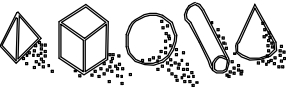




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THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
DEFERRED COMMENCEMENT CONSENT
DA NUMBER: DADA2019/1173
(Activation of consent must be obtained from Northern Beaches Council)

ISSUE DATE AMENDMENTS



Barry Rush & Associates Pty Ltd

Architects
Suite 25A, 2 Beattie Street, Balmain,
NSW, Australia, 2041
Phone: (612) 9555 8028 Fax: (612) 9810 0161
Email: info@barryrush.com.au
www.barryrush.com.au

Client

ASTUTE INVEST Pty Ltd
ACN 629 772 765

Project

3 BERITH STREET
WHEELER HEIGHTS
LOT A IN DP 411784

Drawing

FOOTPATH PLAN

Scale 1:50 Drawn BR

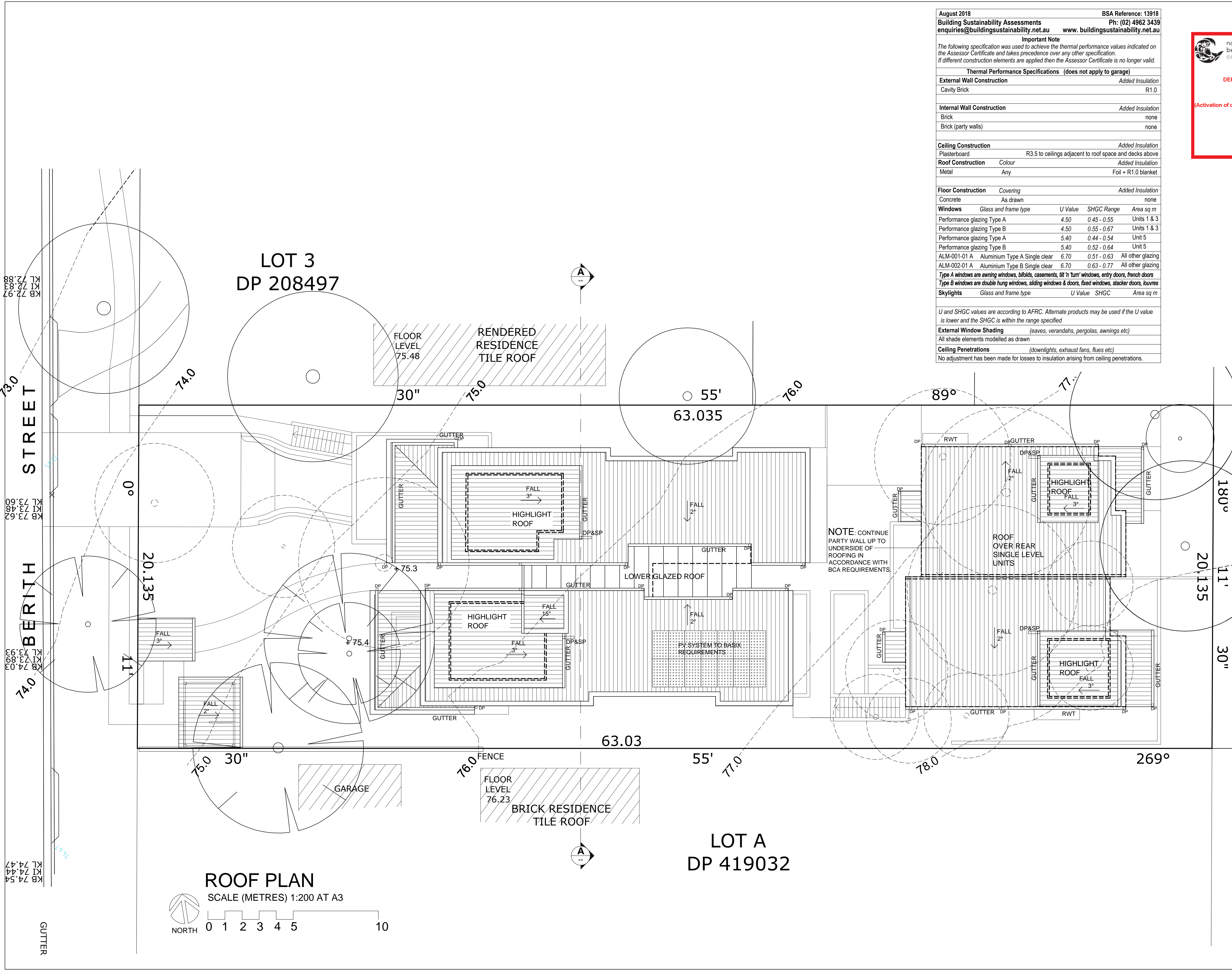
File DA Berith St A.dwgChecked BR

Plotted 7/11/2018 4:22 PM


Job No 1801

Version DA Drawing No: A04

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August 2018		BSA Reference: 13918	
Building Sustainability Assessments		Ph: (02) 4962 3439	
enquiries@buildingsustainability.net.au		www. buildingsustainability.net.au	
Important Note			
The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate and takes precedence over any other specification.			
If different construction elements are applied then the Assessor Certificate is no longer valid.			
Thermal Performance Specifications (does not apply to garage)			
External Wall Construction		Added Insulation	
Cavity Brick		R1.0	
Internal Wall Construction		Added Insulation	
Brick		none	
Brick (party walls)		none	
Ceiling Construction		Added Insulation	
Plasterboard		R3.5 to ceilings adjacent to roof space and decks above	
Roof Construction		Added Insulation	
Metal		Foil + R1.0 blanket	
Floor Construction		Added Insulation	
Concrete		As drawn	
Concrete		none	
Windows		Glass and frame type	
		U Value	SHGC Range Area sq m
Performance glazing Type A		4.50	0.45 - 0.55 Units 1 & 3
Performance glazing Type B		4.50	0.55 - 0.67 Units 1 & 3
Performance glazing Type A		5.40	0.44 - 0.54 Unit 5
Performance glazing Type B		5.40	0.52 - 0.64 Unit 5
ALM-001-01 A		Aluminium Type A Single clear	6.70 0.51 - 0.63 All other glazing
ALM-002-01 A		Aluminium Type B Single clear	6.70 0.63 - 0.77 All other glazing
Type A windows are awning windows, bifolds, casements, tilt 'n' turn' windows, entry doors, french doors			
Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvres			
Skylights		Glass and frame type	
		U Value	SHGC Area sq m
U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower and the SHGC is within the range specified			
External Window Shading (eaves, verandahs, pergolas, awnings etc)			
All shade elements modelled as drawn			
Ceiling Penetrations (downlights, exhaust fans, flues etc)			
No adjustment has been made for losses to insulation arising from ceiling penetrations.			




