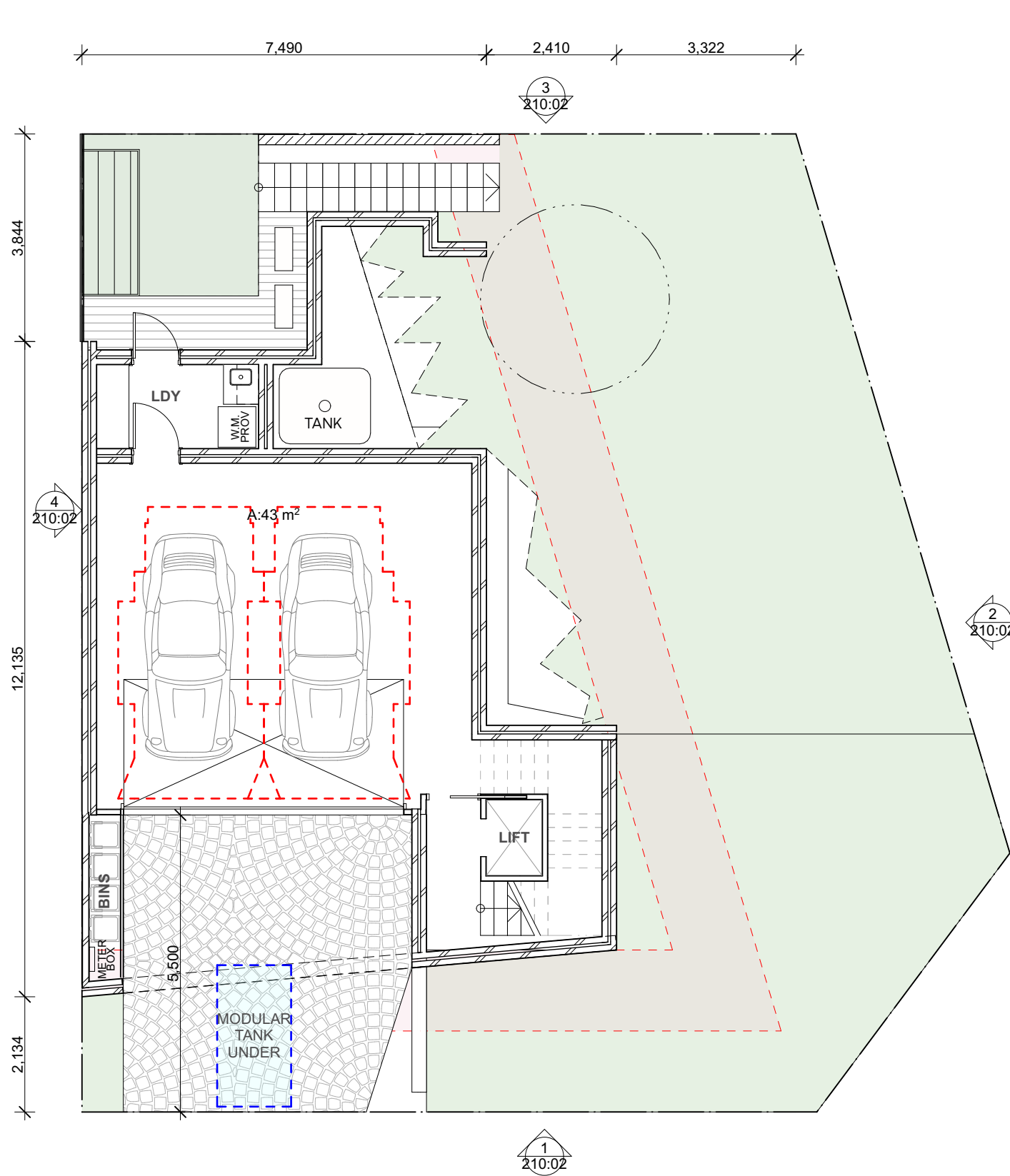
CLIENT:
SITE:

PROJECT NO. 20023
PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

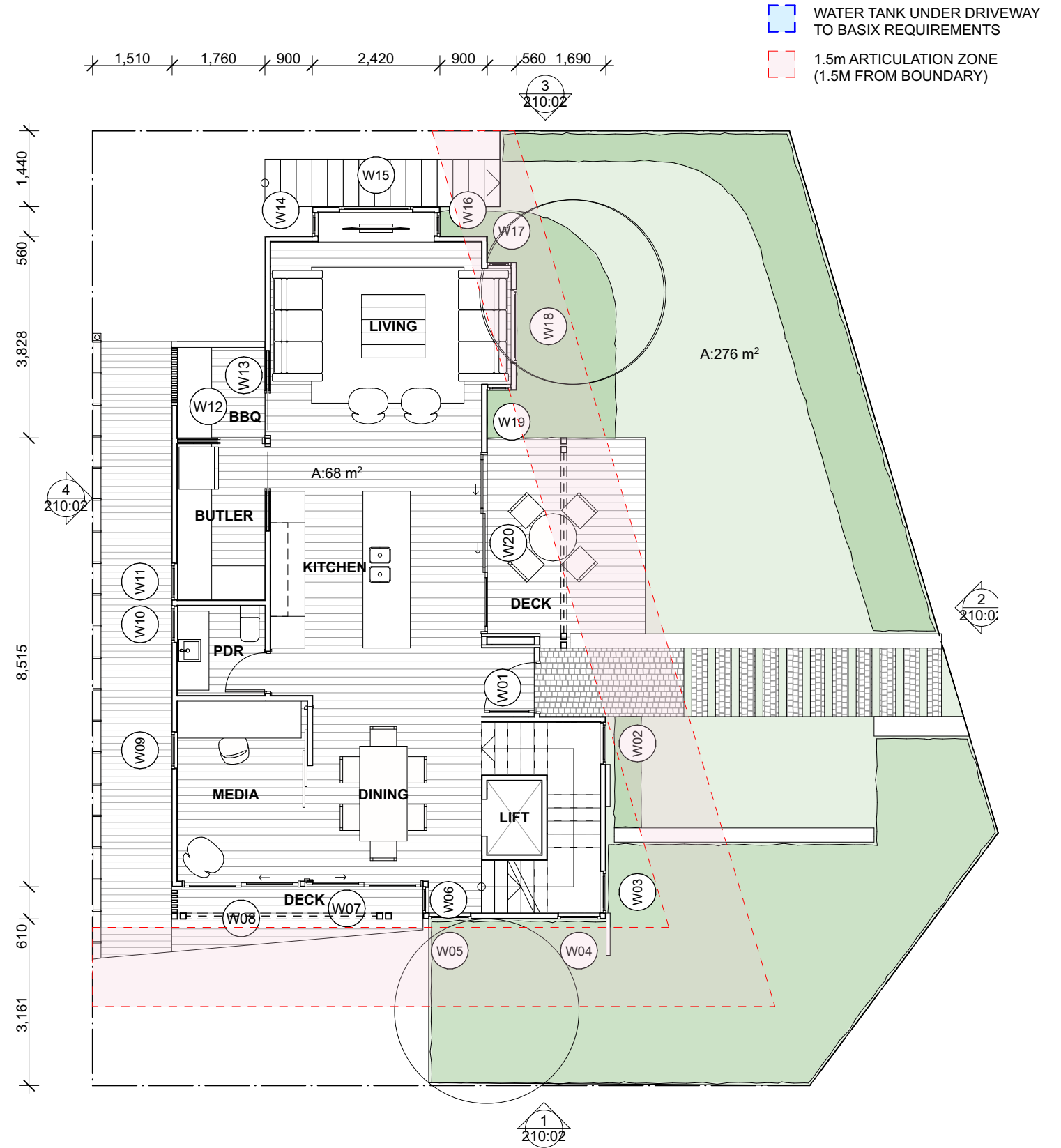
DRAWING TITLE :
HOUSE PLANS
LOT 22 - FF & ROOF PLAN

PROJECT NAME :
WARRIEWOOD

ISSUE: DA
DRAWING NO. 110:02
REVISION NO. M



1 CORNER NE - LOWER FLOOR
1:100



2 CORNER NE - GROUND FLOOR
1:100

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T +61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: 1:100
PRINT SIZE: A3
PRINT DATE: 27/7/21

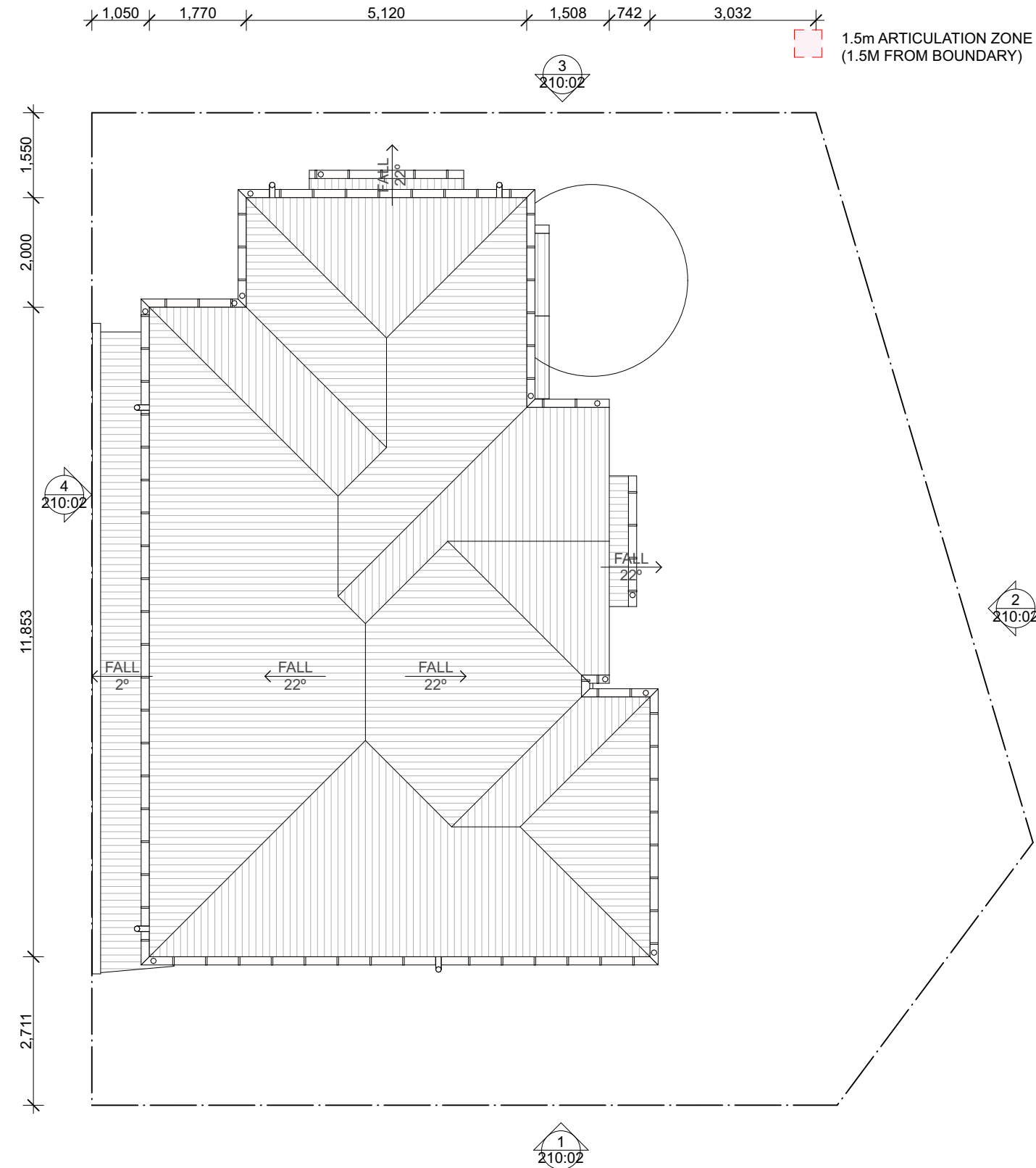
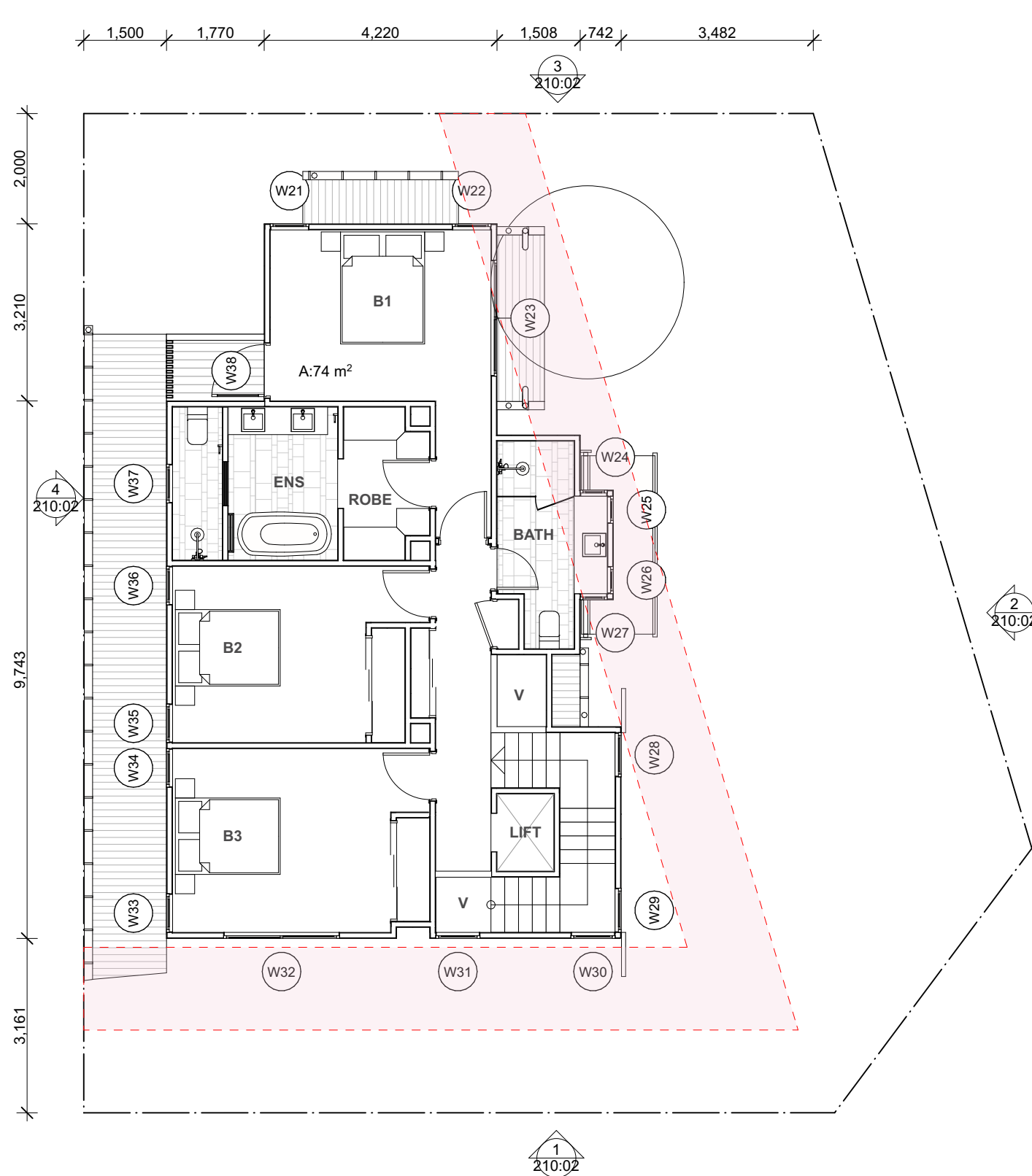
CLIENT:
SITE:

PROJECT NO. 20023
PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

DRAWING TITLE :
HOUSE PLANS
LOT 2 - LGF & GF PLAN

PROJECT NAME :
WARRIEWOOD

ISSUE: DA
DRAWING NO. 110:03
REVISION NO. M



1 CORNER NE - FIRST FLOOR
1:100

2 CORNER NE - ROOF PLAN
1:100

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

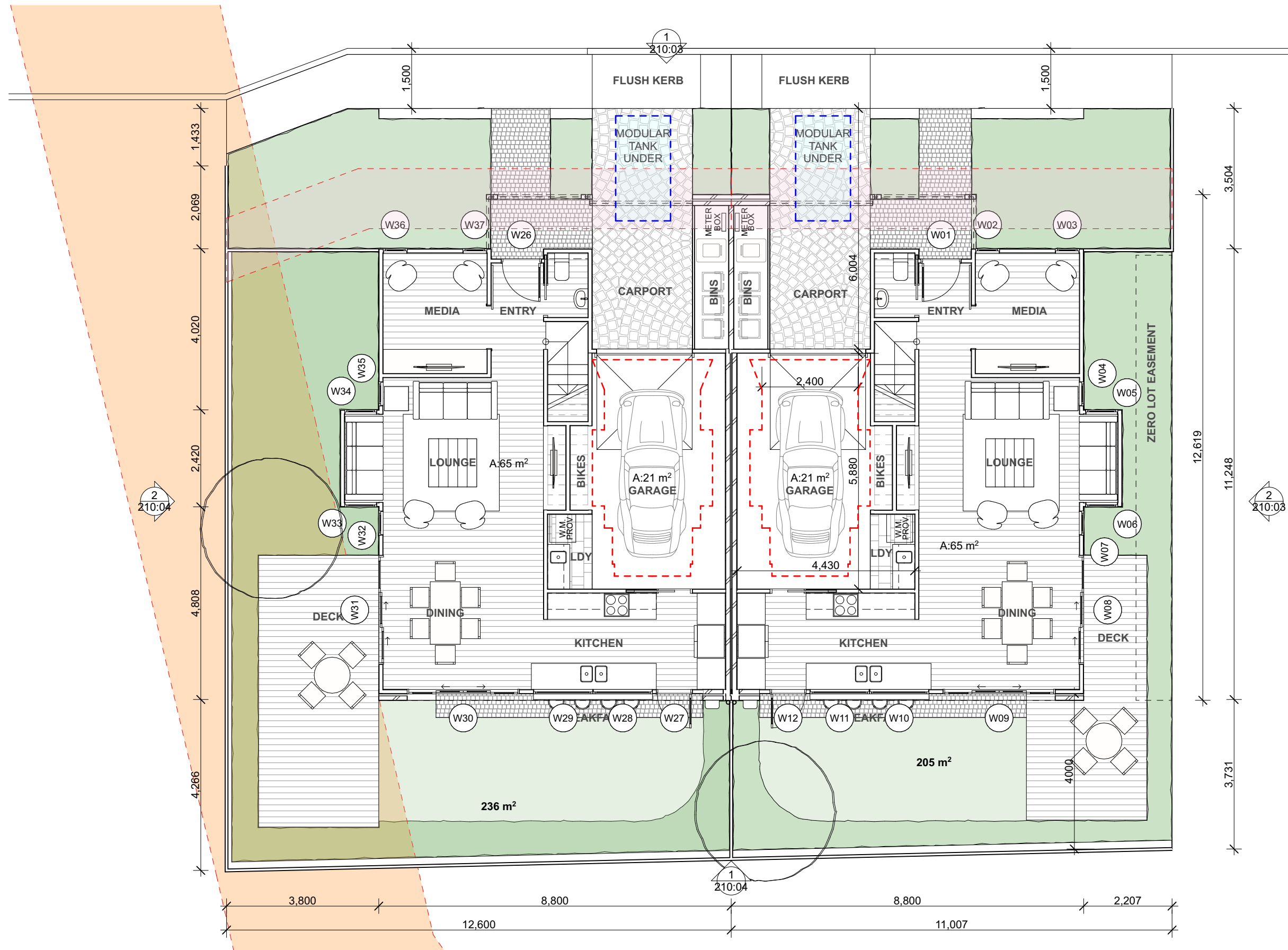
CLIENT: **PVD No 21 PTY LTD**
53A WARRIWOOD ROAD
WARRIWOOD NSW

PROJECT NO.
20023

DRAWING TITLE :
HOUSE PLANS
LOT 2 - FF & ROOF PLAN

PROJECT NAME :
WARRIWOOD

ISSUE:
DA
DRAWING NO.
110:04
REVISION NO.
M



- WATER TANK UNDER DRIVEWAY TO BASIX REQUIREMENTS
- 1.5m ARTICULATION ZONE (1.5M FROM BOUNDARY)
- EXISTING SEWER MAIN EASEMENT

1 SEMI B - GROUND FLOOR
1:100

Saturday
Studio

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



Member
Australian
Institute of
Architects



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: 1:100
PRINT SIZE: A3
PRINT DATE: 27/7/21

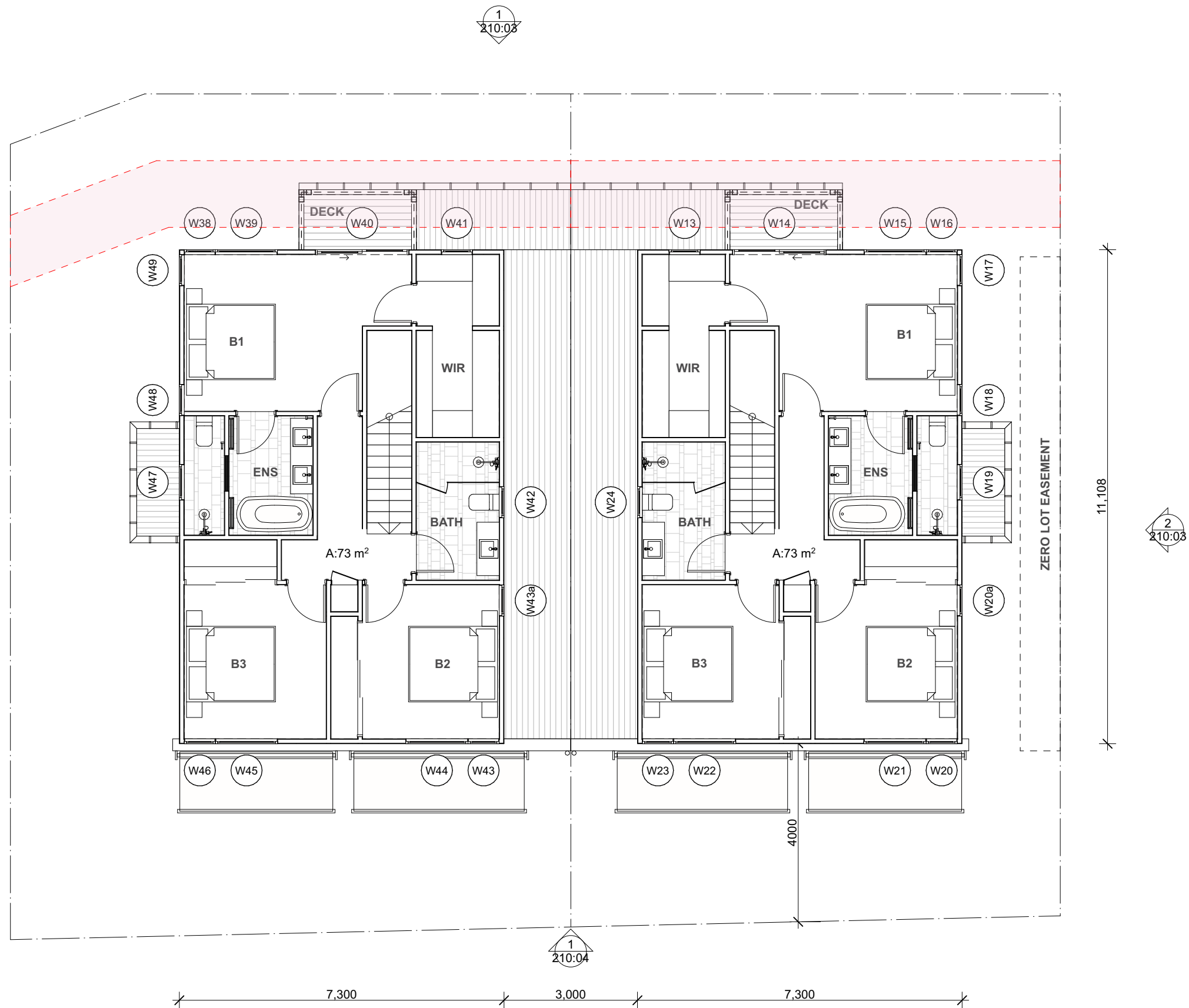
CLIENT:
SITE:

PROJECT NO. 20023
PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

DRAWING TITLE :
HOUSE PLANS
LOT 3 & 5 - GROUND PLAN

PROJECT NAME :
WARRIEWOOD

ISSUE: DA
DRAWING NO. 110:05
REVISION NO. M



1.5m ARTICULATION ZONE
(1.5M FROM BOUNDARY)

1 SEMI B - FIRST FLOOR

1:100

Saturday Studio

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



Member
Australian
Institute of
Architects



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: 1:100
PRINT SIZE: A3
PRINT DATE: 27/7/21

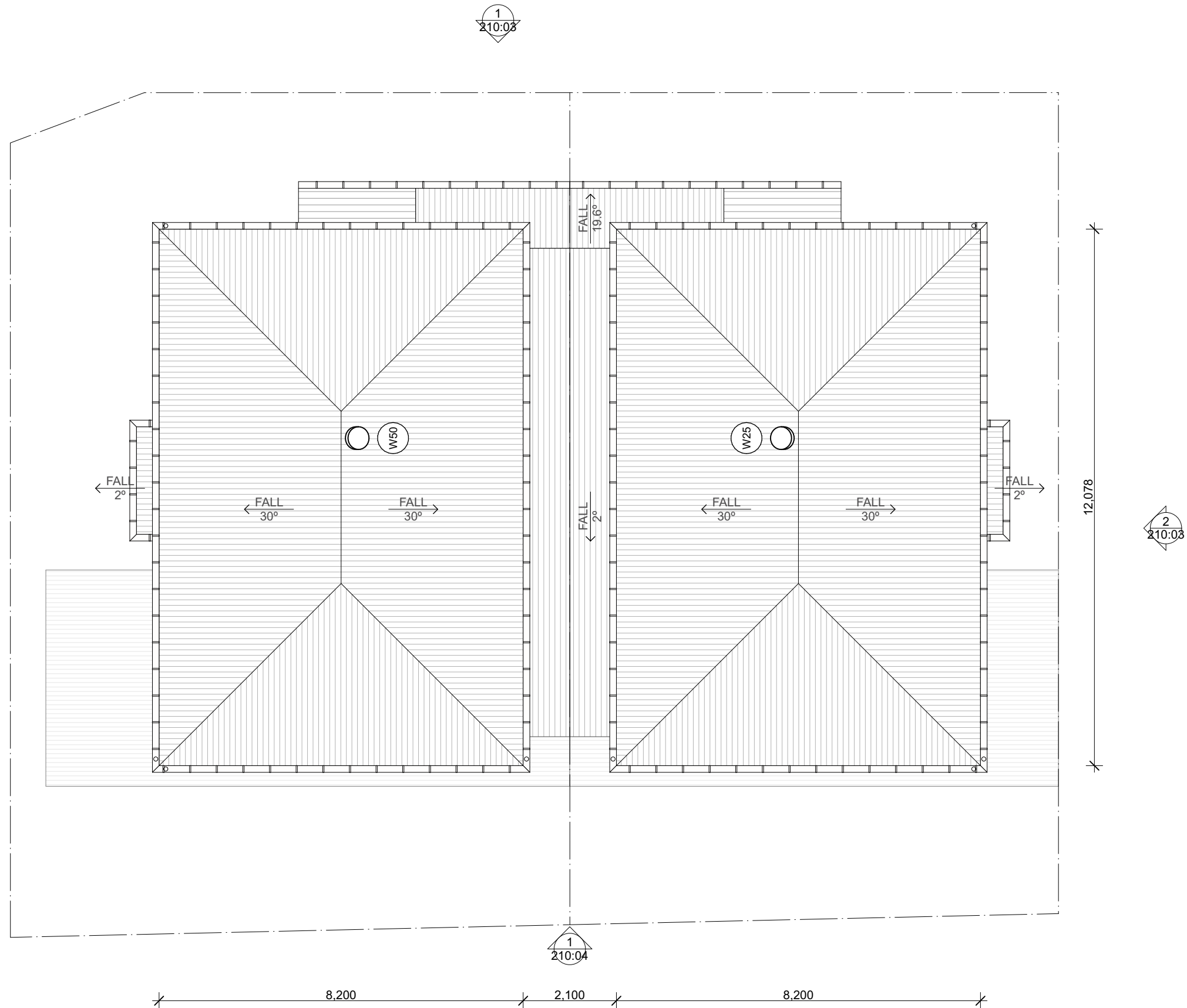
CLIENT:
SITE:

PROJECT NO. 20023
PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

DRAWING TITLE :
HOUSE PLANS
LOT 3 & 5 - FIRST PLAN

PROJECT NAME :
WARRIEWOOD

ISSUE: DA
DRAWING NO. 110:06
REVISION NO. M



1 SEMI B - ROOF PLAN
1:100

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



Member
Australian
Institute of
Architects



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

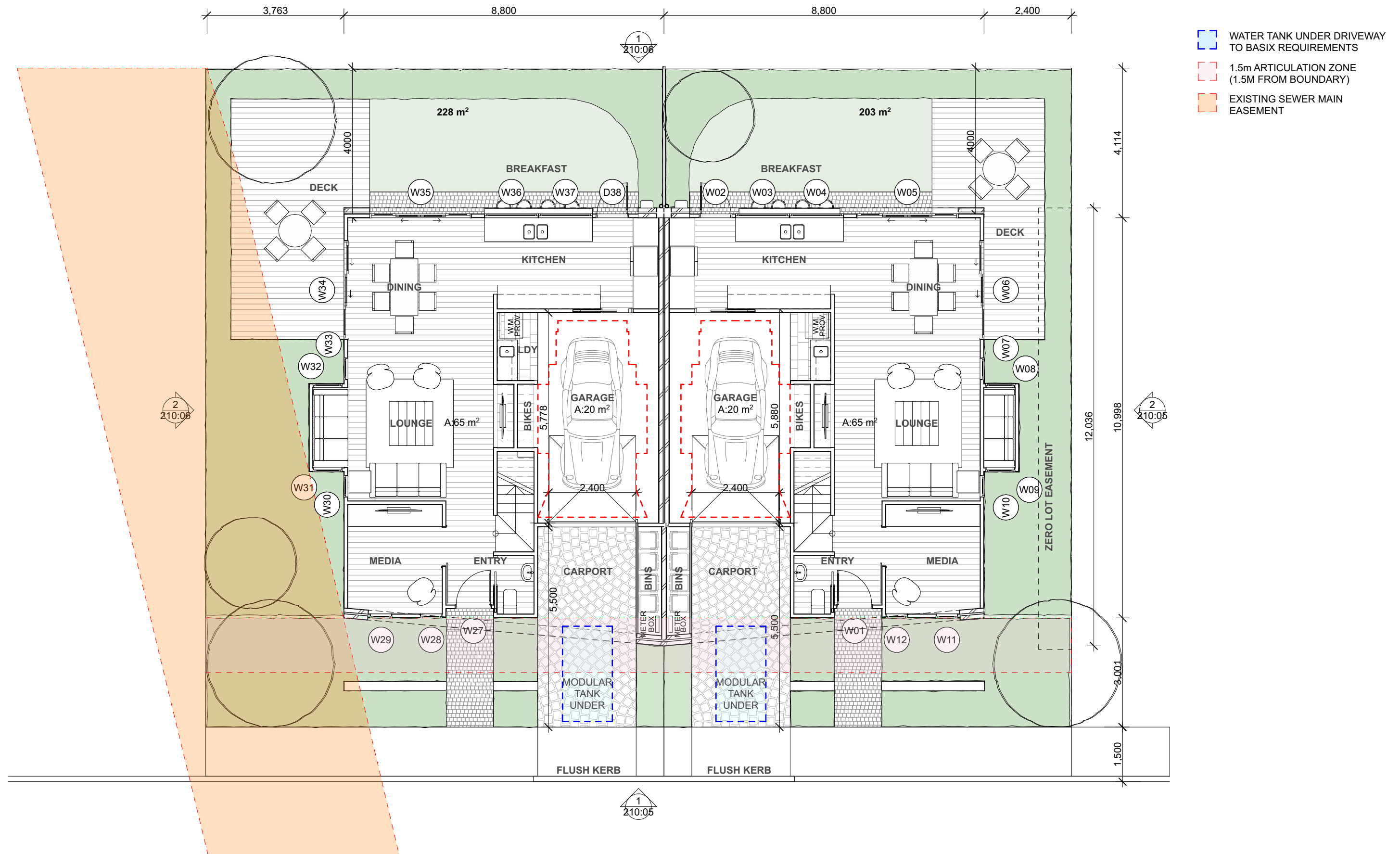
CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

DRAWING TITLE :
HOUSE PLANS
LOT 3 & 5 - ROOF PLAN

PROJECT NAME :
WARRIEWOOD

ISSUE:
DA
DRAWING NO.
110:07
REVISION NO.
M



1 SEMI - GROUND PLAN
1:100

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T +61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676

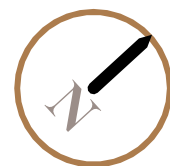


Member
Australian
Institute of
Architects



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: 1:100
PRINT SIZE: A3
PRINT DATE: 27/7/21

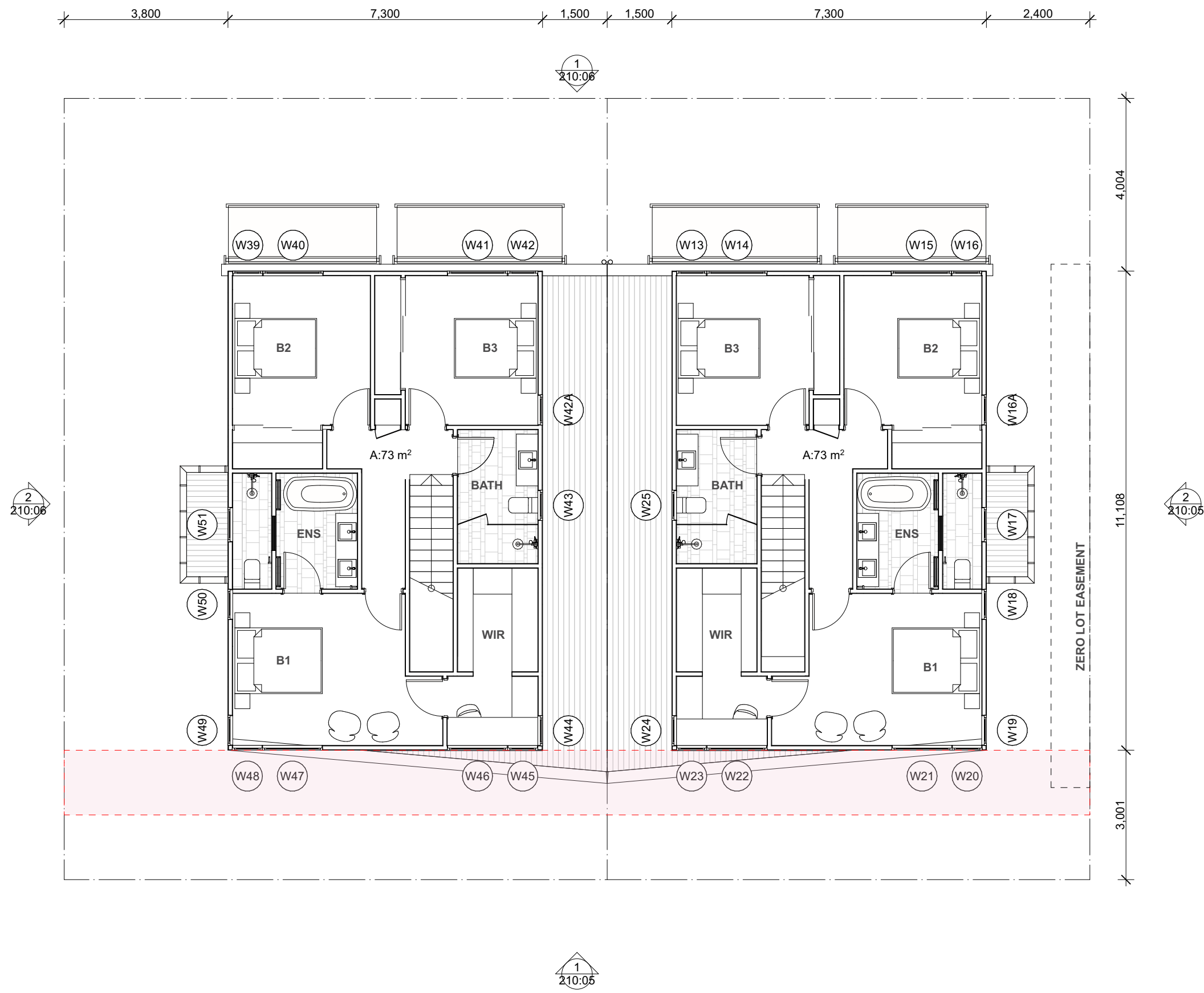
CLIENT:
SITE:

PROJECT NO. 20023
PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

DRAWING TITLE :
HOUSE PLANS
LOT 4 & 6 - GROUND PLAN

PROJECT NAME :
WARRIEWOOD

ISSUE: DA
DRAWING NO. 110:08
REVISION NO. M



1.5m ARTICULATION ZONE
(1.5M FROM BOUNDARY)

