

1.8m HIGH WIRE FENCE TO BE ERECTED
ALONG BOUNDARYS OPEN TO PUBLIC.

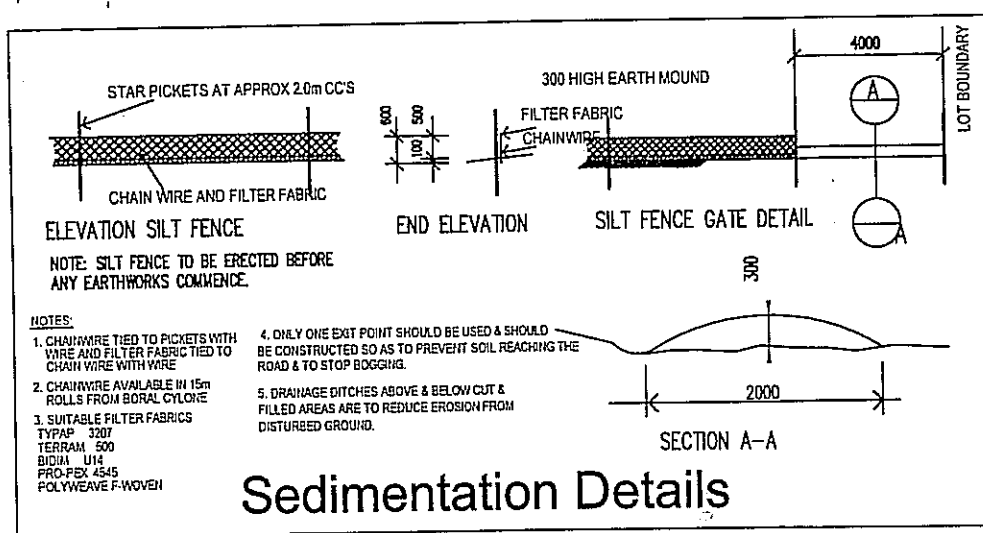


THIS PLAN IS TO BE READ
IN CONJUNCTION WITH

DA 2009 / 0979

WARRINGAH COUNCIL

 knight-mapleton design partners ABN 38 120 295 892 P.O. BOX No. 3014 UMINA BEACH NSW 2257 LEVEL 1 191 WEST ST UMINA BEACH NSW 2257 ph (02) 4342 2721 fax (02) 4341 2365 email: km@knightmapleton.com.au web: www.knightmapleton.com.au	ALL DRAWINGS AND DOCUMENTS TO BE READ INCONJUNCTION WITH CURRENT BASIX AND ABSA SPECIFICATIONS.			PROPOSED DEVELOPMENT: DEMOLITION AND NEW RESIDENCE				Client: L. EMERY
	A1(DA)	23.07.09	DA APPLICATION	Drawn: JP AK	Designed: JC	Checked: AK	Scale: 1:200	Address: No. 43 PARKES STREET, Lot 30 in DP 12186.
	amendment:	date issued:	revision:	Issue: A1DA	Date Drawn: 23/07/09	Job No: 0901-493	Sheet No: 2-OF9	Suburb: MANLY VALE. Council: WARRINGAH



NOTE:
ALL SETOUT DIMENSIONS TO STRUCTURAL FRAME (NOT TO APPLIED CLADDING)

Site Details

EASEMENTS	: NIL
RIGHT OF WAYS	: NIL
STORMWATER	: TO BE PIPED TO EXIST. SYSTEM THROUGH PROP. WATER TANKS AS PER ENG. DET.
WATERWAYS	: NIL
CUT & FILL	: NOTE TO RL
SEDIMENTATION CONTROL	: APPROVED SILT FENCE TO BE ERECTED INSIDE DOWNSTREAM BOUNDARIES.
SAFETY FENCING	: 1.8m HIGH WIRE FENCE TO BE ERECTED ALONG BOUNDARIES OPEN TO PUBLIC.
TERMITE PROTECTION	: COMBINATION OF PHYSICAL & CHEMICAL BARRIER TO BE INSTALLED

NOTE:
REFER TO ATTACHED LANDSCAPE PLAN FOR PLANT SCHEDULE.