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Project

3 BERITH STREET
WHEELER HEIGHTS

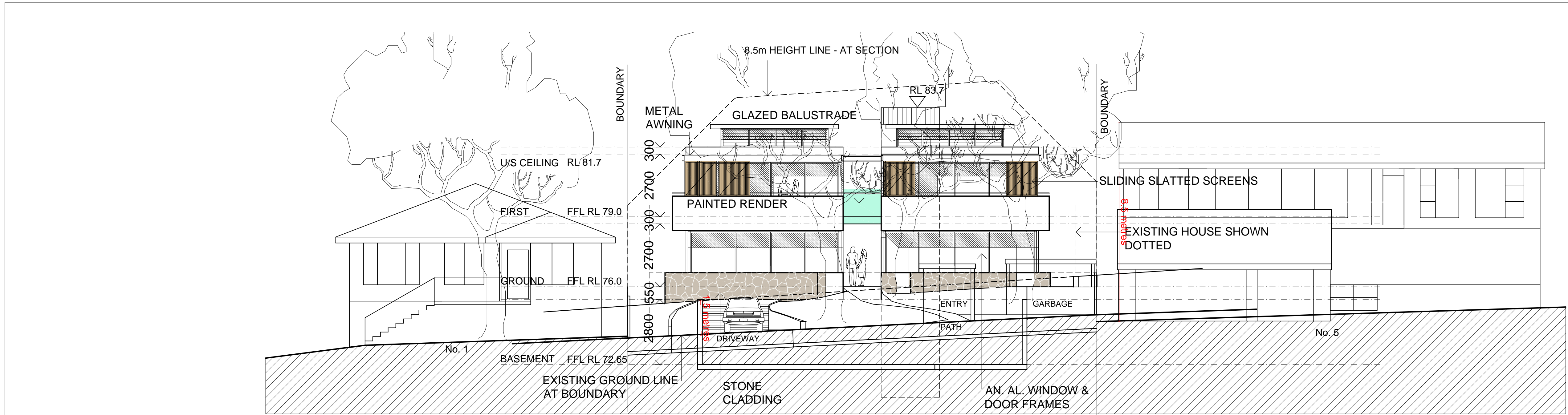
LOT A IN DP 411784

Drawing

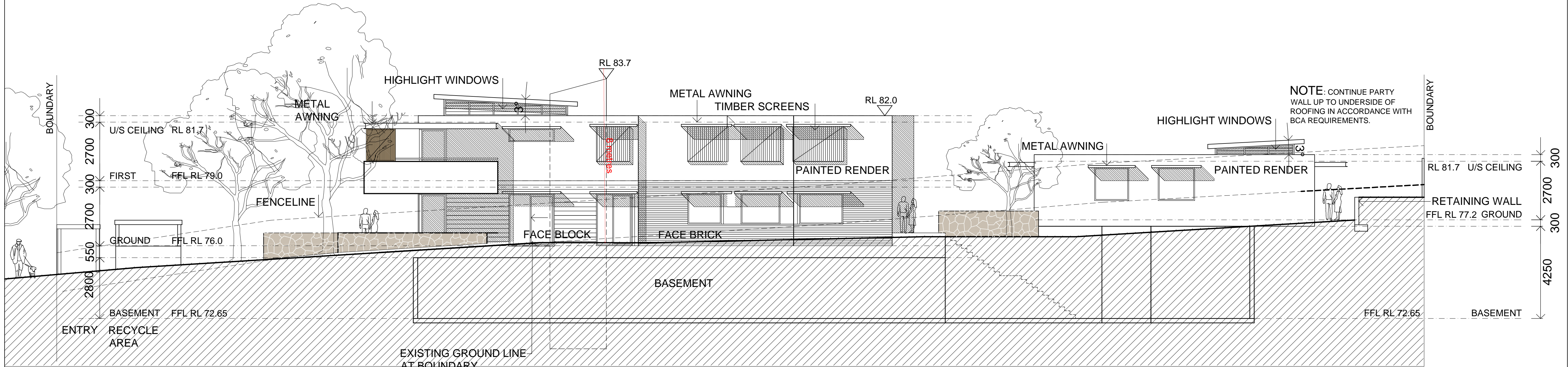
ROOF PLAN

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Version	DA	Drawing No:	A07

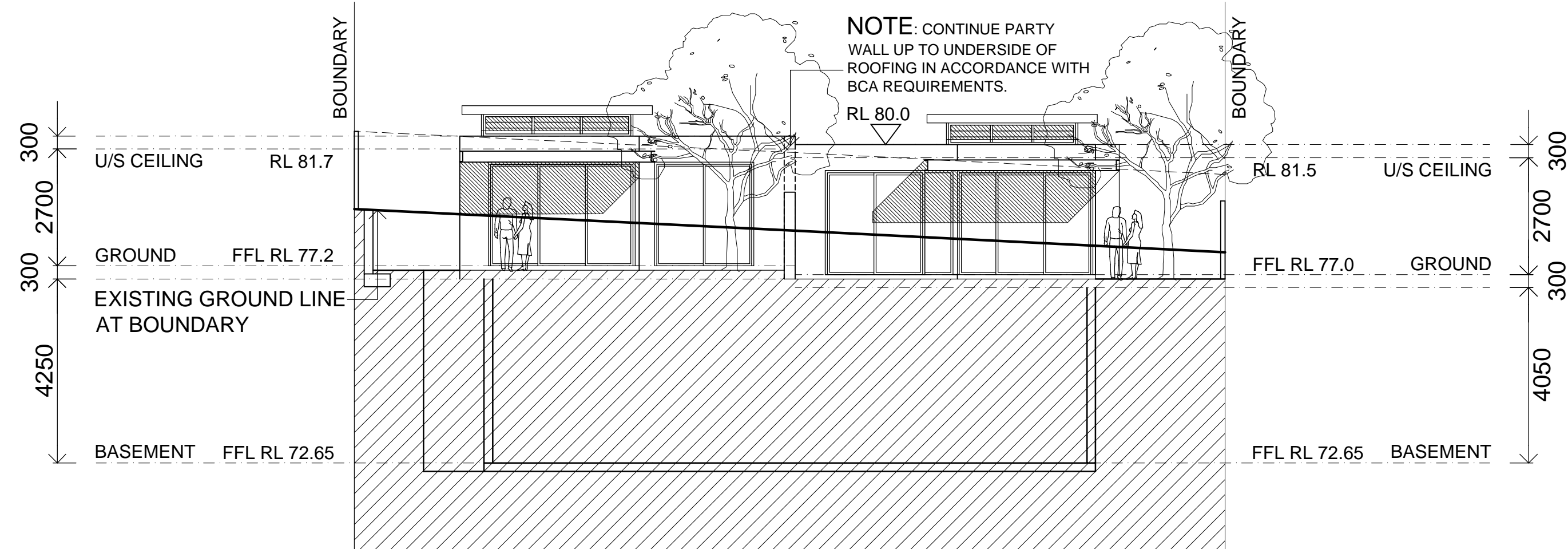
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WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION UNITS 5 & 6

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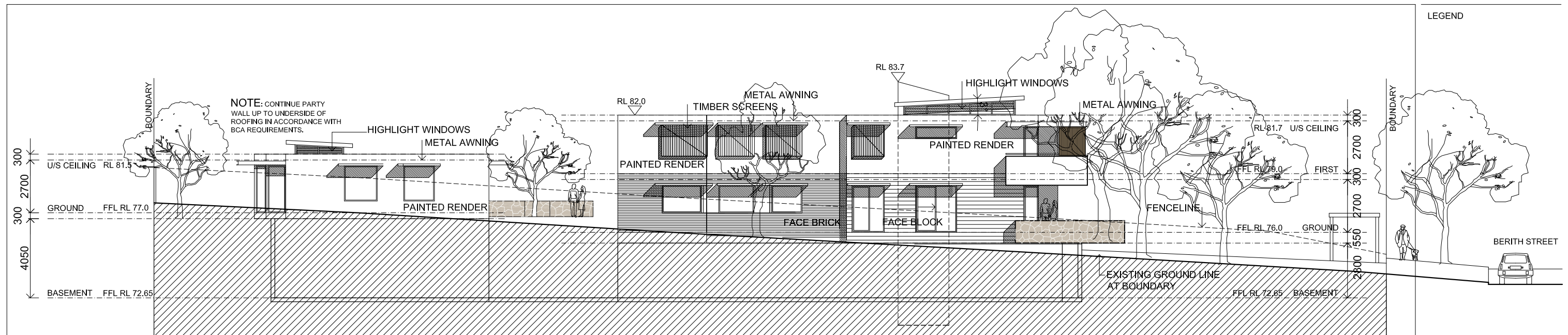
Client
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Project
**3 BERITH STREET
WHEELER HEIGHTS**
LOT A IN DP 411784