1 SEMI - FIRST FLOOR
1:100

Saturday
Studio

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



Member
Australian
Institute of
Architects



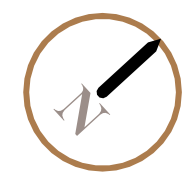
NSW
Architects
Registration
Board



DESIGNER
CERTIFIED
PASSIVE HOUSE
DESIGNER

NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21

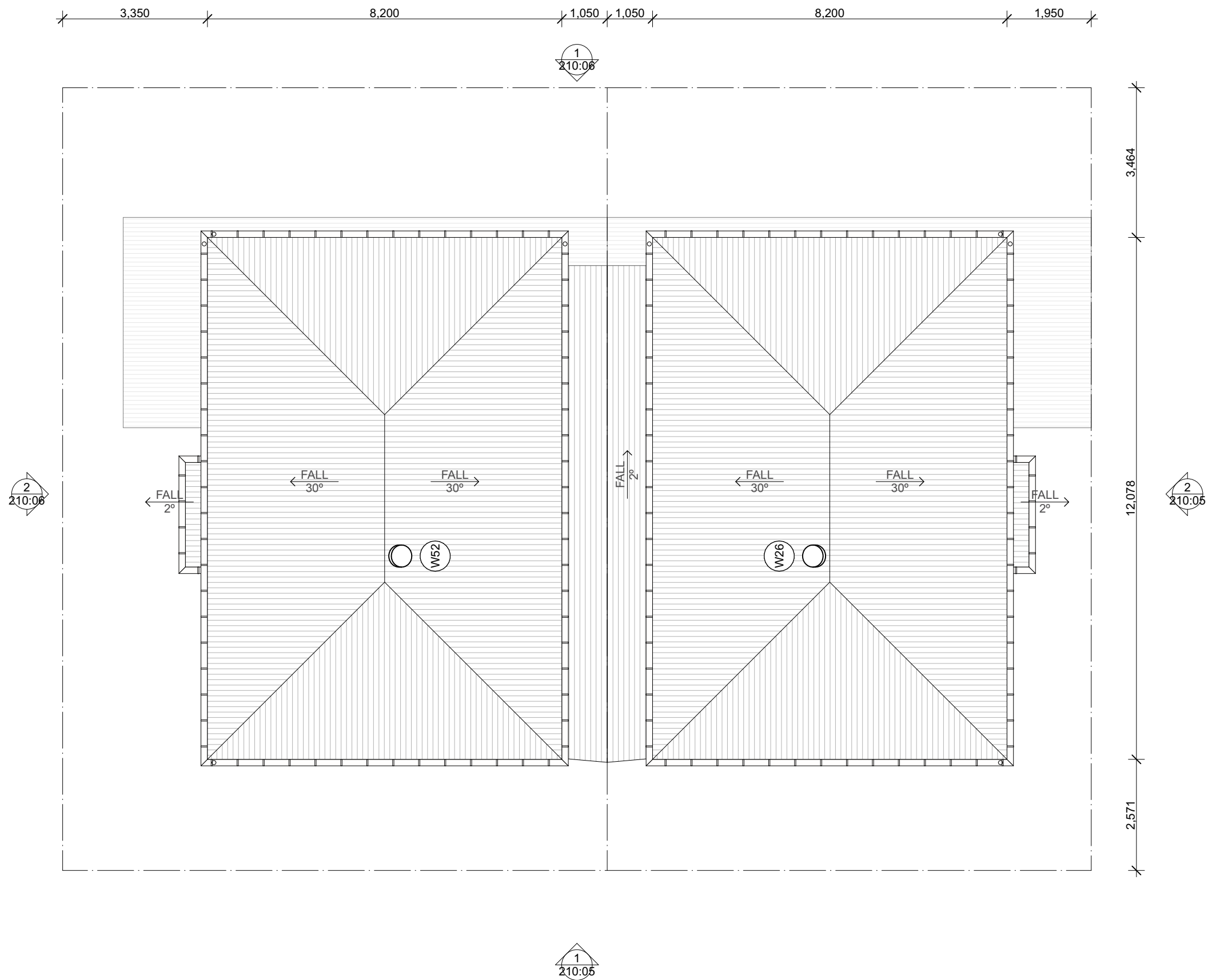


SCALE: 1:100
PRINT SIZE: A3
PRINT DATE: 27/7/21
CLIENT: PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW
SITE:

PROJECT NO. 20023

DRAWING TITLE :
HOUSE PLANS
LOT 4 & 6 - FIRST PLAN
PROJECT NAME :
WARRIEWOOD

ISSUE: DA
DRAWING NO. 110:09
REVISION NO. M



1 SEMI - ROOF PLAN
1:100

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



Member
Australian
Institute of
Architects



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

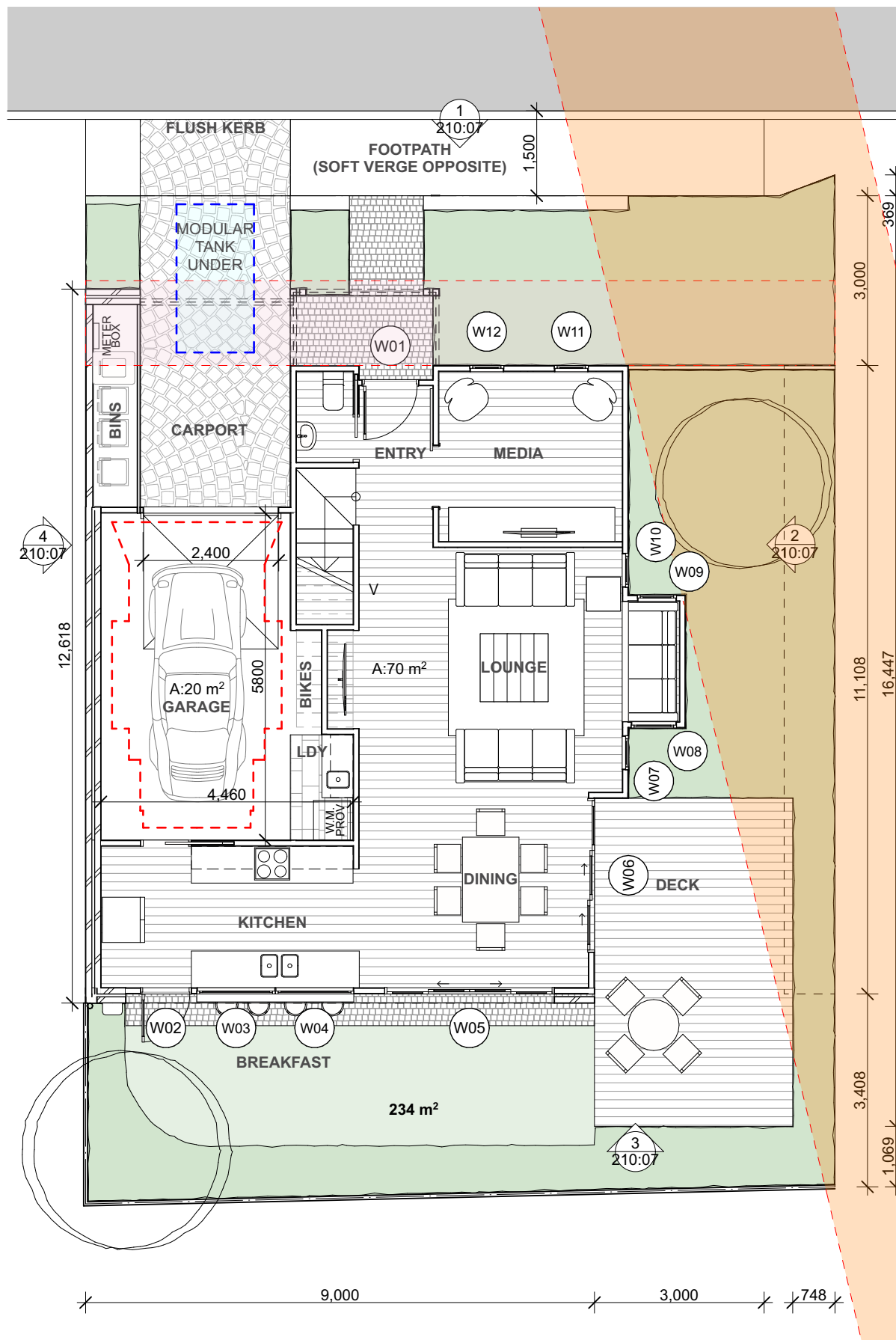
CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

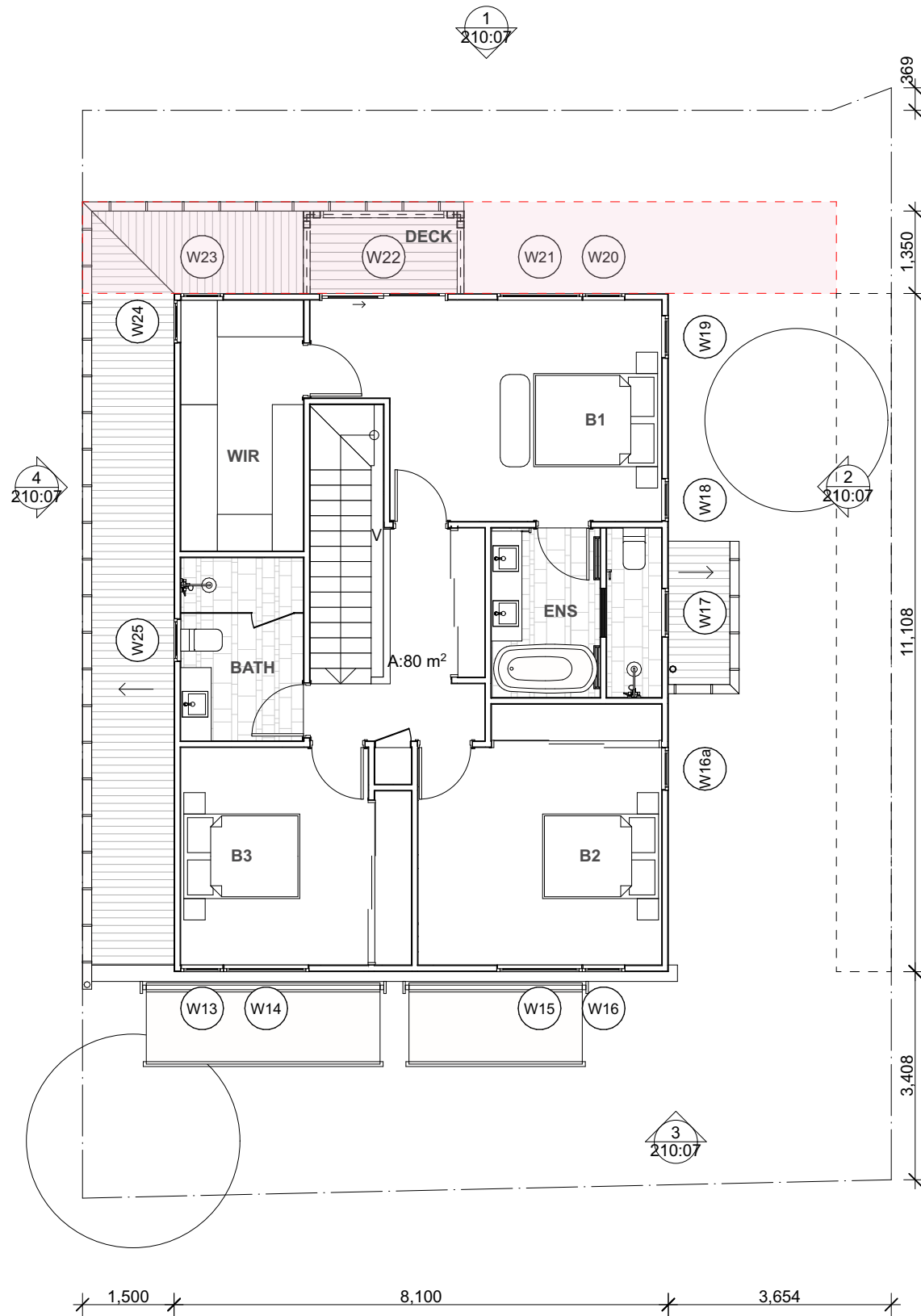
DRAWING TITLE :
HOUSE PLANS
LOT 4 & 6 - ROOF PLAN

PROJECT NAME :
WARRIEWOOD

ISSUE:
DA
DRAWING NO.
110:10
REVISION NO.
M



1 TYPE 1B - GROUND FLOOR
1:100



2 TYPE 1B - FIRST FLOOR
1:100

- WATER TANK UNDER DRIVEWAY TO BASIX REQUIREMENTS
- 1.5m ARTICULATION ZONE (1.5M FROM BOUNDARY)
- EXISTING SEWER MAIN EASEMENT

Saturday Studio

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T +61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: 1:100
PRINT SIZE: A3
PRINT DATE: 27/7/21

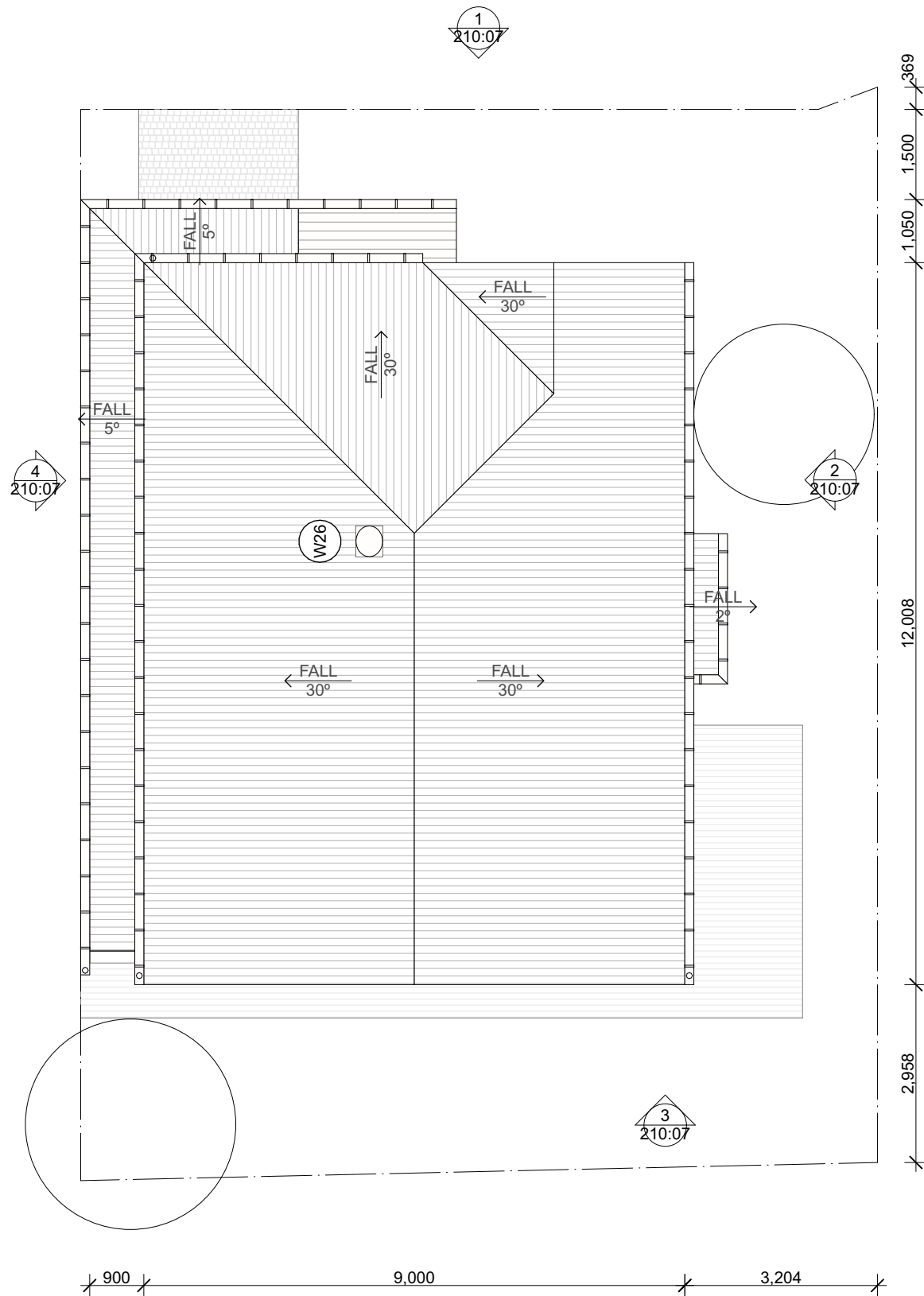
CLIENT:
SITE:

PROJECT NO. 20023
PVD No 21 PTY LTD
53A WARRIWOOD ROAD
WARRIWOOD NSW

DRAWING TITLE :
HOUSE PLANS
LOT 7 - PLANS

PROJECT NAME :
WARRIWOOD

ISSUE: DA
DRAWING NO. 110:11
REVISION NO. M



1 TYPE 1B - ROOF PLAN
1:100

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

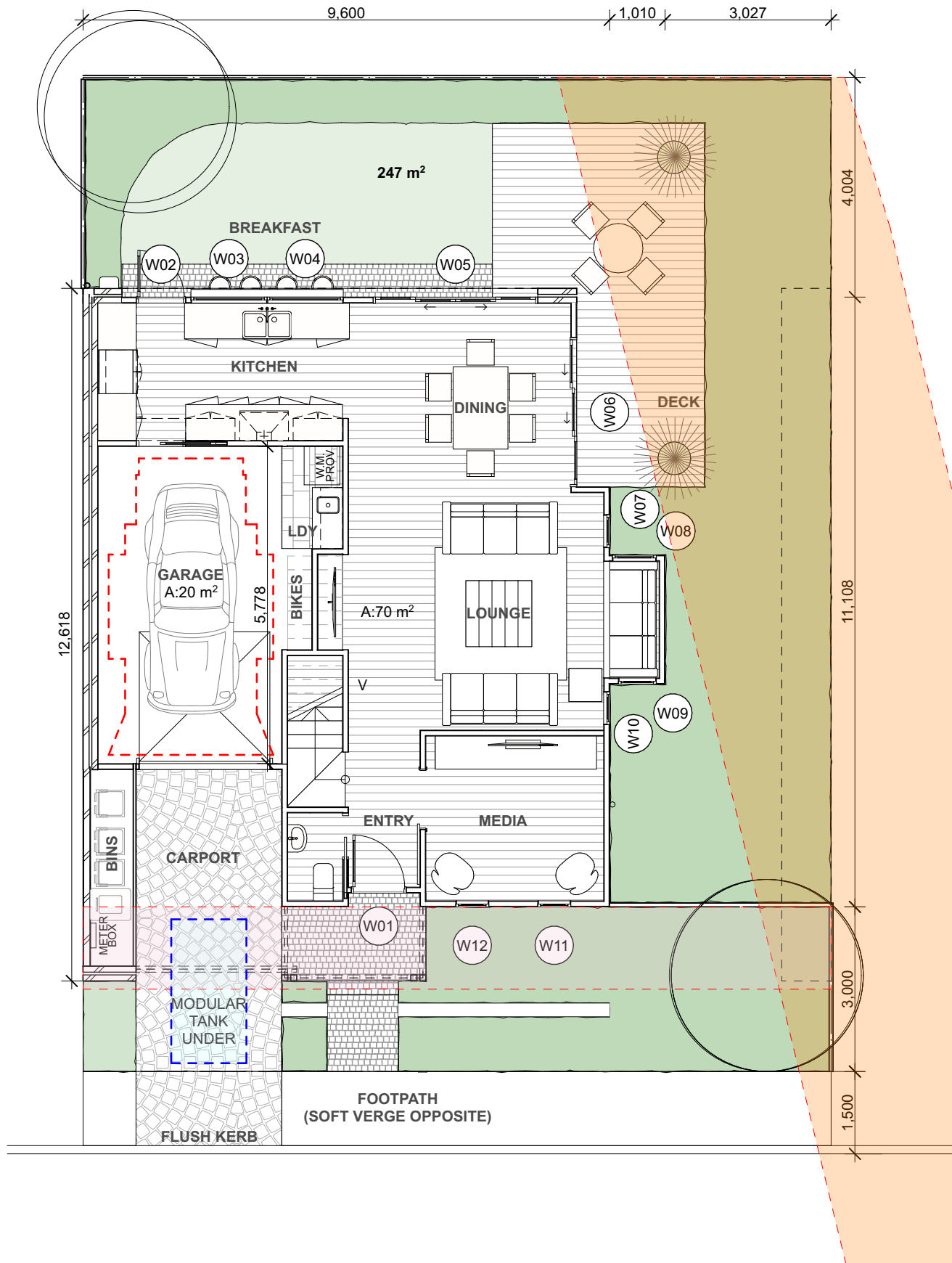
CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIWOOD ROAD
WARRIWOOD NSW

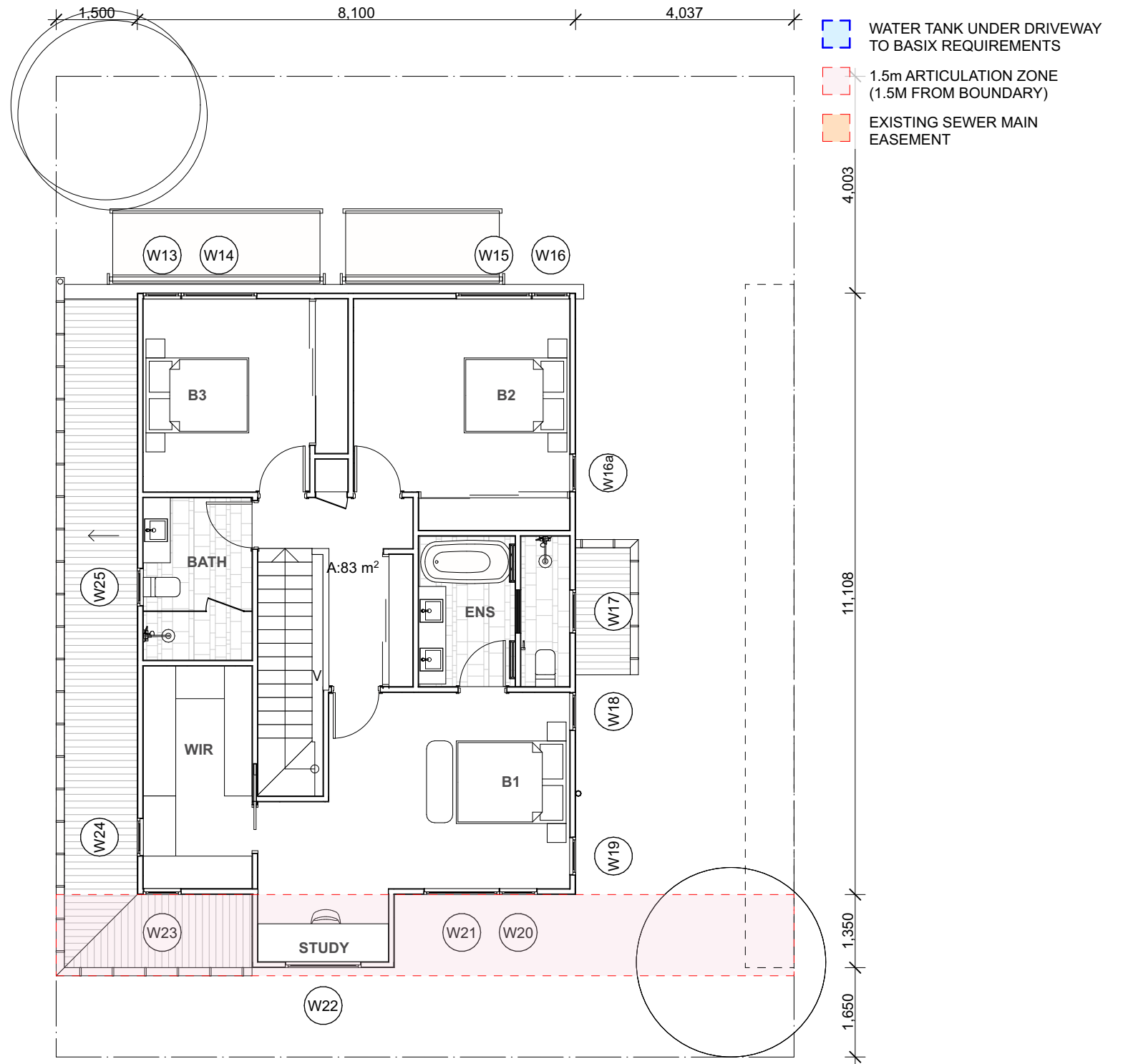
DRAWING TITLE :
HOUSE PLANS
LOT 7 - ROOF PLAN

PROJECT NAME :
WARRIWOOD

ISSUE:
DA
DRAWING NO.
110:12
REVISION NO.
M



1 TYPE 1C - GROUND FLOOR
1:100



2 TYPE 1C - FIRST FLOOR
1:100

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T +61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: 1:100
PRINT SIZE: A3
PRINT DATE: 27/7/21

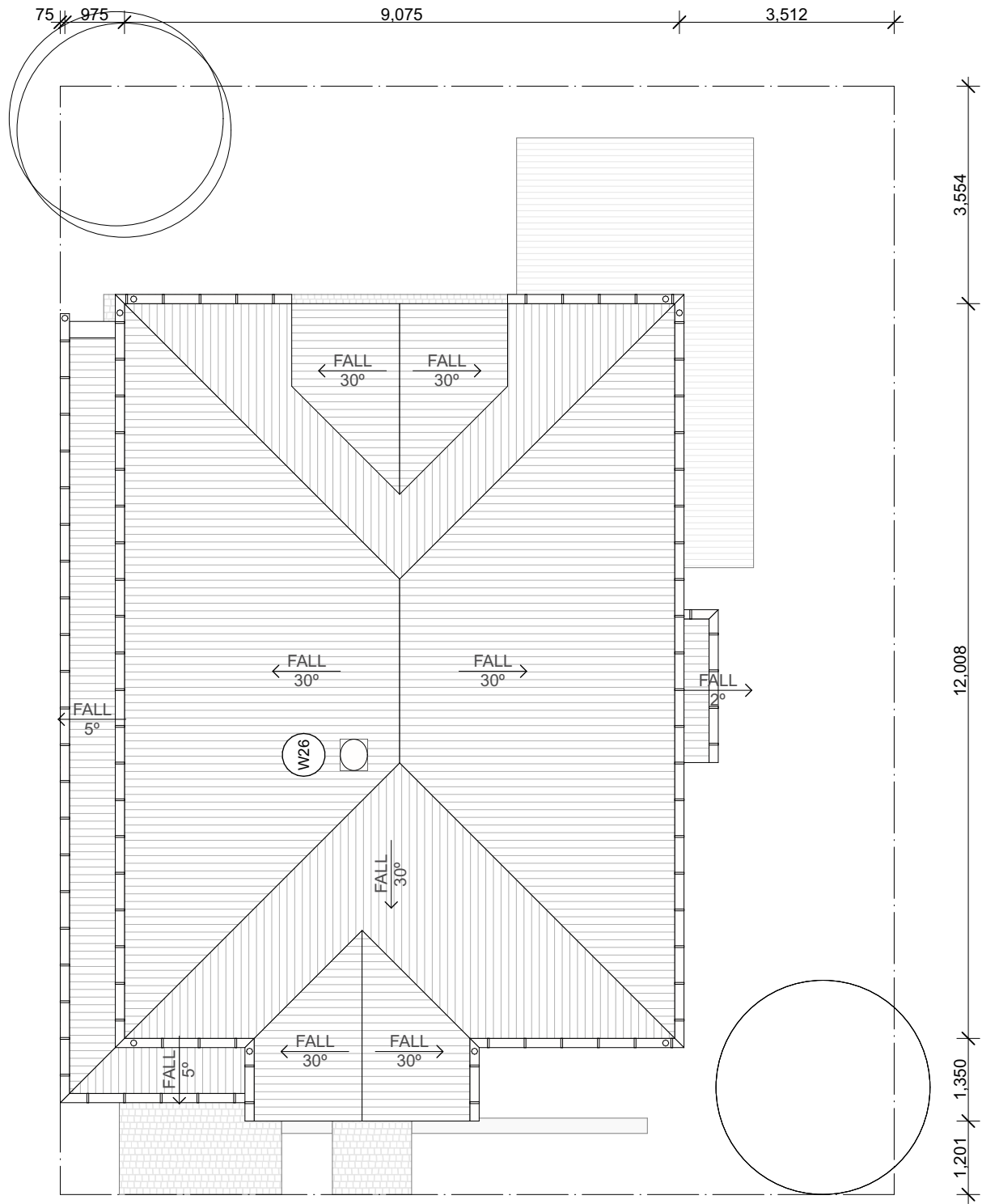
CLIENT:
SITE:

PROJECT NO. 20023
PVD No 21 PTY LTD
53A WARRIWOOD ROAD
WARRIWOOD NSW

DRAWING TITLE :
HOUSE PLANS
LOT 8 - PLANS

PROJECT NAME :
WARRIWOOD

ISSUE: DA
DRAWING NO. 110:13
REVISION NO. M



1 TYPE 1C - ROOF PLAN
1:100

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

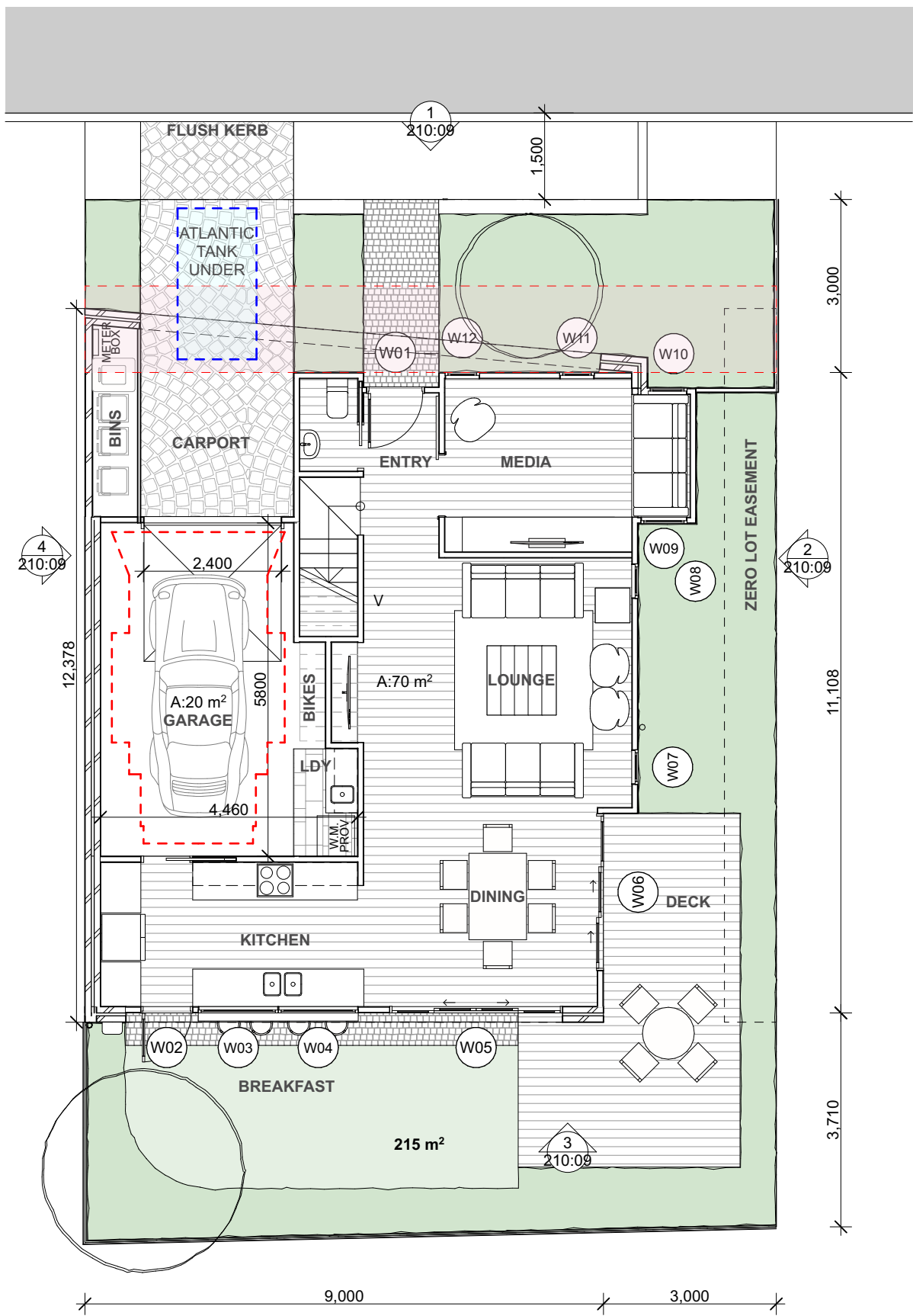
CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIWOOD ROAD
WARRIWOOD NSW

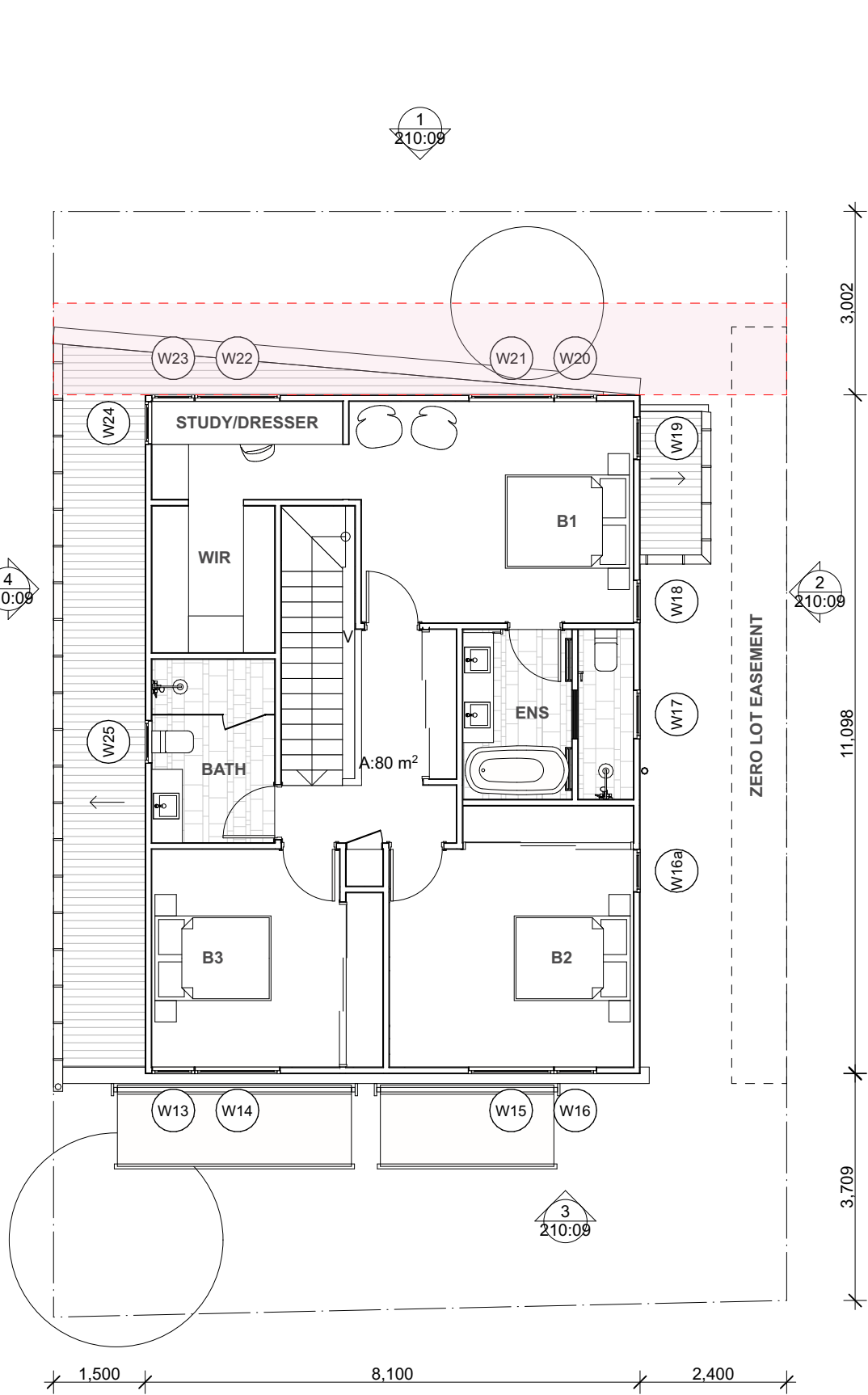
DRAWING TITLE :
HOUSE PLANS
LOT 8 - ROOF PLAN

PROJECT NAME :
WARRIWOOD

ISSUE: **DA**
DRAWING NO. **110:14**
REVISION NO. **M**



1 TYPE 1 - GROUND FLOOR
1:100



2 TYPE 1 - FIRST FLOOR
1:100

WATER TANK UNDER DRIVEWAY
TO BASIX REQUIREMENTS

1.5m ARTICULATION ZONE
(1.5M FROM BOUNDARY)

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T +61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: 1:100
PRINT SIZE: A3
PRINT DATE: 27/7/21

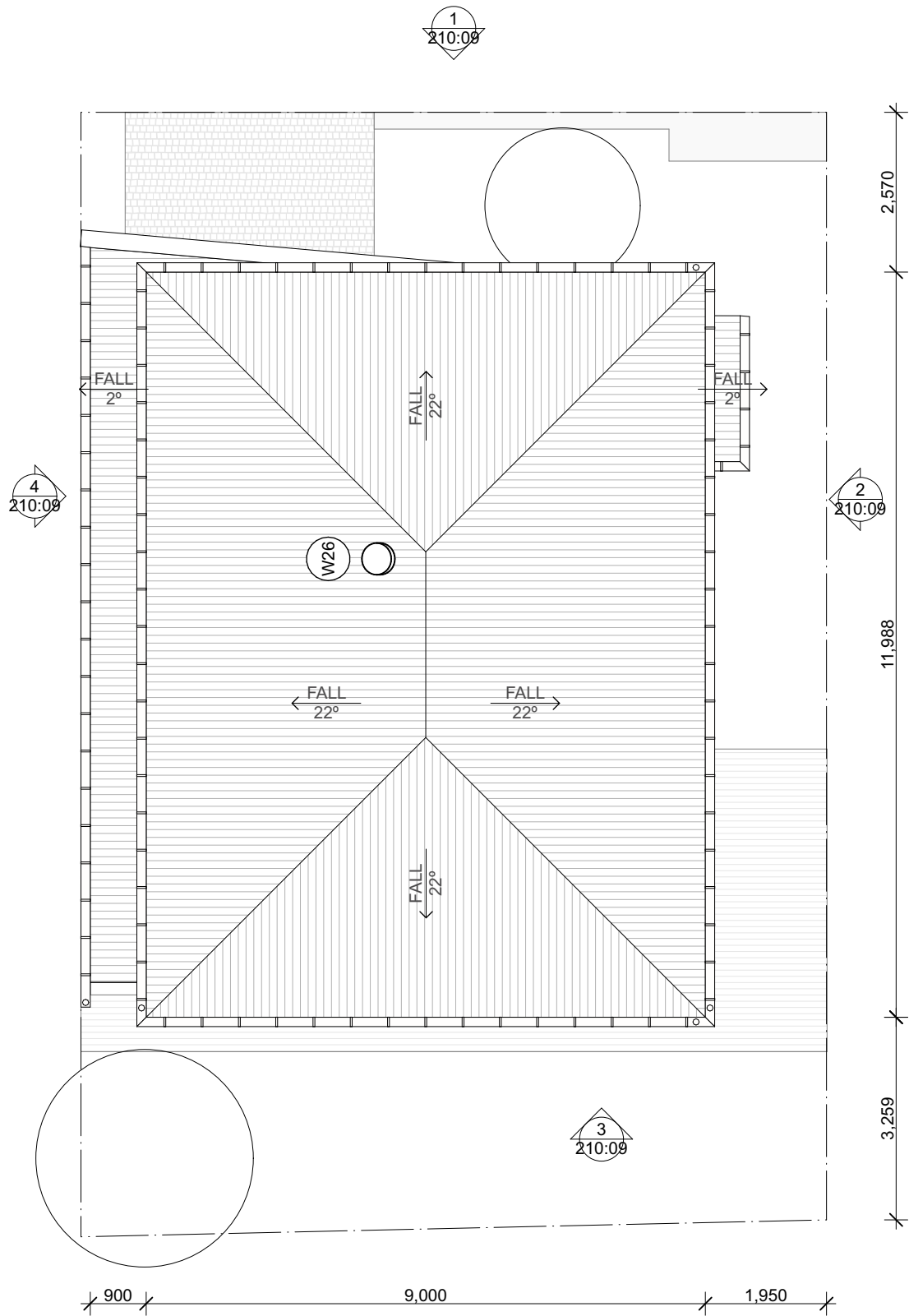
CLIENT:
SITE:

PROJECT NO. 20023
PVD No 21 PTY LTD
53A WARRIWOOD ROAD
WARRIWOOD NSW

DRAWING TITLE :
HOUSE PLANS
LOT 9 - PLANS

PROJECT NAME :
WARRIWOOD

ISSUE: DA
DRAWING NO. 110:15
REVISION NO. M



1 TYPE 1 - ROOF PLAN
1:100

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



Member
Australian
Institute of
Architects



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

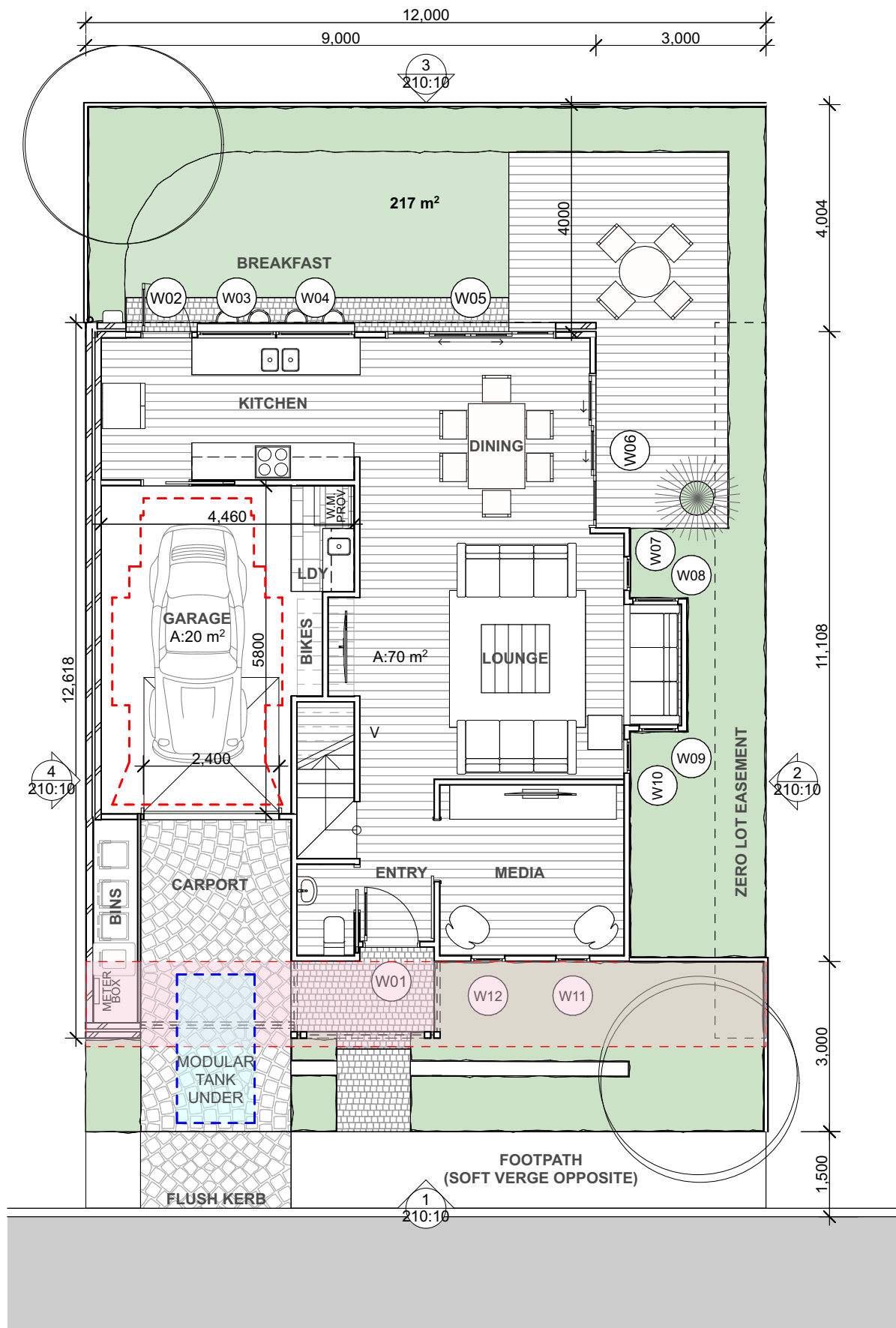
CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIWOOD ROAD
WARRIWOOD NSW

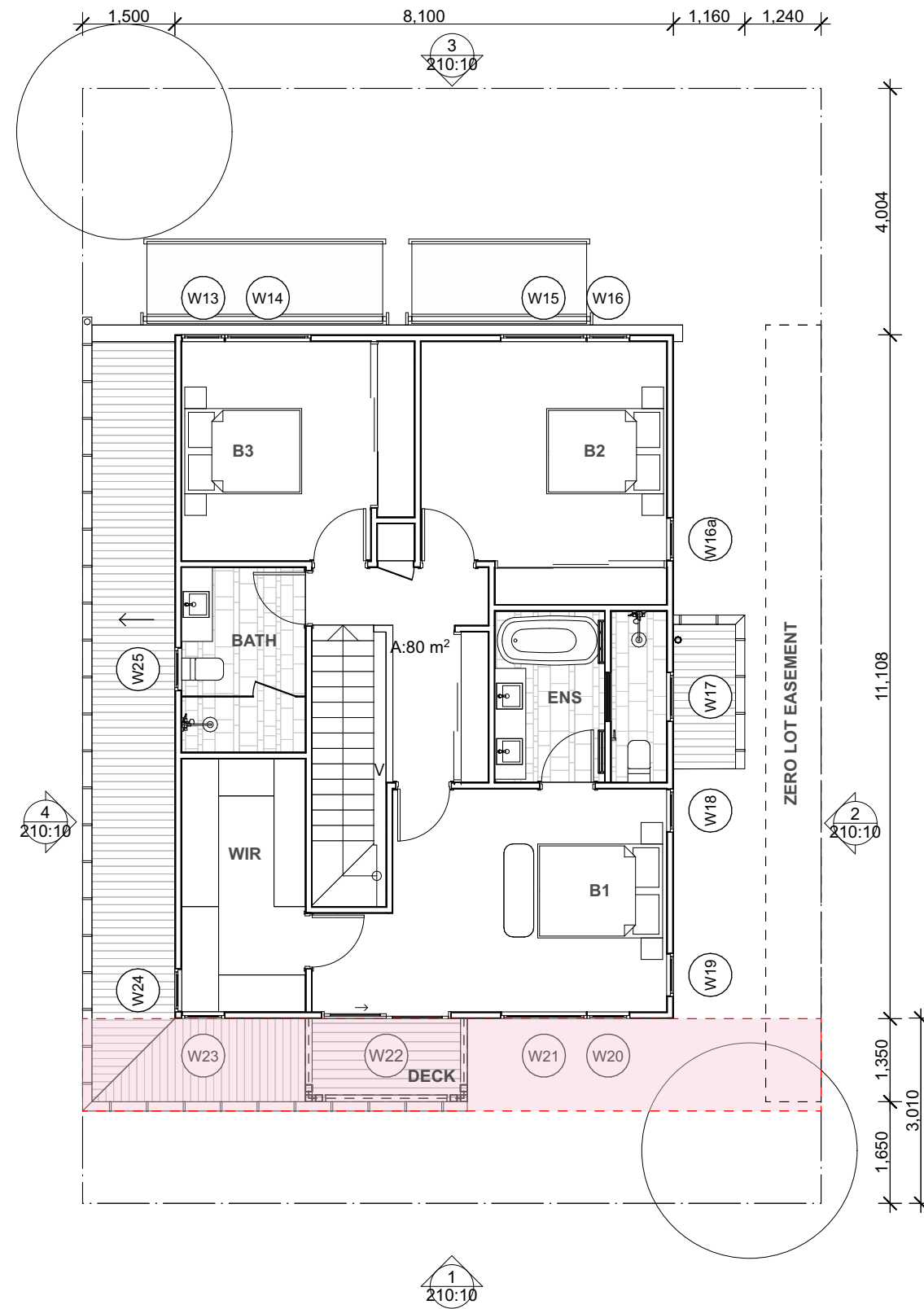
DRAWING TITLE :
HOUSE PLANS
LOT 9 - ROOF PLAN

PROJECT NAME :
WARRIWOOD

ISSUE:
DA
DRAWING NO.
110:16
REVISION NO.
M



1 TYPE 1B - GROUND FLOOR
1:100



2 TYPE 1B - FIRST FLOOR
1:100

- WATER TANK UNDER DRIVEWAY TO BASIX REQUIREMENTS
- 1.5m ARTICULATION ZONE (1.5M FROM BOUNDARY)

Saturday Studio

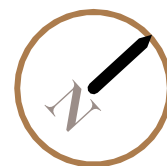
Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T +61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

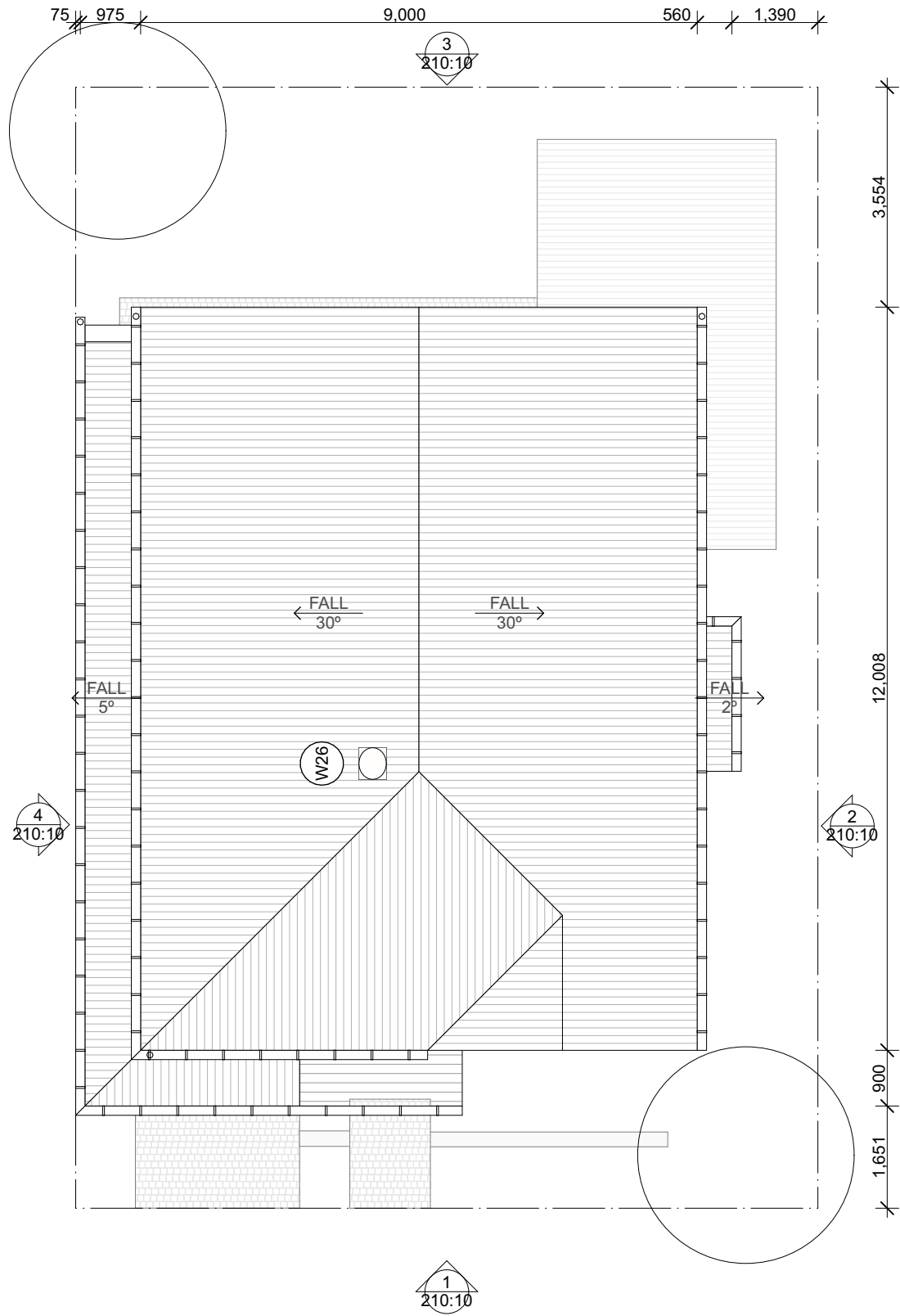
CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

DRAWING TITLE :
HOUSE PLANS
LOT 10 - PLANS

PROJECT NAME :
WARRIEWOOD

ISSUE:
DA
DRAWING NO.
110:17
REVISION NO.
M



1 TYPE 1B - ROOF PLAN
1:100

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

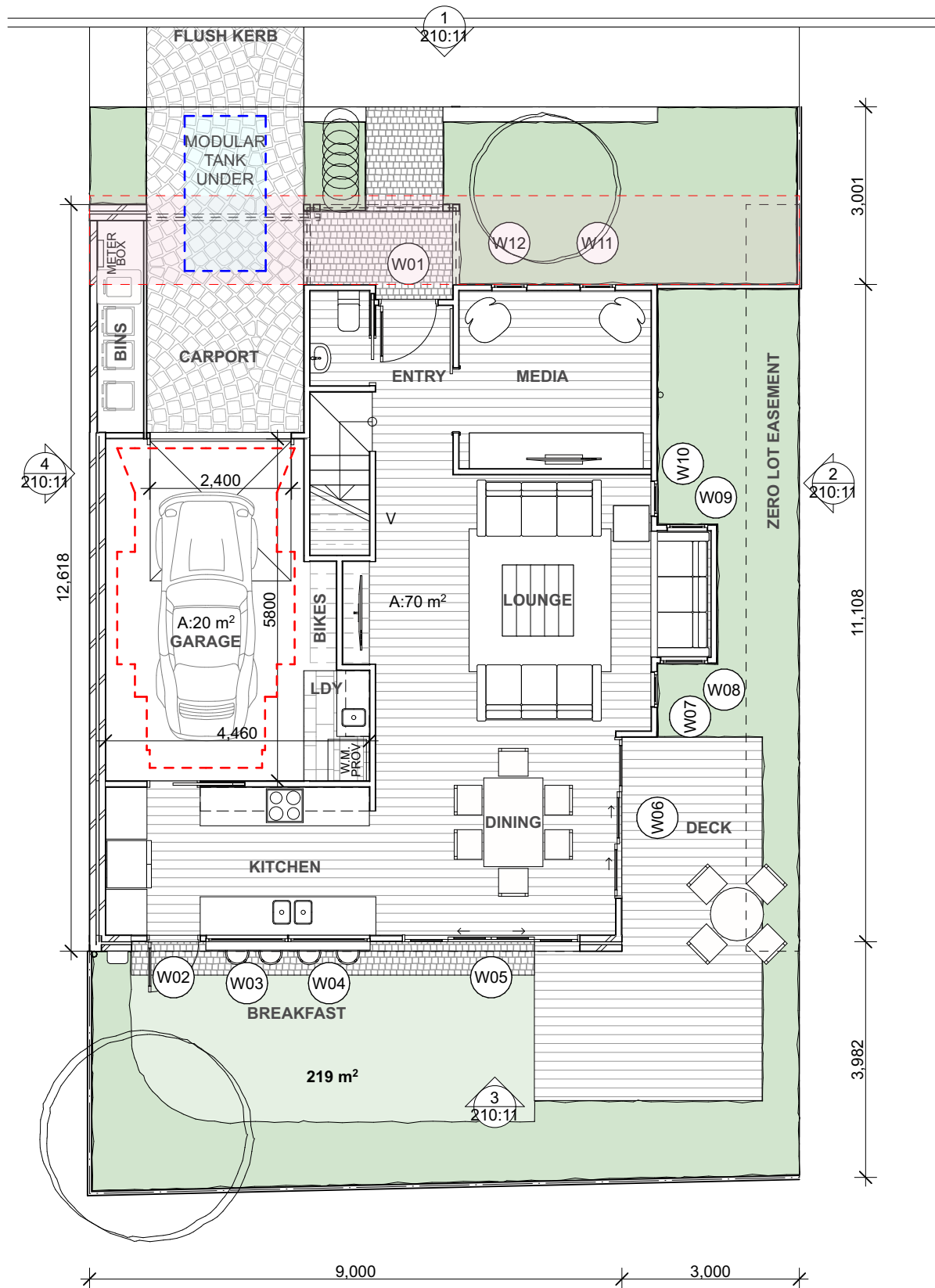
CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

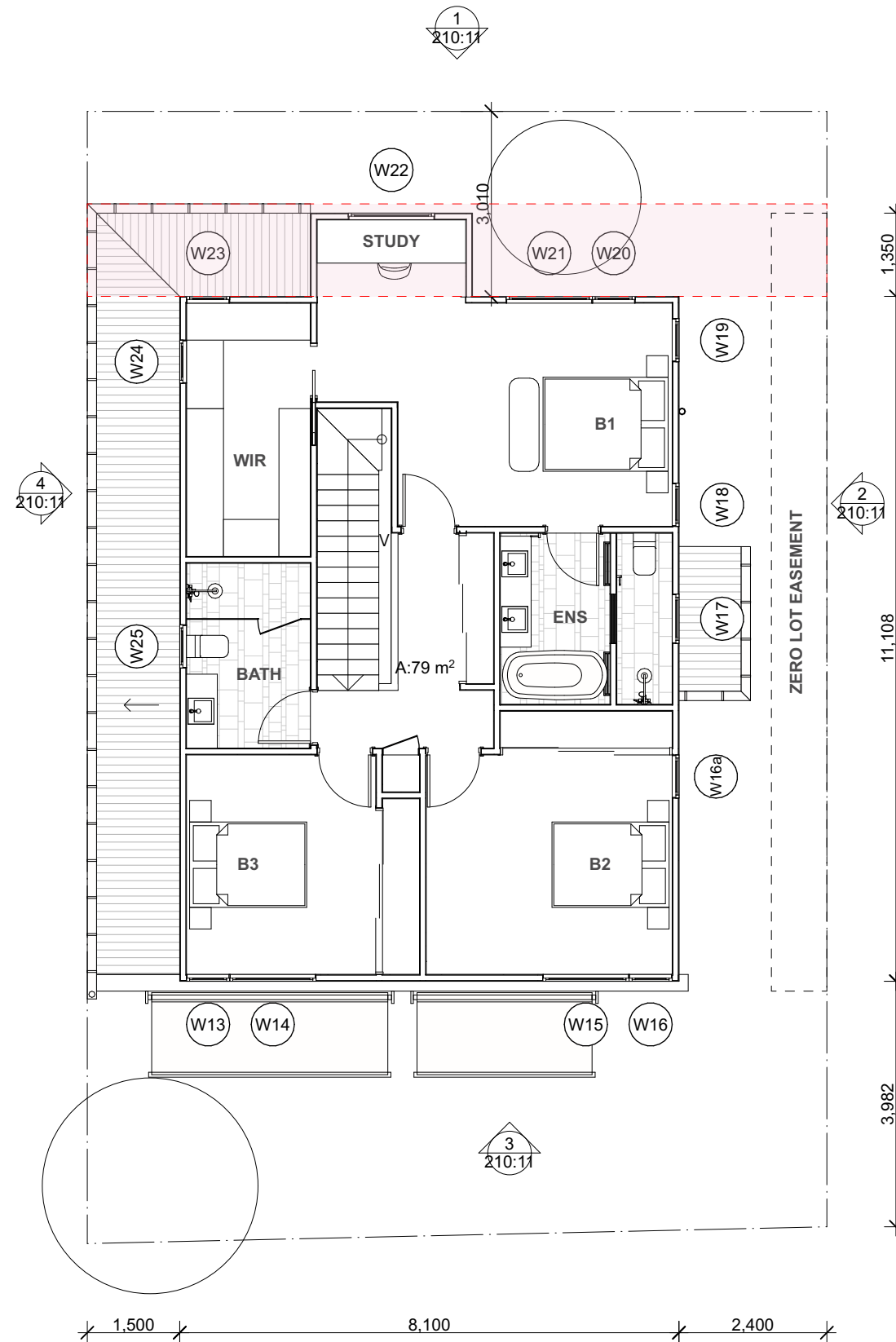
DRAWING TITLE :
HOUSE PLANS
LOT 10 - ROOF PLAN

PROJECT NAME :
WARRIEWOOD

ISSUE:
DA
DRAWING NO.
110:18
REVISION NO.
M



1 TYPE 1C - GROUND FLOOR
1:100



2 TYPE 1C - FIRST FLOOR
1:100

WATER TANK UNDER DRIVEWAY
TO BASIX REQUIREMENTS

1.5m ARTICULATION ZONE
(1.5M FROM BOUNDARY)

**Saturday
Studio**

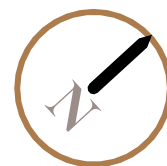
Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T +61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

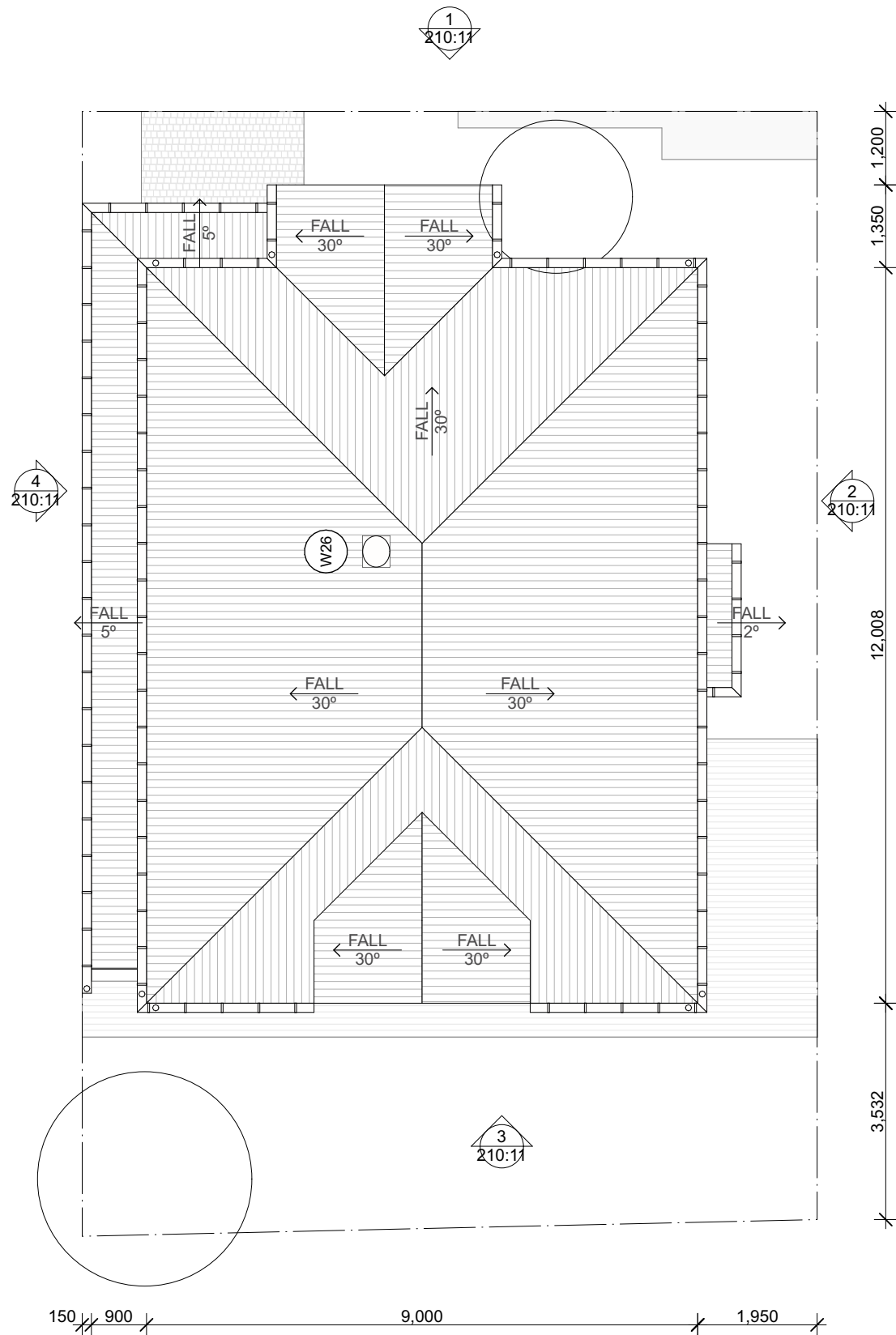
CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIWOOD ROAD
WARRIWOOD NSW

DRAWING TITLE :
HOUSE PLANS
LOT 11 - PLANS

PROJECT NAME :
WARRIWOOD

ISSUE:
DA
DRAWING NO.
110:19
REVISION NO.
M



1 TYPE 1C - ROOF PLAN
1:100

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

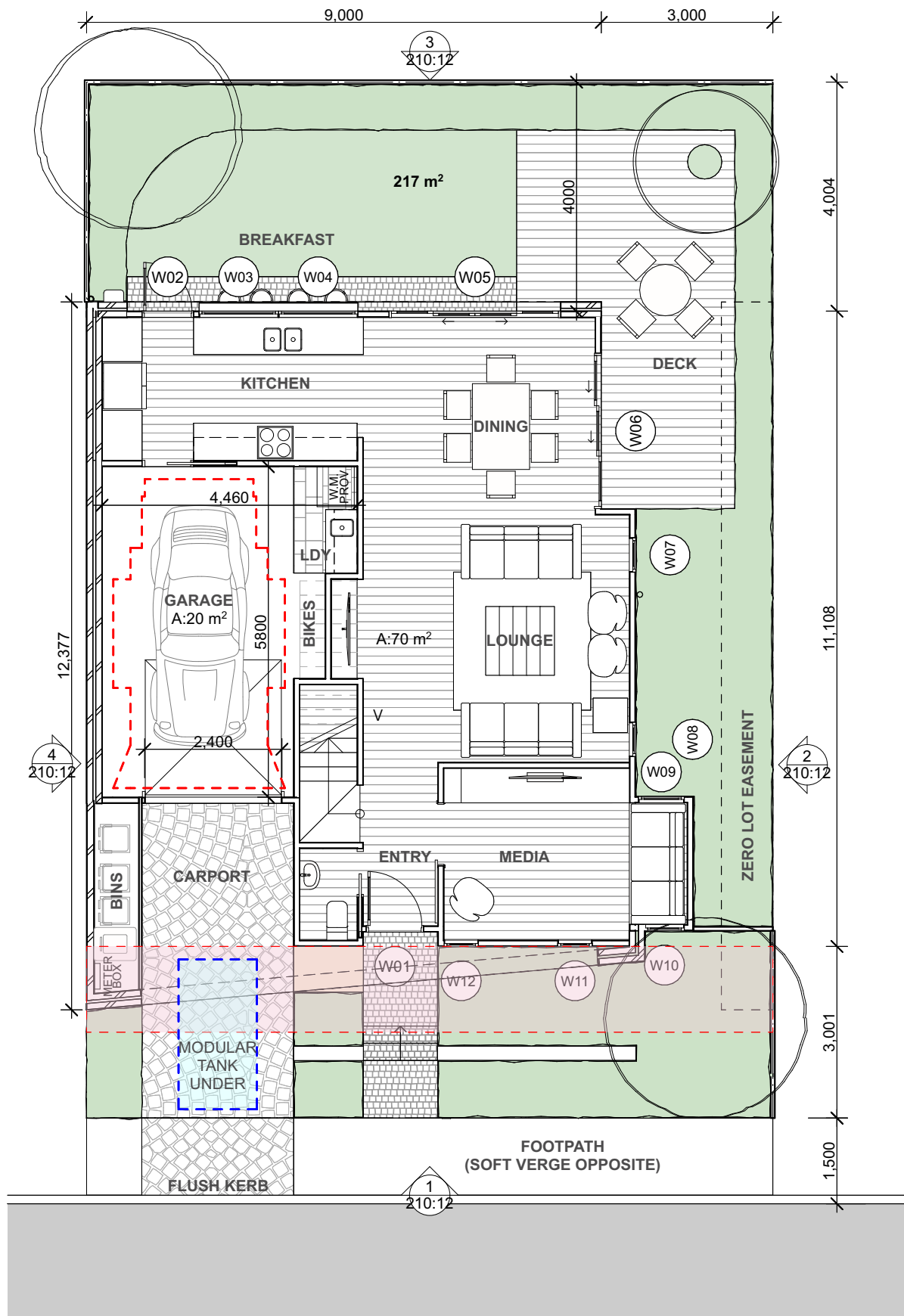
CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIWOOD ROAD
WARRIWOOD NSW

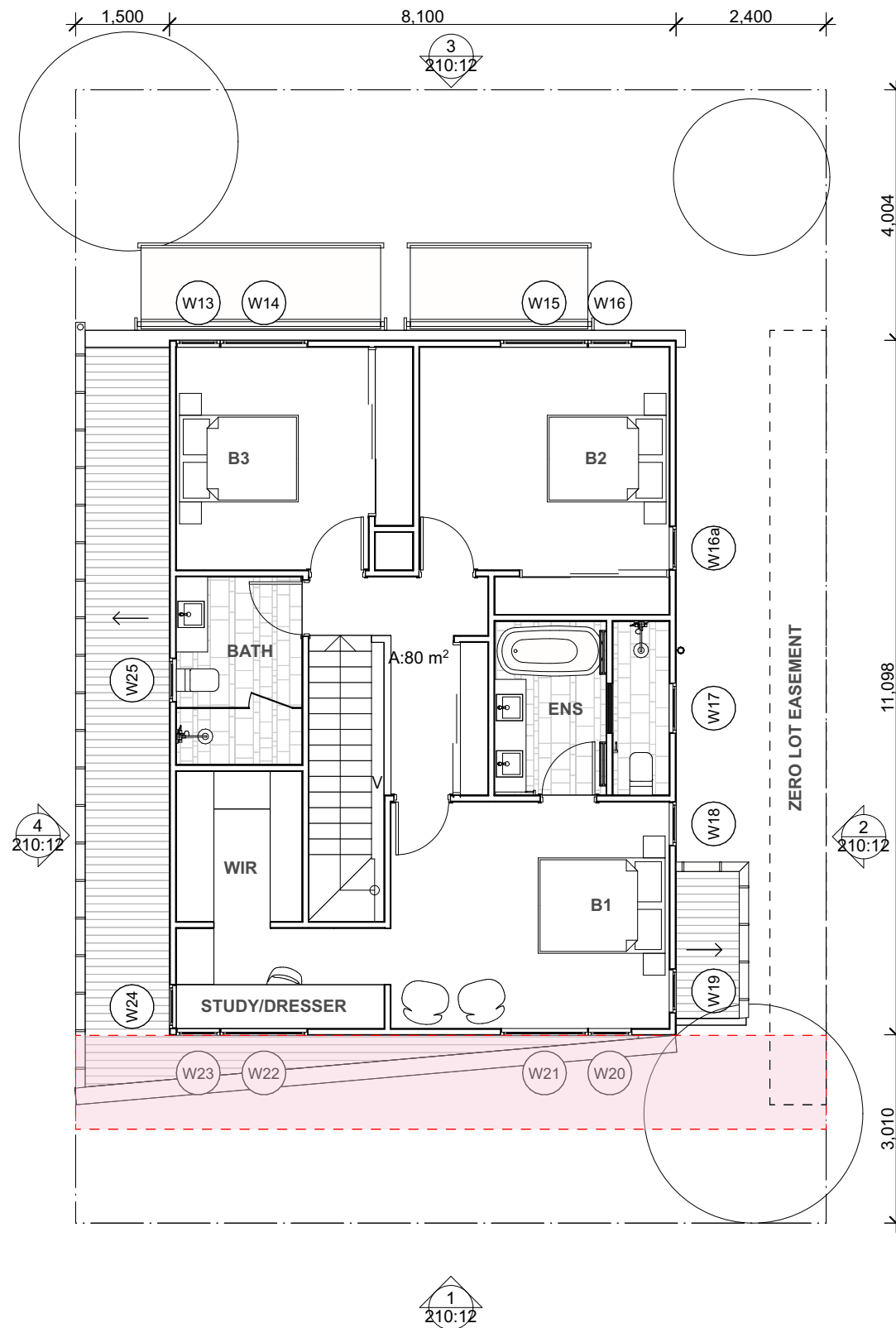
DRAWING TITLE :
HOUSE PLANS
LOT 11 - ROOF PLAN

PROJECT NAME :
WARRIWOOD

ISSUE:
DA
DRAWING NO.
110:20
REVISION NO.
M



1 TYPE 1 - GROUND FLOOR
1:100



2 TYPE 1 - FIRST FLOOR
1:100

- WATER TANK UNDER DRIVEWAY TO BASIX REQUIREMENTS
- 1.5m ARTICULATION ZONE (1.5M FROM BOUNDARY)

Saturday Studio

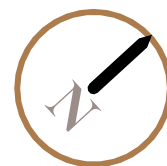
Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T +61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: 1:100
PRINT SIZE: A3
PRINT DATE: 27/7/21

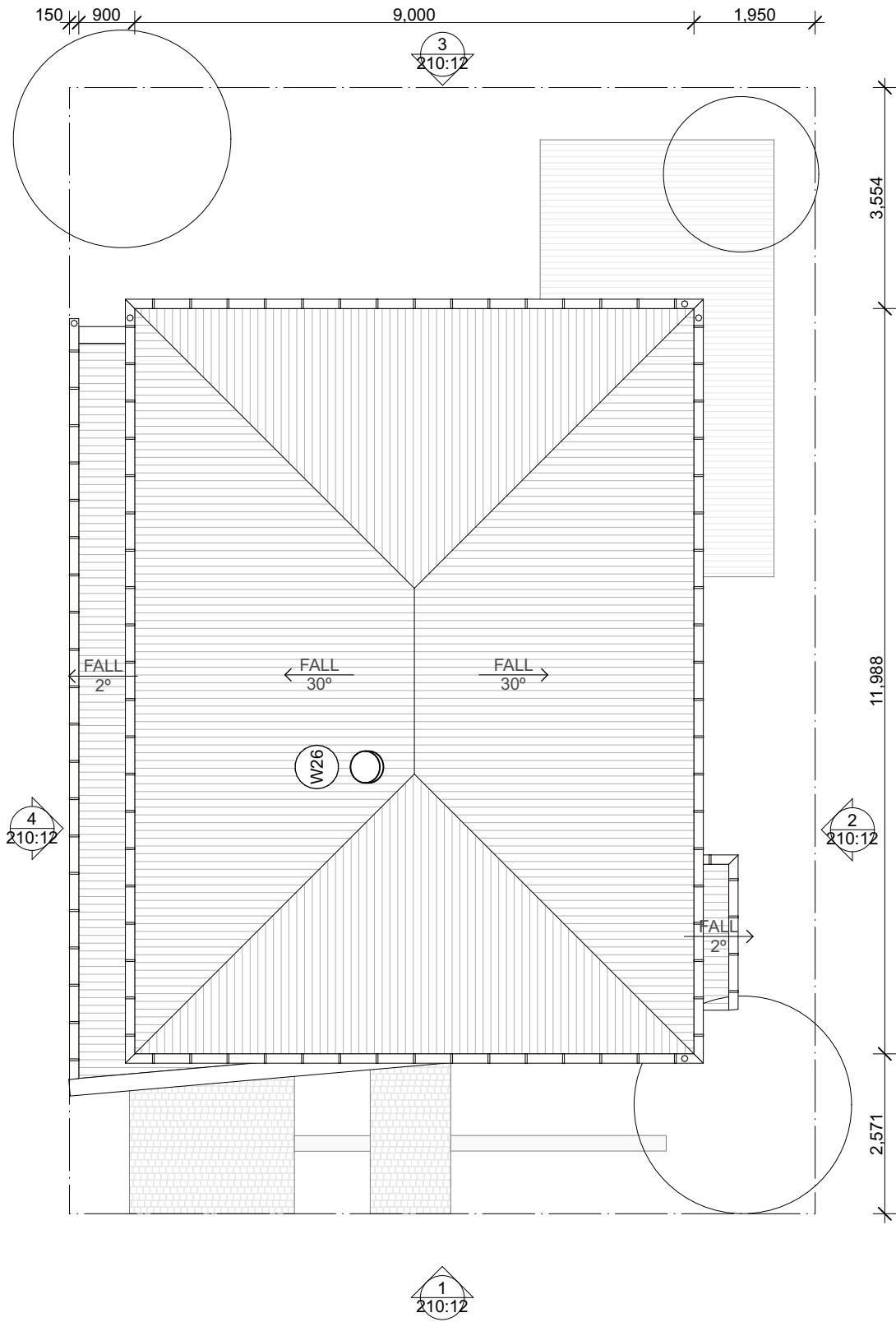
CLIENT:
SITE:

PROJECT NO. 20023
PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

DRAWING TITLE :
HOUSE PLANS
LOT 12 - PLANS

PROJECT NAME :
WARRIEWOOD

ISSUE: DA
DRAWING NO. 110:21
REVISION NO. M



1 TYPE 1 - ROOF PLAN
1:100

Saturday Studio

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

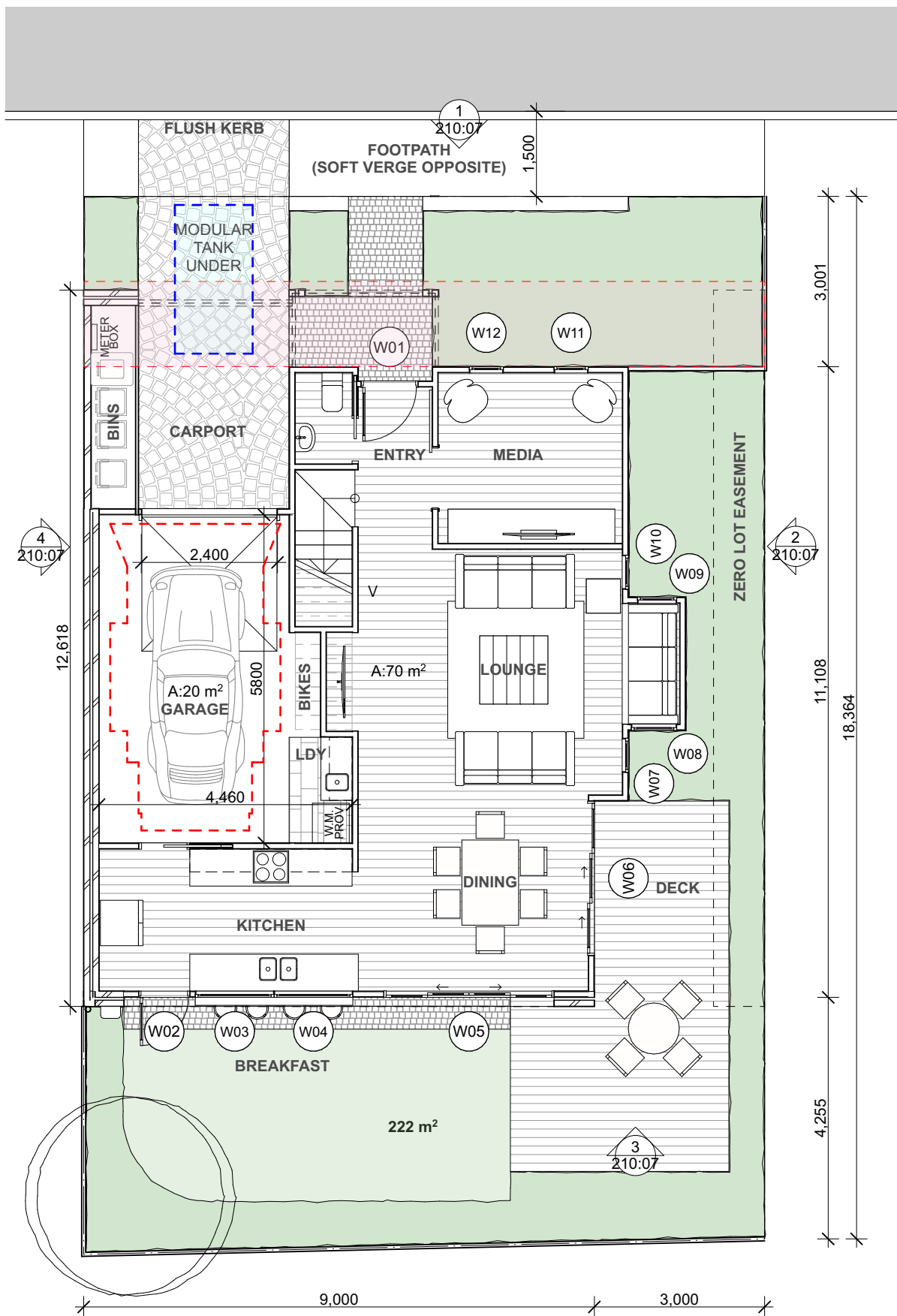
CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIWOOD ROAD
WARRIWOOD NSW

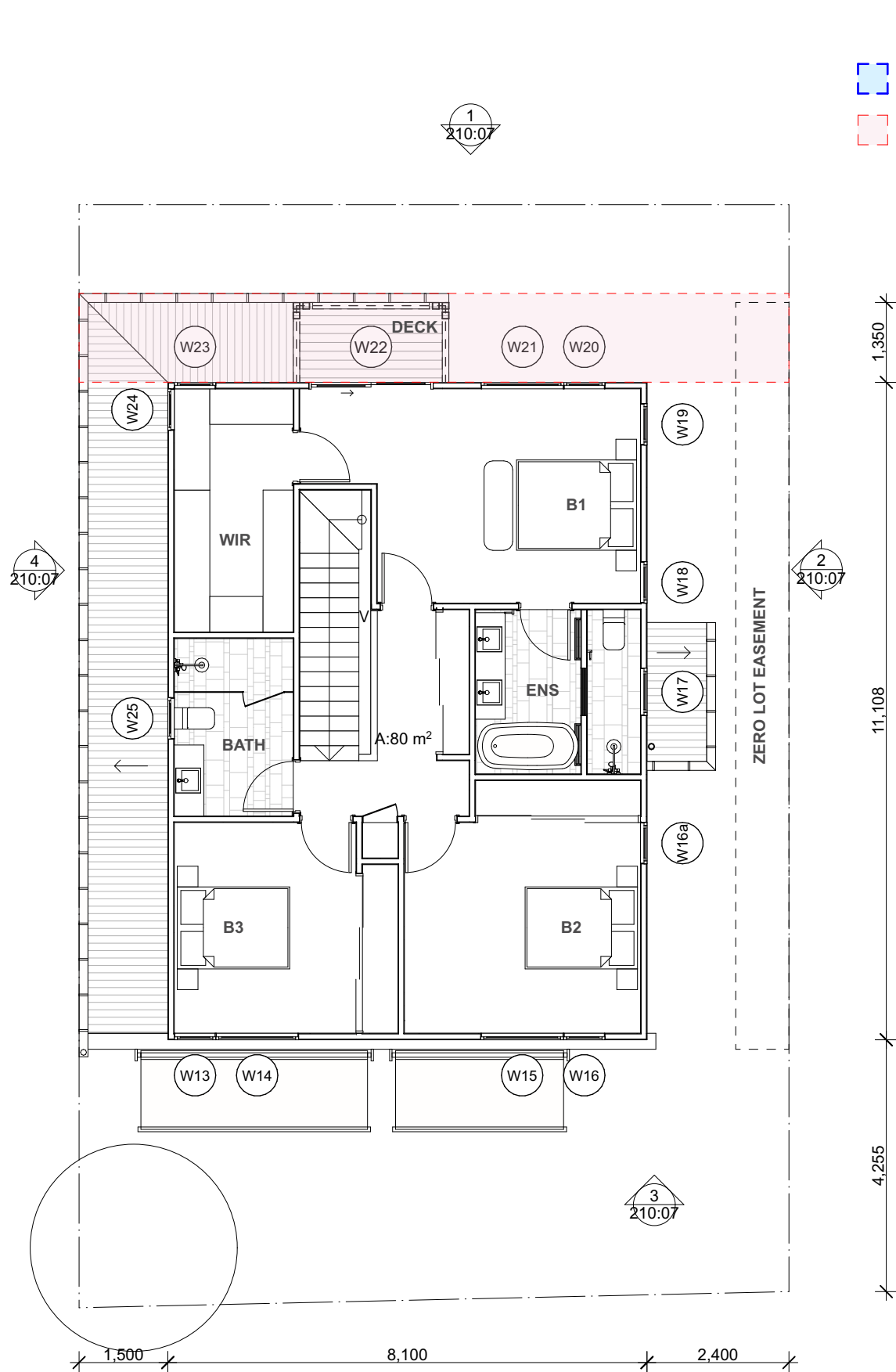
DRAWING TITLE :
HOUSE PLANS
LOT 12 - ROOF PLAN

PROJECT NAME :
WARRIWOOD

ISSUE:
DA
DRAWING NO.
110:22
REVISION NO.
M



1 TYPE 1B - GROUND FLOOR
1:100



2 TYPE 1B - FIRST FLOOR
1:100

WATER TANK UNDER DRIVEWAY
TO BASIX REQUIREMENTS

1.5m ARTICULATION ZONE
(1.5M FROM BOUNDARY)

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T +61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: 1:100
PRINT SIZE: A3
PRINT DATE: 27/7/21

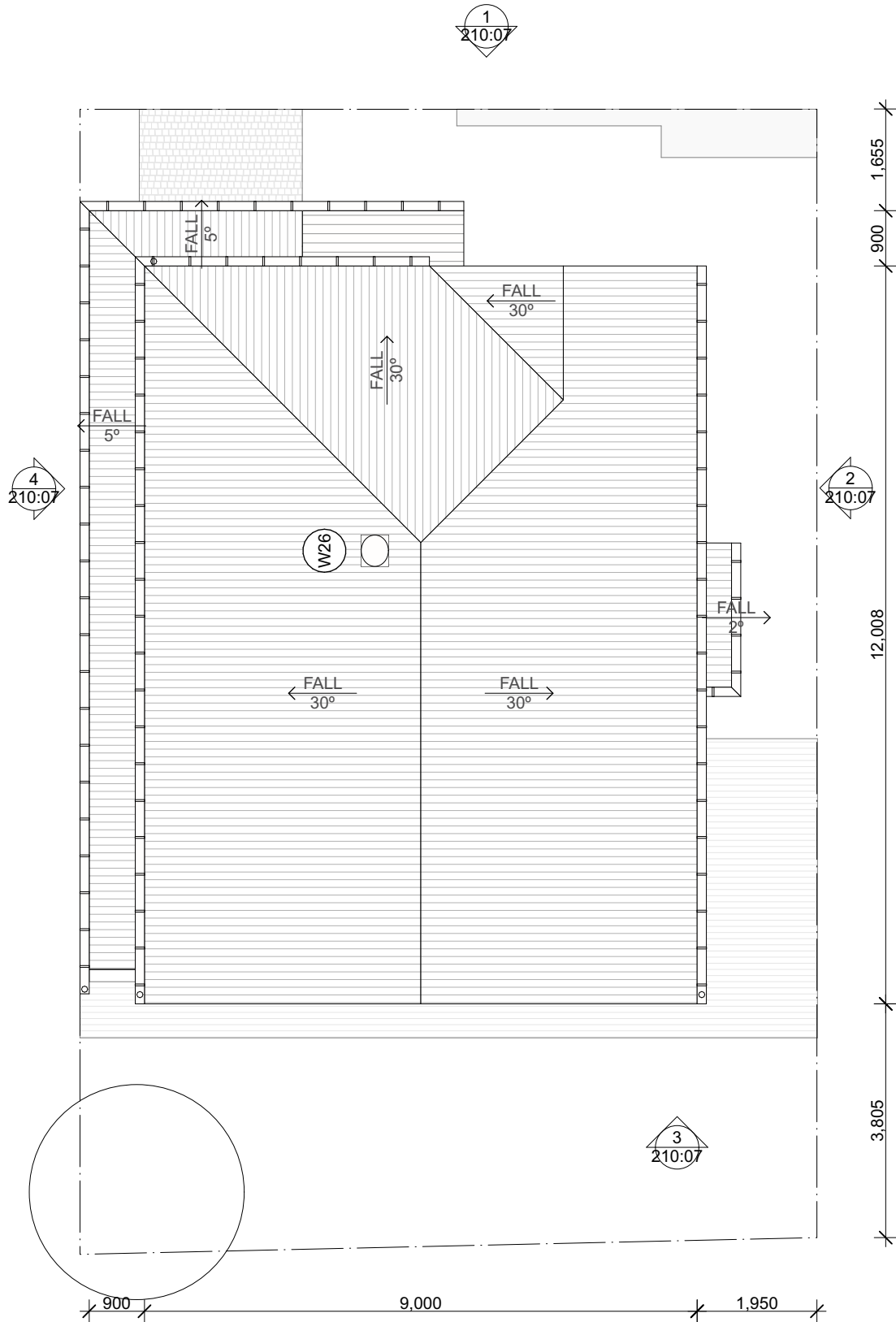
CLIENT:
SITE:

PROJECT NO. 20023
PVD No 21 PTY LTD
53A WARRIWOOD ROAD
WARRIWOOD NSW

DRAWING TITLE :
HOUSE PLANS
LOT 13 - PLANS

PROJECT NAME :
WARRIWOOD

ISSUE: DA
DRAWING NO. 110:23
REVISION NO. M



1 TYPE 1B - ROOF PLAN
1:100

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

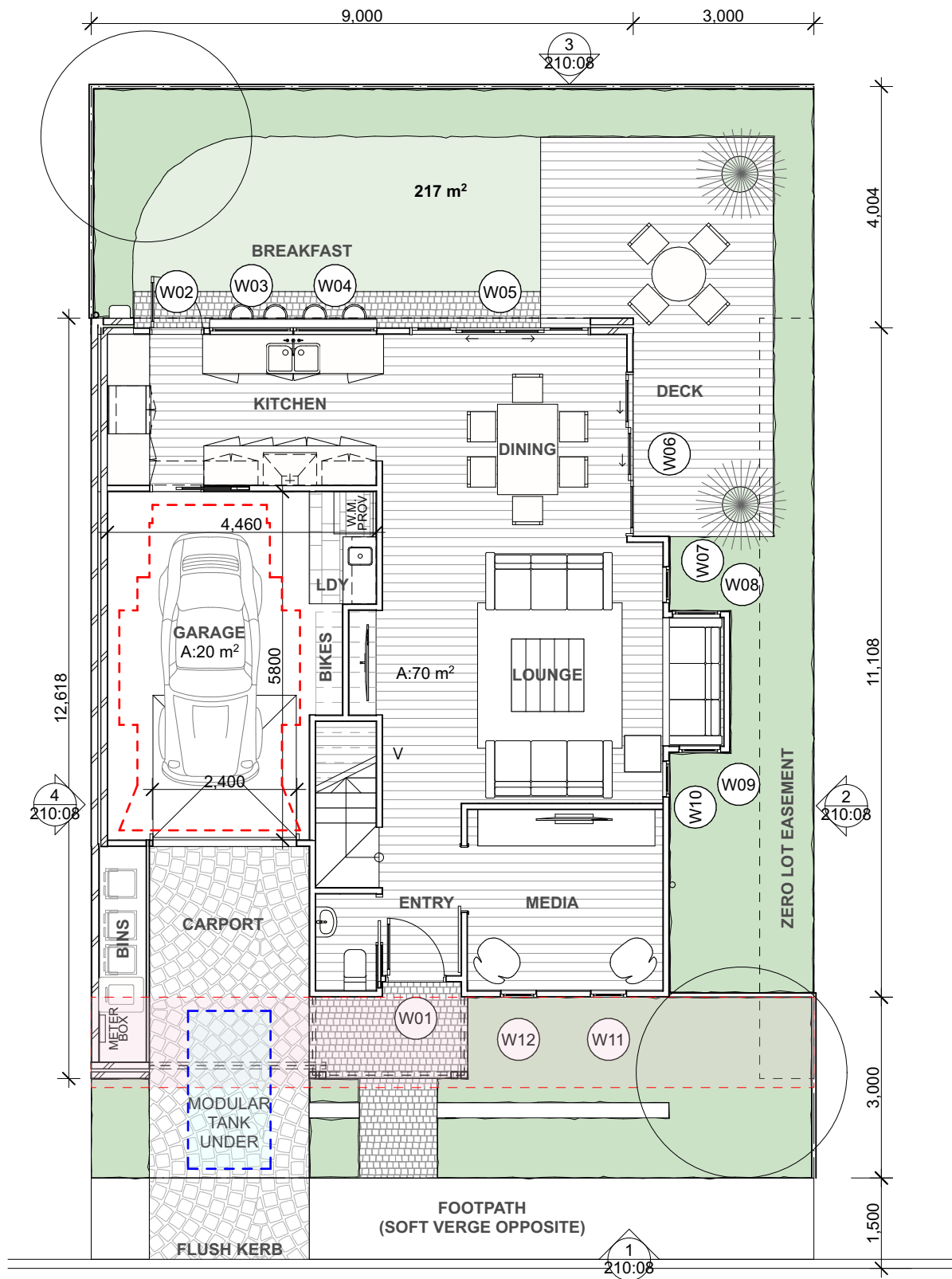
CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

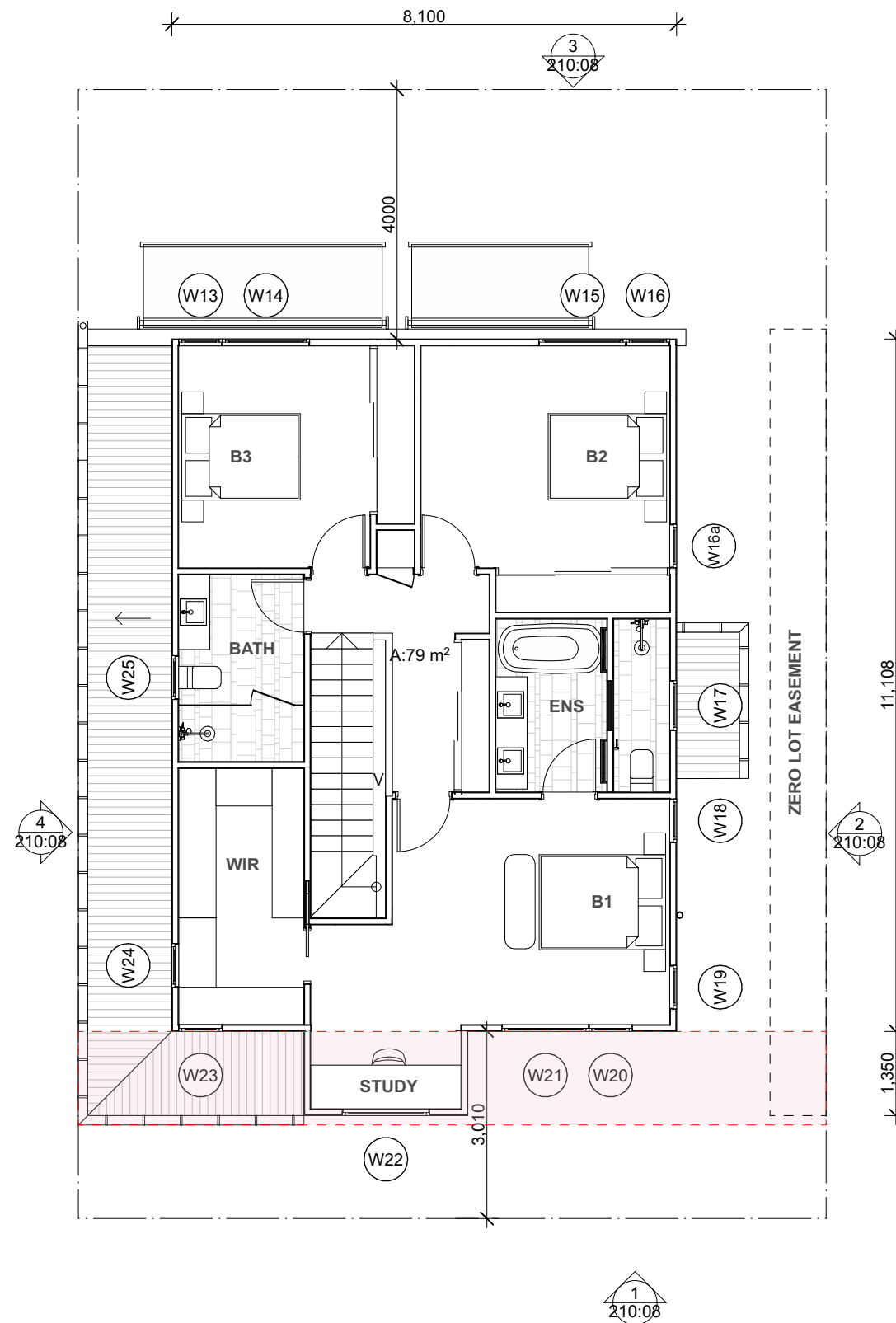
DRAWING TITLE :
HOUSE PLANS
LOT 13 - ROOF PLAN

PROJECT NAME :
WARRIEWOOD

ISSUE:
DA
DRAWING NO.
110:24
REVISION NO.
M



1 TYPE 1C - GROUND FLOOR
1:100



2 TYPE 1C - FIRST FLOOR
1:100

WATER TANK UNDER DRIVEWAY
TO BASIX REQUIREMENTS

1.5m ARTICULATION ZONE
(1.5M FROM BOUNDARY)

**Saturday
Studio**

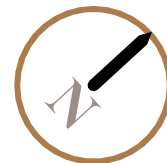
Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T +61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: 1:100
PRINT SIZE: A3
PRINT DATE: 27/7/21

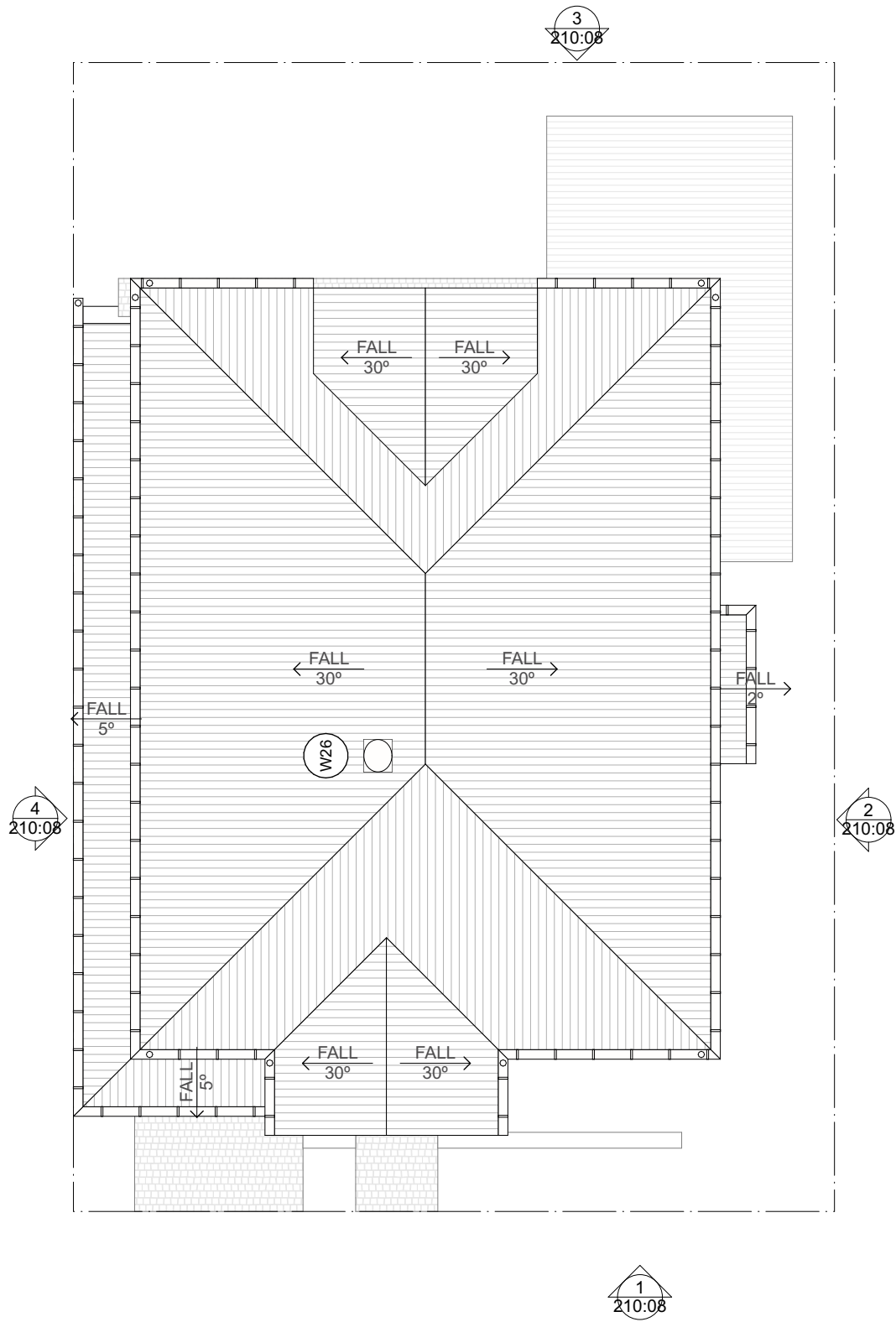
CLIENT:
SITE:

PROJECT NO. 20023
PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

DRAWING TITLE :
**HOUSE PLANS
LOT 14 - PLANS**

PROJECT NAME :
WARRIEWOOD

ISSUE: DA
DRAWING NO. 110:25
REVISION NO. M



1 TYPE 1C - ROOF PLAN
1:100

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

CLIENT:
SITE:

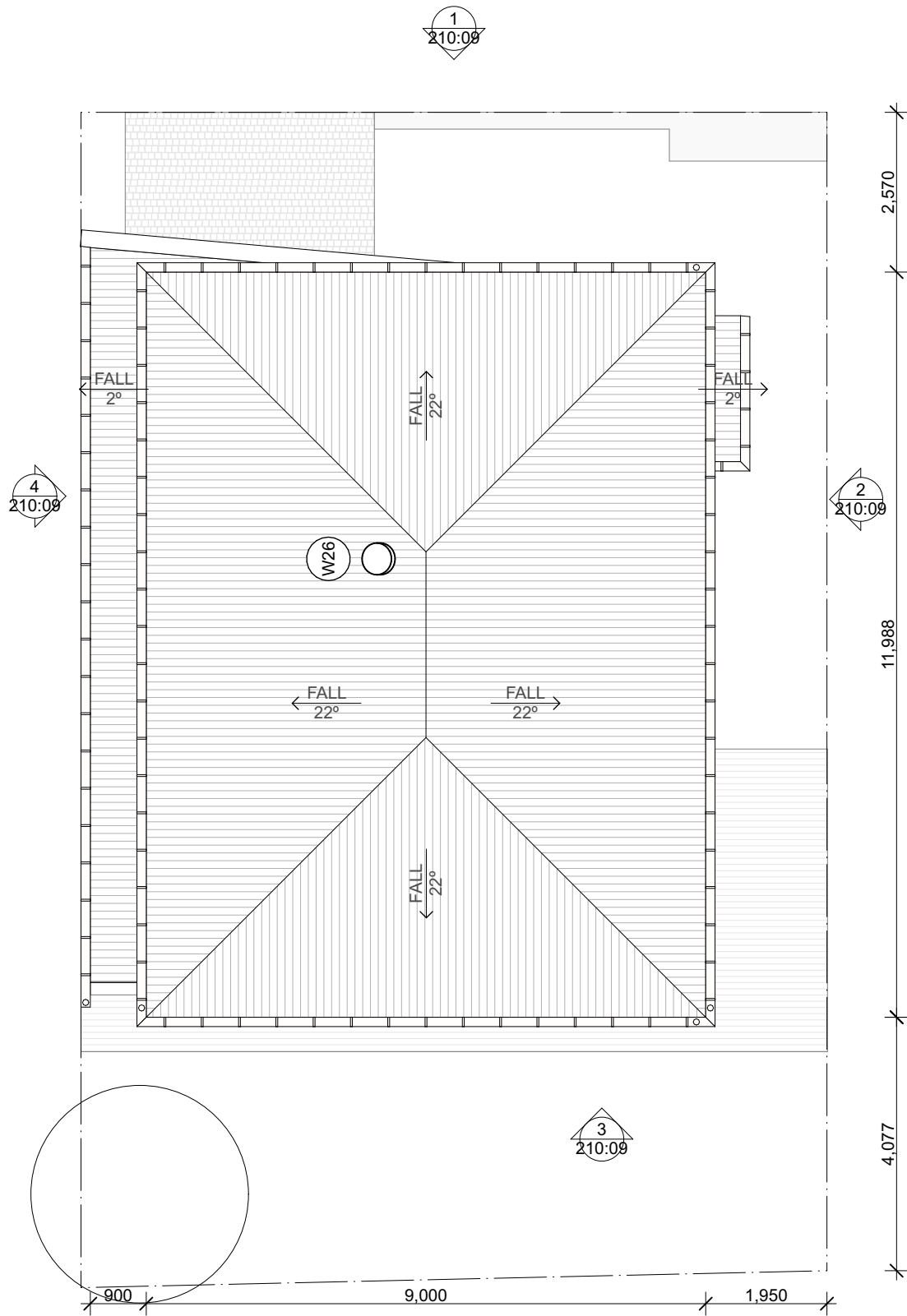
PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

DRAWING TITLE :
HOUSE PLANS
LOT 14 - ROOF PLAN

PROJECT NAME :
WARRIEWOOD

ISSUE:
DA
DRAWING NO.
110:26
REVISION NO.
M





1 TYPE 1 - ROOF PLAN
1:100

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



Member
Australian
Institute of
Architects

NSW
Architects
Registration
Board



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

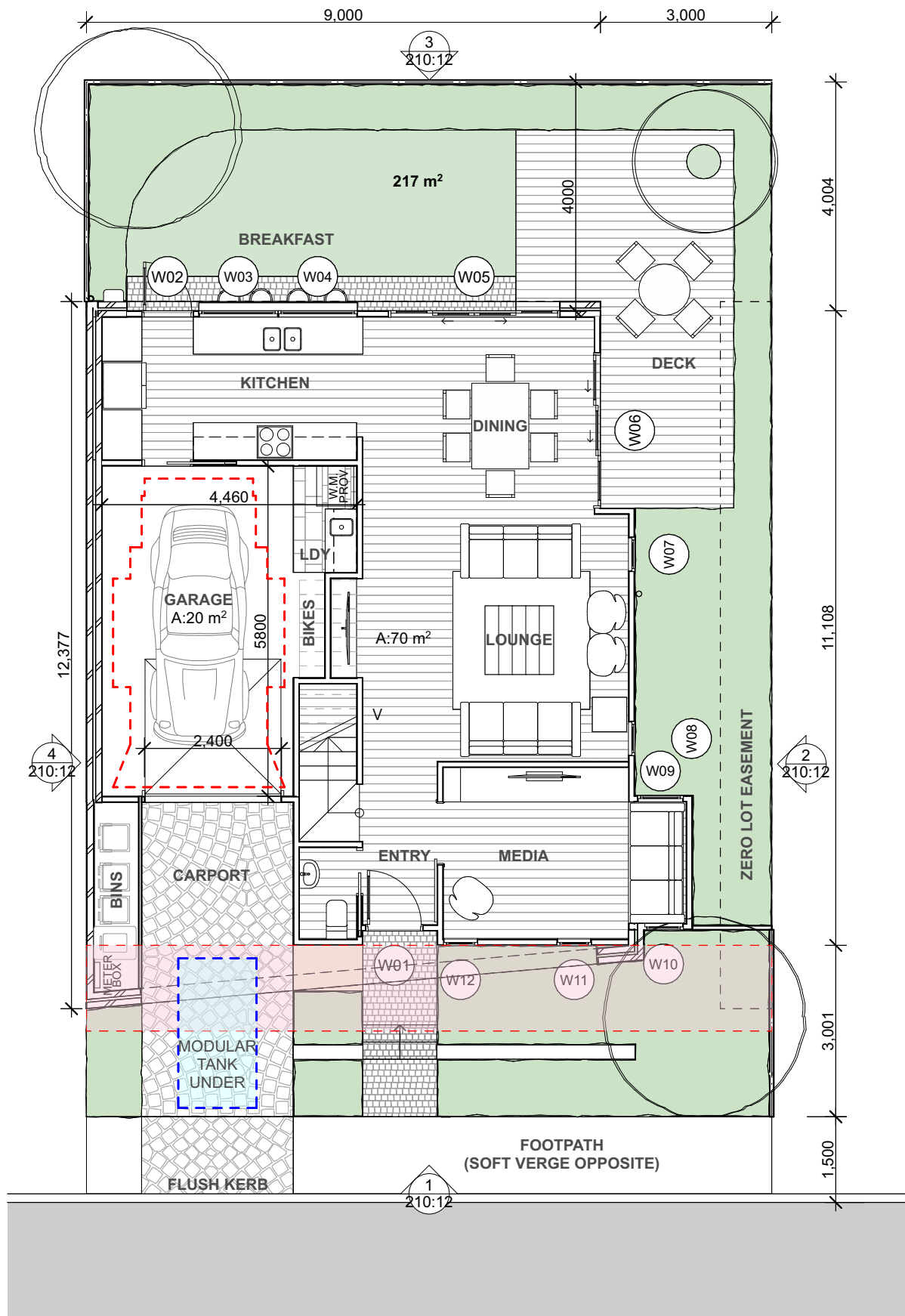
CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

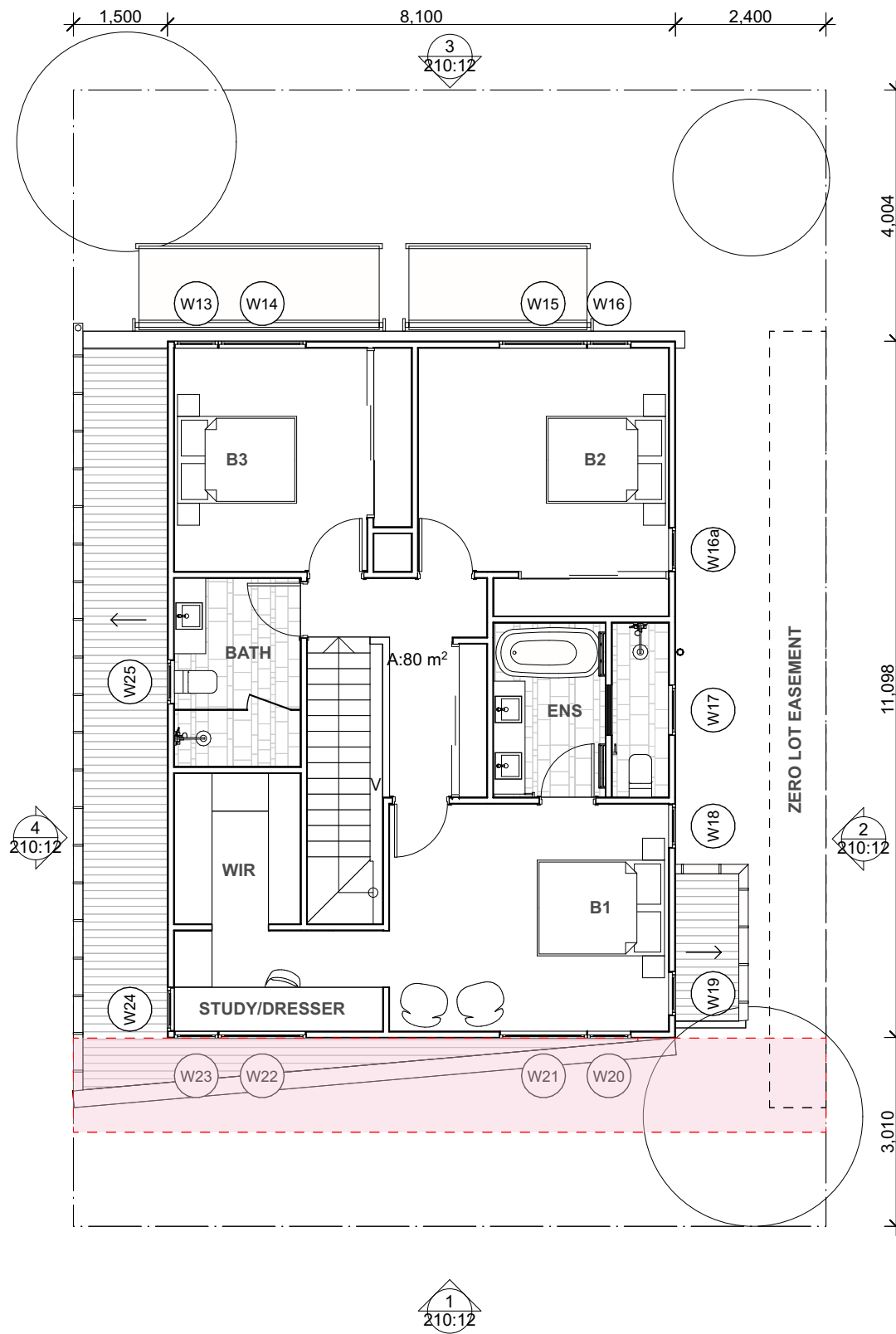
DRAWING TITLE :
HOUSE PLANS
LOT 15 - ROOF PLAN

PROJECT NAME :
WARRIEWOOD

ISSUE:
DA
DRAWING NO.
110:28
REVISION NO.
M



1 TYPE 1 - GROUND FLOOR
1:100



2 TYPE 1 - FIRST FLOOR
1:100

- WATER TANK UNDER DRIVEWAY TO BASIX REQUIREMENTS
- 1.5m ARTICULATION ZONE (1.5M FROM BOUNDARY)

Saturday Studio

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T +61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: 1:100
PRINT SIZE: A3
PRINT DATE: 27/7/21

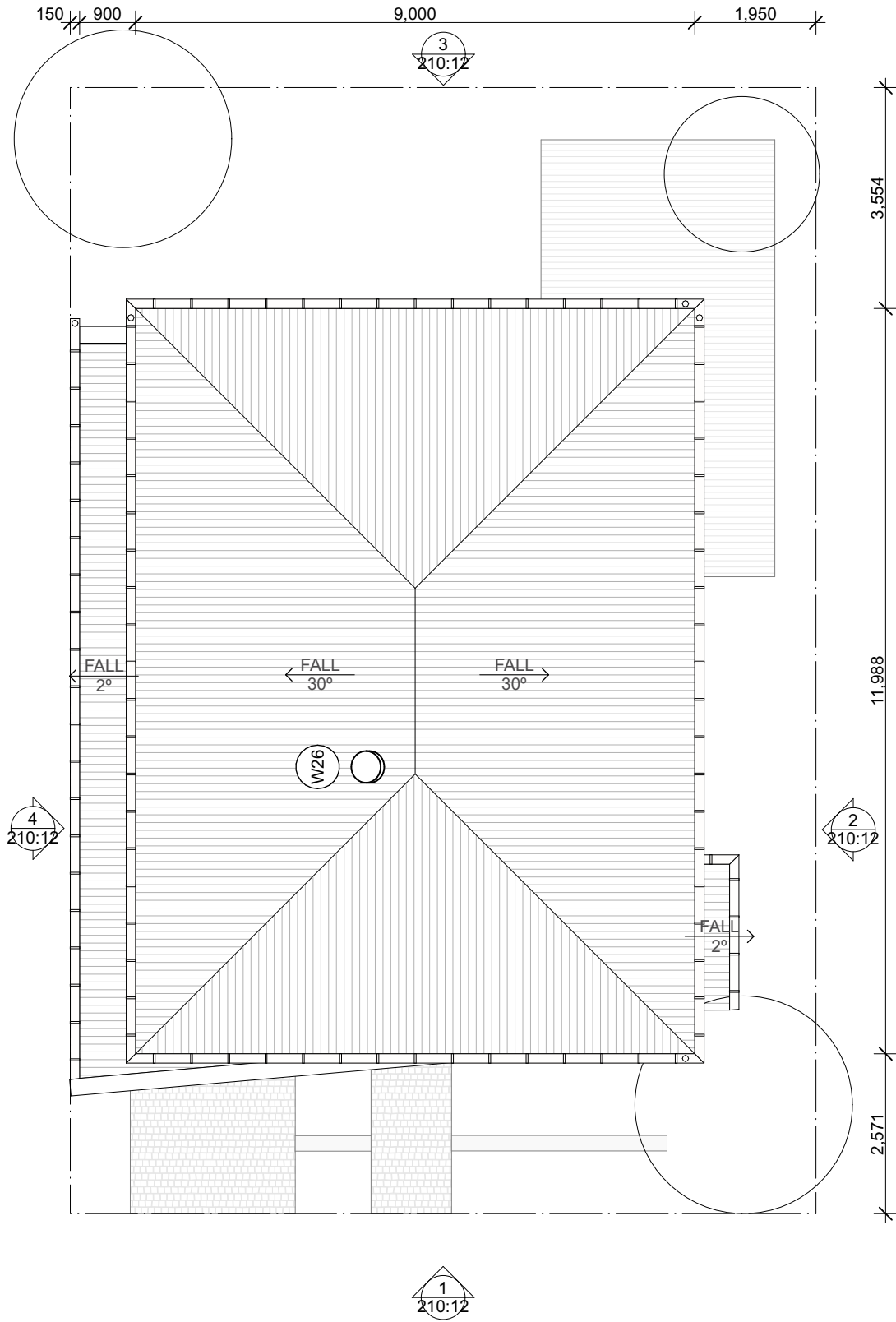
CLIENT:
SITE:

PROJECT NO. 20023
PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

DRAWING TITLE :
HOUSE PLANS
LOT 16 - PLANS

PROJECT NAME :
WARRIEWOOD

ISSUE: DA
DRAWING NO. 110:29
REVISION NO. M



1 TYPE 1 - ROOF PLAN
1:100

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

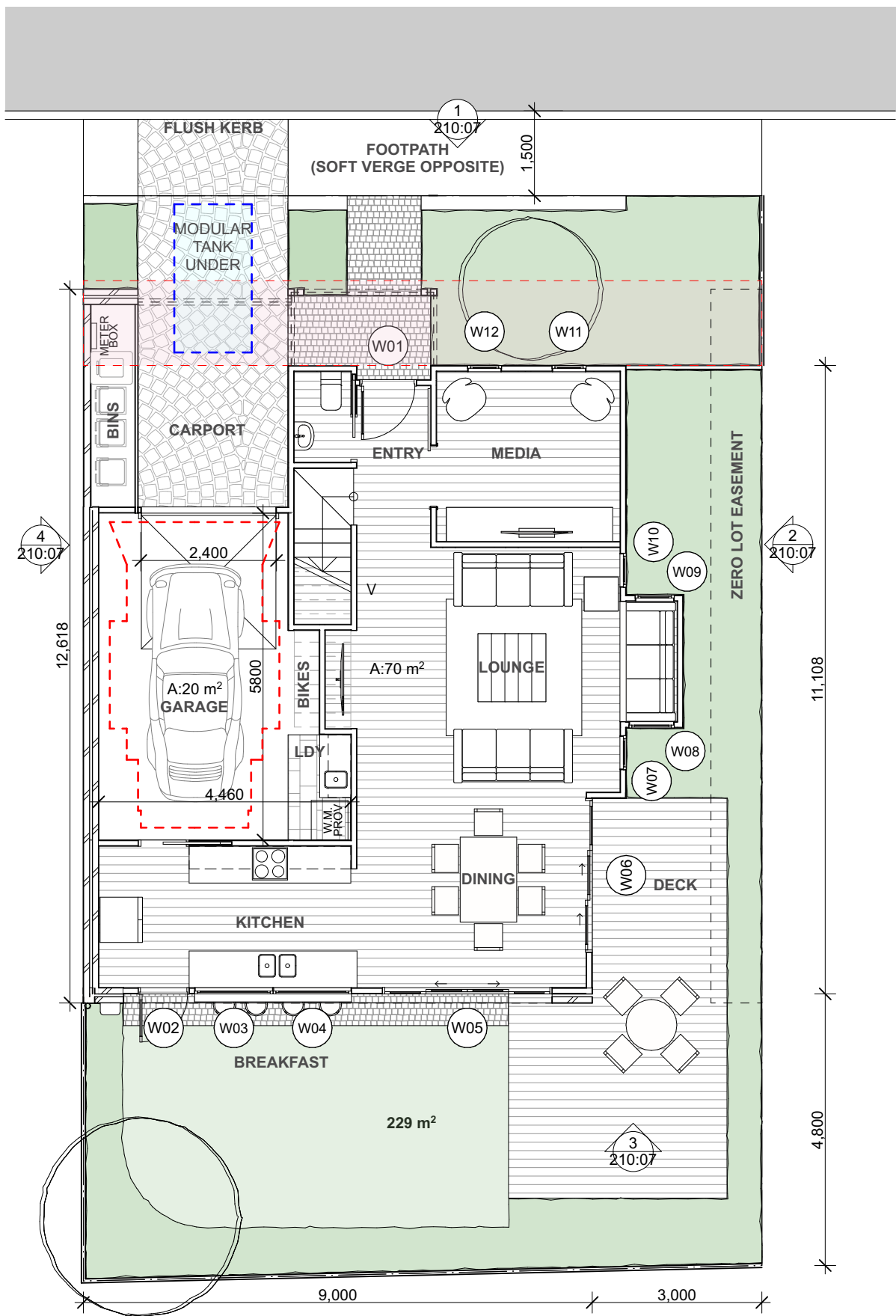
CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

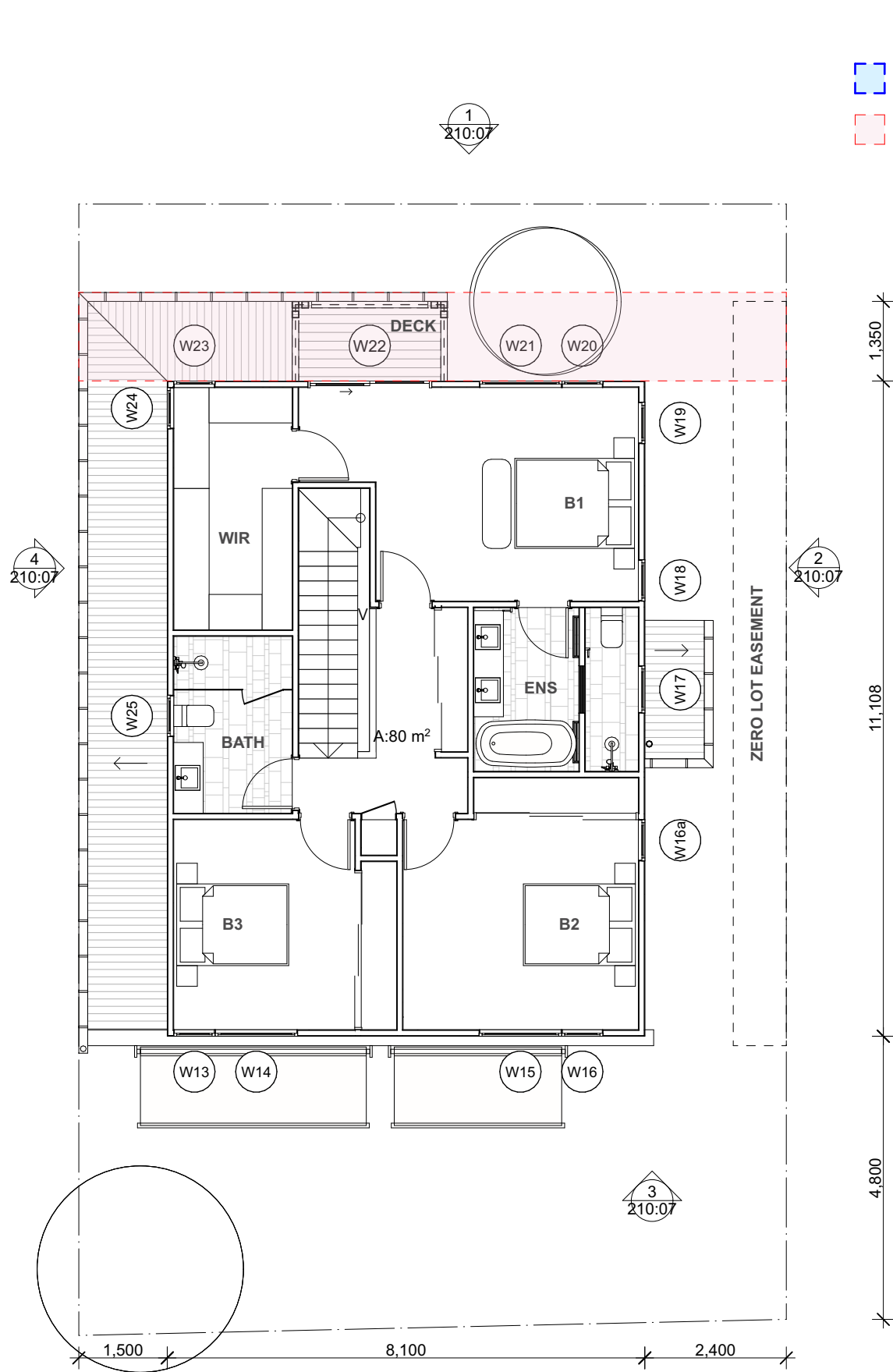
DRAWING TITLE :
HOUSE PLANS
LOT 16 - ROOF PLAN

PROJECT NAME :
WARRIEWOOD

ISSUE:
DA
DRAWING NO.
110:30
REVISION NO.
M



1 TYPE 1B - GROUND FLOOR
1:100



2 TYPE 1B - FIRST FLOOR
1:100

WATER TANK UNDER DRIVEWAY
TO BASIX REQUIREMENTS

1.5m ARTICULATION ZONE
(1.5M FROM BOUNDARY)

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T +61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: 1:100
PRINT SIZE: A3
PRINT DATE: 27/7/21

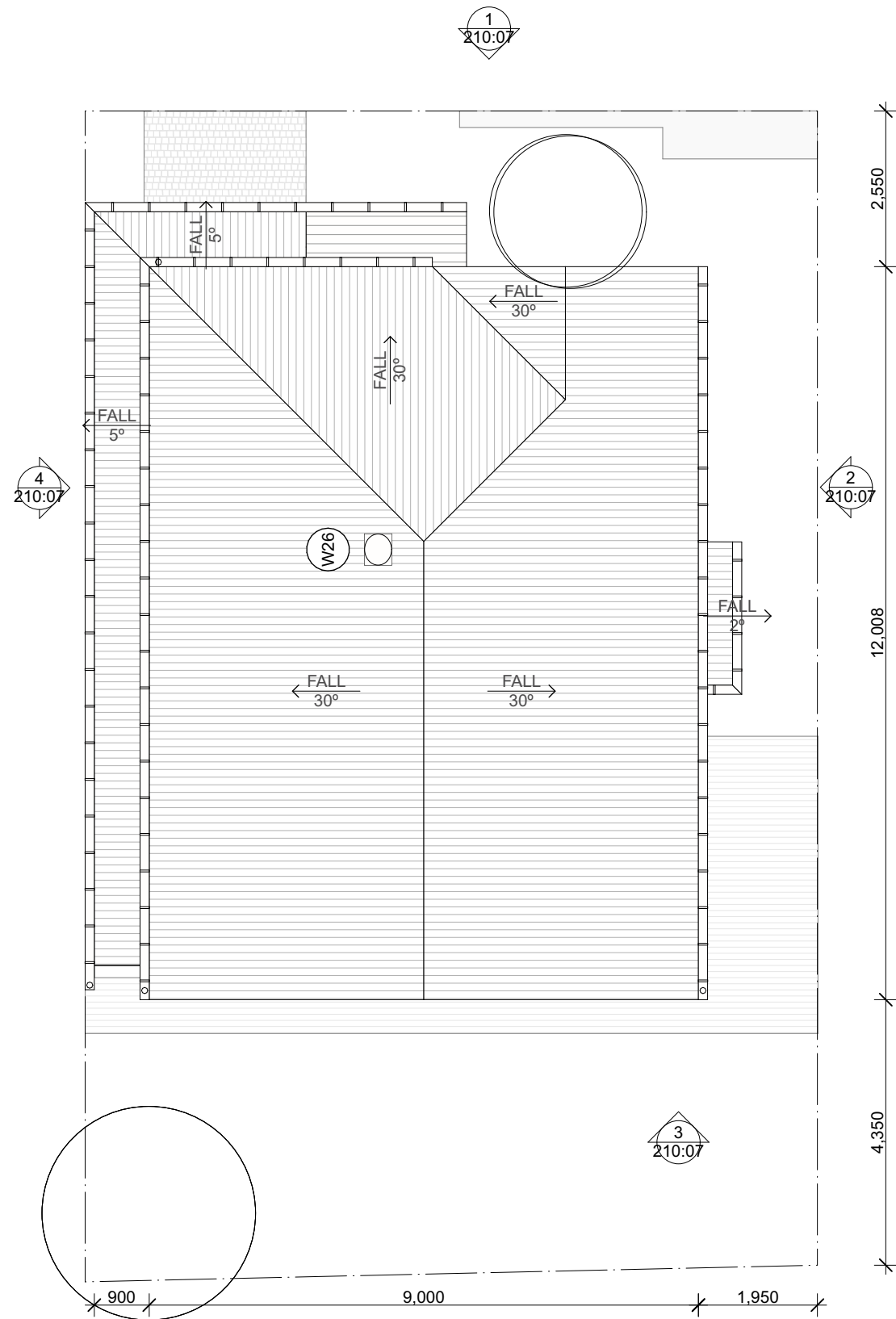
CLIENT:
SITE:

PROJECT NO. 20023
PVD No 21 PTY LTD
53A WARRIWOOD ROAD
WARRIWOOD NSW

DRAWING TITLE :
HOUSE PLANS
LOT 17 - PLANS

PROJECT NAME :
WARRIWOOD

ISSUE: DA
DRAWING NO. 110:31
REVISION NO. M



1 TYPE 1B - ROOF PLAN
1:100

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



Member
Australian
Institute of
Architects

NSW
Architects
Registration
Board



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

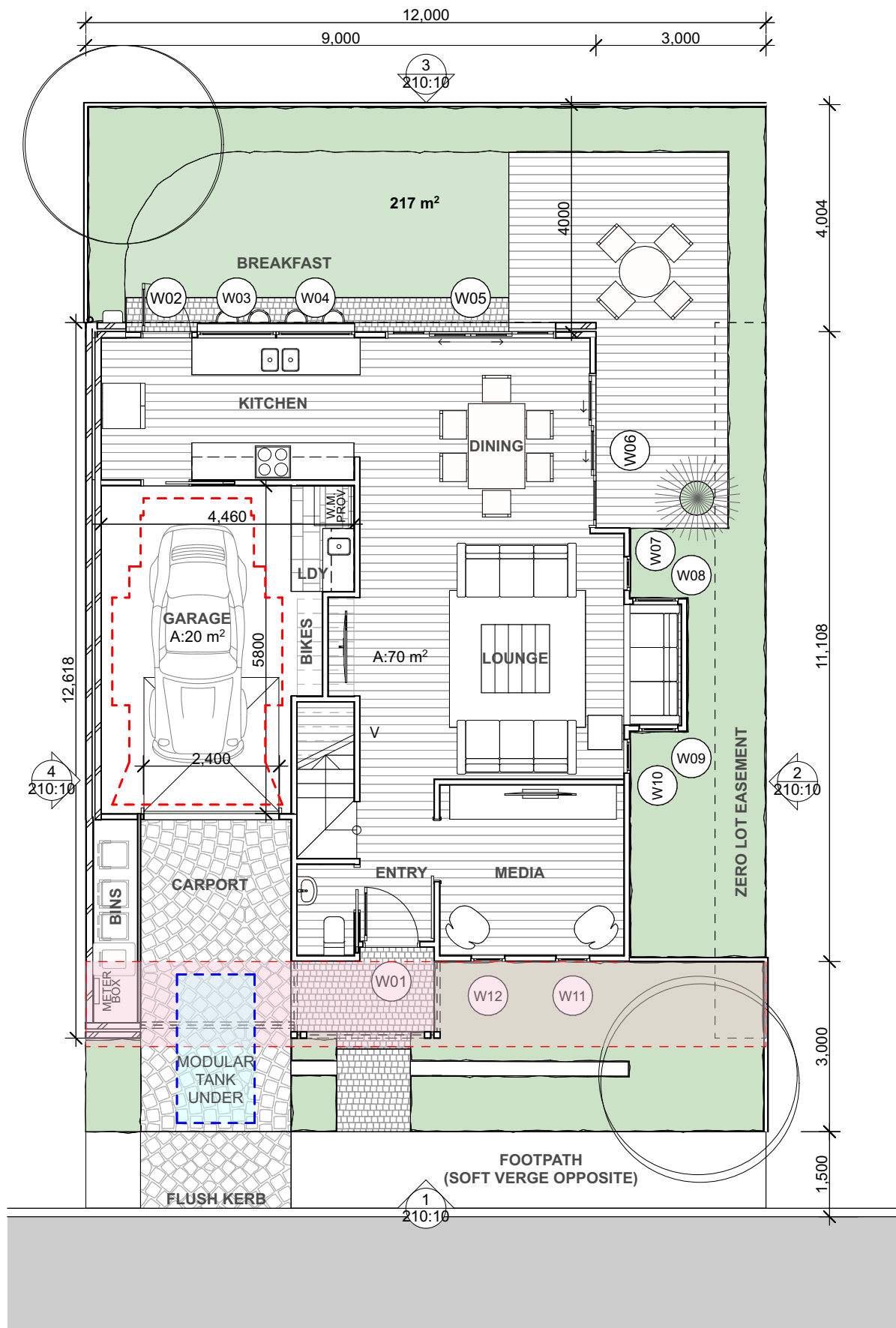
CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIWOOD ROAD
WARRIWOOD NSW

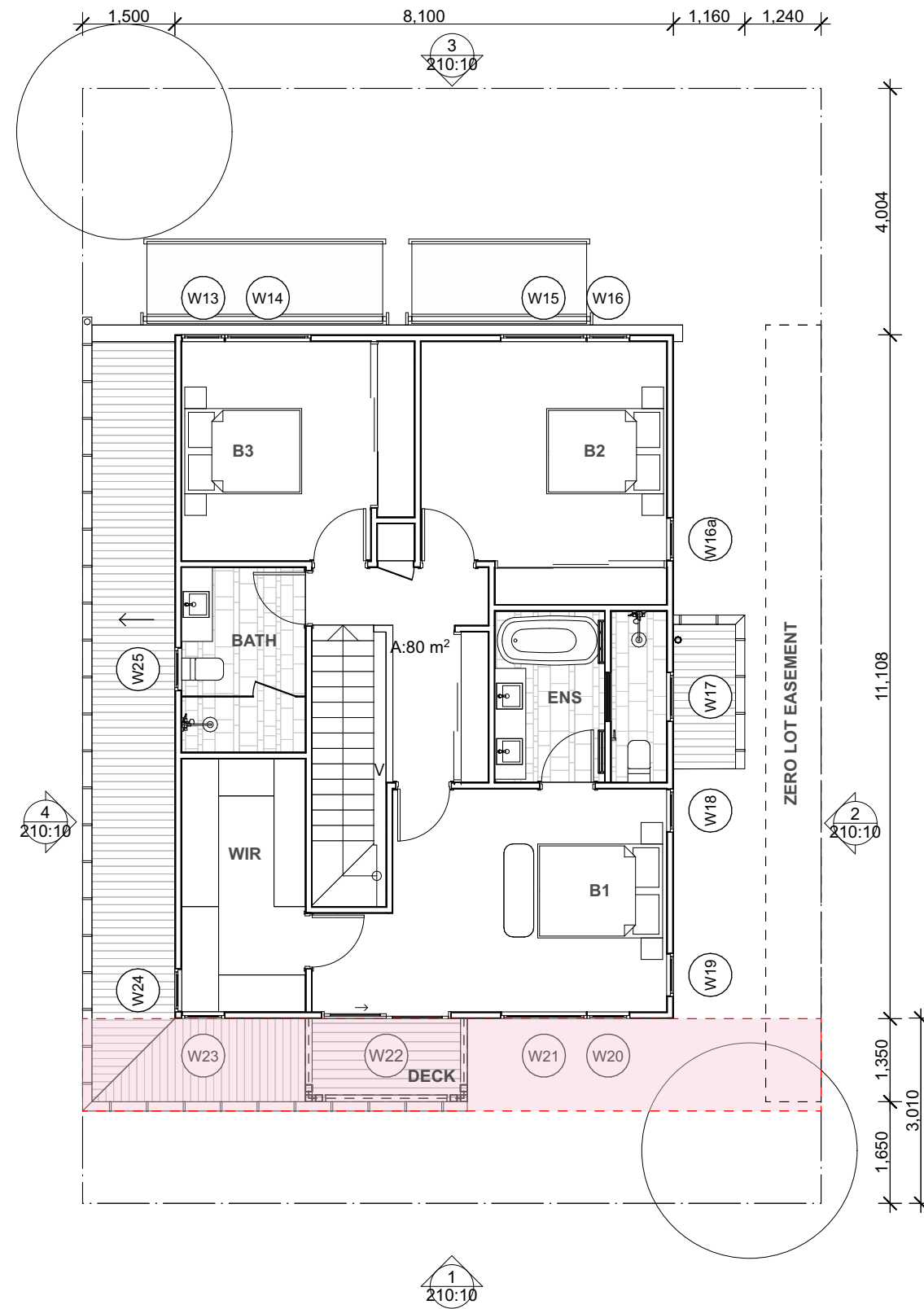
DRAWING TITLE :
HOUSE PLANS
LOT 17 - ROOF PLAN

PROJECT NAME :
WARRIWOOD

ISSUE:
DA
DRAWING NO.
110:32
REVISION NO.
M



1 TYPE 1B - GROUND FLOOR
1:100



2 TYPE 1B - FIRST FLOOR
1:100

- WATER TANK UNDER DRIVEWAY TO BASIX REQUIREMENTS
- 1.5m ARTICULATION ZONE (1.5M FROM BOUNDARY)

Saturday Studio

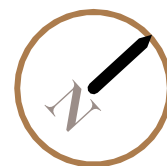
Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T +61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: 1:100
PRINT SIZE: A3
PRINT DATE: 27/7/21

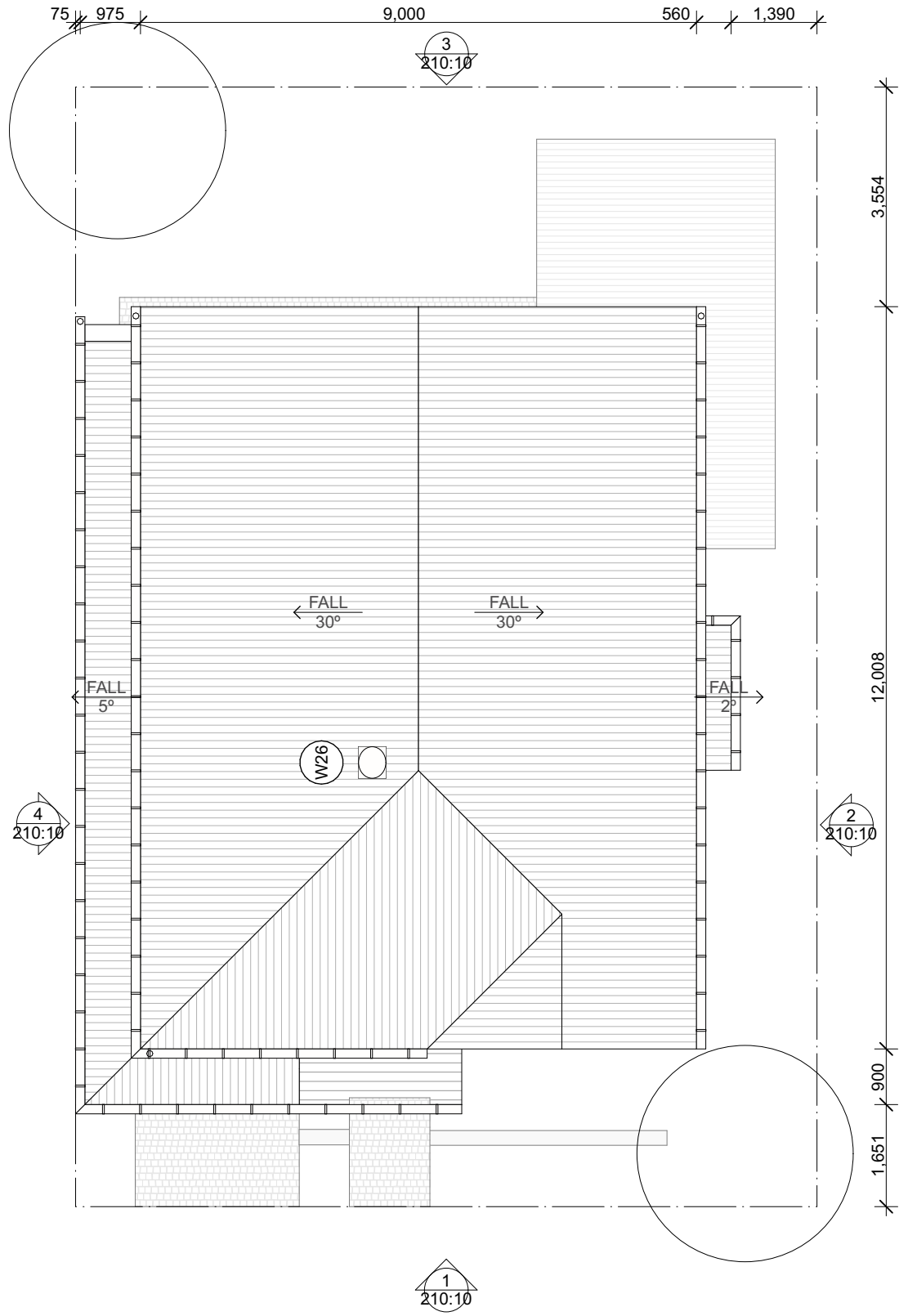
CLIENT:
SITE:

PROJECT NO. 20023
PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

DRAWING TITLE :
HOUSE PLANS
LOT 18 - PLANS

PROJECT NAME :
WARRIEWOOD

ISSUE: DA
DRAWING NO. 110:33
REVISION NO. M



1 TYPE 1B - ROOF PLAN
1:100

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

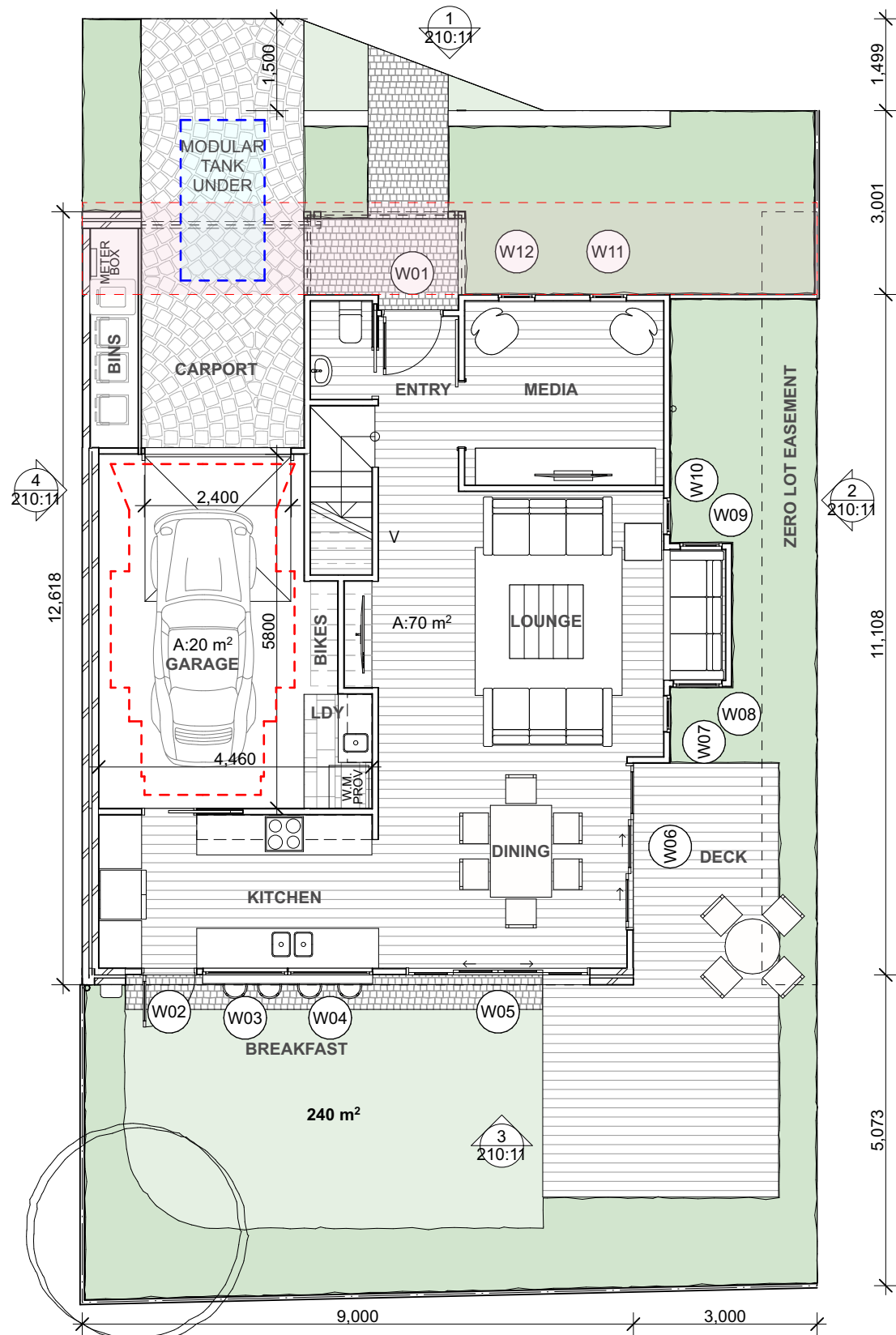
CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

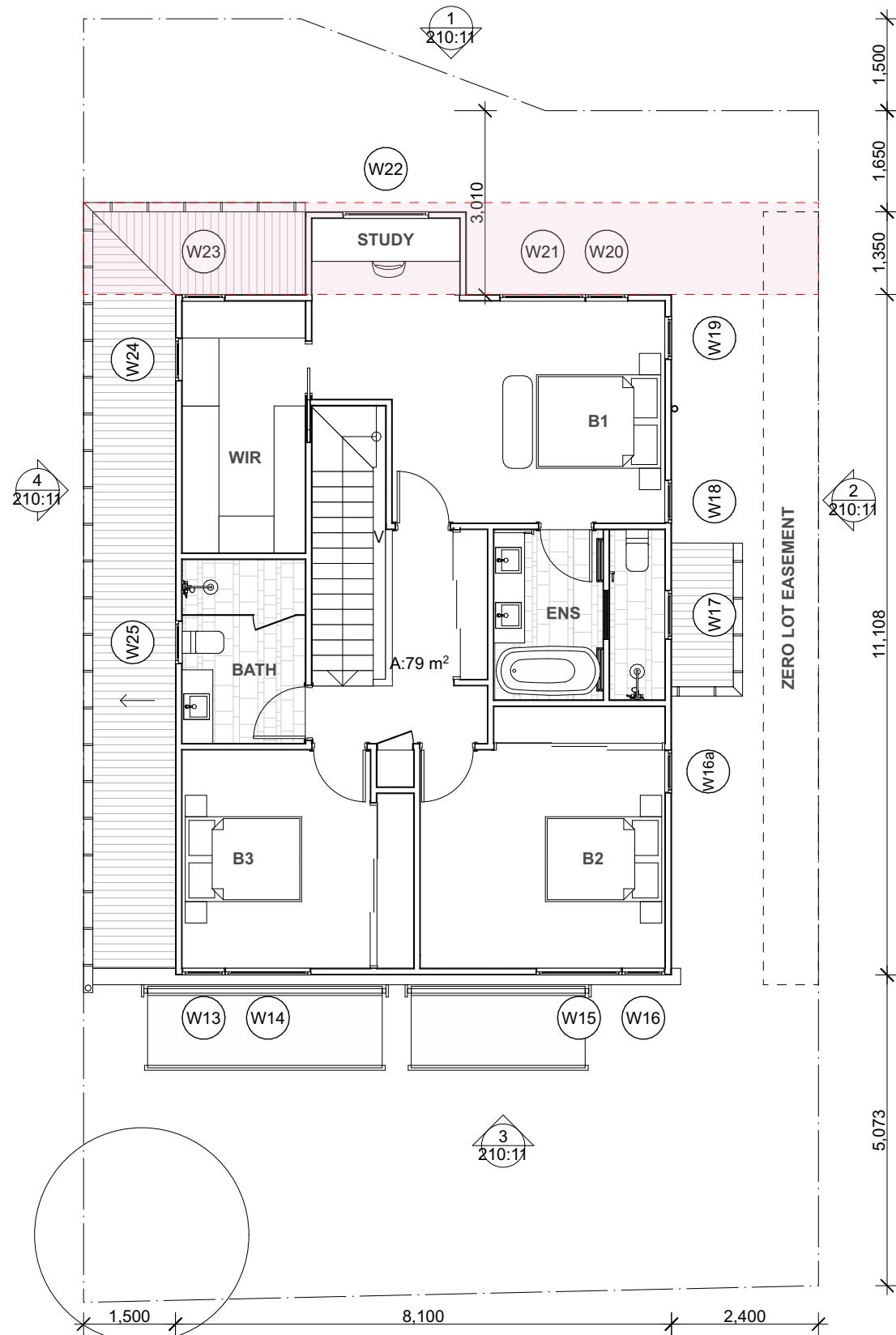
DRAWING TITLE :
HOUSE PLANS
LOT 18 - ROOF PLAN

PROJECT NAME :
WARRIEWOOD

ISSUE:
DA
DRAWING NO.
110:34
REVISION NO.
M



1 TYPE 1C - GROUND FLOOR
1:100



2 TYPE 1C - FIRST FLOOR
1:100

- WATER TANK UNDER DRIVEWAY TO BASIX REQUIREMENTS
- 1.5m ARTICULATION ZONE (1.5M FROM BOUNDARY)

Saturday Studio

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T +61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

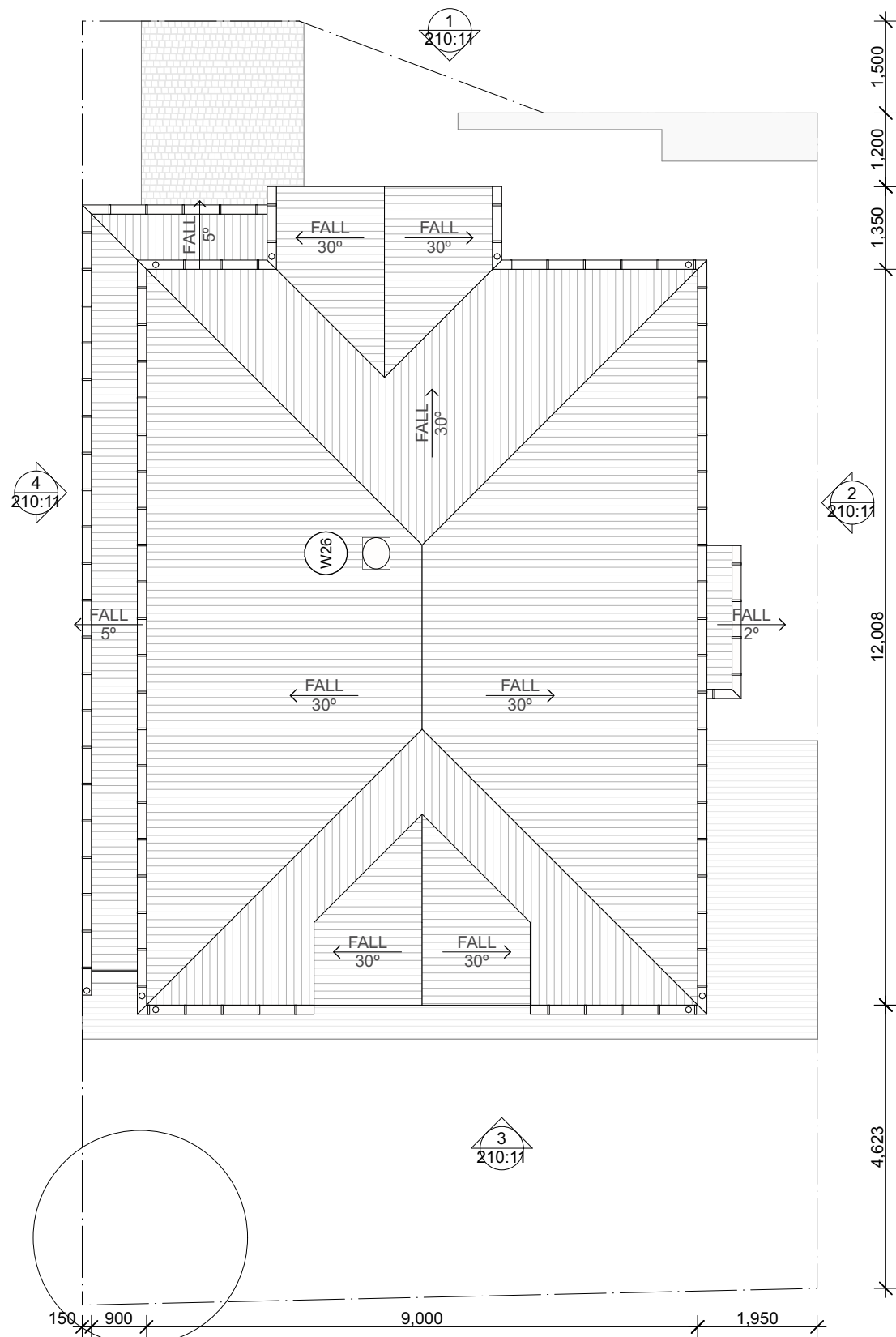
CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