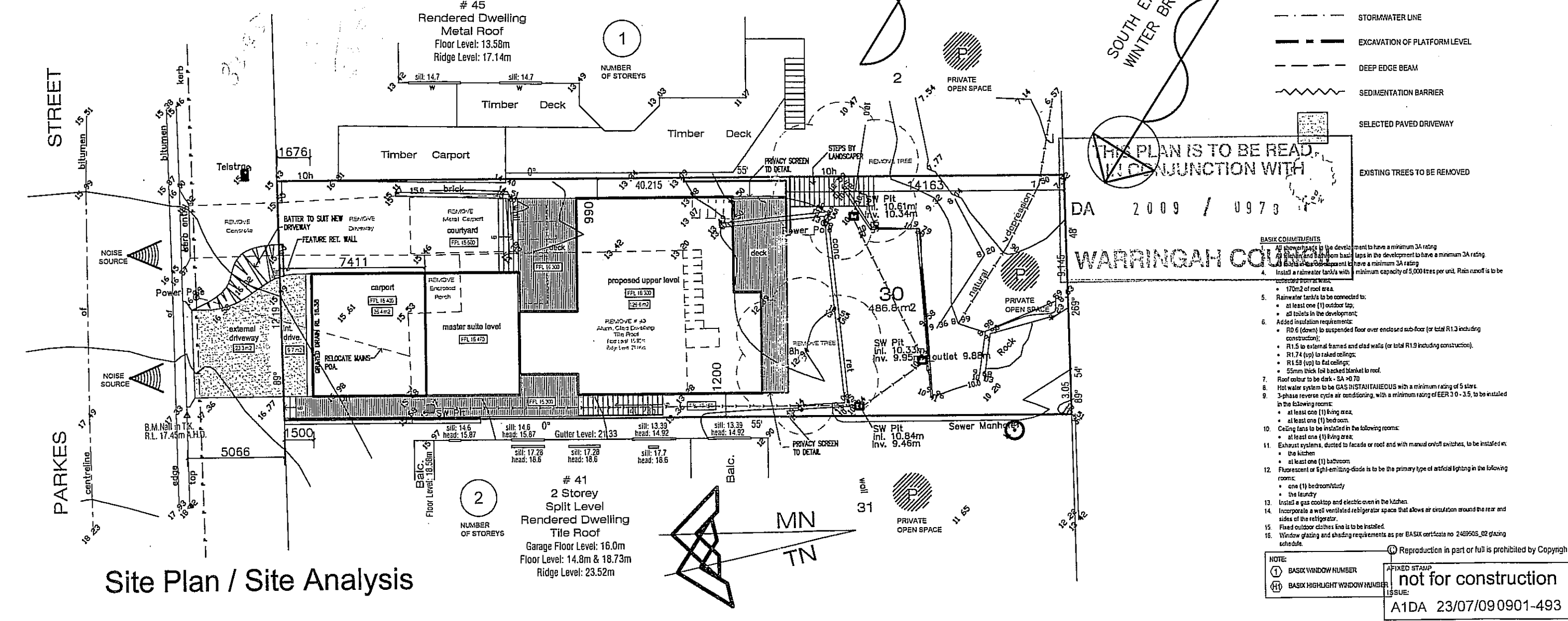
Clarke Dowdle : Associates
Development Consultants
surveyors - planners - ecologists - bushfire consultants
111 UMINA BEACH STREET
UMINA BEACH NSW 2257
ph (02) 4342 2253 fax (02) 4344 6636
email admin@cdcsurveys.com.au
PO Box 3122 Umina NSW 2257

#43 PARKES STREET, MANLY VALE.	ref. ratio: 1:200	date: A.H.D.
Lot 30 in DP 12186.	reference #G: 11463A	ref. set:
PLAN SHOWING SPOT-LEVELS, CONTOURS & DETAIL	contour interval: 1m	DA #:
	job date: 28/01/09	number in set: 1 of 1
	LGA: WARRINGAH	
	Parish: MANLY COVE	
	County: CUMBERLAND	