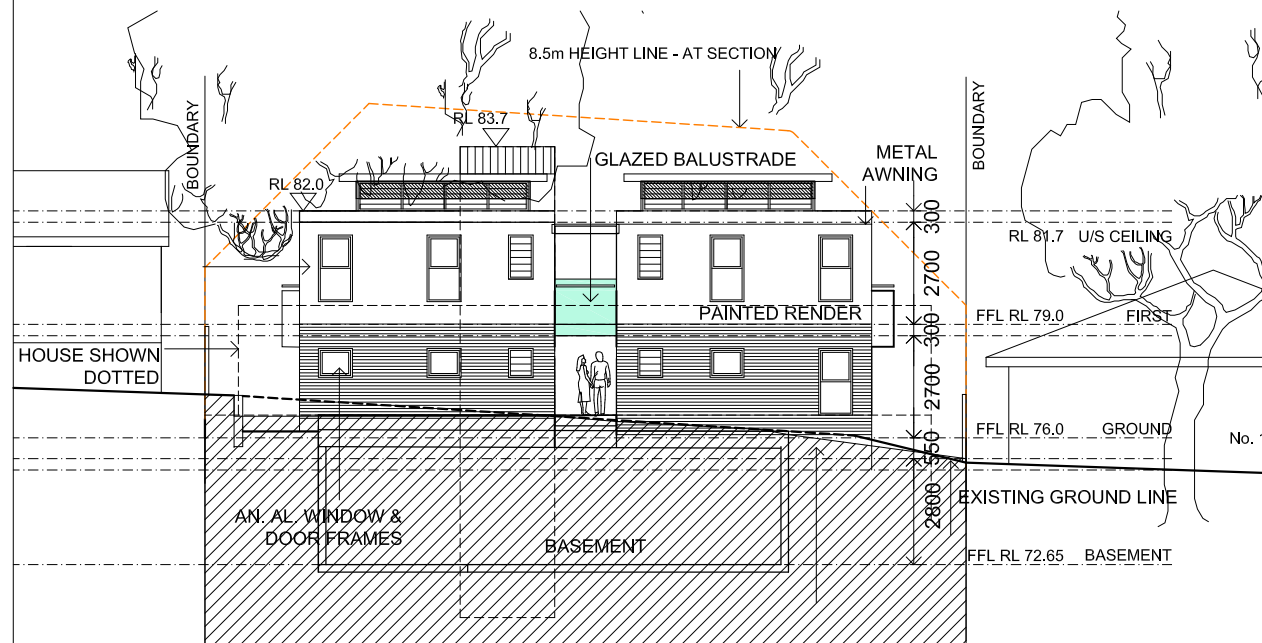
Drawing
ELEVATIONS

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Job No	1801		
Version	DA	Drawing No:	A08

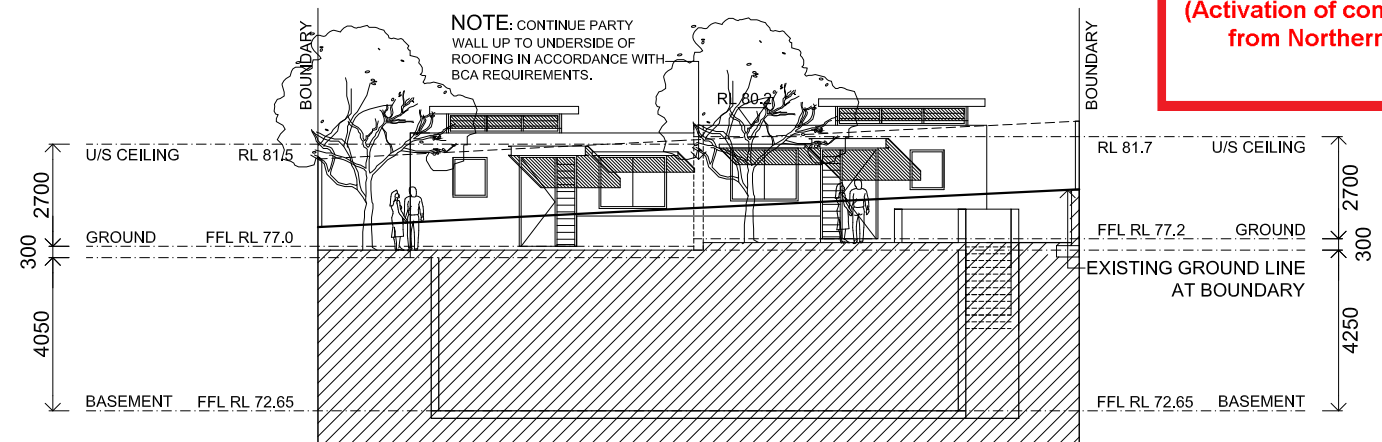
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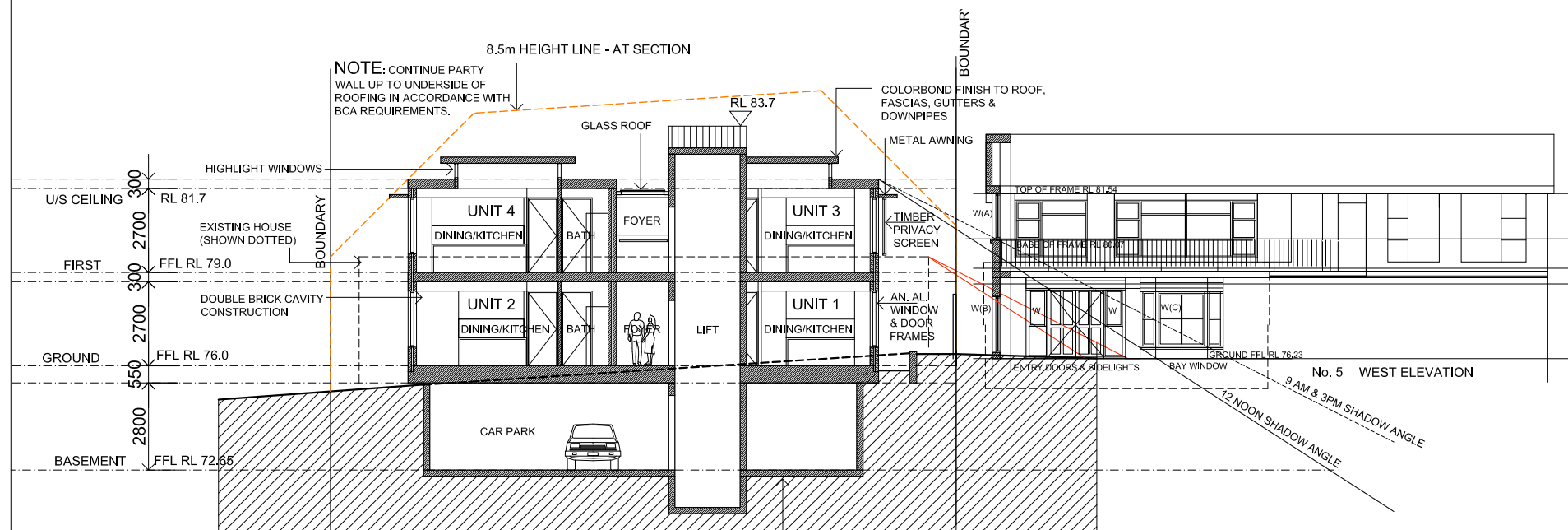
NORTH ELEVATION



EAST ELEVATION UNITS 1-4



WEST ELEVATION UNITS 5 & 6



SECTION A-A



No. 5 NORTH ELEVATION

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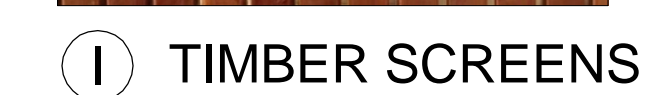
Client

ASTUTE INVEST Pty Ltd
ACN 629 772 765

Project
**3 BERITH STREET
WHEELER HEIGHTS**
LOT A IN DP 411784

Drawing
**ELEVATIONS &
SECTION A-A**

Scale 1:100 Drawn BR
File DA Berith St B.dwg checked BR
Plotted 1/12/2019 4:15 PM
Job No 1801
Version DA Drawing No: **A09**
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(A)	PR1 PAINTED RENDER	WATTYL "CHALKDUST"
(B)	PR2 PAINTED RENDER	WATTYL "CASTLE GREY"
(C)	METAL ROOFING, FLASHINGS & DP'S	COLORBOND "WINDSPRAY"
(D)	STONE CLADDING	IRREGULAR SANDSTONE
(E)	DOOR & WINDOW FRAMES	"SATIN SPANISH SILVER" ANODISED ALUMINIUM
(F)	HANDRAILS	SATIN STAINLESS STEEL
(G)	BALUSTRADE	GLAZED
(H)	METAL AWNINGS	POWDERCOAT "COLORBOND WINDSPRAY"
(I)	SLIDING TIMBER SCREENS	TIMBER