DRAWING TITLE :
HOUSE PLANS
LOT 19 - PLANS

PROJECT NAME :
WARRIEWOOD

ISSUE:
DA
DRAWING NO.
110:35
REVISION NO.
M



1 TYPE 1C - ROOF PLAN
1:100

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



Member
Australian
Institute of
Architects

Architects
Registration
Board



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

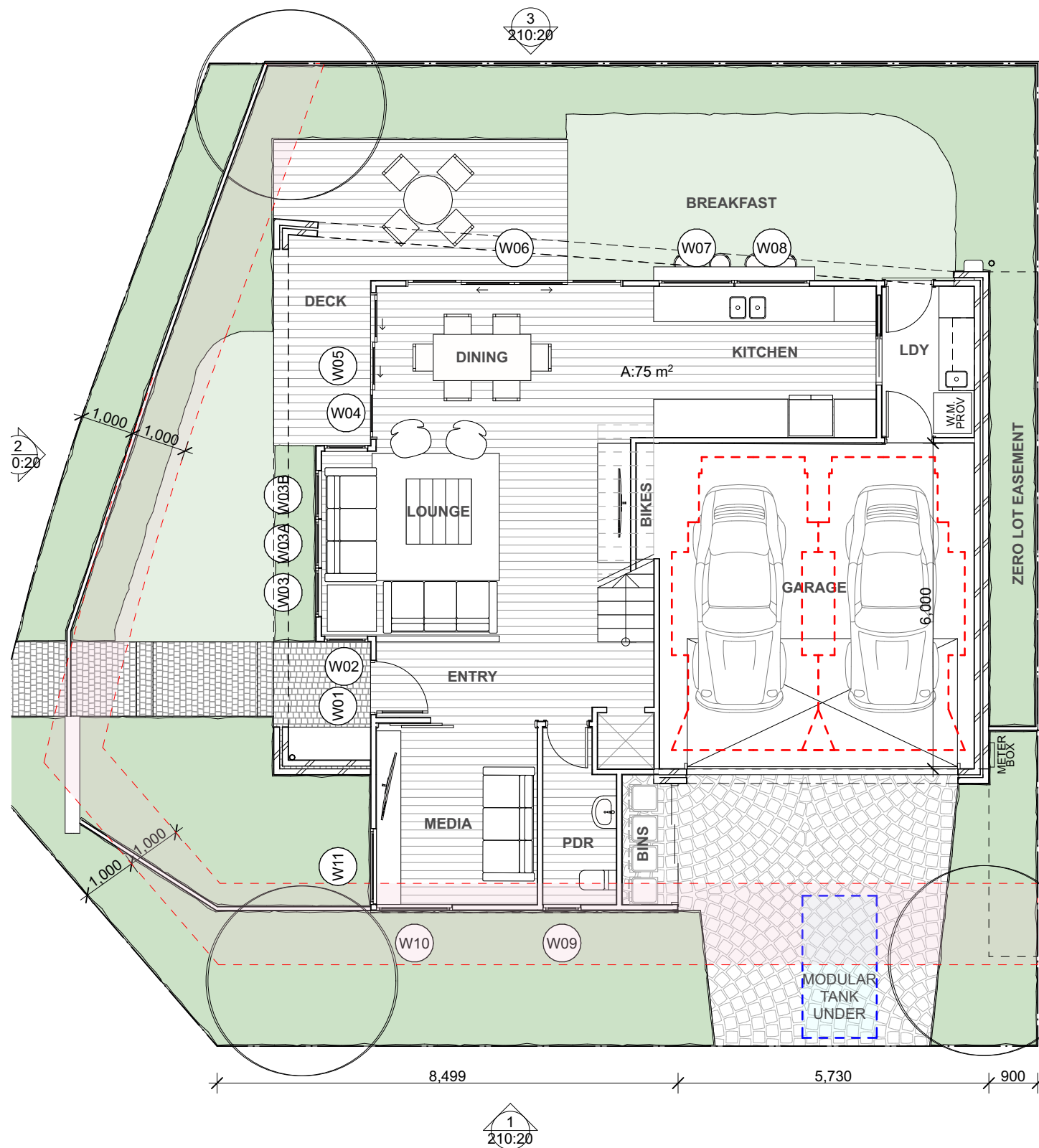
CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIWOOD ROAD
WARRIWOOD NSW

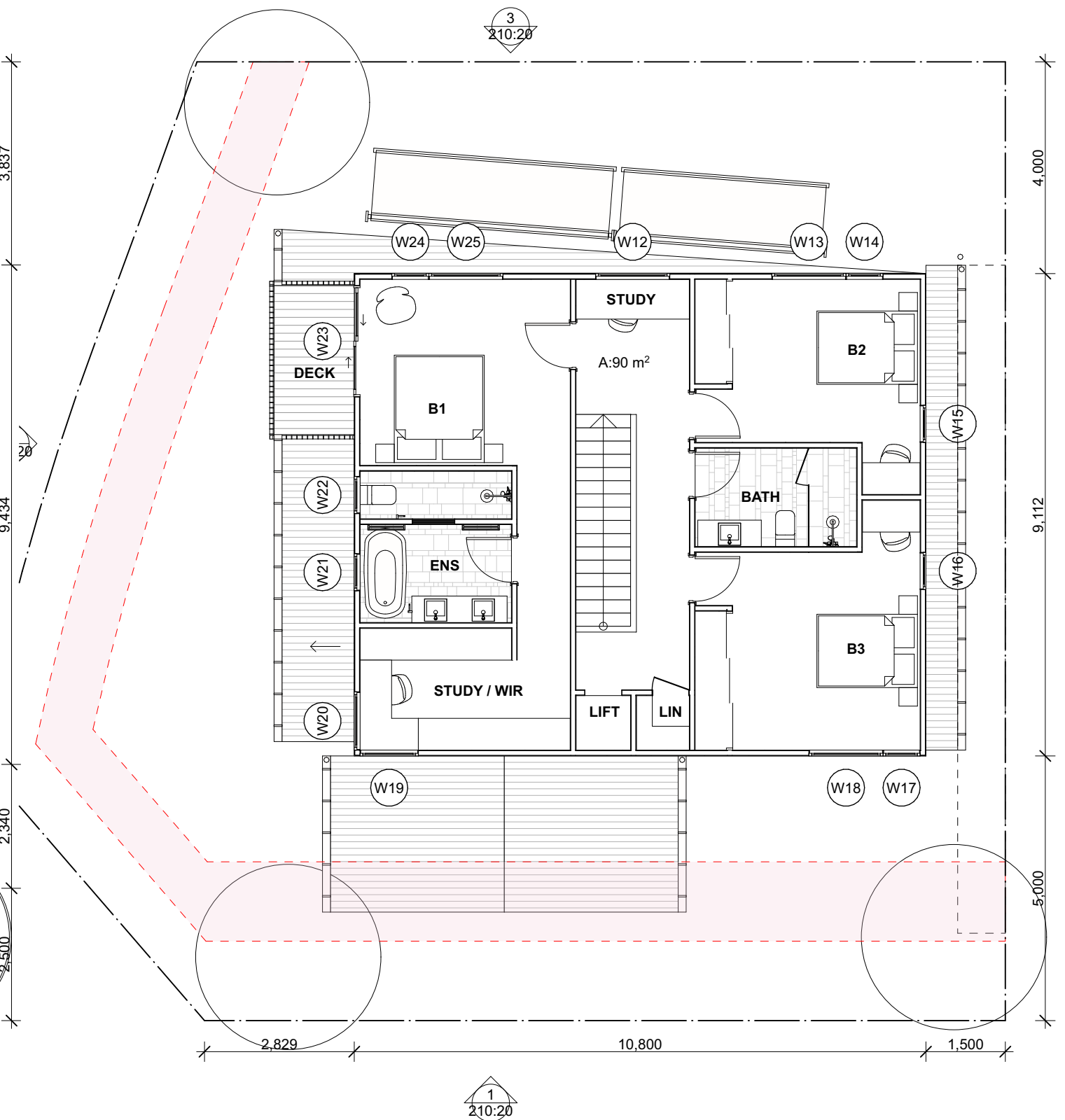
DRAWING TITLE :
HOUSE PLANS
LOT 19 - ROOF PLAN

PROJECT NAME :
WARRIWOOD

ISSUE:
DA
DRAWING NO.
110:36
REVISION NO.
M



1 CORNER NW - GROUND FLOOR
1:100



2 CORNER NW - FIRST FLOOR
1:100

- WATER TANK UNDER DRIVEWAY TO BASIX REQUIREMENTS
- 1.5m ARTICULATION ZONE (1.5M FROM BOUNDARY) UNLESS SPECIFIED OTHERWISE

Saturday Studio

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T +61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: 1:100
PRINT SIZE: A3
PRINT DATE: 27/7/21

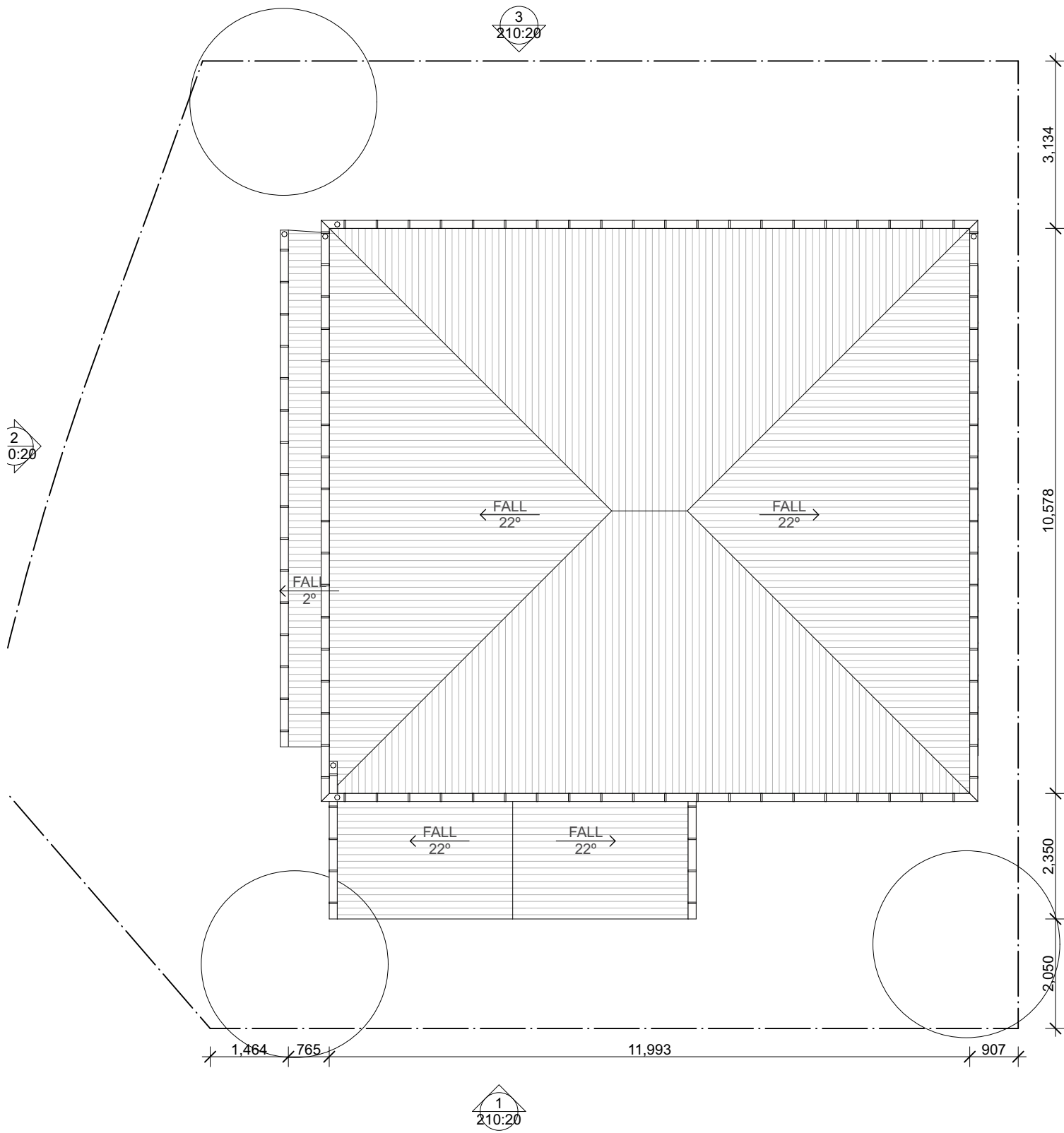
CLIENT:
SITE:

PROJECT NO. 20023
PVD No 21 PTY LTD
53A WARRIWOOD ROAD
WARRIWOOD NSW

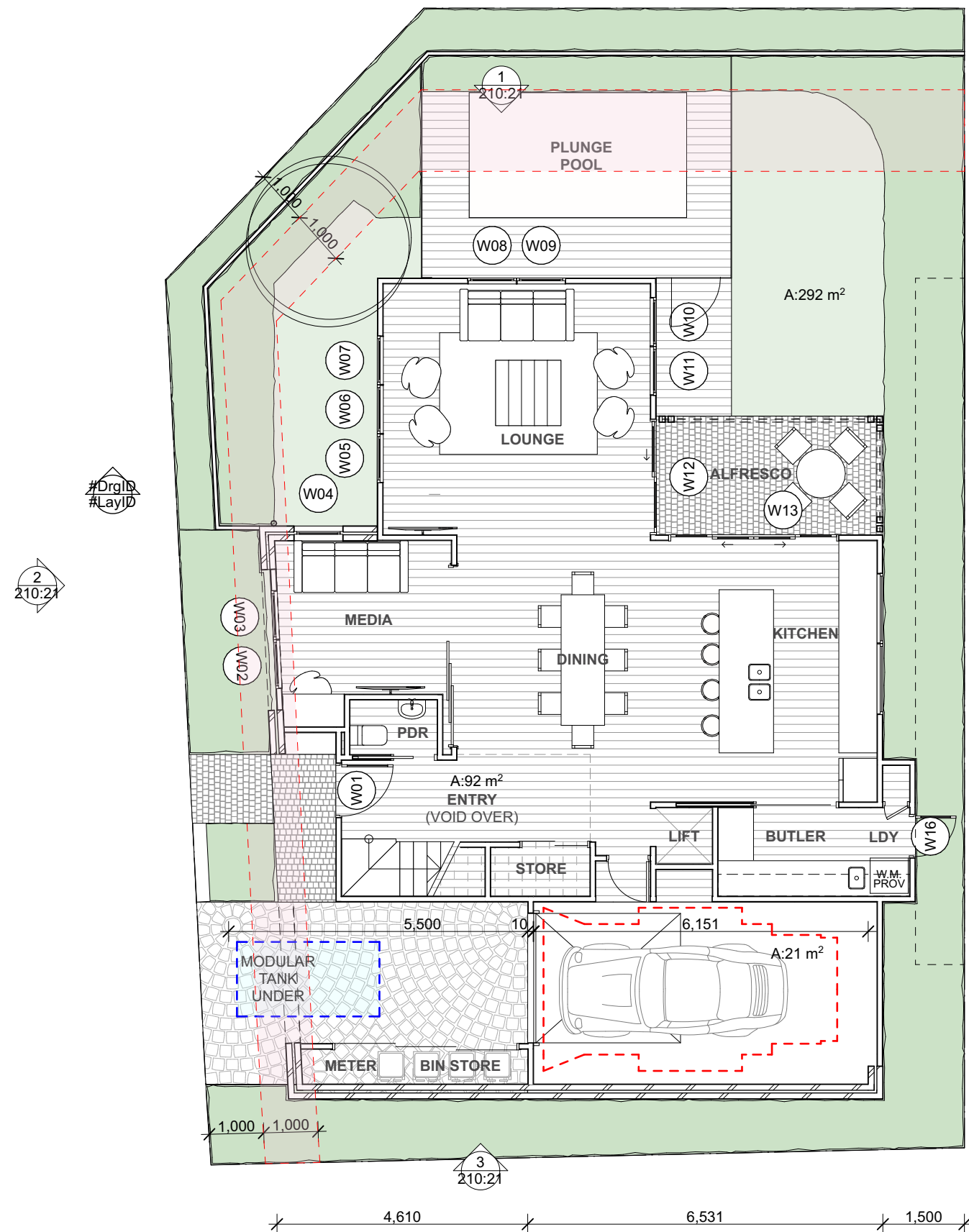
DRAWING TITLE :
HOUSE PLANS
LOT 20 - PLANS

PROJECT NAME :
WARRIWOOD

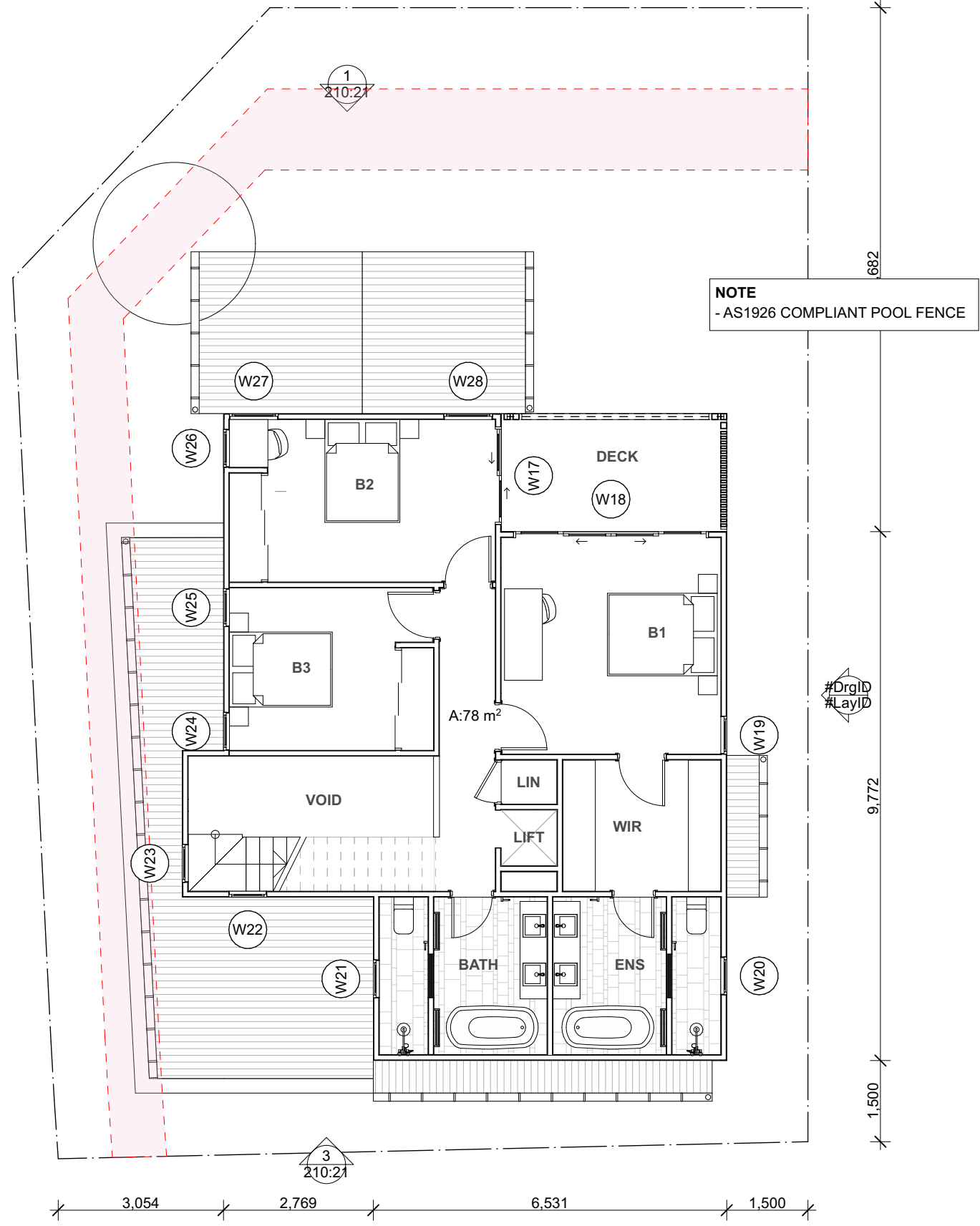
ISSUE: DA
DRAWING NO. 110:37
REVISION NO. M



1 CORNER NW - ROOF PLAN
1:100



1 SW - GROUND FLOOR
1:100



2 SW - FIRST FLOOR
1:100

NOTE
- AS1926 COMPLIANT POOL FENCE

WATER TANK UNDER DRIVEWAY
TO BASIX REQUIREMENTS
1.5m ARTICULATION ZONE
(1.5M FROM BOUNDARY)
UNLESS SPECIFIED OTHERWISE

Saturday
Studio

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE:
PRINT SIZE:
PRINT DATE:

1:100
A3
27/7/21

PROJECT NO.
20023

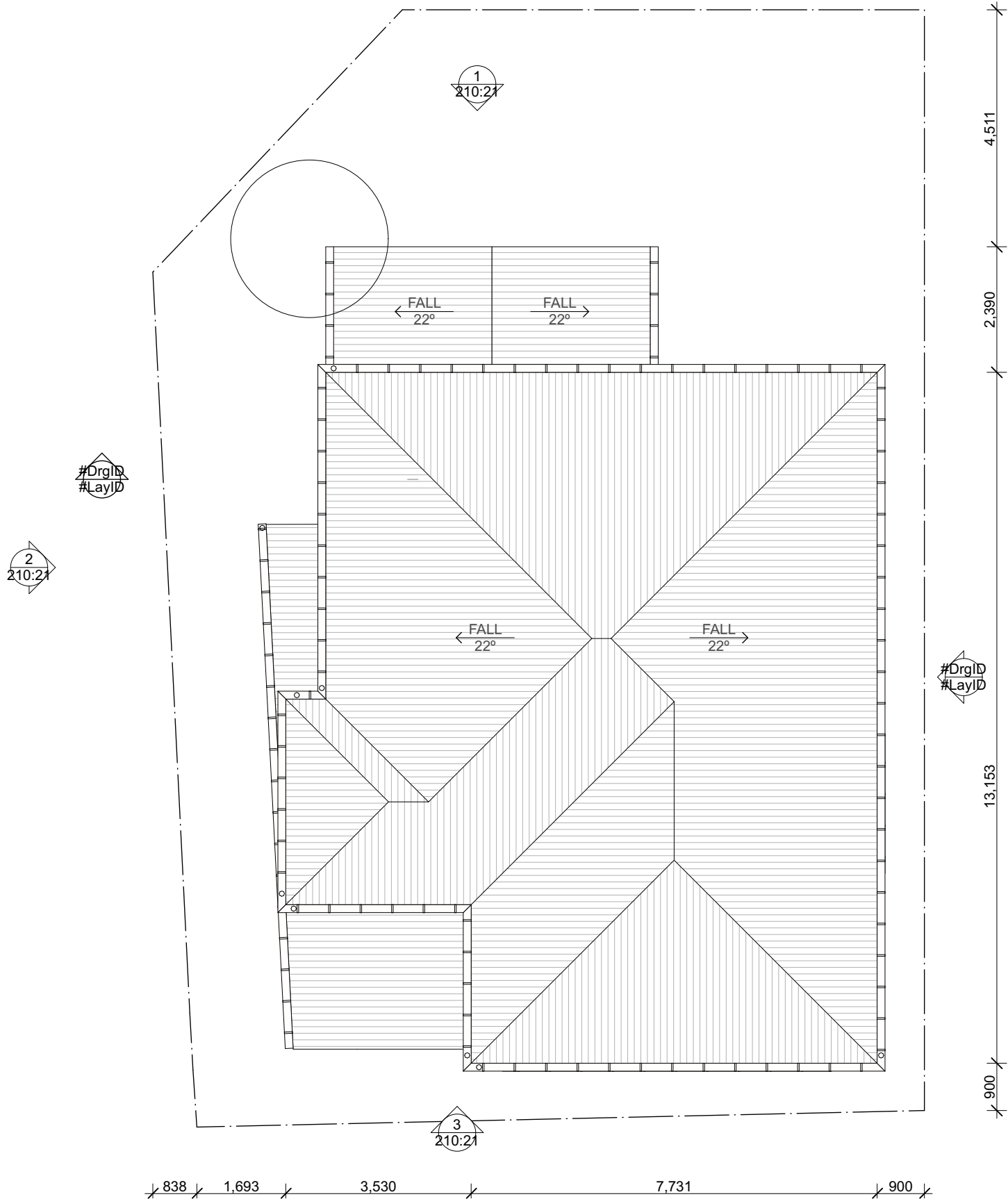
CLIENT:
SITE:

PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

DRAWING TITLE :
HOUSE PLANS
LOT 21 - PLANS

PROJECT NAME :
WARRIEWOOD

ISSUE:
DA
DRAWING NO.
110:39
REVISION NO.
M



1 SW - ROOF PLAN
1:100

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



Member
Australian
Institute of
Architects

Architects
Registration
Board



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

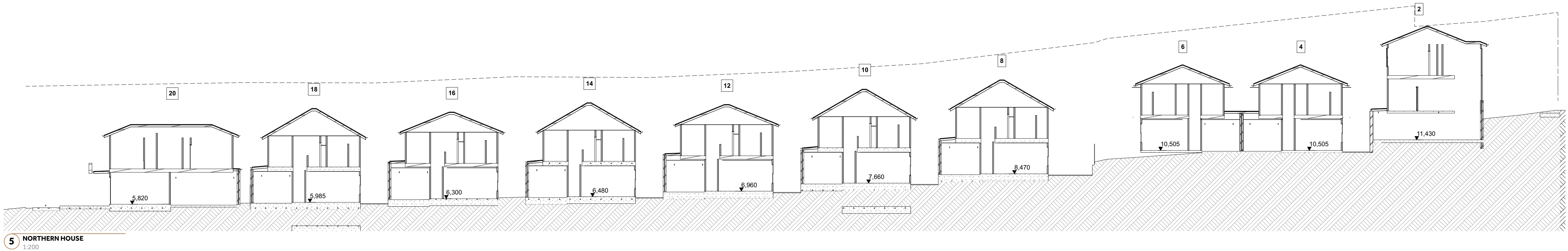
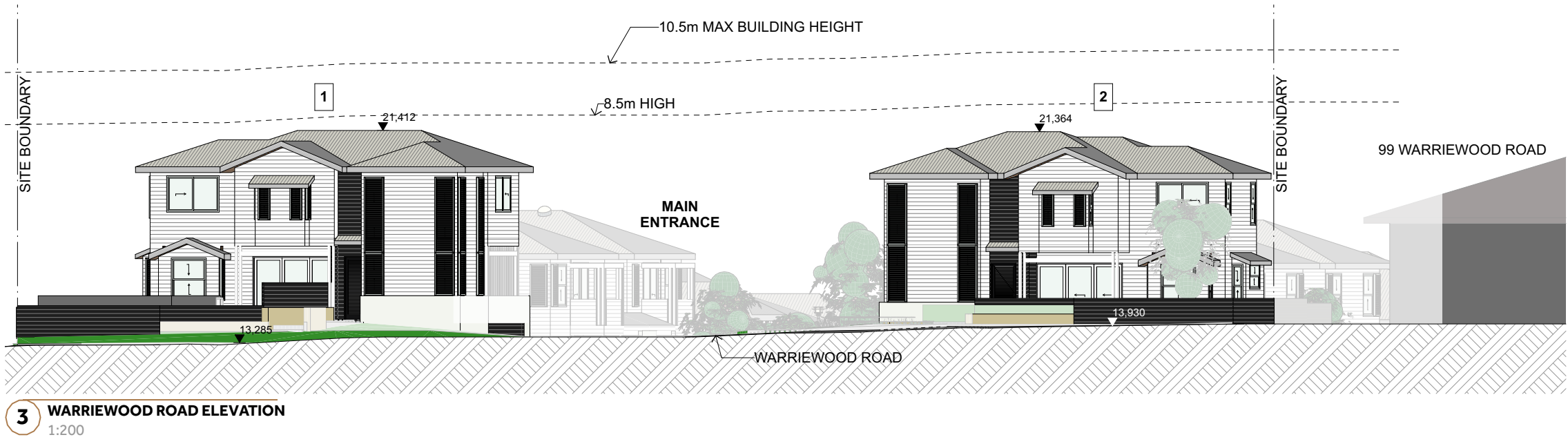
CLIENT:
SITE:

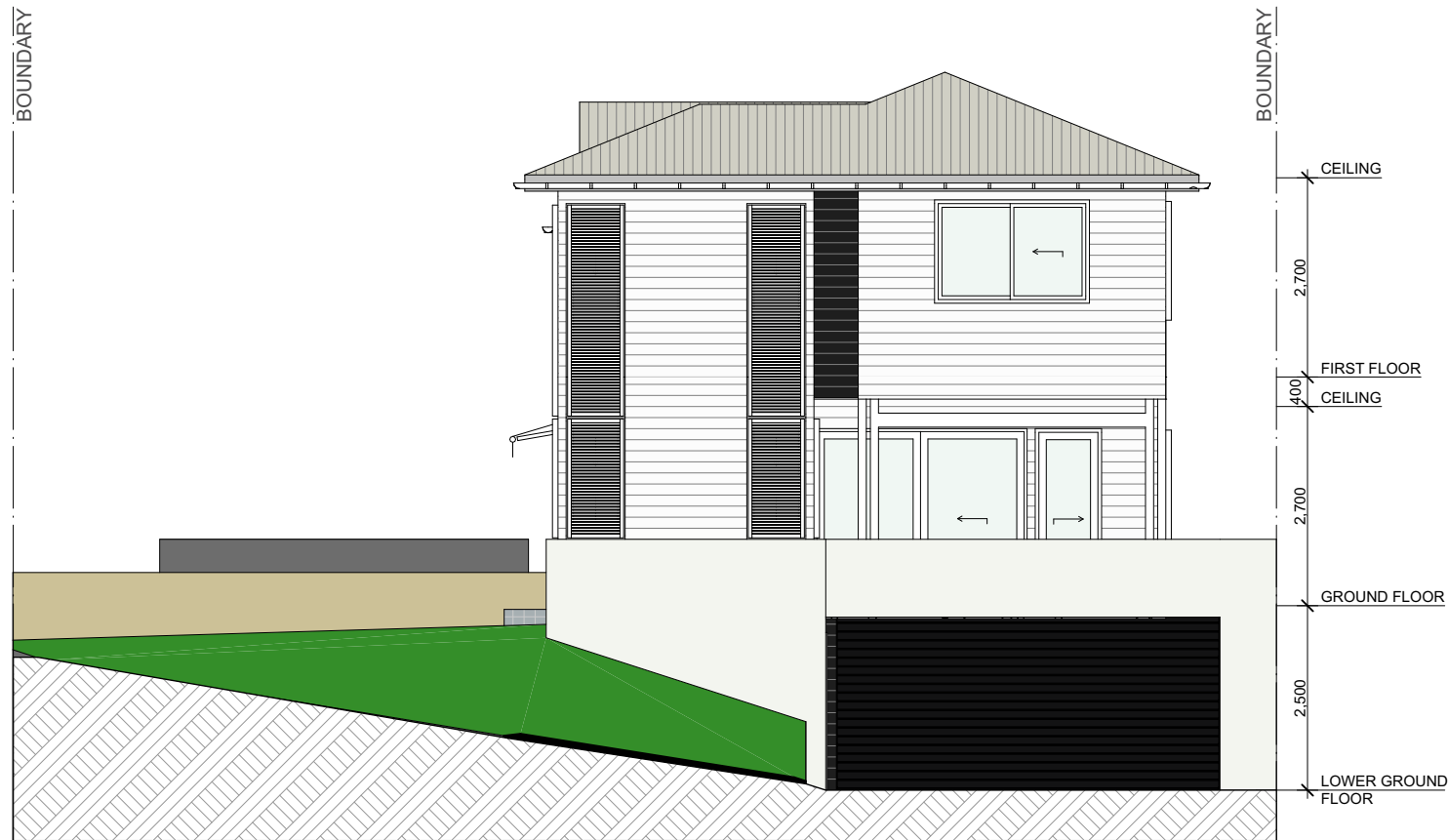
PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

DRAWING TITLE :
HOUSE PLANS
LOT 21 - ROOF PLAN

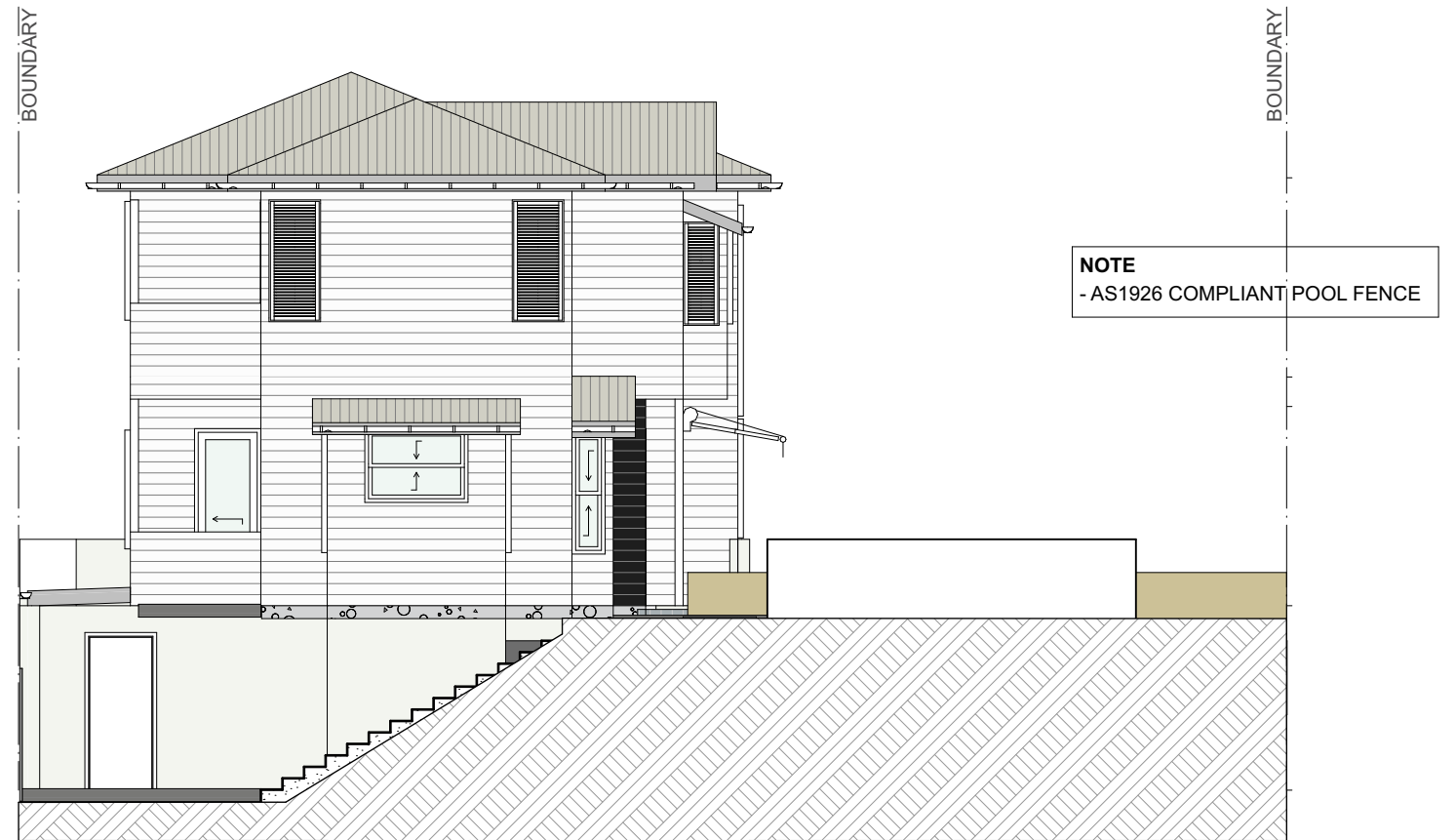
PROJECT NAME :
WARRIEWOOD

ISSUE: **DA**
DRAWING NO. **110:40**
REVISION NO. **M**





1 FRONT ELEVATION
1:100



3 REAR ELEVATION
1:100



2 EAST ELEVATION
1:100



4 WEST ELEVATION
1:100

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: 1:100
PRINT SIZE: A3
PRINT DATE: 27/7/21

CLIENT:
SITE:

PROJECT NO. 20023
PVD No 21 PTY LTD
53A WARRIWOOD ROAD
WARRIWOOD NSW

DRAWING TITLE :
HOUSE ELEVATION
LOT 22 - ELEVATIONS

PROJECT NAME :
WARRIWOOD

ISSUE: DA
DRAWING NO. 210:01
REVISION NO. M



1 FRONT ELEVATION
1:100



3 REAR ELEVATION
1:100



2 EAST ELEVATION
1:100



4 WEST ELEVATION
1:100

0 1 2 3 5m

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: 1:100
PRINT SIZE: A3
PRINT DATE: 27/7/21

CLIENT:
SITE:

PROJECT NO.
20023
PVD No 21 PTY LTD
53A WARRIWOOD ROAD
WARRIWOOD NSW

DRAWING TITLE :
HOUSE ELEVATION
LOT 2 - ELEVATIONS

PROJECT NAME :
WARRIWOOD

ISSUE:
DA
DRAWING NO.
210:02
REVISION NO.
M



1 FRONT ELEVATION
1:100



2 EAST ELEVATION
1:100



**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

DRAWING TITLE :
HOUSE ELEVATION
LOT 3 & 5 - ELEVATIONS

PROJECT NAME :
WARRIEWOOD

ISSUE:
DA
DRAWING NO.
210:03
REVISION NO.
M



1 REAR ELEVATION
1:100



2 WEST ELEVATION
1:100



**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIWOOD ROAD
WARRIWOOD NSW

DRAWING TITLE :
HOUSE ELEVATION
LOT 3 & 5 - ELEVATIONS

PROJECT NAME :
WARRIWOOD

ISSUE:
DA
DRAWING NO.
210:04
REVISION NO.
M



1 FRONT ELEVATION
1:100



2 EAST ELEVATION
1:100



**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIWOOD ROAD
WARRIWOOD NSW

DRAWING TITLE :
HOUSE ELEVATION
LOT 4 & 6 - ELEVATIONS

PROJECT NAME :
WARRIWOOD

ISSUE:
DA
DRAWING NO.
210:05
REVISION NO.
M



1 REAR ELEVATION
1:100



2 WEST ELEVATION
1:100



**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIWOOD ROAD
WARRIWOOD NSW

DRAWING TITLE :
HOUSE ELEVATION
LOT 4 & 6 - ELEVATIONS

PROJECT NAME :
WARRIWOOD

ISSUE:
DA
DRAWING NO.
210:06
REVISION NO.
M



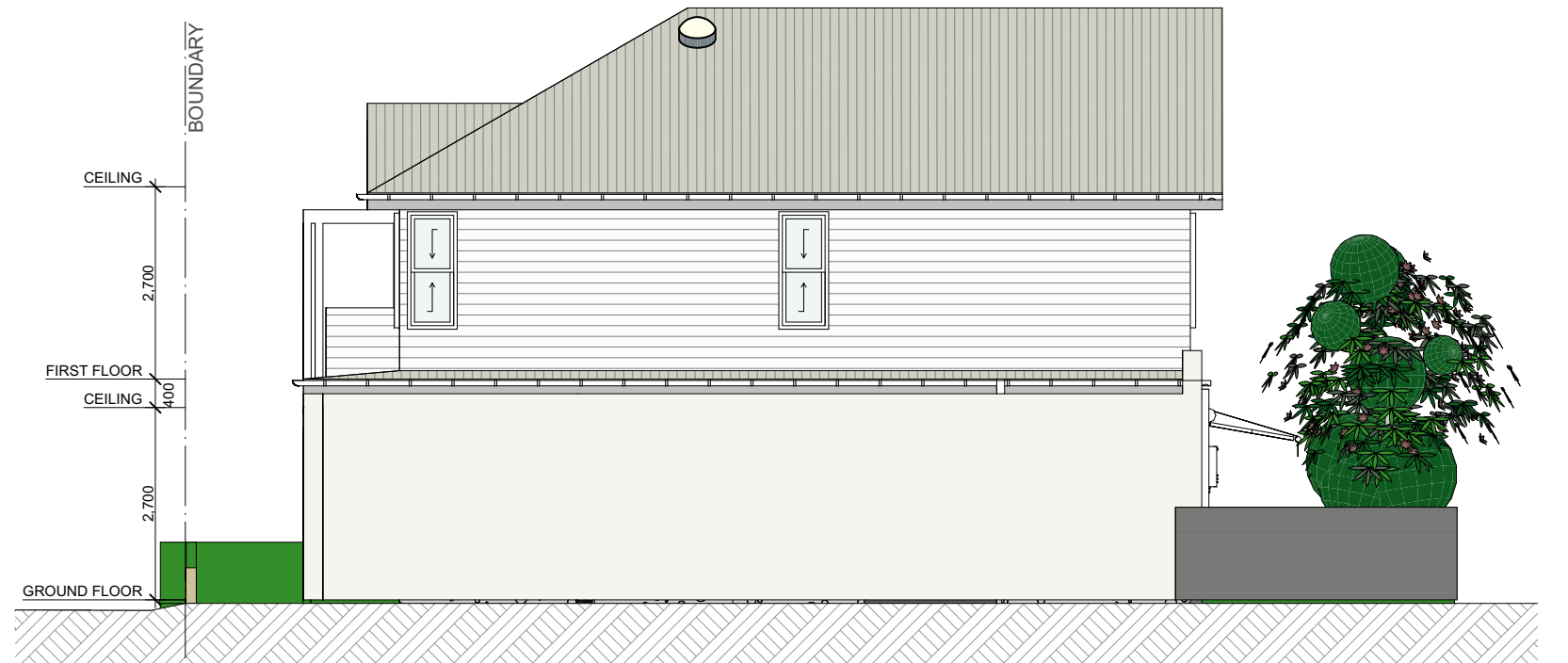
1 FRONT ELEVATION
1:100



2 EAST ELEVATION
1:100



3 REAR ELEVATION
1:100



4 WEST ELEVATION
1:100

0 1 2 3 5m

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

DRAWING TITLE :
HOUSE ELEVATION
LOT 7 - ELEVATIONS

PROJECT NAME :
WARRIEWOOD

ISSUE:
DA
DRAWING NO.
210:07
REVISION NO.
M



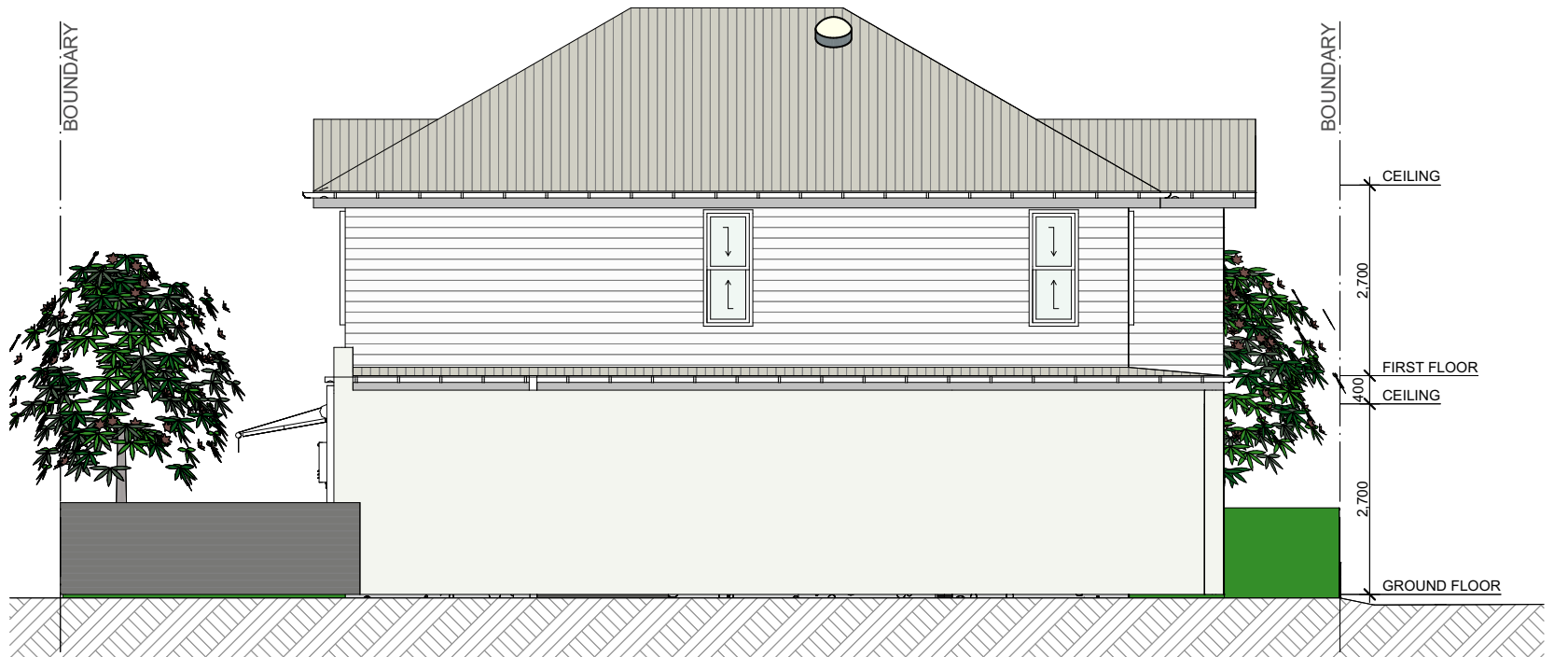
1 FRONT ELEVATION
1:100



2 EAST ELEVATION
1:100



3 REAR ELEVATION
1:100



4 WEST ELEVATION
1:100

0 1 2 3 5m

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T +61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

CLIENT: **PVD No 21 PTY LTD**
53A WARRIWOOD ROAD
WARRIWOOD NSW

PROJECT NO.
20023

DRAWING TITLE :
HOUSE ELEVATION
LOT 8 - ELEVATIONS

PROJECT NAME :
WARRIWOOD

ISSUE:
DA
DRAWING NO.
210:08
REVISION NO.
M



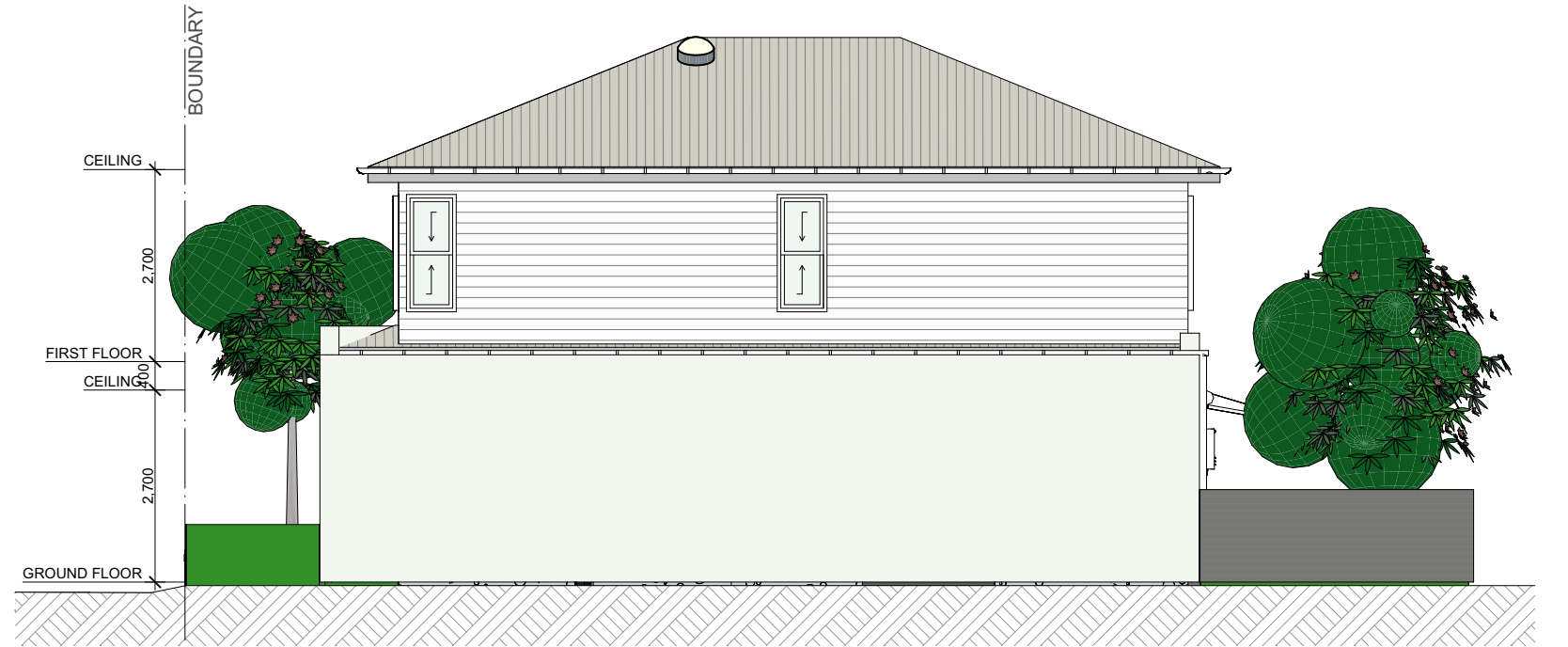
1 FRONT ELEVATION
1:100



2 EAST ELEVATION
1:100



3 REAR ELEVATION
1:100



4 WEST ELEVATION
1:100

0 1 2 3 5m

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



Member
Australian
Institute of
Architects



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIWOOD ROAD
WARRIWOOD NSW

DRAWING TITLE :
HOUSE ELEVATION
LOT 9 - ELEVATIONS

PROJECT NAME :
WARRIWOOD

ISSUE:
DA
DRAWING NO.
210:09
REVISION NO.
M



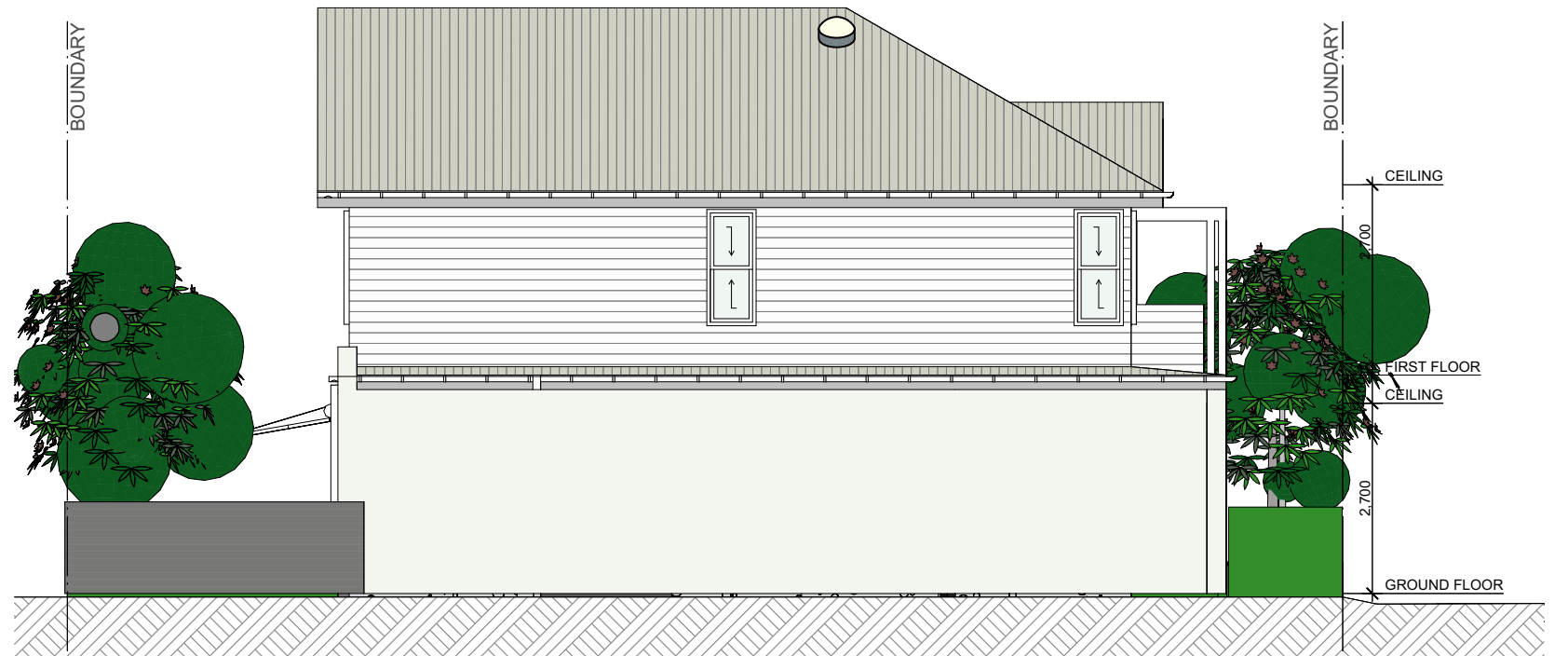
1 FRONT ELEVATION
1:100



2 EAST ELEVATION
1:100



3 REAR ELEVATION
1:100



4 WEST ELEVATION
1:100

0 1 2 3 5m

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIWOOD ROAD
WARRIWOOD NSW

DRAWING TITLE :
HOUSE ELEVATION
LOT 10 - ELEVATIONS

PROJECT NAME :
WARRIWOOD

ISSUE:
DA
DRAWING NO.
210:10
REVISION NO.
M



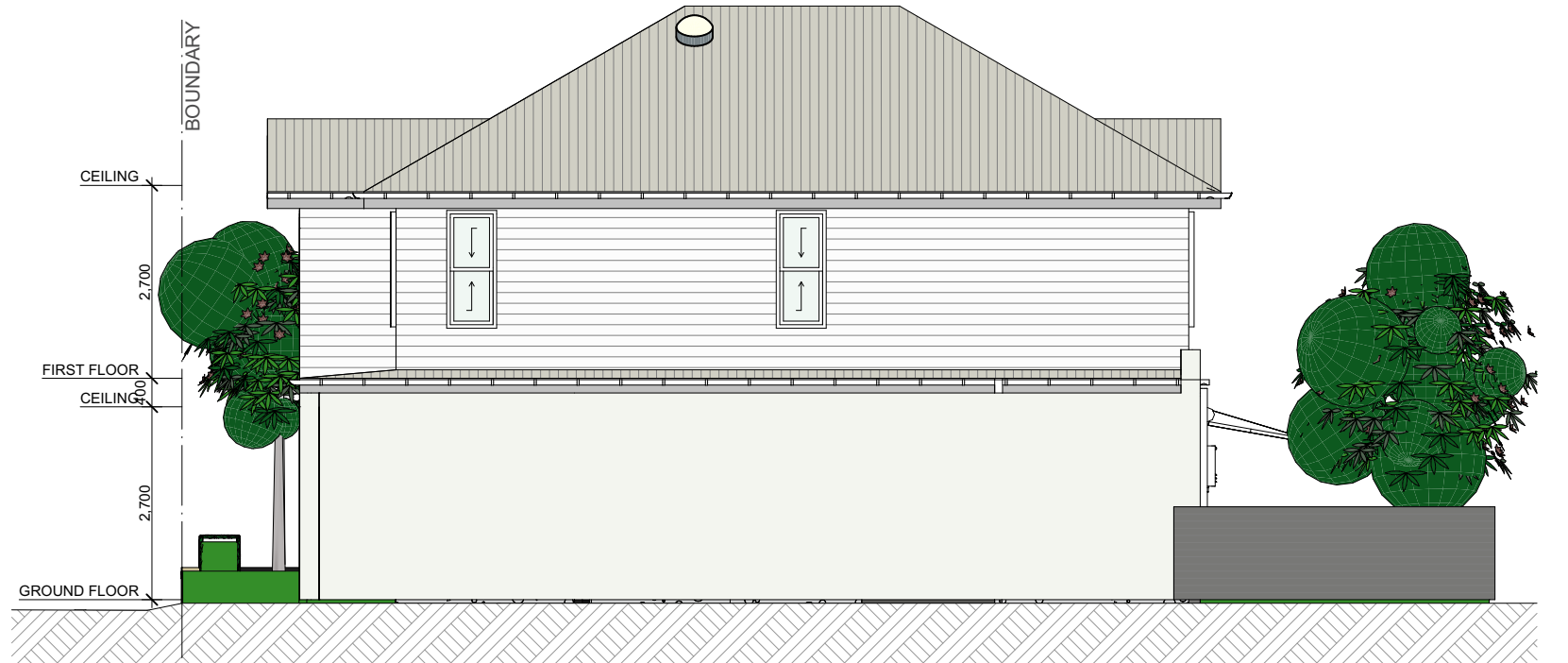
1 FRONT ELEVATION
1:100



2 EAST ELEVATION
1:100



3 REAR ELEVATION
1:100



4 WEST ELEVATION
1:100

0 1 2 3 5m

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T +61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: 1:100
PRINT SIZE: A3
PRINT DATE: 27/7/21

CLIENT:
SITE:

PROJECT NO. 20023
PVD No 21 PTY LTD
53A WARRIWOOD ROAD
WARRIWOOD NSW

DRAWING TITLE :
HOUSE ELEVATION
LOT 11 - ELEVATIONS

PROJECT NAME :
WARRIWOOD

ISSUE: DA
DRAWING NO. 210:11
REVISION NO. M



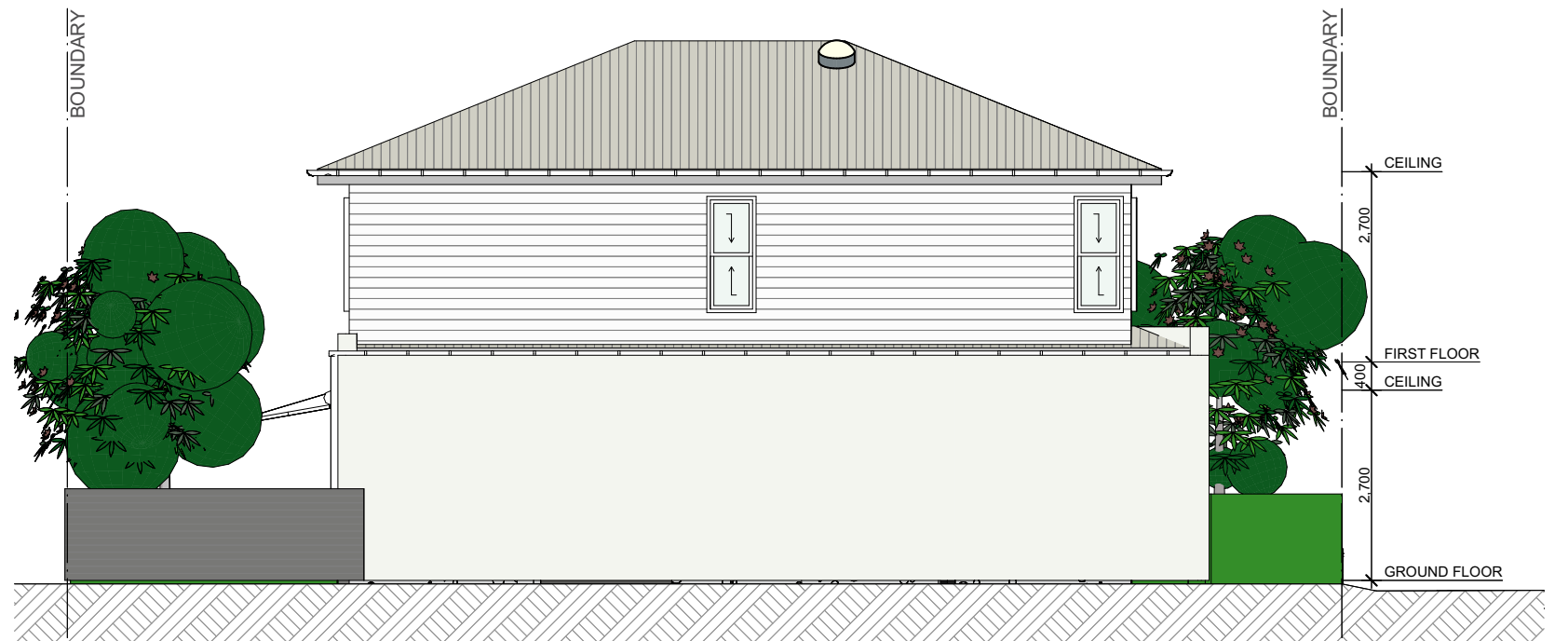
1 FRONT ELEVATION
1:100



2 EAST ELEVATION
1:100



3 REAR ELEVATION
1:100



4 WEST ELEVATION
1:100

0 1 2 3 5m

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIWOOD ROAD
WARRIWOOD NSW

DRAWING TITLE :
HOUSE ELEVATION
LOT 12 - ELEVATIONS

PROJECT NAME :
WARRIWOOD

ISSUE:
DA
DRAWING NO.
210:12
REVISION NO.
M



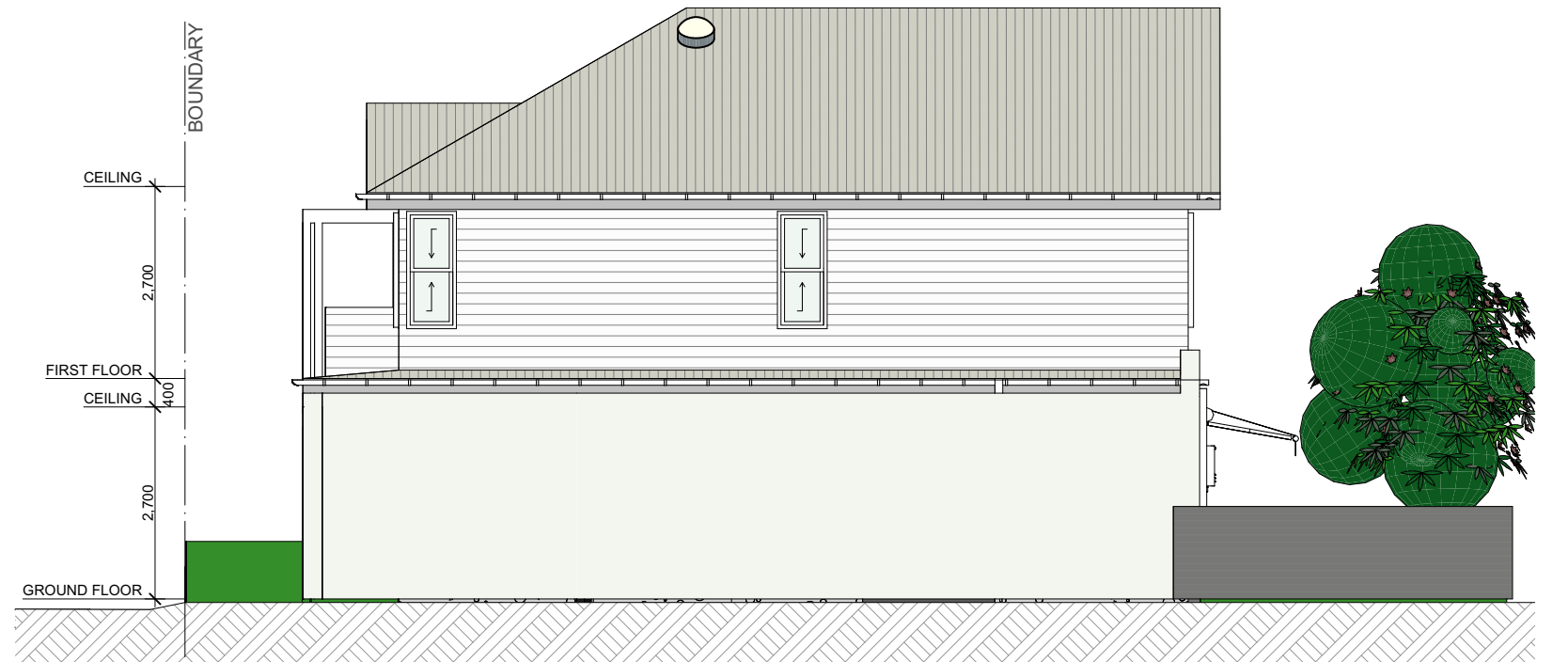
1 FRONT ELEVATION
1:100



2 EAST ELEVATION
1:100



3 REAR ELEVATION
1:100



4 WEST ELEVATION
1:100

0 1 2 3 5m

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIWOOD ROAD
WARRIWOOD NSW

DRAWING TITLE :
HOUSE ELEVATION
LOT 13 - ELEVATIONS

PROJECT NAME :
WARRIWOOD

ISSUE:
DA
DRAWING NO.
210:13
REVISION NO.
M



1 FRONT ELEVATION
1:100



2 EAST ELEVATION
1:100



3 REAR ELEVATION
1:100



4 WEST ELEVATION
1:100

0 1 2 3 5m

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIWOOD ROAD
WARRIWOOD NSW

DRAWING TITLE :
HOUSE ELEVATION
LOT 14 - ELEVATIONS

PROJECT NAME :
WARRIWOOD

ISSUE:
DA
DRAWING NO.
210:14
REVISION NO.
M



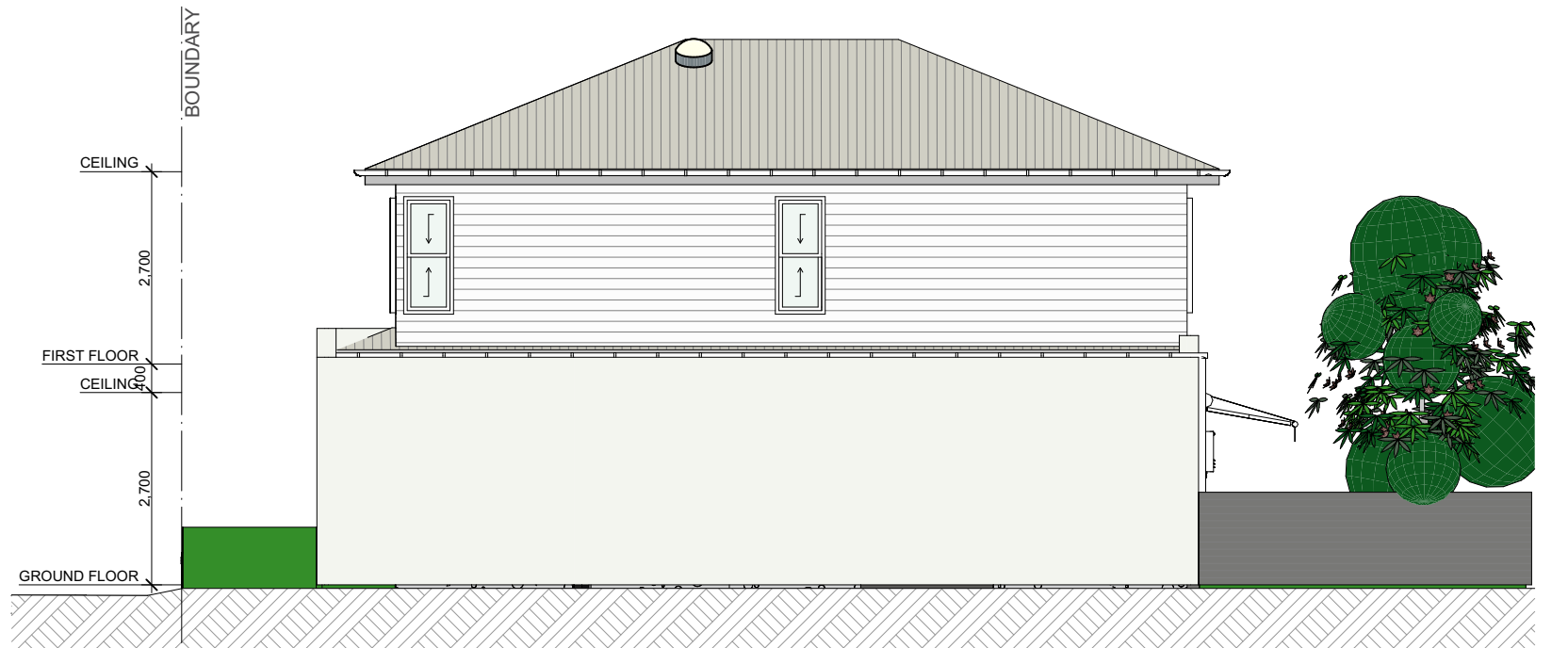
1 FRONT ELEVATION
1:100



2 EAST ELEVATION
1:100



3 REAR ELEVATION
1:100



4 WEST ELEVATION
1:100

0 1 2 3 5m

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIWOOD ROAD
WARRIWOOD NSW

DRAWING TITLE :
HOUSE ELEVATION
LOT 15 - ELEVATIONS

PROJECT NAME :
WARRIWOOD

ISSUE:
DA
DRAWING NO.
210:15
REVISION NO.
M



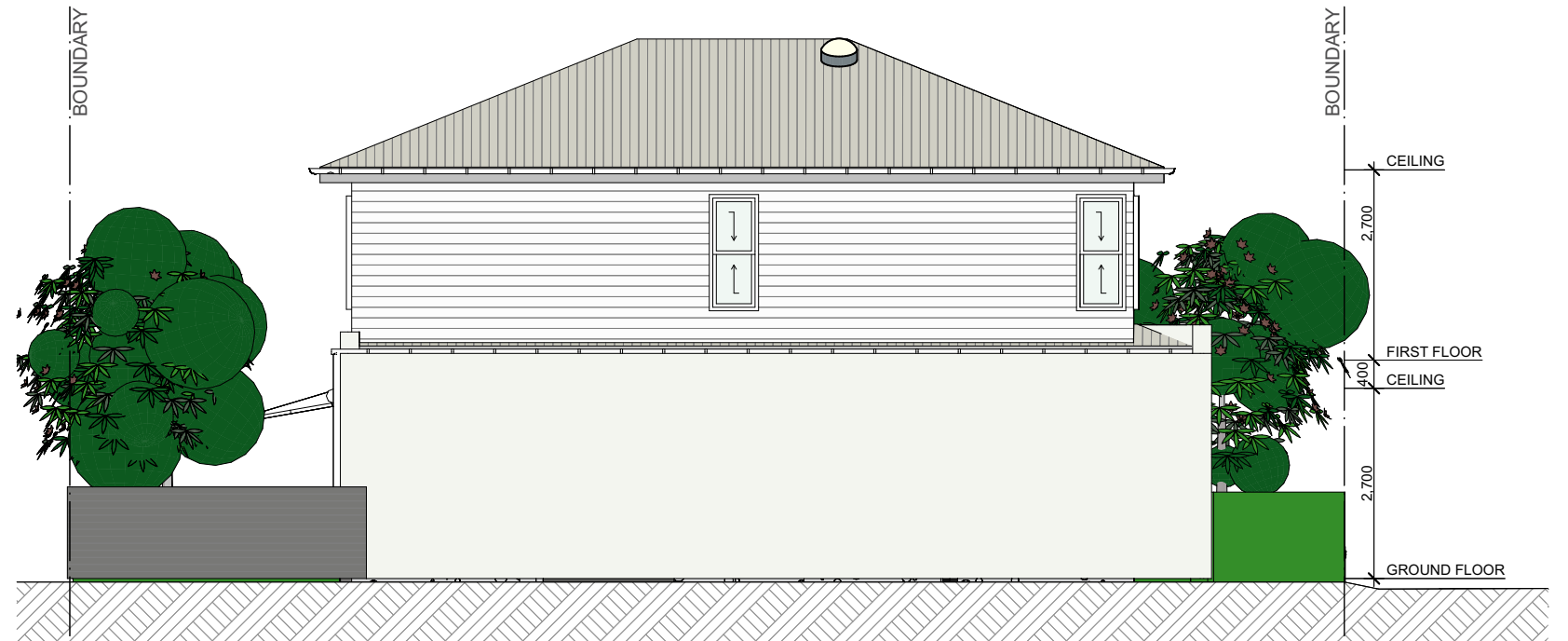
1 FRONT ELEVATION
1:100



2 EAST ELEVATION
1:100



3 REAR ELEVATION
1:100



4 WEST ELEVATION
1:100

0 1 2 3 5m

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

DRAWING TITLE :
HOUSE ELEVATION
LOT 16 - ELEVATIONS

PROJECT NAME :
WARRIEWOOD

ISSUE:
DA
DRAWING NO.
210:16
REVISION NO.
M



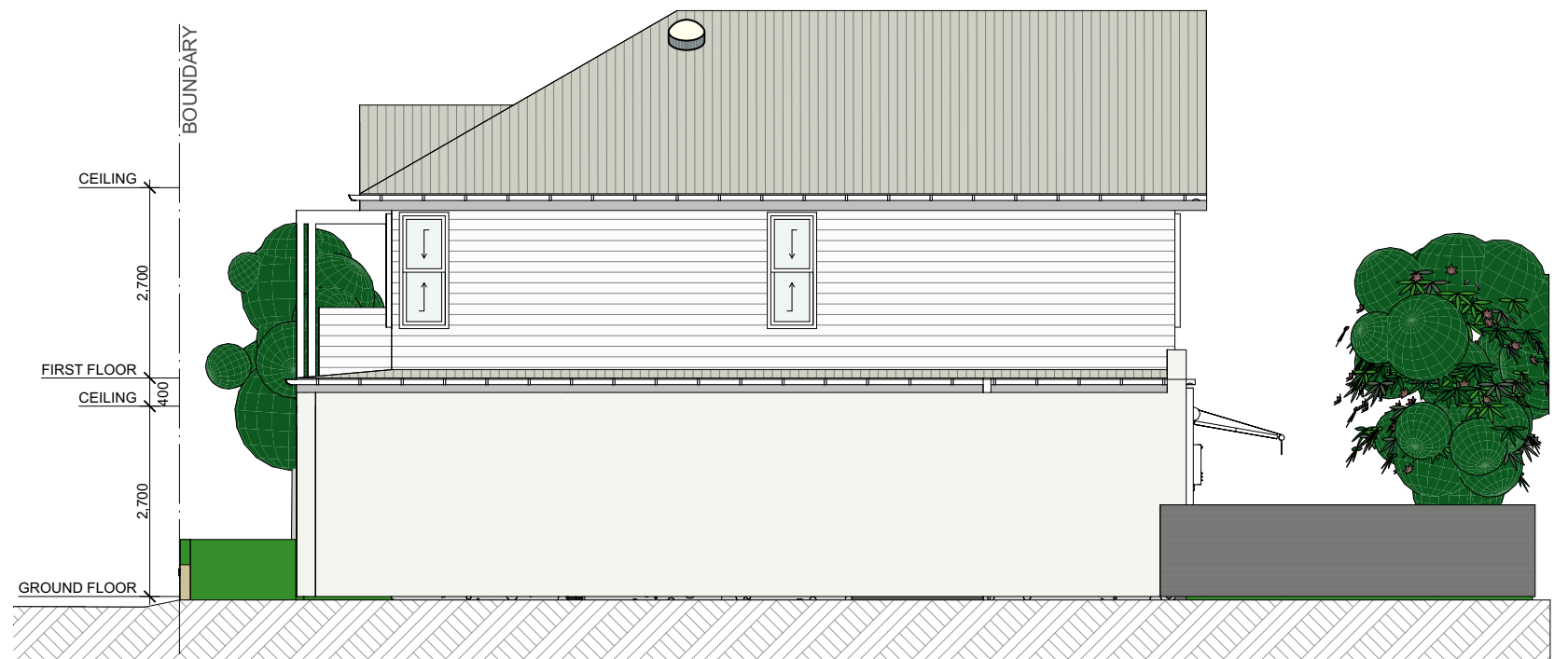
1 FRONT ELEVATION
1:100



2 EAST ELEVATION
1:100



3 REAR ELEVATION
1:100



4 WEST ELEVATION
1:100

0 1 2 3 5m

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIWOOD ROAD
WARRIWOOD NSW

DRAWING TITLE :
HOUSE ELEVATION
LOT 17 - ELEVATIONS

PROJECT NAME :
WARRIWOOD

ISSUE:
DA
DRAWING NO.
210:17
REVISION NO.
M



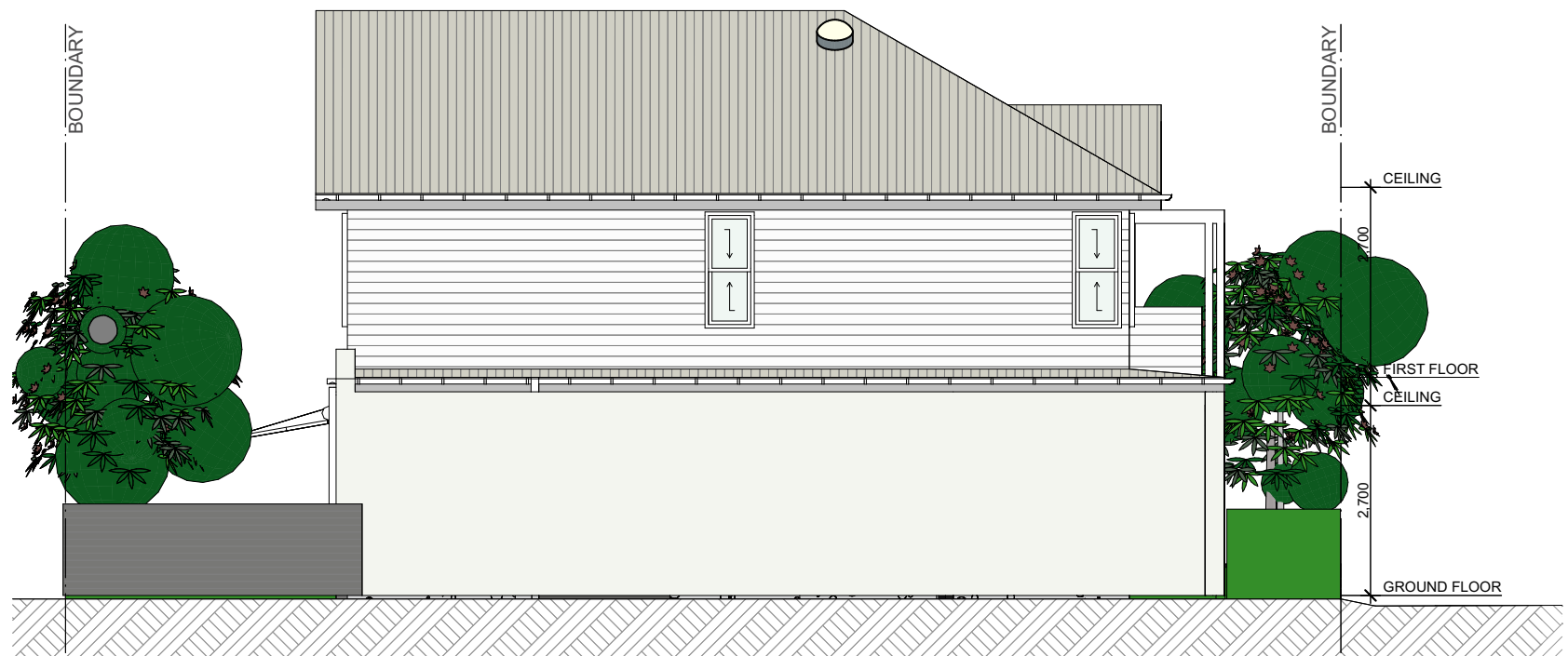
1 FRONT ELEVATION
1:100



2 EAST ELEVATION
1:100



3 REAR ELEVATION
1:100



4 WEST ELEVATION
1:100

0 1 2 3 5m

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIWOOD ROAD
WARRIWOOD NSW

DRAWING TITLE :
HOUSE ELEVATION
LOT 18 - ELEVATIONS

PROJECT NAME :
WARRIWOOD

ISSUE:
DA
DRAWING NO.
210:18
REVISION NO.
M



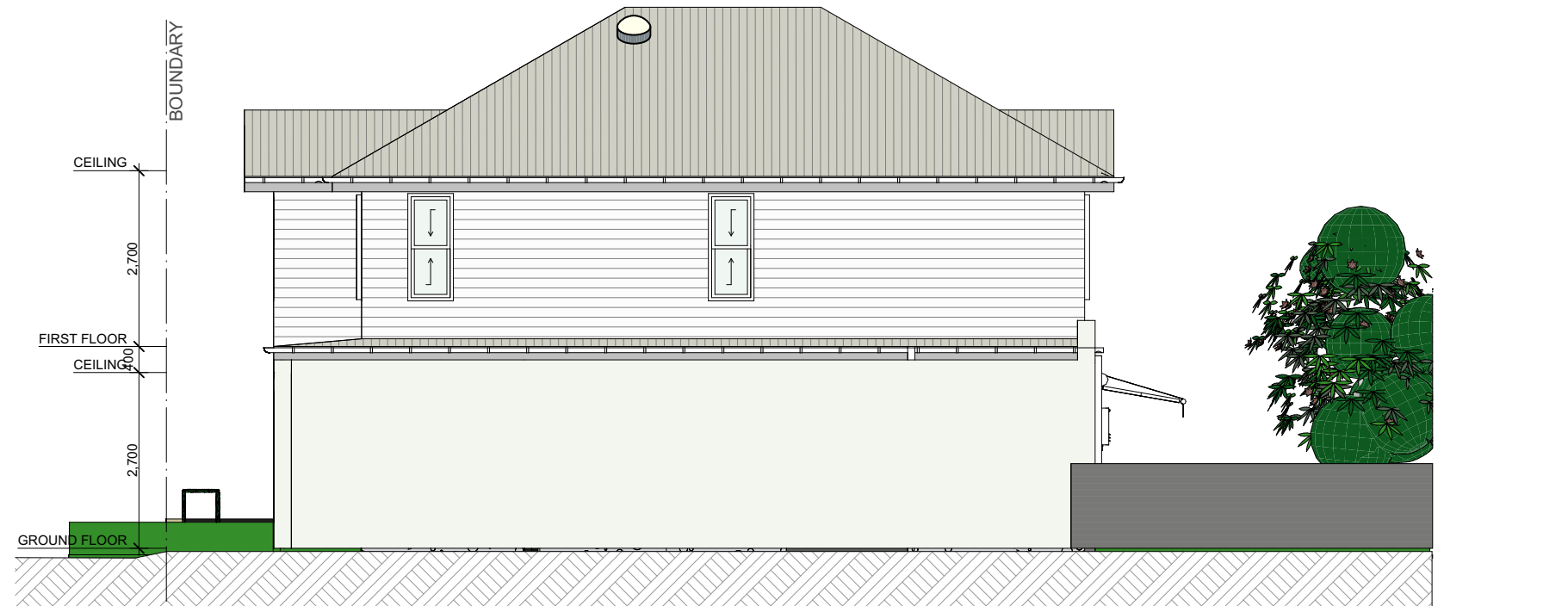
1 FRONT ELEVATION
1:100



2 EAST ELEVATION
1:100



3 REAR ELEVATION
1:100



4 WEST ELEVATION
1:100

0 1 2 3 5m

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

DRAWING TITLE :
HOUSE ELEVATION
LOT 19 - ELEVATIONS

PROJECT NAME :
WARRIEWOOD

ISSUE: **DA**
DRAWING NO. **210:19**
REVISION NO. **M**



1 SOUTH ELEVATION
1:100

3 REAR ELEVATION
1:100



2 FRONT ELEVATION
1:100

**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T +61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: 1:100
PRINT SIZE: A3
PRINT DATE: 27/7/21