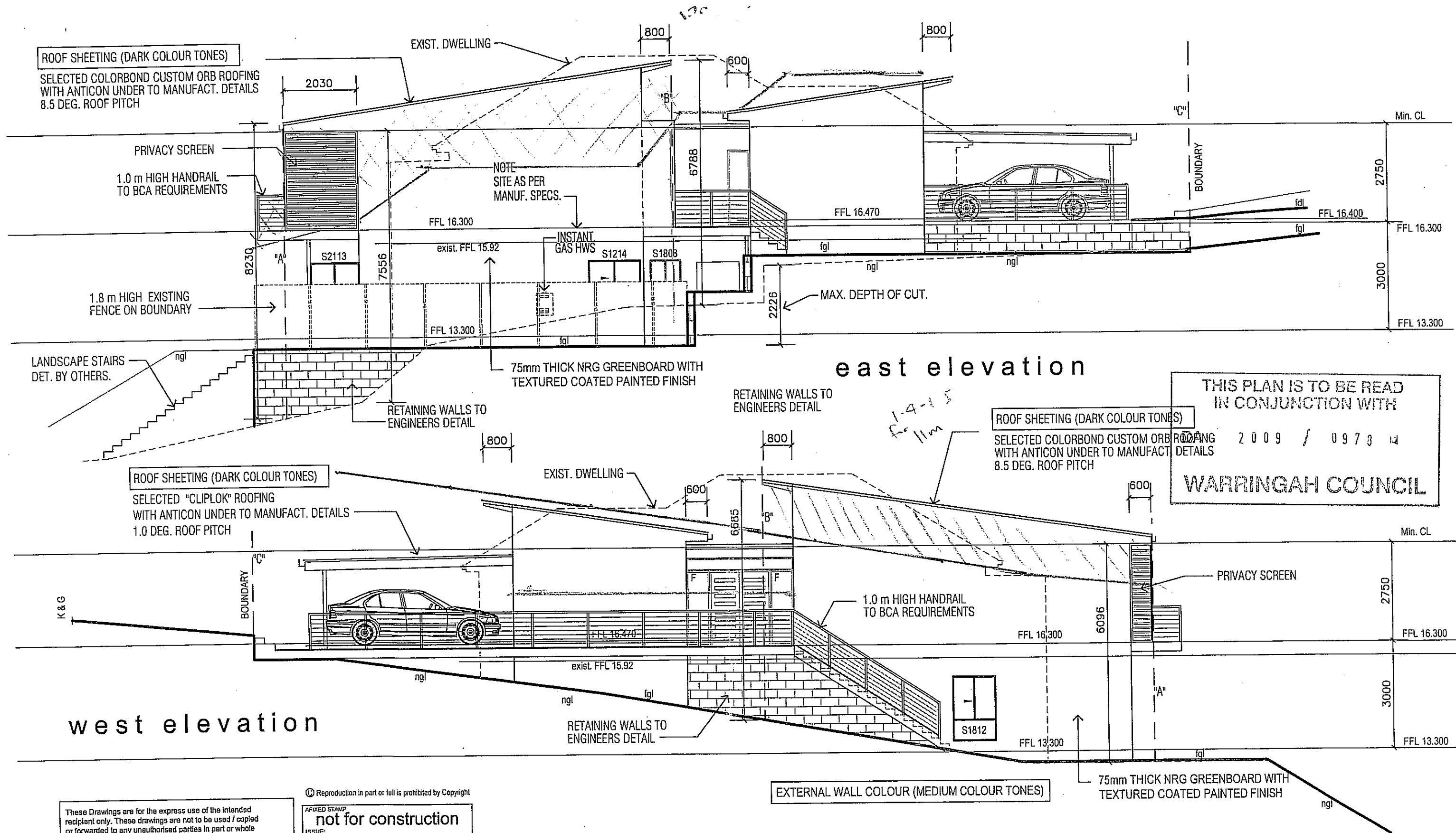
Origin of Levels: PM 767 Fd.
Location: Parkes Street, Manly Vale.
R.L.: 24.28m A.H.D.

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all dimensions are in metres unless otherwise shown.
check and confirm all areas & dimensions on site prior to the commencement of any works.
do not scale from face of plan.
preliminary boundary location has been undertaken only.
if any construction is planned on or close to the boundaries further survey work will be required.
a complete investigation of services has not been undertaken for this survey.
services shown hereon have been located by visible features only.
see tank & height dimensions are approximate only.
see services are approximate only but have been drawn to scale.
ridges gutter levels displayed on buildings are approximate only.
sewer details (within gutters) are taken from G.C.C. diagrams & are approximate positions only.



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ISSUE: A1DA 23/07/09 0901-493