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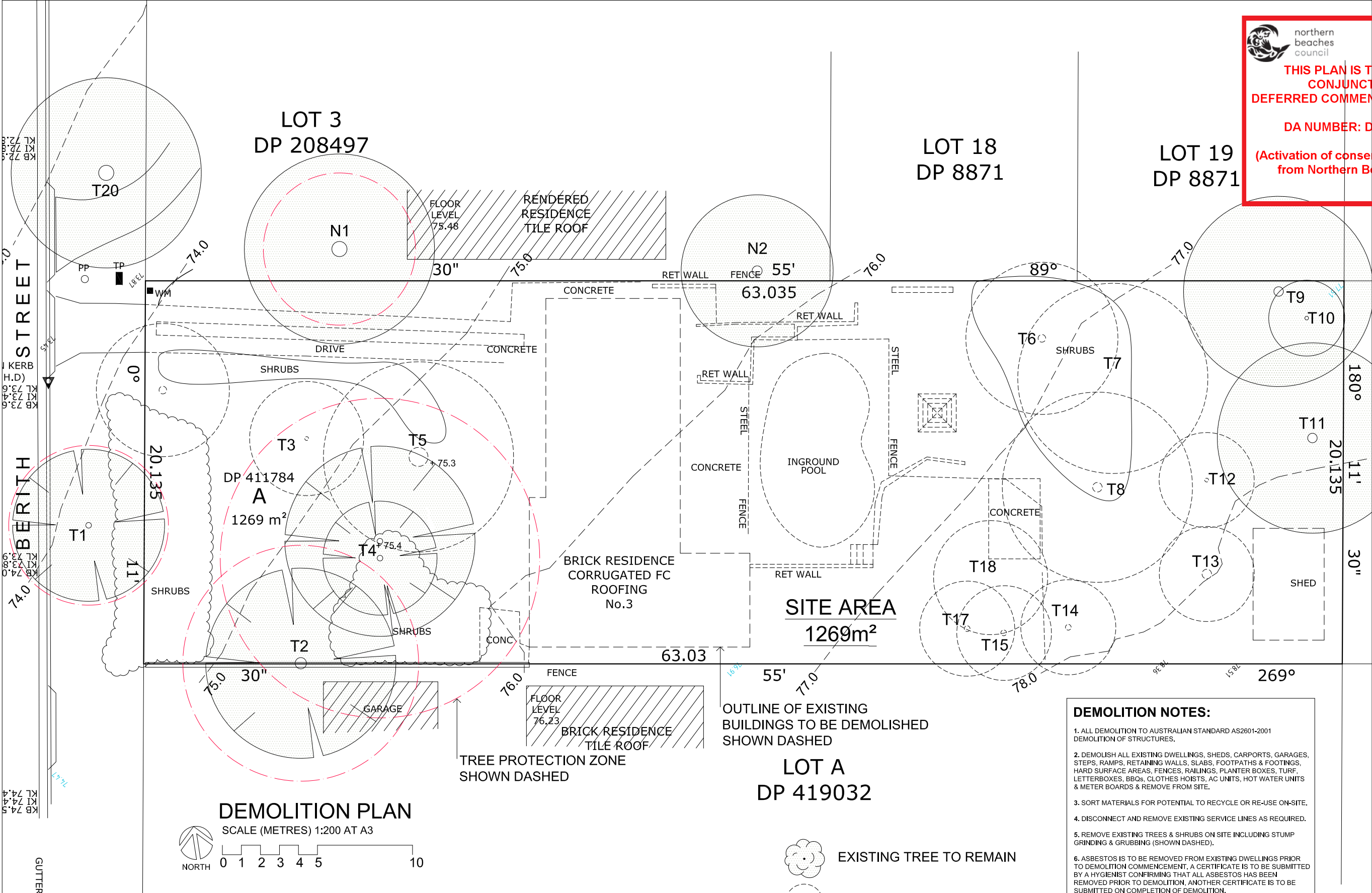
Project
**3 BERITH STREET
WHEELER HEIGHTS**
LOT A IN DP 411784

Drawing

EXTERNAL COLOUR SCHEDULE

Scale	NTS	Drawn	LB
File	DA Berith St A.dwg	Checked	BR
Plotted	7/11/2018 4:22 PM		
Job No	1801		
Version	DA	Drawing No:	A1

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- DEMOLITION NOTES:**
1. ALL DEMOLITION TO AUSTRALIAN STANDARD AS2601-2001
DEMOLITION OF STRUCTURES.

2. DEMOLISH ALL EXISTING DWELLINGS, SHEDS, CARPORTS, GARAGES,
STEPS, RAMPS, RETAINING WALLS, SLABS, FOOTPATHS & FOOTINGS,
HARD SURFACE AREAS, FENCES, RAILINGS, PLANTER BOXES, TURF,
LETTERBOXES, BBQs, CLOTHES HOISTS, AC UNITS, HOT WATER UNITS
& METER BOARDS & REMOVE FROM SITE.

3. SORT MATERIALS FOR POTENTIAL TO RECYCLE OR RE-USE ON-SITE.

4. DISCONNECT AND REMOVE EXISTING SERVICE LINES AS REQUIRED.

5. REMOVE EXISTING TREES & SHRUBS ON SITE INCLUDING STUMP
GRINDING & GRUBBING (SHOWN DASHED).

6. ASBESTOS IS TO BE REMOVED FROM EXISTING DWELLINGS PRIOR
TO DEMOLITION COMMENCEMENT. A CERTIFICATE IS TO BE SUBMITTED
BY A HYGIENIST CONFIRMING THAT ALL ASBESTOS HAS BEEN
REMOVED PRIOR TO DEMOLITION. ANOTHER CERTIFICATE IS TO BE
SUBMITTED ON COMPLETION OF DEMOLITION.

7. REMOVE AND MAKE GOOD TO REDUNDANT DRIVEWAYS AND
CROSSOVERS, REPLACE WITH KERB AND GUTTER, MAKE GOOD TO
KERB AND GUTTER WHERE REQUIRED.

8. REMOVAL OF ANY SURFACE BUILDING DEBRIS LEFT BEHIND BY
DEMOLITION CONTRACTOR IS TO BE REMOVED, THIS INCLUDES
CONCRETE, MASONRY AND ASBESTOS PARTICLES.