CLIENT:
SITE:

PROJECT NO. 20023
PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

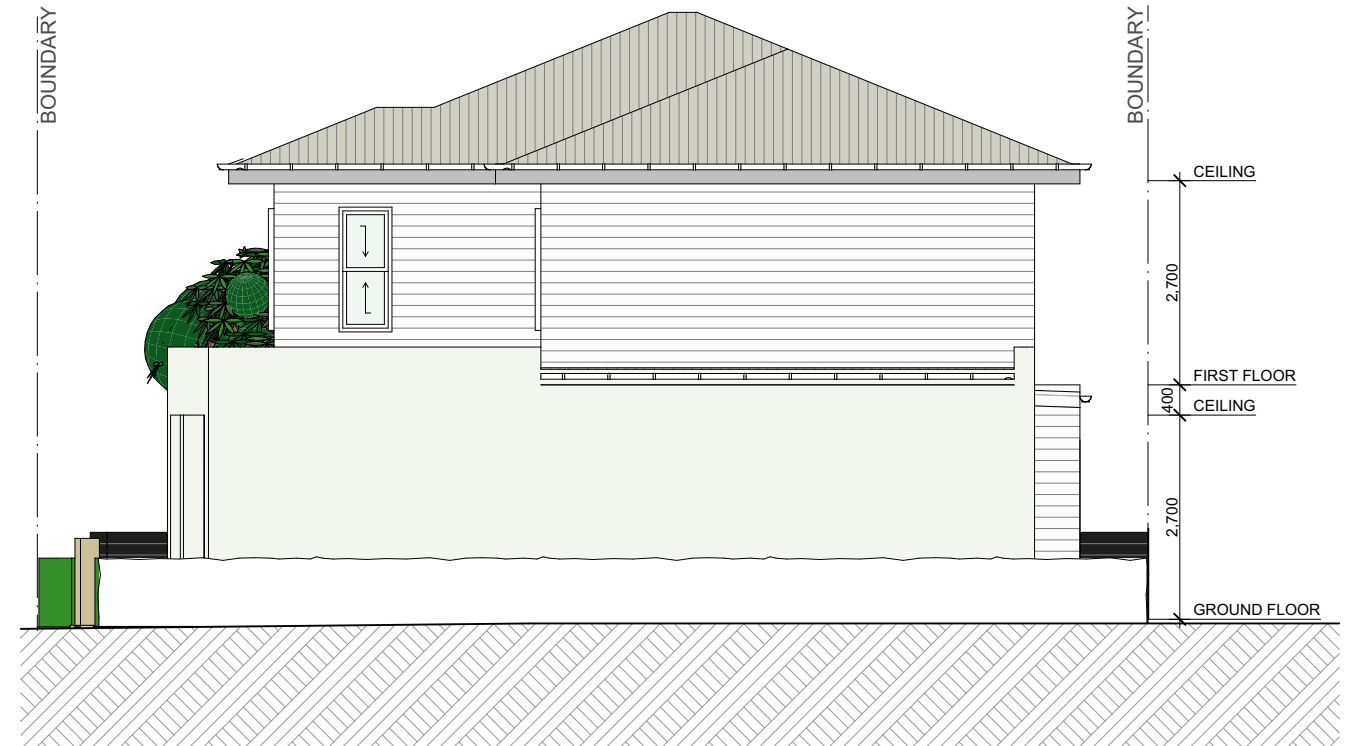
DRAWING TITLE :
HOUSE ELEVATION
LOT 20 - ELEVATIONS

PROJECT NAME :
WARRIEWOOD

ISSUE: DA
DRAWING NO. 210:20
REVISION NO. M



1 FRONT ELEVATION
1:100



3 REAR ELEVATION
1:100



2 WEST ELEVATION
1:100



**Saturday
Studio**

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



Member
Australian
Institute of
Architects



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:100**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

CLIENT:
SITE:

PROJECT NO. **20023**
PVD No 21 PTY LTD
53A WARRIWOOD ROAD
WARRIWOOD NSW

DRAWING TITLE :
HOUSE ELEVATION
LOT 21 - ELEVATIONS

PROJECT NAME :
WARRIWOOD

ISSUE:
DA
DRAWING NO.
210:21
REVISION NO.
M



METAL ROOFING AND GUTTERS

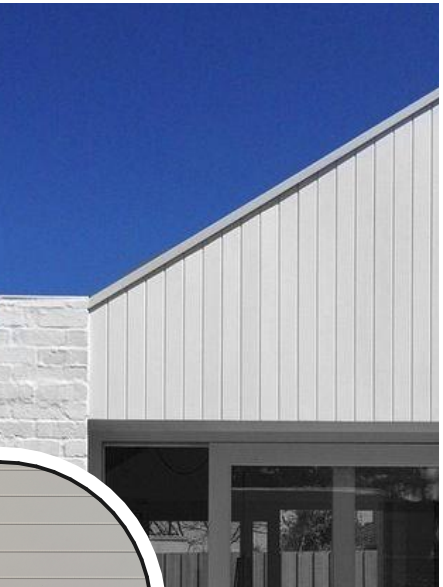
Customorb Colorbond 'Surfmist' roofing. Colorbond 'Surfmist' gutters, downpipes and capping.

TIMBER SHUTTERS

Painted Surfmist

FIBRE CEMENT WALL CLADDING

James Hardie Scyon Axon 133mm cladding. Painted in Colorbond 'Surfmist'.



ACRYLIC RENDER

Smooth white render



STONE FENCE

Alpine dry stone classing by Eco Outdoors

STEEL GARAGE DOOR

Colorbond 'Monument' steel garage door.

FIBRE CEMENT WALL CLADDING

James Hardie Scyon Axon 133mm cladding. Painted in Colorbond 'Monument' to feature



Saturday Studio

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE:
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

CLIENT:
SITE:

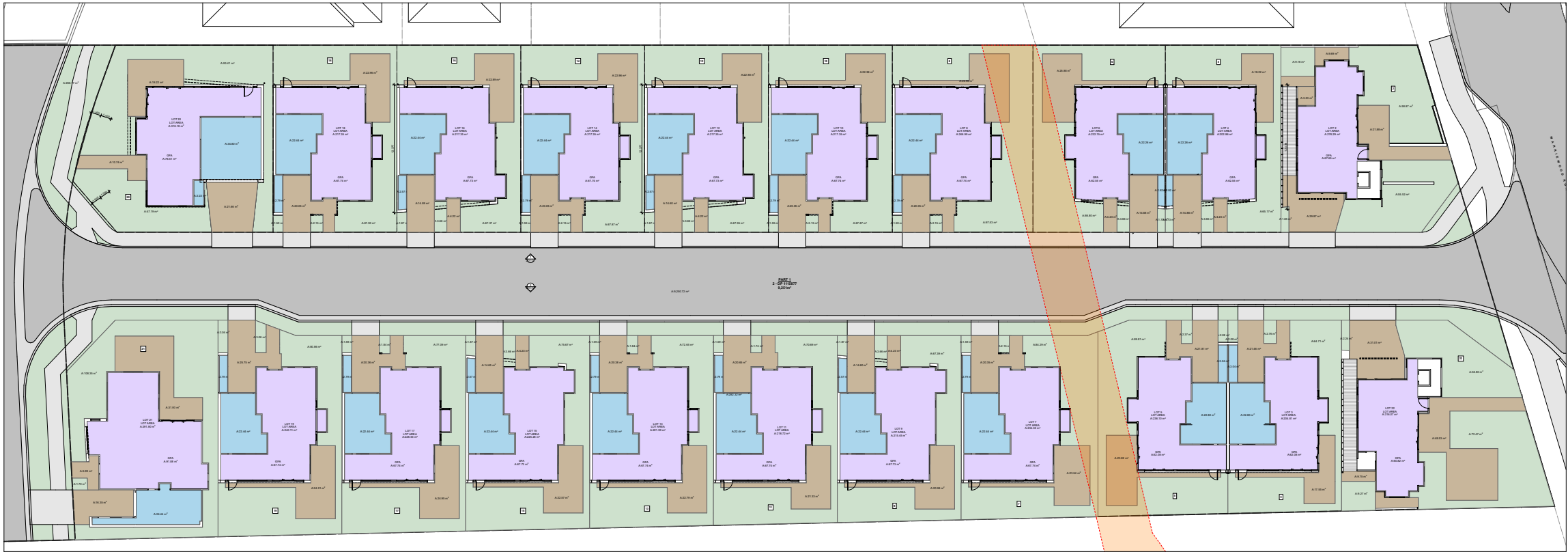
PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

PROJECT NO.
20023

DRAWING TITLE :
Diagrams
TYPICAL MATERIALS

PROJECT NAME :
WARRIEWOOD

ISSUE:
DA
DRAWING NO.
700:01
REVISION NO.
M



LOT 2	GARAGE / STORE	46.01	
LOT 2	GFA	158.07	
LOT 2	LANDSCAPE - HARD	64.47	
LOT 2	LANDSCAPE - SOFT	125.40	45%
LOT 2	LOT AREA	276.29	
LOT 3	GARAGE / STORE	25.84	
LOT 3	GFA	134.60	
LOT 3	LANDSCAPE - HARD	39.01	
LOT 3	LANDSCAPE - SOFT	69.55	34%
LOT 3	LOT AREA	204.81	
LOT 4	GARAGE / STORE	24.18	
LOT 4	GFA	135.07	
LOT 4	LANDSCAPE - HARD	37.33	
LOT 4	LANDSCAPE - SOFT	70.56	35%
LOT 4	LOT AREA	202.86	

LOT 5	GARAGE / STORE	25.84	
LOT 5	GFA	134.60	
LOT 5	LANDSCAPE - HARD	45.63	
LOT 5	LANDSCAPE - SOFT	94.26	41%
LOT 5	LOT AREA	236.10	
LOT 6	GARAGE / STORE	24.18	
LOT 6	GFA	135.07	
LOT 6	LANDSCAPE - HARD	44.99	
LOT 6	LANDSCAPE - SOFT	92.19	43%
LOT 6	LOT AREA	232.15	
LOT 7	GARAGE / STORE	25.23	
LOT 7	GFA	148.07	
LOT 7	LANDSCAPE - HARD	43.89	
LOT 7	LANDSCAPE - SOFT	88.03	36%
LOT 7	LOT AREA	234.35	

LOT 8	GARAGE / STORE	25.23	
LOT 8	GFA	151.32	
LOT 8	LANDSCAPE - HARD	43.01	
LOT 8	LANDSCAPE - SOFT	101.27	41%
LOT 8	LOT AREA	246.99	
LOT 9	GARAGE / STORE	25.01	
LOT 9	GFA	148.06	
LOT 9	LANDSCAPE - HARD	39.81	
LOT 9	LANDSCAPE - SOFT	72.92	33%
LOT 9	LOT AREA	215.45	
LOT 10	GARAGE / STORE	25.23	
LOT 10	GFA	148.07	
LOT 10	LANDSCAPE - HARD	43.01	
LOT 10	LANDSCAPE - SOFT	71.61	33%
LOT 10	LOT AREA	217.35	

LOT 11	GARAGE / STORE	25.23	
LOT 11	GFA	151.32	
LOT 11	LANDSCAPE - HARD	41.98	
LOT 11	LANDSCAPE - SOFT	74.02	34%
LOT 11	LOT AREA	218.72	
LOT 12	GARAGE / STORE	25.01	
LOT 12	GFA	148.06	
LOT 12	LANDSCAPE - HARD	41.72	
LOT 12	LANDSCAPE - SOFT	72.88	34%
LOT 12	LOT AREA	217.35	
LOT 13	GARAGE / STORE	25.23	
LOT 13	GFA	148.07	
LOT 13	LANDSCAPE - HARD	43.17	
LOT 13	LANDSCAPE - SOFT	76.08	35%
LOT 13	LOT AREA	221.99	

LOT 14	GARAGE / STORE	25.23	
LOT 14	GFA	151.32	
LOT 14	LANDSCAPE - HARD	57.90	
LOT 14	LANDSCAPE - SOFT	71.61	33%
LOT 14	LOT AREA	217.35	
LOT 15	GARAGE / STORE	25.01	
LOT 15	GFA	148.06	
LOT 15	LANDSCAPE - HARD	41.45	
LOT 15	LANDSCAPE - SOFT	81.20	36%
LOT 15	LOT AREA	225.26	
LOT 16	GARAGE / STORE	25.01	
LOT 16	GFA	148.06	
LOT 16	LANDSCAPE - HARD	27.11	
LOT 16	LANDSCAPE - SOFT	72.90	34%
LOT 16	LOT AREA	217.35	

LEGEND	
	GARAGE / STORE
	GROSS FLOOR AREA
	LANDSCAPE - HARD
	LANDSCAPE - SOFT

Saturday
Studio

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: 1:500
PRINT SIZE: A3
PRINT DATE: 27/7/21

CLIENT:

PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

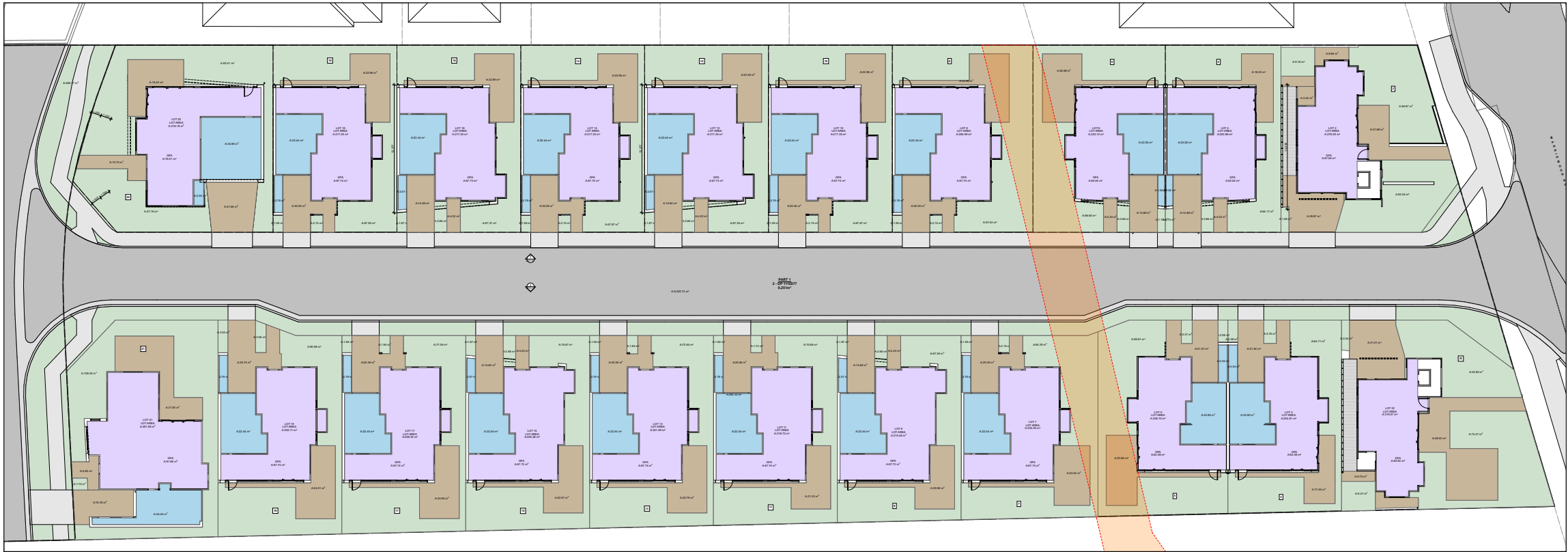
SITE:

PROJECT NO.
20023

DRAWING TITLE :
Diagrams
AREAS

PROJECT NAME :
WARRIEWOOD

ISSUE:
DA
DRAWING NO.
700:02
REVISION NO.
M



LOT 17	GARAGE / STORE	25.23	
LOT 17	GFA	148.07	
LOT 17	LANDSCAPE - HARD	45.31	
LOT 17	LANDSCAPE - SOFT	80.52	37%
LOT 17	LOT AREA	228.53	
LOT 18	GARAGE / STORE	25.23	
LOT 18	GFA	148.07	
LOT 18	LANDSCAPE - HARD	43.01	
LOT 18	LANDSCAPE - SOFT	71.64	33%
LOT 18	LOT AREA	217.35	
LOT 19	GARAGE / STORE	25.23	
LOT 19	GFA	151.32	
LOT 19	LANDSCAPE - HARD	50.66	
LOT 19	LANDSCAPE - SOFT	86.96	38%
LOT 19	LOT AREA	240.11	

LOT 20	GARAGE / STORE	37.02	
LOT 20	GFA	165.40	
LOT 20	LANDSCAPE - HARD	51.62	
LOT 20	LANDSCAPE - SOFT	140.60	44%
LOT 20	LOT AREA	316.18	
LOT 21	GARAGE / STORE	24.44	
LOT 21	GFA	176.63	
LOT 21	LANDSCAPE - HARD	54.27	
LOT 21	LANDSCAPE - SOFT	110.05	40%
LOT 21	LOT AREA	291.80	
LOT 22	GARAGE / STORE	51.19	
LOT 22	GFA	148.47	
LOT 22	LANDSCAPE - HARD	89.29	
LOT 22	LANDSCAPE - SOFT	136.78	43%
LOT 22	LOT AREA	316.07	

LEGEND	
	GARAGE / STORE
	GROSS FLOOR AREA
	LANDSCAPE - HARD
	LANDSCAPE - SOFT

Saturday
Studio

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: 1:500
PRINT SIZE: A3
PRINT DATE: 27/7/21

CLIENT:
SITE:

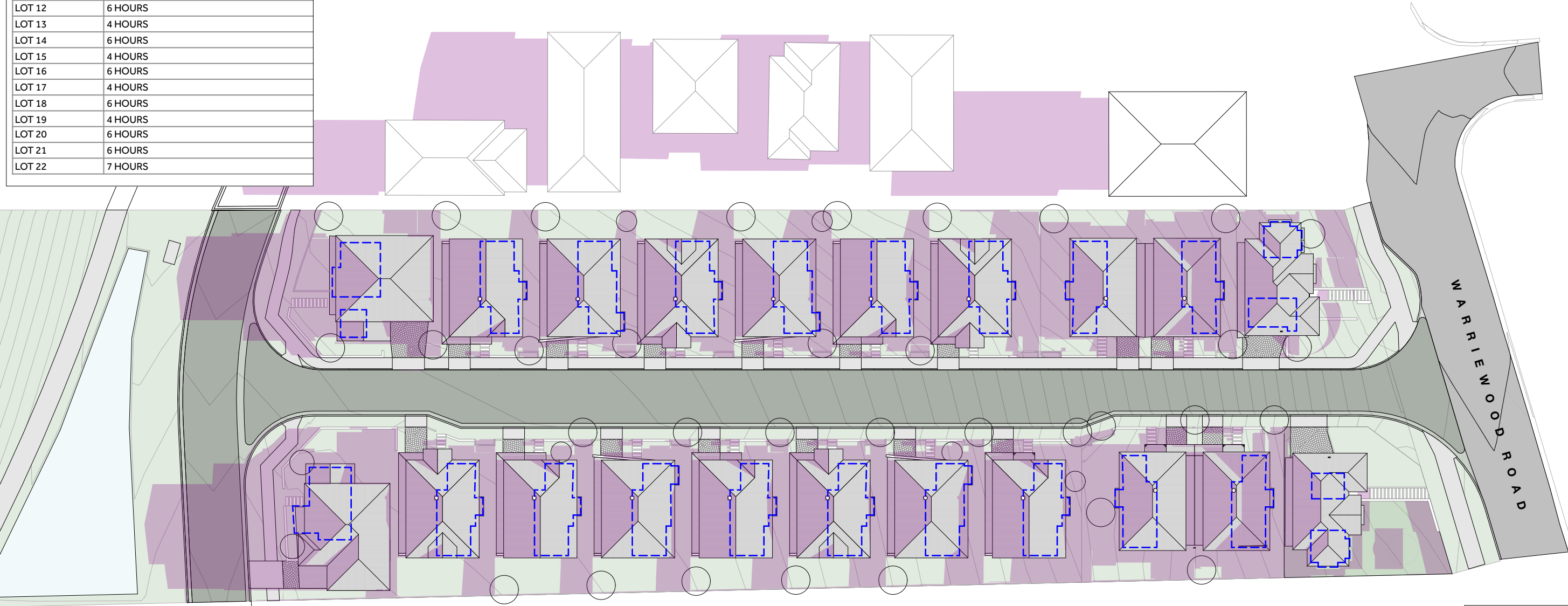
PROJECT NO. 20023
PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

DRAWING TITLE :
Diagrams
AREAS

PROJECT NAME :
WARRIEWOOD

ISSUE: DA
DRAWING NO. 700:03
REVISION NO. M

LOT NUMBER	HOURS OF SUNLIGHT TO LIVING AREAS
LOT 1	-
LOT 2	7 HOURS
LOT 3	5 HOURS
LOT 4	5 HOURS
LOT 5	5 HOURS
LOT 6	6 HOURS
LOT 7	4 HOURS
LOT 8	6 HOURS
LOT 9	4 HOURS
LOT 10	6 HOURS
LOT 11	4 HOURS
LOT 12	6 HOURS
LOT 13	4 HOURS
LOT 14	6 HOURS
LOT 15	4 HOURS
LOT 16	6 HOURS
LOT 17	4 HOURS
LOT 18	6 HOURS
LOT 19	4 HOURS
LOT 20	6 HOURS
LOT 21	6 HOURS
LOT 22	7 HOURS



LEGEND

LIVING AREAS

9am SHADOWS

1

WINTER 9AM

1:500

Saturday Studio

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676

A+

Member
Australian
Institute of
Architects

Architects
Registration
Board

A

DESIGNER

CERTIFIED
PASSIVE HOUSE
DESIGNER

NOTE	ISSUE	REVISION	DESCRIPTION	DATE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. All documents here within are subject to Australian Copyright Laws.	DSAP	H	Design and Sustainability Advisory Panel	13.05.21
	DSAP	I	Design and Sustainability Advisory Panel	20.05.21
	DSAP	J	Design and Sustainability Advisory Panel	27.05.21
	DSAP	K	FOR DA	07.06.21
	DA	L	FOR DA SUBMISSION	30.06.21
	DA	M	REVISIONS FOR DA	10.07.21

SCALE:
PRINT SIZE:
PRINT DATE:

1:500, 1:1.25
A3
27/7/21

PROJECT NO.
20023

CLIENT:

PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

SITE:

DRAWING TITLE :
Shadow Diagrams
WINTER SOLSTICE 9AM

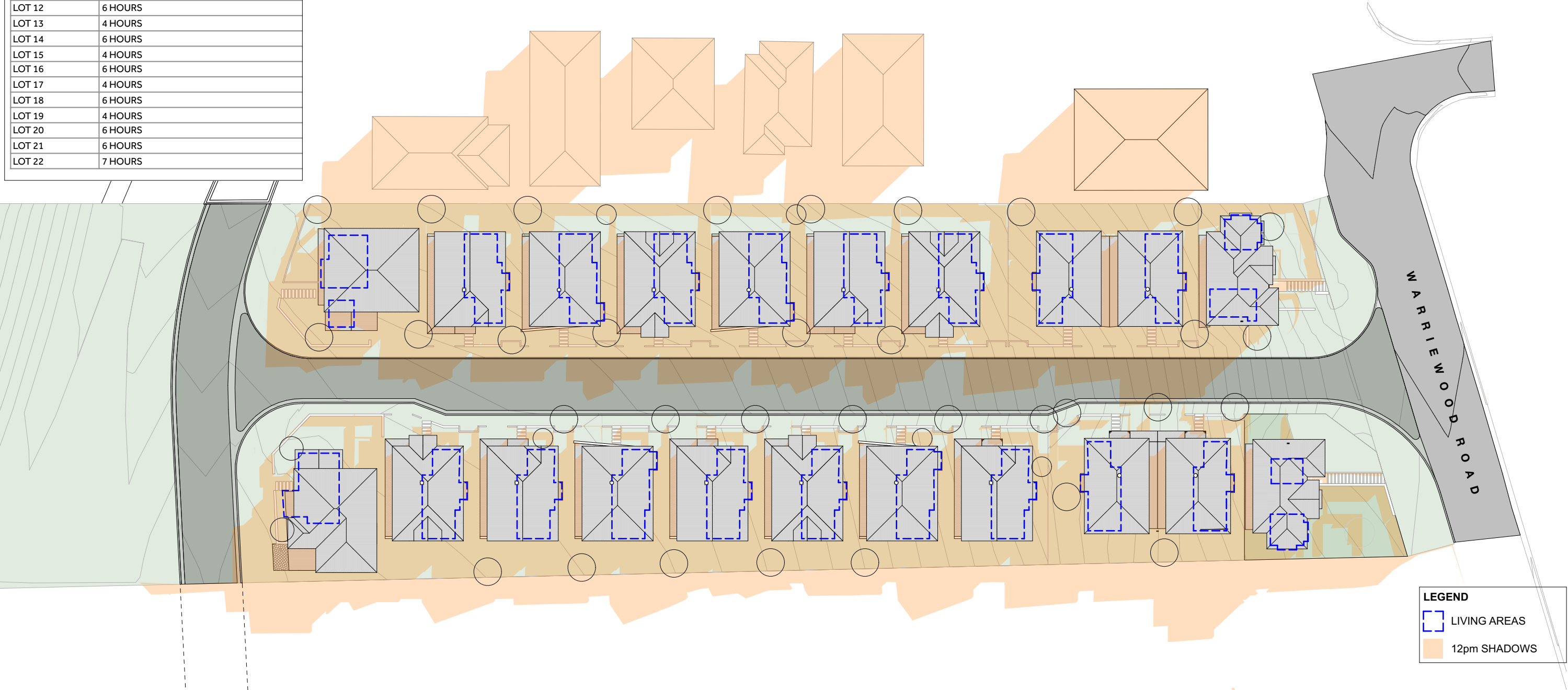
PROJECT NAME :
WARRIEWOOD

ISSUE:
DA

DRAWING NO.
710:01

REVISION NO.
M

LOT NUMBER	HOURS OF SUNLIGHT TO LIVING AREAS
LOT 1	-
LOT 2	7 HOURS
LOT 3	5 HOURS
LOT 4	5 HOURS
LOT 5	5 HOURS
LOT 6	6 HOURS
LOT 7	4 HOURS
LOT 8	6 HOURS
LOT 9	4 HOURS
LOT 10	6 HOURS
LOT 11	4 HOURS
LOT 12	6 HOURS
LOT 13	4 HOURS
LOT 14	6 HOURS
LOT 15	4 HOURS
LOT 16	6 HOURS
LOT 17	4 HOURS
LOT 18	6 HOURS
LOT 19	4 HOURS
LOT 20	6 HOURS
LOT 21	6 HOURS
LOT 22	7 HOURS



LEGEND

LIVING AREAS

12pm SHADOWS

1

WINTER 12PM

1:500

Saturday Studio

Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676

A+

Member
Australian
Institute of
Architects

Architects
Registration
Board

A

DESIGNER

CERTIFIED
PASSIVE HOUSE
DESIGNER

NOTE	ISSUE	REVISION	DESCRIPTION	DATE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. All documents here within are subject to Australian Copyright Laws.	DSAP	H	Design and Sustainability Advisory Panel	13.05.21
	DSAP	I	Design and Sustainability Advisory Panel	20.05.21
	DSAP	J	Design and Sustainability Advisory Panel	27.05.21
	DSAP	K	FOR DA	07.06.21
	DA	L	FOR DA SUBMISSION	30.06.21
	DA	M	REVISIONS FOR DA	10.07.21

SCALE: 1:500, 1:1.25
PRINT SIZE: A3
PRINT DATE: 27/7/21

CLIENT: PVD No 21 PTY LTD
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

PROJECT NO. 20023

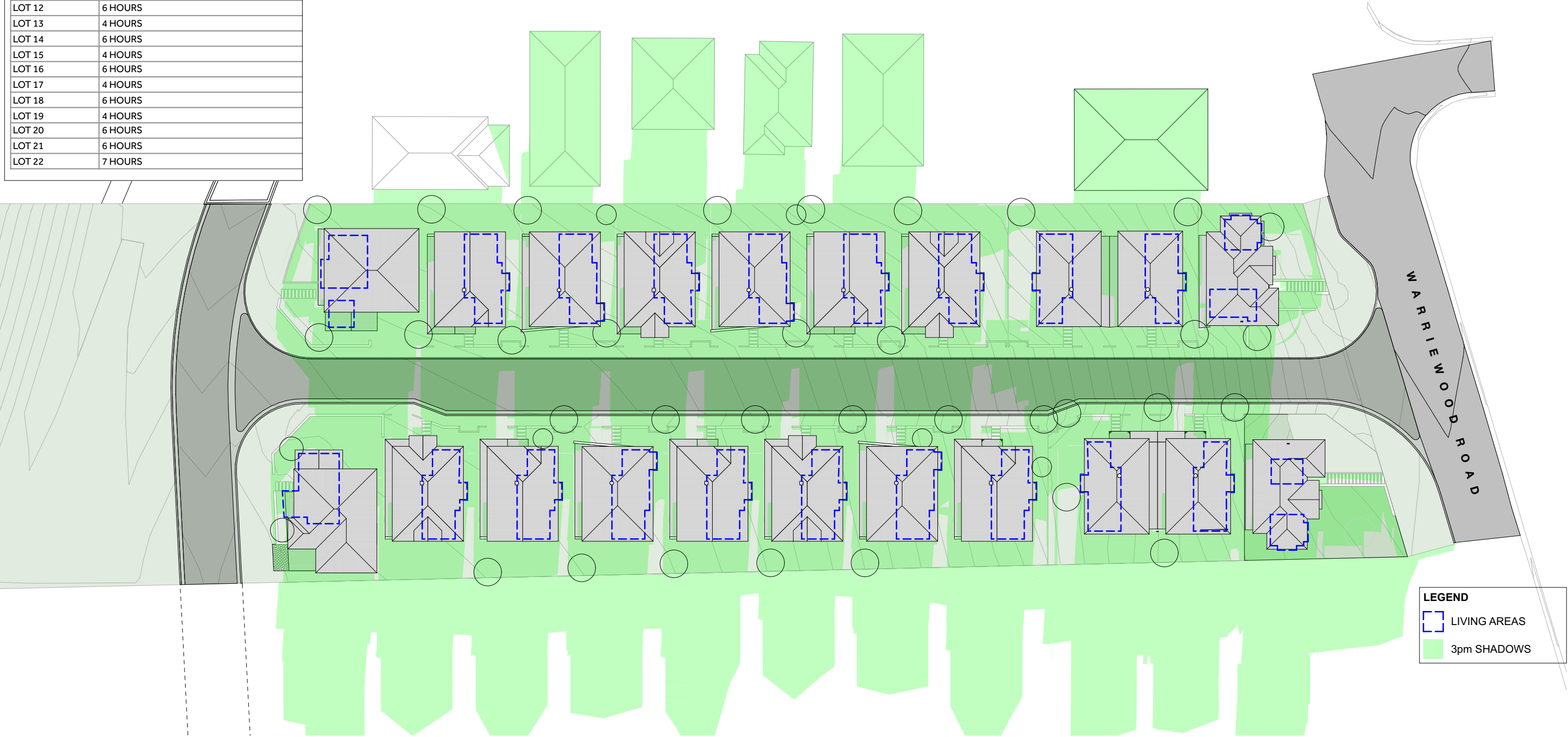
SITE:

DRAWING TITLE : Shadow Diagrams
WINTER SOLSTICE 12PM

PROJECT NAME : WARRIEWOOD

ISSUE: DA
DRAWING NO. 710:02
REVISION NO. M

LOT NUMBER	HOURS OF SUNLIGHT TO LIVING AREAS
LOT 1	-
LOT 2	7 HOURS
LOT 3	5 HOURS
LOT 4	5 HOURS
LOT 5	5 HOURS
LOT 6	6 HOURS
LOT 7	4 HOURS
LOT 8	6 HOURS
LOT 9	4 HOURS
LOT 10	6 HOURS
LOT 11	4 HOURS
LOT 12	6 HOURS
LOT 13	4 HOURS
LOT 14	6 HOURS
LOT 15	4 HOURS
LOT 16	6 HOURS
LOT 17	4 HOURS
LOT 18	6 HOURS
LOT 19	4 HOURS
LOT 20	6 HOURS
LOT 21	6 HOURS
LOT 22	7 HOURS







1 WINTER 3PM
1:500

Saturday Studio


Suite 6, 36 East Esplanade
MANLY NSW 2095
PO BOX 1171
MANLY NSW 2095
T + 61 2 9212 5322
nick@saturdaystudio.com.au

SATURDAY STUDIO PTY LTD
ABN 85 107 769 022
Urban Design | Architecture
NOMINATED ARCHITECT: NICOLAS KARL RICHTER
NSWARB REGISTRATION NO# 6676



NOTE
Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction.
All documents here within are subject to Australian Copyright Laws.

ISSUE	REVISION	DESCRIPTION	DATE
DSAP	H	Design and Sustainability Advisory Panel	13.05.21
DSAP	I	Design and Sustainability Advisory Panel	20.05.21
DSAP	J	Design and Sustainability Advisory Panel	27.05.21
DSAP	K	FOR DA	07.06.21
DA	L	FOR DA SUBMISSION	30.06.21
DA	M	REVISIONS FOR DA	10.07.21



SCALE: **1:500, 1:1.25**
PRINT SIZE: **A3**
PRINT DATE: **27/7/21**

CLIENT: **PVD No 21 PTY LTD**
53A WARRIEWOOD ROAD
WARRIEWOOD NSW

SITE:

PROJECT NO. **20023**

DRAWING TITLE : **Shadow Diagrams**
WINTER SOLSTICE 3PM

PROJECT NAME : **WARRIEWOOD**

ISSUE: **DA**
DRAWING NO. **710:03**
REVISION NO. **M**