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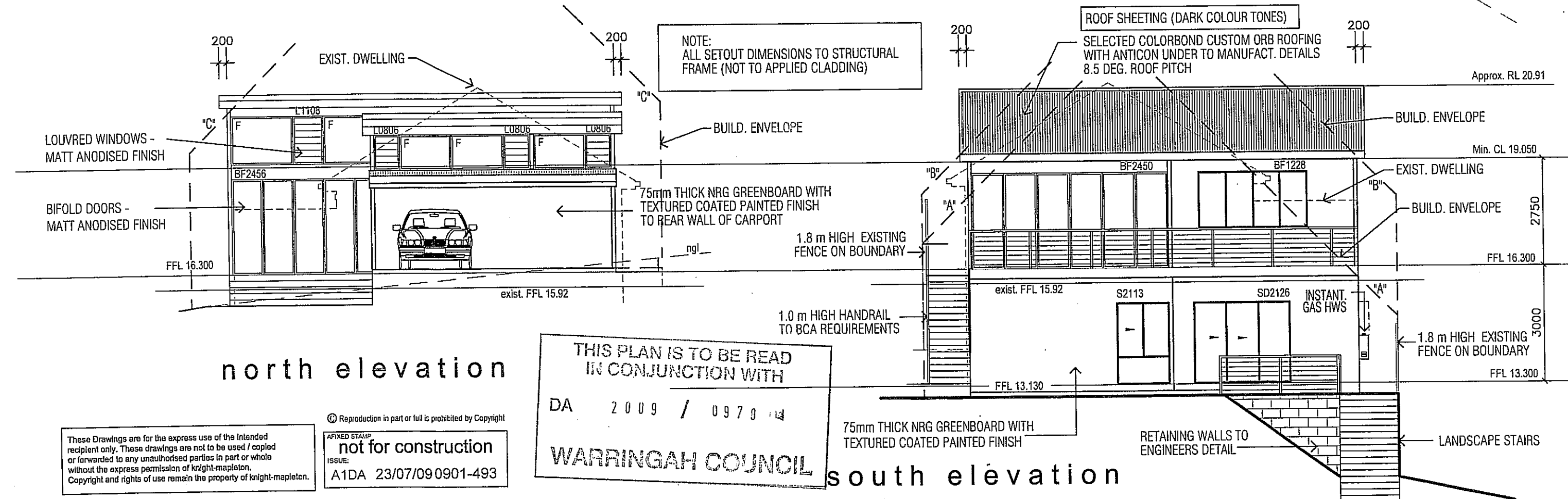
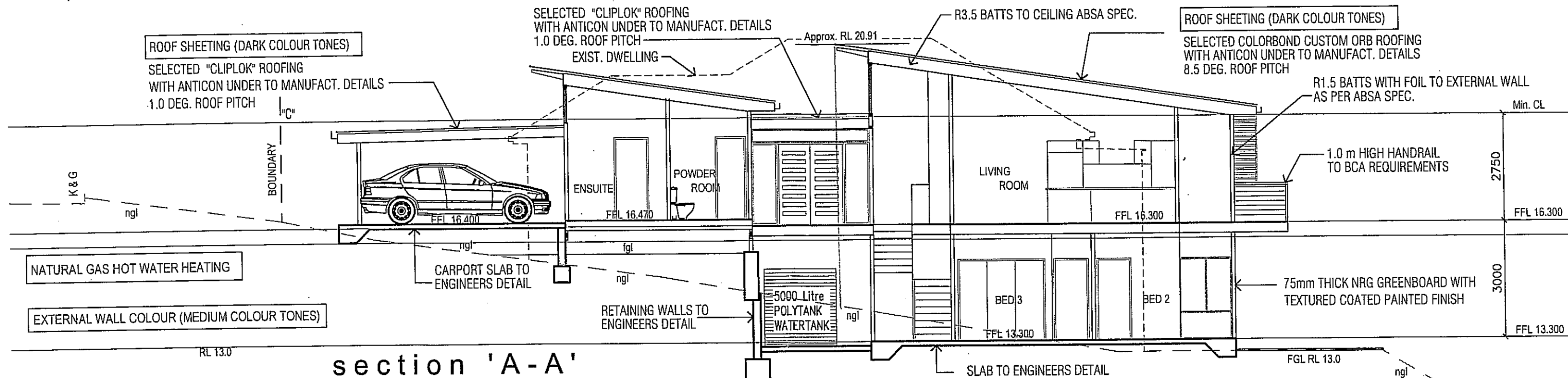
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PROPOSED DEVELOPMENT:
DEMOLITION AND
NEW RESIDENCE

Drawn: JP AK	Designed: JC	Checked: AK	Scale: 1:100
Issue: A1DA	Date Drawn: 23/07/09	Job No: 0901-493	Sheet No: 6-OF-9

Client: L. EMERY
 Address: No. 43 PARKES STREET,
 Lot 30 in DP 12186.
 Suburb: MANLY VALE.
 Council: WARRINGAH