9. REFER TO WASTE MANAGEMENT PLAN FOR RECYCLING OF
MATERIAL.

LEGEND

ISSUE

DATE

AMENDMENTS



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Project

**3 BERTH STREET
WHEELER HEIGHTS**

LOT A IN DP 411784

Drawing

DEMOLITION PLAN

Scale 1:100

Drawn BR

File DA Berith St A.dwg

checked BR

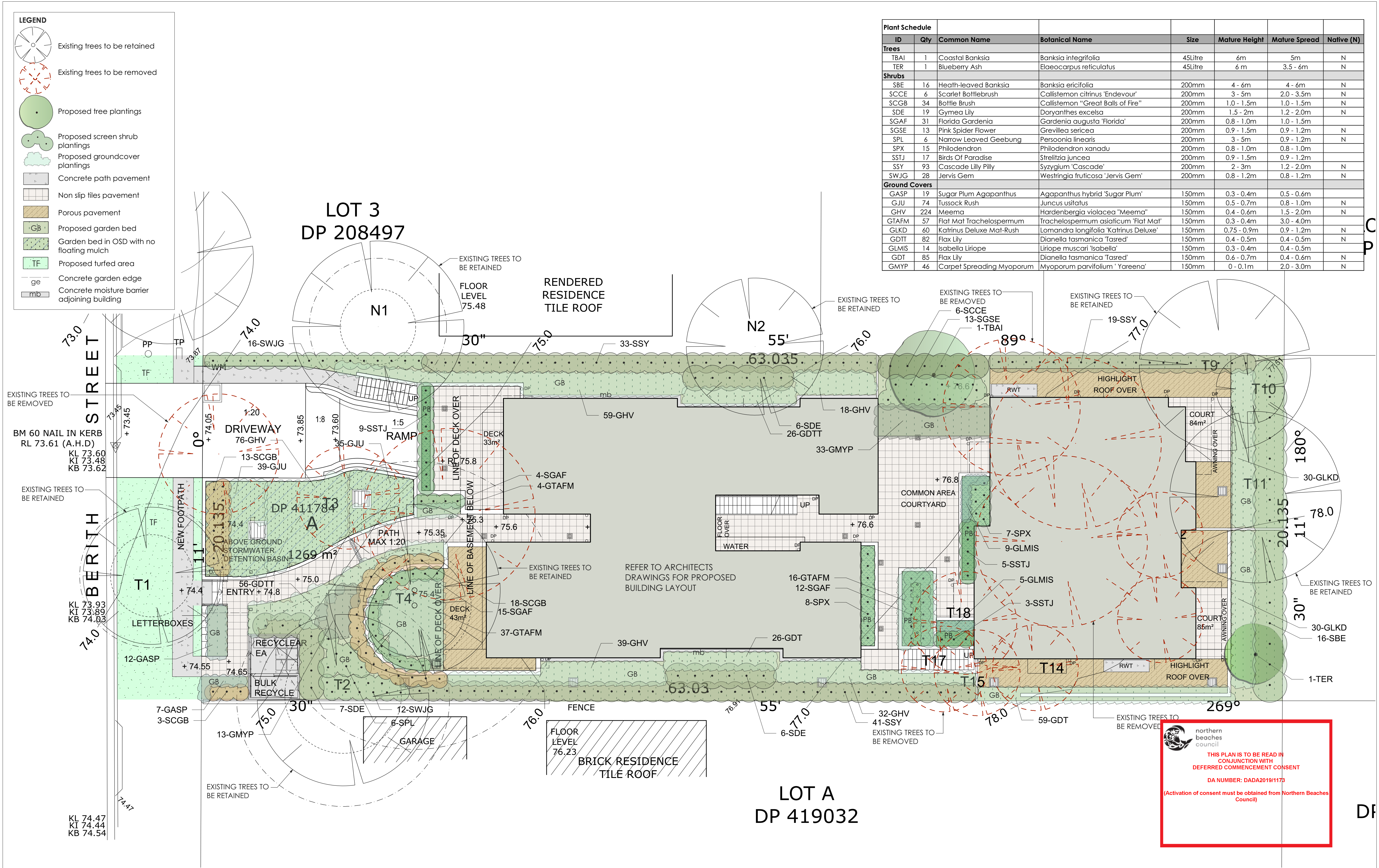
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Job No 1801

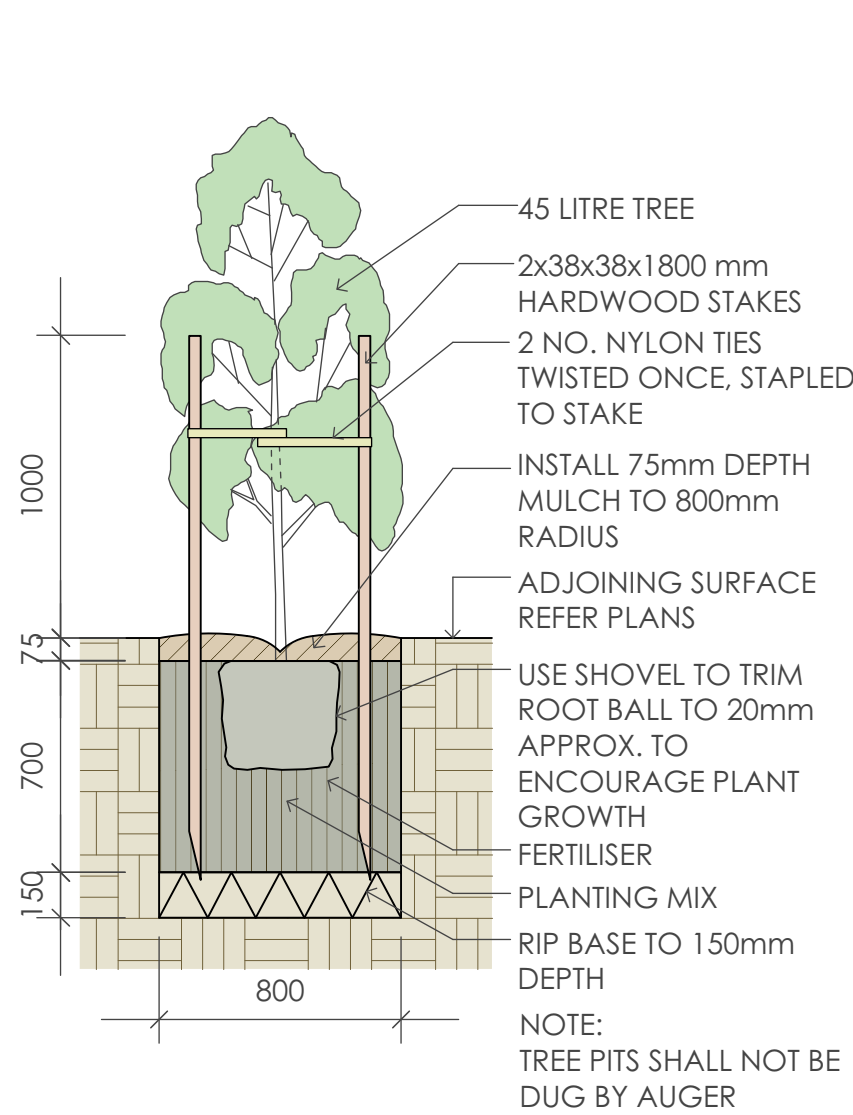
Version DA

Drawing No: **A12**

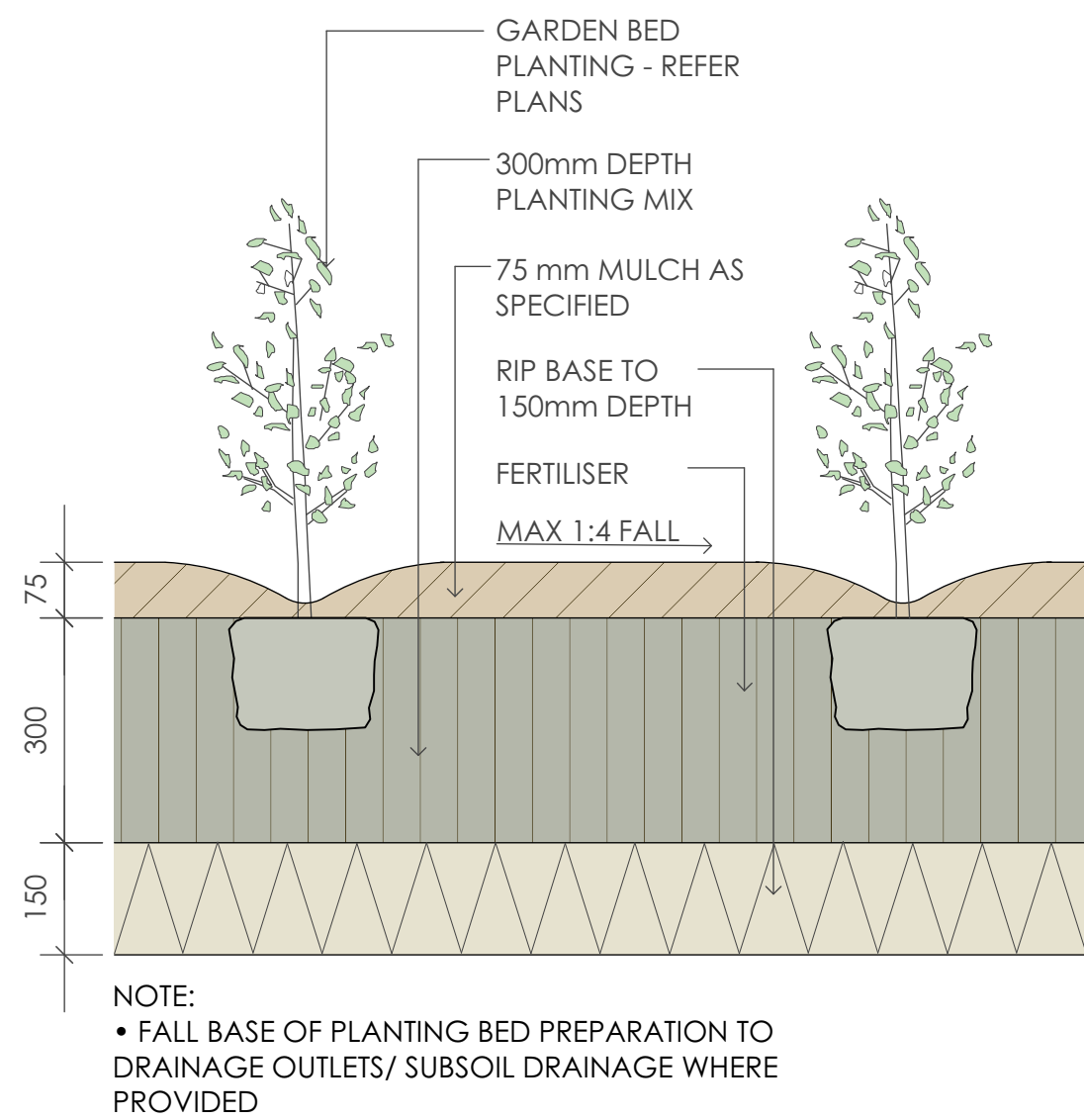
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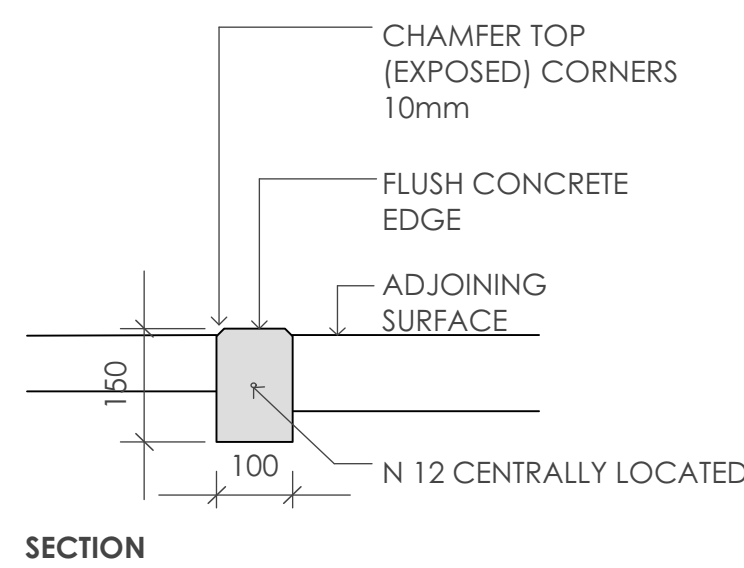
DP



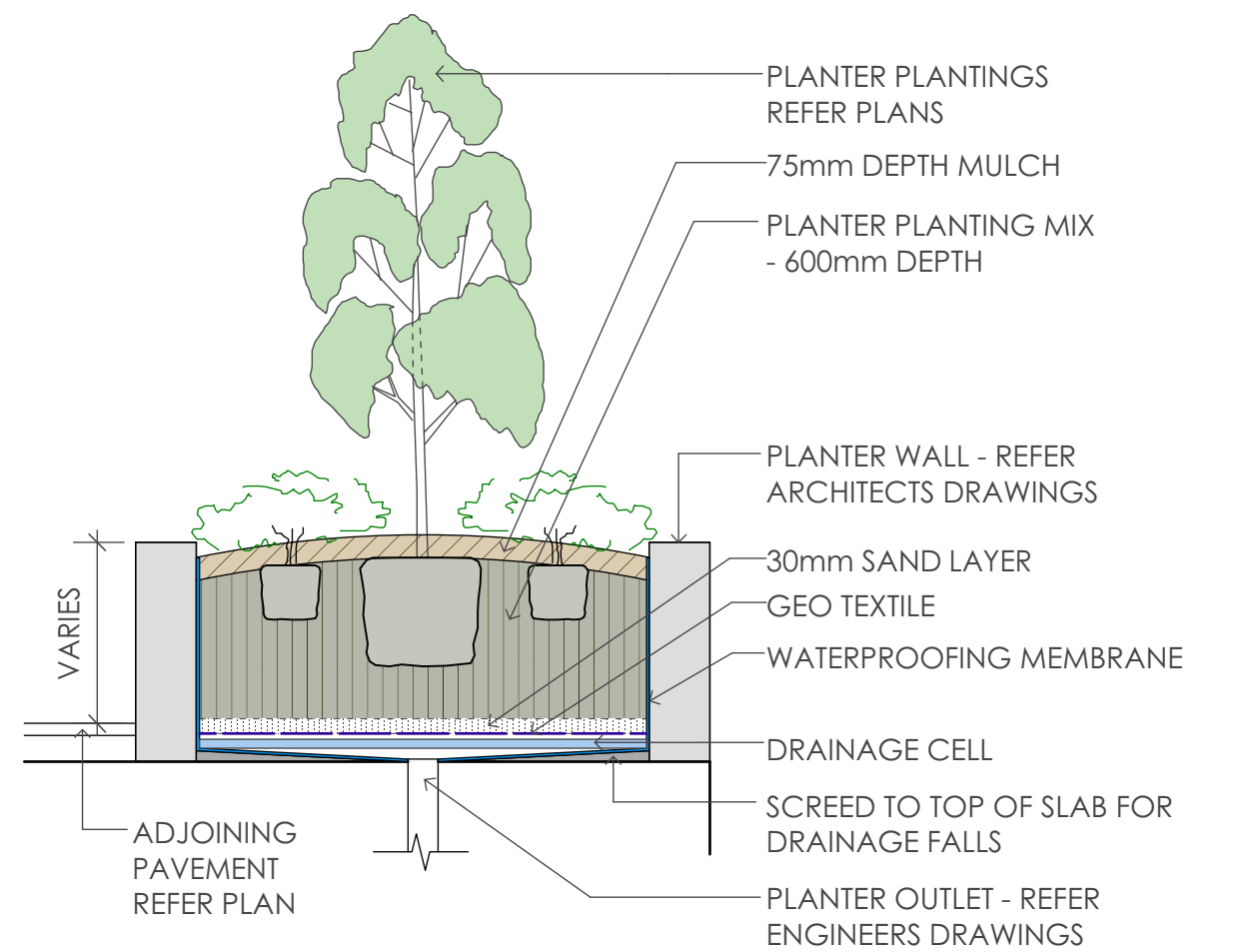
1 45 Litre Tree Planting
scale 1:25



2 Planting Bed Detail
scale 1:10



3 Concrete Edge
scale 1:10



4 Planter Bed On Slab
scale 1:25

SPECIFICATION NOTES

PLANTING MATERIALS

Planting Mix:

Planting mix for tree pit backfill shall be "Organic Garden Mix" consisting of
50% Black Soil
20% Coarse Sand
30% Organic Material

as available from Australian Native Landscapes, Phone: [02] 9450 1444, or approved equivalent. Samples shall be provided to the Superintendent prior to ordering or delivery to site. Any material delivered to site, that is rejected by the Superintendent, shall be removed by the contractor at his own expense. Minimum depths of mix to all planting bed areas is as specified on details.

Planter Mix:

Planter mix shall be Peat and Planter Mix as supplied by Australian Native Landscape Pty Ltd (ph [02] 9450 1444 or approved equivalent).

Planter Drainage Cell:

Planter drainage cell shall be VersiCell as supplied by Elmich Australia Pty Ltd (ph [02] 9648 2073 or approved equivalent).