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A1DA 23/07/09 0901-493

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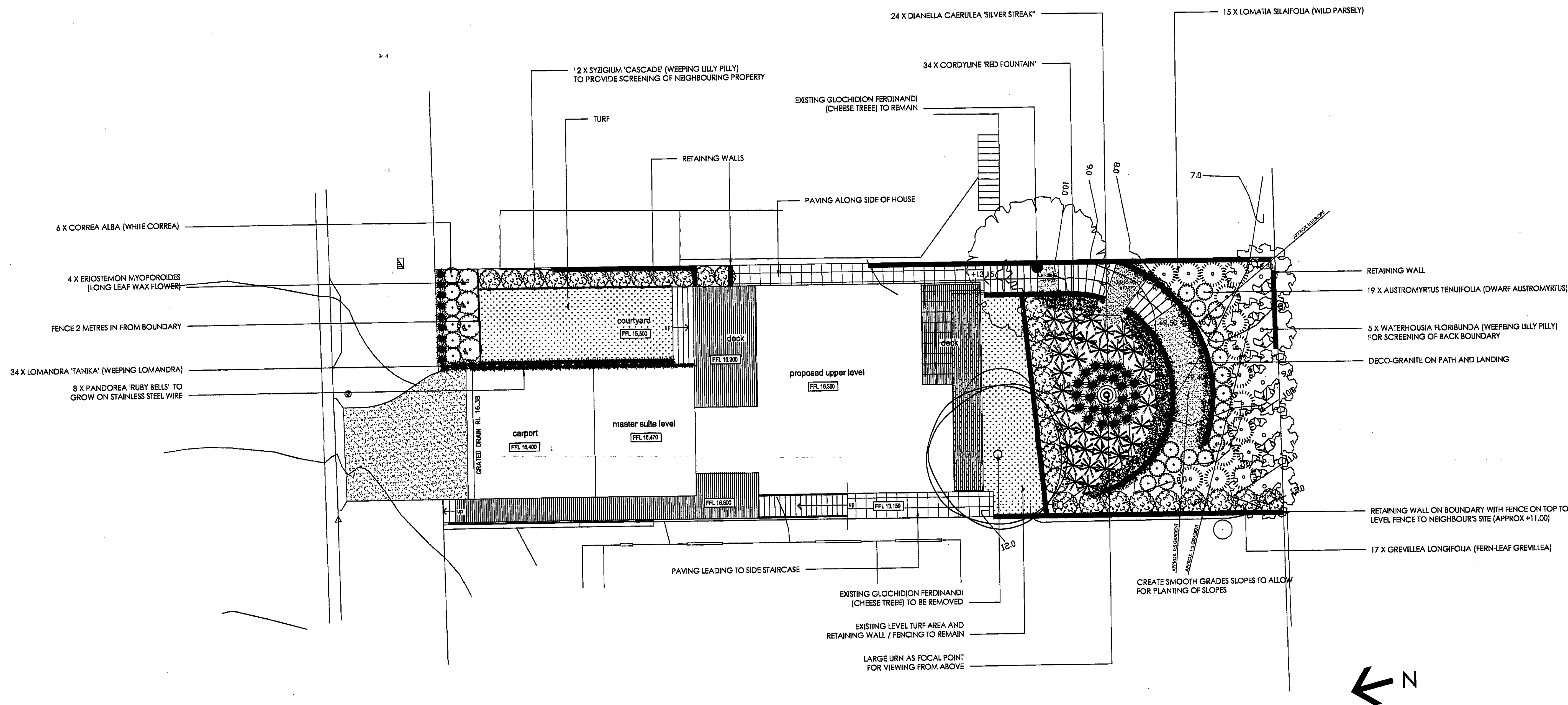
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DEMOLITION AND
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Issue: A1DA	Date Drawn: 23/07/09	Job No: 0901-493	Sheet No: 7-OF-9

Client: L. EMERY
Address: No. 43 PARKES STREET,
Lot 30 in DP 12186.
Suburb: MANLY VALE.
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PLANTING SCHEDULE				
Botanical Name	Common Name	Qty	Height x Width	Pot Size
Austromyrtus tenuifolia	Dwarf Austromyrtus	19	0.8m x 0.8m	200mm
Cordylina 'Red Fountain'	Groundcover Cordylina	34	1m x 1m	300mm
Correa alba	White Correa	6	0.8m x 0.8m	150mm
Dianella caerulea 'Silver Streak'	Variegated Paroo Lily	24	0.6m x 0.6m	150mm
Eriostemon myoporoides	Long leaf Wax Flower	4	1-2m x 1m	200mm
Grevillea longifolia	Fern-leaf Grevillea	17	3m x 1.5m	200mm
Lomandra 'Tanika'	Weeping Lomandra	34	0.6m x 0.6m	150mm
Lomatia silaifolia	Wild Parsley	15	1.5m x 1.5m	200mm
Pandorea 'Ruby Bells'	Wonga Wonga Vine	8	Climber	200mm
Syzgium 'Cascade'	Weeping Lilly Pilly	12	2-3m x 1.5m	300mm - 45L
Waterhousea floribunda	Weeping Lilly Pilly	5	10-20m	45L

THIS PLAN IS TO BE READ
IN CONJUNCTION WITH
DA 2009 / 0978 W
WARRINGAH COUNCIL

FLORA & FAUNA GARDEN DESIGN
PO BOX 252 FRESHWATER NSW 2096 PHONE: 0419 440 818

PROJECT: 43 PARKES STREET
MANLY VALE

DRAWING: LANDSCAPE PLAN
DATE: MAY 2009

SCALE: 1:100

STORMWATER DRAINAGE NOTES.

Stormwater drainage has been designed to cater for a 1 in 20 year event.

Pipes shall be UPVC Stormwater Drainage Pipes to AS 1254 or Sewer Drainage Pipes Class 'SH' to AS 1260.

Pipes serving individual downpipes only may be 100mm diameter.
All stormwater drainage pipework to be laid at 1.0% minimum grade.

All driveway pits shall be pre-cast concrete (BCP or equivalent), fitted with removable galvanised mild steel grates.
Plastic pits may be used in courtyards only.
Base of pit to be 200mm below outlet pipe in silt trap pit, with 20mm dia holes in base to prevent ponding during dry weather (Pit P.3 only).
Grated cover to be easily removable for cleaning out collected silt.

Pipes beneath driveway areas to be encased in concrete (100mm minimum all around pipes TYPICAL) where cover to top of pipes is less than 50mm.

Rainwater tanks are to be installed in accordance with Warringah Shire Council requirements & connected in accordance with AS/NZS 3500.1:2003.