Mulch:

Mulch to garden bed:

Mulch shall mean hardwood mulch (25mm grade), free from material derived from Privet, Willow, Poplar, Coral trees, or other noxious weeds. Any mulch exceeding the 25mm grade shall be rejected / removed from the site. Graded hardwood mulch to be supplied by Australian Native Landscapes Pty Ltd Phone [02] 9450 1444, or approved equivalent.

Mulch to planter beds:

Mulch to planter beds shall be Pine bark mini nuggets mulch (25mm grade), free from fines and as available from Australian Native Landscapes Pty Ltd Phone [02] 9450 1444, or approved equivalent.

Spread mulch so that after settling, it is:

- smooth and evenly graded between design surface levels;
- flush with adjacent finished levels;
- of the required depths (75mm); and
- sloped towards the base of plant stems in plantation beds, but not in contact with the stem (not closer than 50mm in the case of gravel mulches).

Place after the preparation of the planting bed, planting and all other work.

Plant Material:

All plant material must be true to the species. No substitutes will be allowed. All plants shall be free of fungus and insect damage. All plants shall be healthy, well shaped, not soft or force grown and not root bound.

Plants are available from **Andreasens Green** wholesale nursery, contact Darren [02] 8777 4713, email darren@andreasensgreen.com.au or approved equivalent.

Turfed areas:

All new turfing areas are to be selected weed free Soft Leaf Buffalo. Turf shall be laid neatly butted with staggered joints, flush with adjacent surfaces and have even running falls to all drainage points.

All new turfing area shall have a minimum 150mm depth of weed free top soil, placed and levelled prior to turfing.

PREPARATION AND HARDWORKS

Excavating for Spot Planting

To planting areas, excavate a hole for each plant large enough to provide not less than twice the depth and twice the diameter than the root ball of species to be planted.

Staking

Use durable hardwood, straight, free from knots or twists, pointed at one end. Drive stakes into the ground a minimum one third of their length, avoiding damage to the root system.

- 45 Litre trees in 2 x 38x38x1800mm Hardwood Stake with double Nylon tie
- TIES: Provide a 50mm wide Nylon webbing tie per stake, fixed securely to the stakes, one tie at half the height of the main stem and the other as necessary to stabilise the plant.

Porous Pavement

MATERIAL: Porous pavement shall be Stoneset Pour On Gravel binder pavement colour Gold as available from Pour On Pty Ltd (Phone 1300 392 155) or approved equivalent. Install to manufacturer's recommendations. Sample to be provided for approval by Superintendent.

Concrete Edge

MATERIALS: Concrete to be off white colour.

INSTALLATION: Supply and install 150 x 100mm (width) reinforced flush concrete kerb to locations as approved on site by the Superintendent. Provide flexible joints at maximum 3 metre intervals in colour to match concrete. Lightly expose aggregate through rinsing / sponging. Tool finish exposed edges with 10mm pencil round to prevent chipping.

Loose Nepean River Pebble / No Floating Mulch

MATERIAL: Nepean river pebble gravel to be of uniform size or graded material in the size 20mm grade to nominal 75mm thickness as available from Australian Native Landscapes. Ph: [02] 9450 1444.

MAINTENANCE / PLANT ESTABLISHMENT

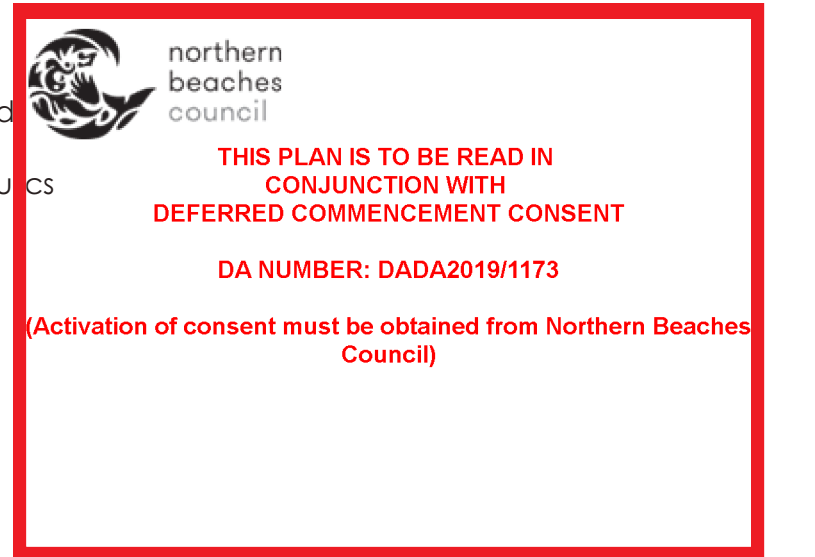
Maintenance shall apply to all hard and soft landscape materials installed prior to the "handover" and acceptance by Principles Representative and the Site Superintendent. The maintenance period shall convenience at the granting of practical completion and shall extend for 26 weeks.

Maintenance shall consist of the following works:

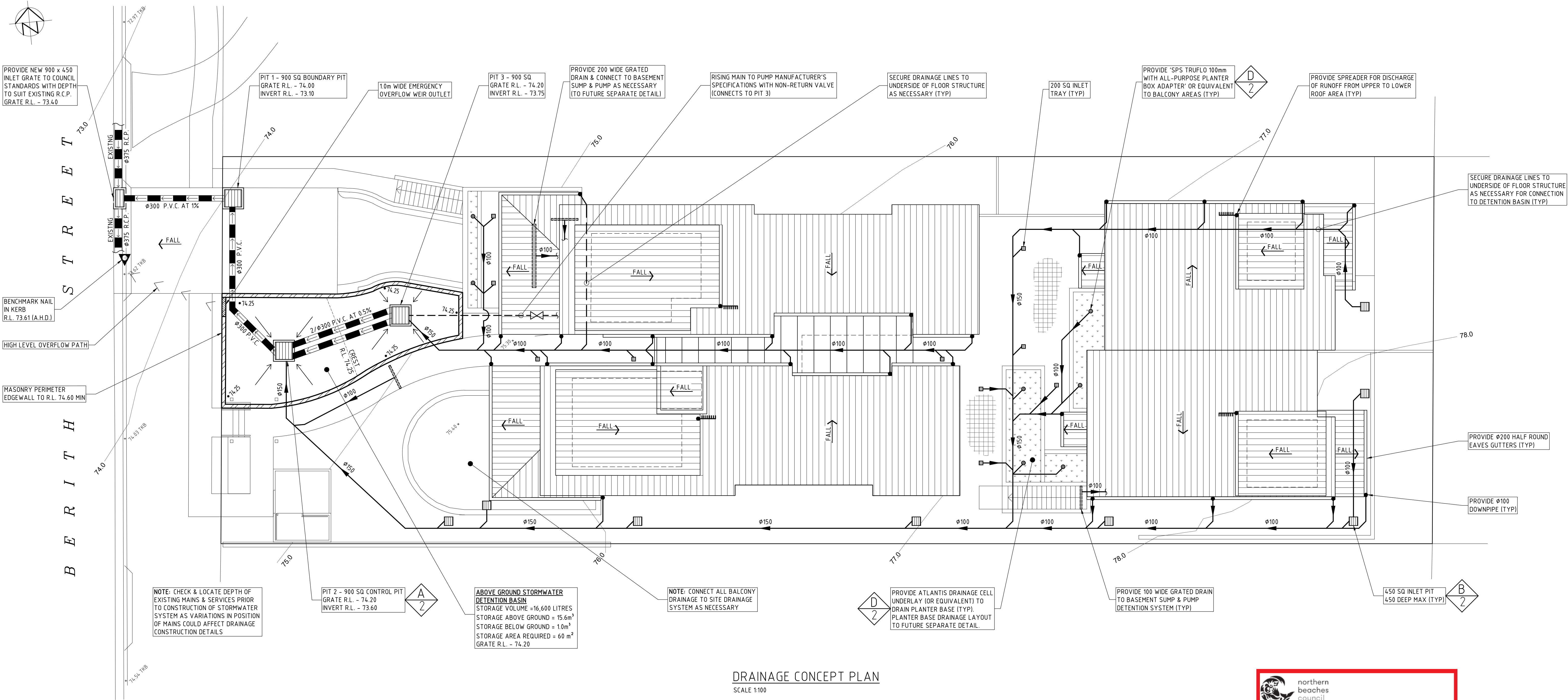
- Follow a daily watering programme to be approved by Superintendent. Water all plants individually, twice per week or when necessary to ensure constant plant growth. Water all turf and native grassed areas, twice per week.
- Apply appropriate weed control sprays and hand weed as required to maintain planting areas, native grassing bed areas, turfed areas, paved areas, and tree pits in turf free of weed or rogue grass growth.
- Regularly tidy and top up mulch and trim edges to prevent spill over onto paved / grassed areas.
- Spray to control pests and diseases.
- Replace plants, which fail with plants of a similar size and quality as originally specified to approval of Superintendent. Costs of replacement shall be the responsibility of the Contractor. Replacement planting will be undertaken within 2 weeks of identification of dead material or instruction be the Superintendent.
- Report any incidence of plants stolen or destroyed by vandalism.
- Adjust stakes and ties to plants as necessary. Ensure that strangulation of plants does not occur.
- Prune and shape plants as directed or where necessary.
- Make good any defects or faults arising out of defective workmanship or materials.
- Fertilise lawn areas to maintain healthy growth.
- Make good any erosion or soil subsidence, which may occur including soft areas in pathways.
- Mow lawn to maintain neat healthy growth.
- A final inspection shall be made by the Superintendent before handover. Any items requiring rectification shall be repaired before the works are finally approved, and retention moneys released.