It is recommended that rainwater tanks be utilised regularly to minimise the risk of water becoming stagnant.

To ensure a constant water supply to fixtures, it will be necessary for the tank to be topped up with mains water.

Backflow prevention is to be provided in accordance with AS 3500.

A pump will also be required to provide adequate pressure for the movement of water between tank & fixtures.
This pump must be designed in accordance with the Protection of Environment Operations Act 1997.
Certification of the tank installation is to be provided by the plumber.

It is a requirement that catchment areas draining to the tank have a suitable gutter, shielded from debris with a leaf screen. Alternatively proprietary rainheads incorporating leaf screens may be used at downpipes directly serving rainwater tanks or in-line filters may be used in the drainage lines.

Proprietary diversion valves such as Davey Rainbank may be utilised in lieu of trickle top up to tanks to maintain supply to fixtures.

- A rainwater tank system requires the following maintenance regime:
1. The roof catchment area should be cleaned every three to six months.
 2. First flush devices should be cleaned every three to six months.
 3. Mesh covering inlet and outlet pipe should be cleaned every three to six months.
 4. Sediment within rainwater tank should be checked every two years. Tanks typically require cleaning every ten years, however this is dependant on the sediment level.

NOTE TO PLUMBER
Rainwater tanks must be installed in compliance with any 'Basix' assessment for the development.
Please refer to 'Basix' certificate to ensure:

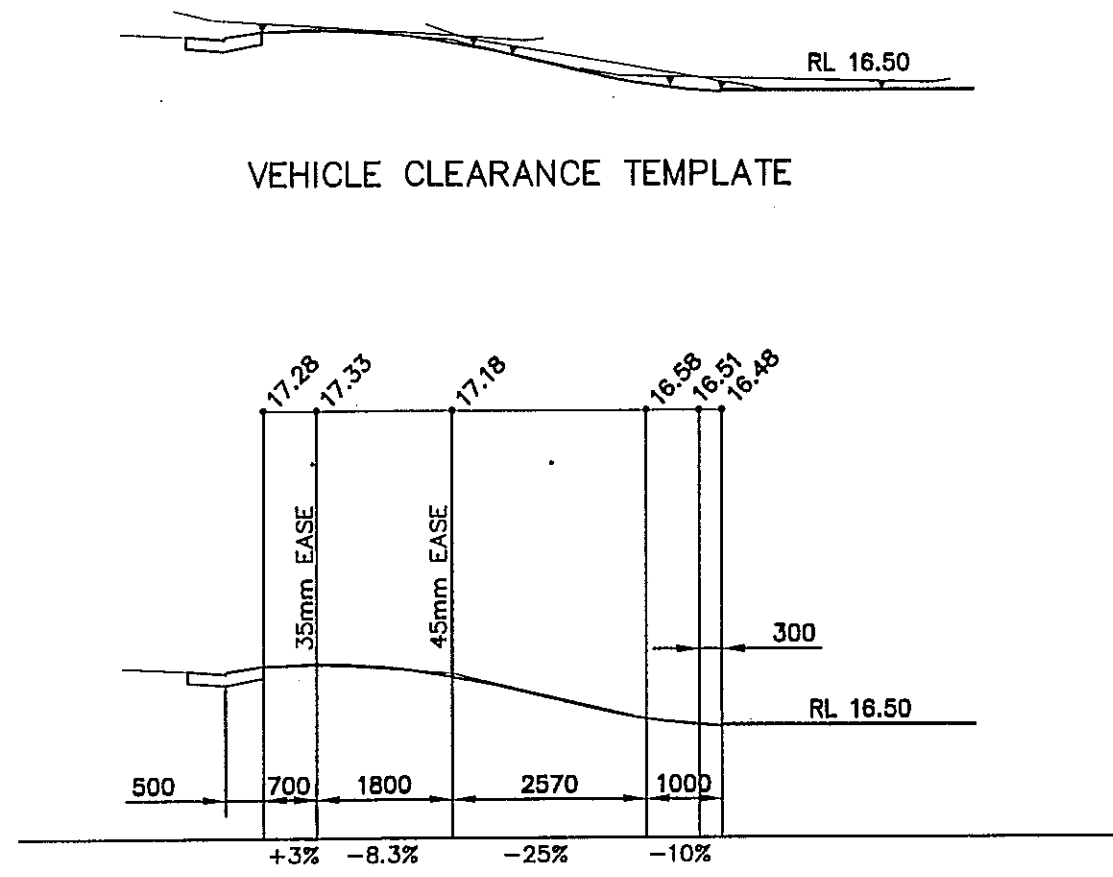
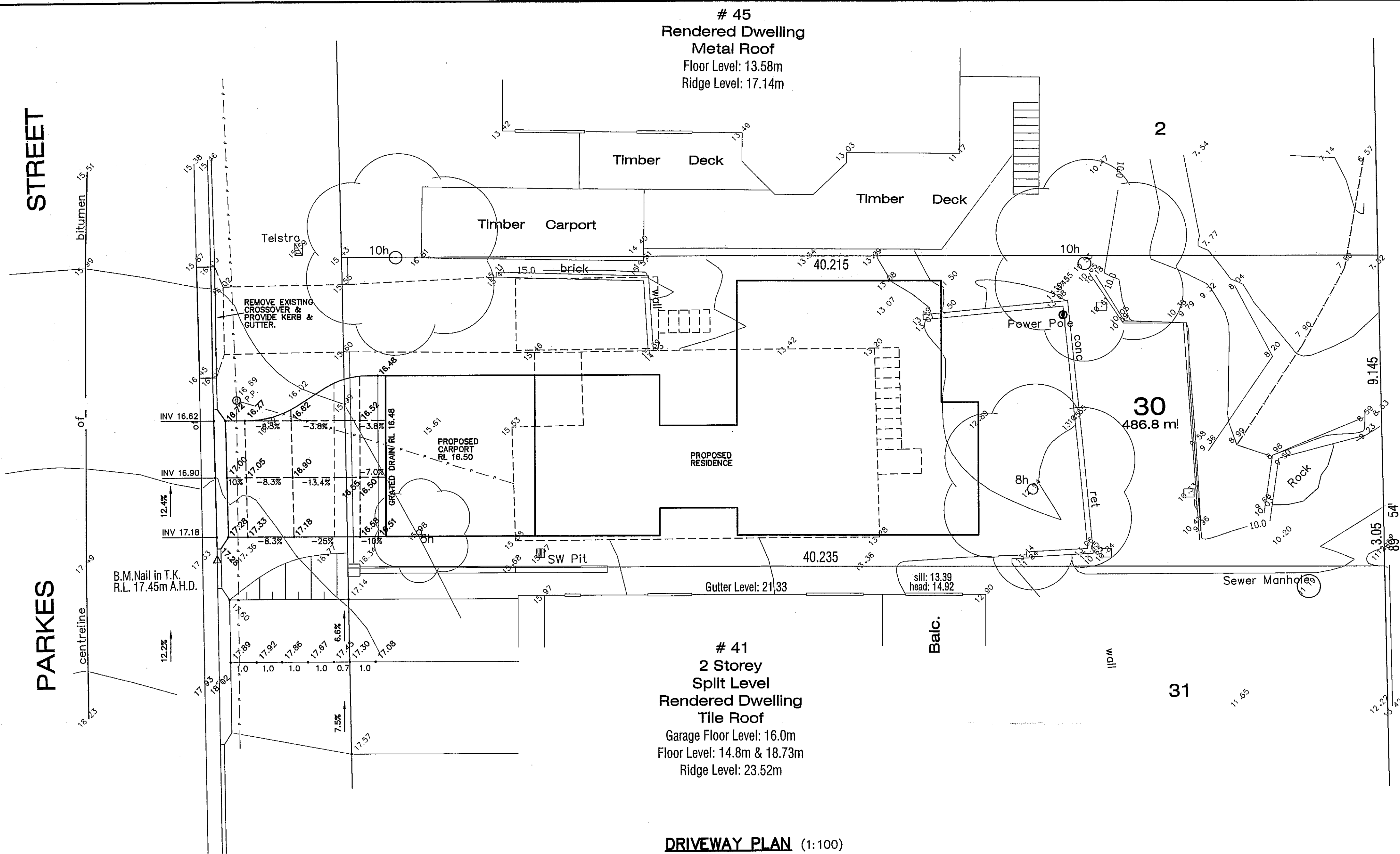
1. Correct roof area is drained to tank
2. Tank is connected to internal fixtures and external taps if required by 'Basix' assessment.

The site classification is Class 'A' (Stable) in accordance with AS 2870 'Residential Slabs and Footings Code'. Care shall be taken to ensure that excavations for services or other excavations adjacent to the structure will not undermine the footings.

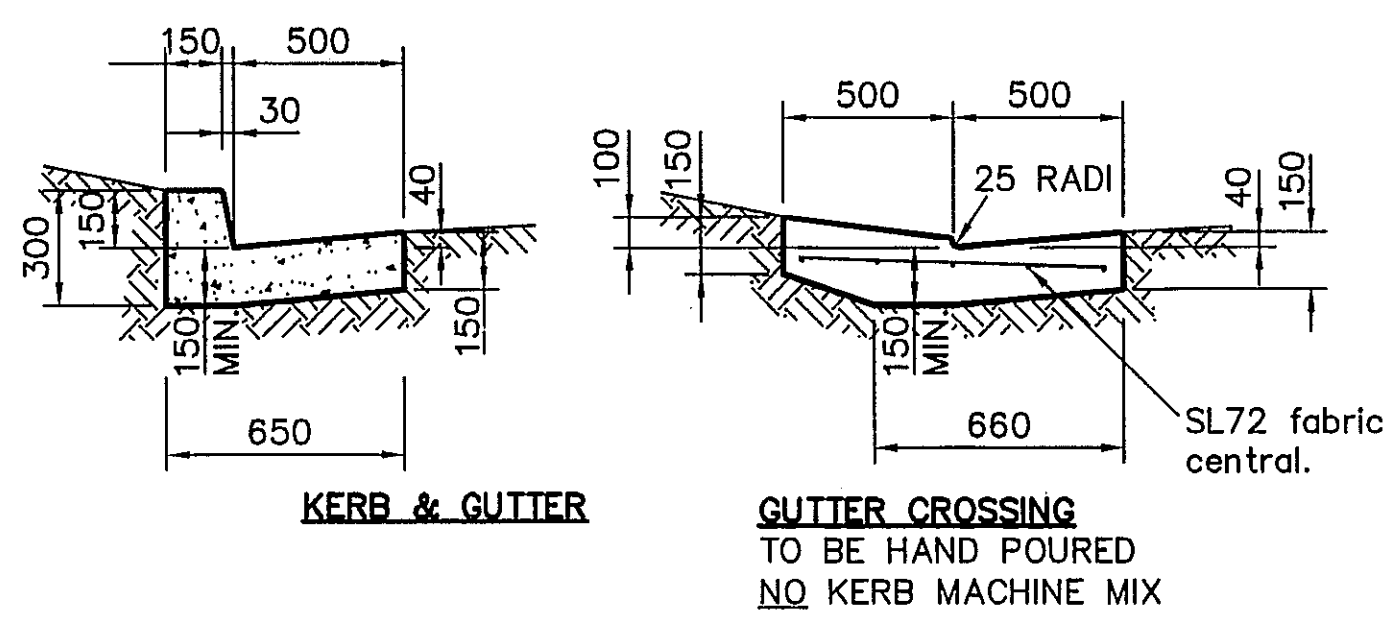
Footings will be designed for an allowable bearing of 450 kPa on sound competent sandstone.
Footings shall be located centrally under walls or columns unless noted otherwise.
The foundation material shall be approved by the Inspecting Authority prior to construction proceeding.

The design wind loading category for this site is assessed as N1, in accordance with AS 4055.

EXISTING SITE PLAN (1:200)



HIGH SIDE LONG SECTION (1:100)



TYPICAL DETAILS (1:20)

- STANDARD SPECIFICATION FOR DRIVEWAYS**
1. Unless specifically approved otherwise by the Engineer, the maximum depth of fill beneath a driveway slab shall be 300mm.
 2. Any filled material shall be well compacted in thin layers (maximum 150 thick) by a vibrating plate or drum roller compactor.
 3. Unless the foundation material is sand a 50mm thick layer of free draining granular material shall be spread over the prepared sub-base foundation.
 4. Concrete shall be 130mm thick Grade 25 concrete for a good quality foundation material, with increased depth of slab where the foundation material is suspect. At trafficked edges a 200 x 200 edge thickening is recommended.
NOTE
 Slab thickness is measured from the underside of the slab to the bottom of any top surface patterning.
 5. Provide full depth expansion joints at 12m maximum spacing with control joints placed at 4m maximum spacing. Closer joint spacing should be used in hot weather or for dark coloured concrete. (3.0m control joint spacing recommended) Provide isolation joint to stormwater pit surrounds & at junction with building.
 6. Reinforcement shall be SL72 fabric with 30mm top cover (stop fabric 50mm clear either side of joints)
 7. Subgrade compaction & reinforcement are to be inspected by Engineer prior to pouring of concrete.
 8. This pavement is suitable for light traffic only in accordance with AS 3727. For heavy vehicles increase in slab thickness and reinforcement would be required.
- DESIGN NOTE**
 The driveway has been designed in accordance with Warringah Shire Councils Vehicular Entrance with Concrete Layback - Extra Low. (Dwg No M.7.3330.EL)

CAD FILE: 0902017.DWG

ORIGINAL SIZE - A1			HALCROW & ASSOCIATES CONSULTING STRUCTURAL ENGINEERS A.C.N. 003 805 374 108 Avoca Drive, Kincumber, N.S.W. 2251. P.O. Box 6349 Kincumber NSW 2251	 Facsimile: (02) 4363-2566 Telephone: (02) 4363-2855 E-Mail: khalcrow@bigpond.net.au	DESIGN: A.H. DATE: 27.8.09 SCALE: 1:100 APPROVED: <i>Angela Halcrow</i>	DRAWN: P.A.J. CHECKED: <i>PH</i>	CLIENT: Mr L. Emery PROJECT: Proposed Residence at SITE: Lot 30 (No 43) Parkes Street, MANLY VALE TITLE: DRIVEWAY PLAN AND DETAILS.	DRAWING NUMBER: 09.02.017 No. IN SET: DA.2 of 2	AMENDMENT:
	ISSUE:	DATE:	DETAILS OF AMENDMENT:						