NOTE:

- All finished levels are to be verified by Contractor on site.
- All landscape works be in strict accordance with Council's landscape code and guidelines
- This plan to be used in conjunction with all other submitted architectural, hydraulics and engineering drawing where applicable.



GENERAL NOTES: 1. Do not scale of drawings. Follow written dimensions. If in doubt obtain written advice from the Superintendent. 2. Verify all dimensions on site. 3. Refer to legend for all symbol and code keys. 4. Read in conjunction with the specifications 5. Read in conjunction with all associated drawings	A	FOR DA	CL	10.09.18	DESIGNED: GD	PREPARED FOR: M ZHOU	PREPARED BY:  Greenland Design Pty Ltd ABN 73 139 152 855 Registered Landsc. Architect: Bao Ly PO Box 3228 Wetherill Park NSW 2164 T: 0403 164 198 E: gd@greenlanddesign.com.au	PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT	PROJECT ADDRESS: NO. 3 BERITH STREET WHEELER HEIGHTS	DRAWING TITLE: Landscape Details & Specification	DATE: SEPTEMBER 2018	
					DRAWN: CL						SCALE: varies FULL SIZE: A1	ISSUE: A
					CL						DRAWING NO: 1921.GD.02	



DRAINAGE CONCEPT PLAN
SCALE 1:100

- DRAINAGE NOTES**
- DENOTES EXISTING GROUND LEVEL
● DENOTES PROPOSED GROUND LEVEL
 - FALL STORMWATER PIPES AT 1% MIN UNLESS OTHERWISE NOTED.
 - SUB-SOIL DRAINAGE TO BE CONNECTED TO THE SITE DRAINAGE SYSTEM AS NECESSARY.
 - SURFACE GRATES 450 SQ. UNLESS OTHERWISE NOTED.
 - ALL STORMWATER PIPES TO HAVE SOLVENT CEMENT WATERTIGHT JOINTS.
 - CHECK & LOCATE DEPTH OF EXISTING MAINS & SERVICES PRIOR TO CONSTRUCTION OF STORMWATER SYSTEM AS VARIATIONS IN POSITION OF MAINS COULD AFFECT DRAINAGE CONSTRUCTION DETAILS.
 - INSPECTIONS MUST BE UNDERTAKEN BY THIS OFFICE (BY PRIOR ARRANGEMENT WITH ENGINEER) DURING CONSTRUCTION TO ENABLE FULL CERTIFICATION UPON COMPLETION OF WORKS.
 - ALL CONSTRUCTION OF COUNCIL DRAINAGE WORKS TO COMPLY WITH COUNCIL STANDARD.
 - REMOVE REDUNDANT DRAINAGE PITS AND SEAL PIPES.
 - PIT BENCHING TO BE HALF THE OUTGOING PIPE DIAMETER. CONCRETE FOR BENCHING TO BE 20 MPa MASS CONCRETE.
 - APPROVED PRE-CAST PITS MAY BE USED.
 - ALL PIPES TO BE LAID ON COMPACTED FINE CRUSHED ROCK OR SAND BEDDING 75mm THICK & PIPES BACKFILLED WITH COMPACTED SAND TO 300mm ABOVE TOP OF PIPE, ELSE ATTACHED TO UNDERSIDE OF STRUCTURE AT 600mm c/c AS NECESSARY.
 - PIPE ROUTES SHOWN ARE INDICATIVE ONLY AND SHOULD BE AS NECESSARY ACCORDING TO SITE CONDITIONS, TREE POSITIONS ETC. CONFIRM SIGNIFICANT CHANGES IN PIPES SYSTEM DETAILS WITH SUPERVISING ENGINEER PRIOR TO COMMENCEMENT OF DRAINAGE CONSTRUCTION WORKS.
 - CONTRACTOR SHALL ENSURE THAT SERVICES TO BUILDINGS NOT AFFECTED BY THE WORKS ARE NOT DISRUPTED. CONTRACTOR SHALL CONSTRUCT TEMPORARY SERVICES TO MAINTAIN EXISTING SUPPLY TO BUILDINGS WHERE REQUIRED. ONCE WORKS ARE COMPLETE AND COMMISSIONED THE CONTRACTOR SHALL REMOVE ALL TEMPORARY SERVICES AND MAKE GOOD ALL DISTURBED AREAS.
 - STORMWATER SYSTEM REQUIRES SIGNIFICANT MAINTENANCE DUE TO POTENTIAL HIGH POLLUTANT LOAD. FILTERS AND POLLUTANT TRAPS SHOULD BE CHECKED AFTER LARGE STORM EVENTS AND CLEANED EVERY 6 MONTHS.
 - PLUMBING AND DRAINAGE WORKS TO COMPLY WITH AS-3500, THE NATIONAL DRAINAGE & PLUMBING CODE.
 - WHERE POSSIBLE DRAINAGE LINES SHALL BE LAID IN AREAS PREVIOUSLY DISTURBED BY OTHER SITE WORKS AND FOLLOW TOPOGRAPHICAL FEATURES TO REDUCE IMPACT AND AVOID TREE ROOTS.
 - THIS STORMWATER MANAGEMENT PLAN HAS BEEN PREPARED FOR D.A. SUBMISSION TO COUNCIL AND DOES NOT NECESSARILY CONTAIN ALL APPROPRIATE INFORMATION TO ENABLE FOR ISSUE TO PLUMBER/BUILDER FOR CONSTRUCTION. CONTACT TAYLOR CONSULTING FOR MORE INFORMATION.

OSD SYSTEM DESIGN DATA

SITE DATA
SITE AREA = 1269 m ²
EXIST. MODELLED IMPERVIOUS AREA = 0 % IMP.
EXIST. GRASSED FLOW LENGTH = 40 m
EXIST. GRASSED SLOPE = 12.5%
PERMISSIBLE SITE DISCHARGES
5 YR ARI = 35 L/S
100 YR ARI = 75 L/S
DEVELOPED SITE FLOWS
5 YR ARI = 31 L/S
100 YR ARI = 75 L/S
STORMWATER DESIGN DATA
AREA TO DETENTION BASIN = 1160 m ²
ORIFICE DIAMETER = 125 mm
PAVED % = 90%
GRASSED % = 10%
SSR = 16.6 m ³
1) AN ADDITIONAL 20% OF THE REQUIRED ABOVE GROUND STORAGE VOLUME ADDED.

northern beaches council

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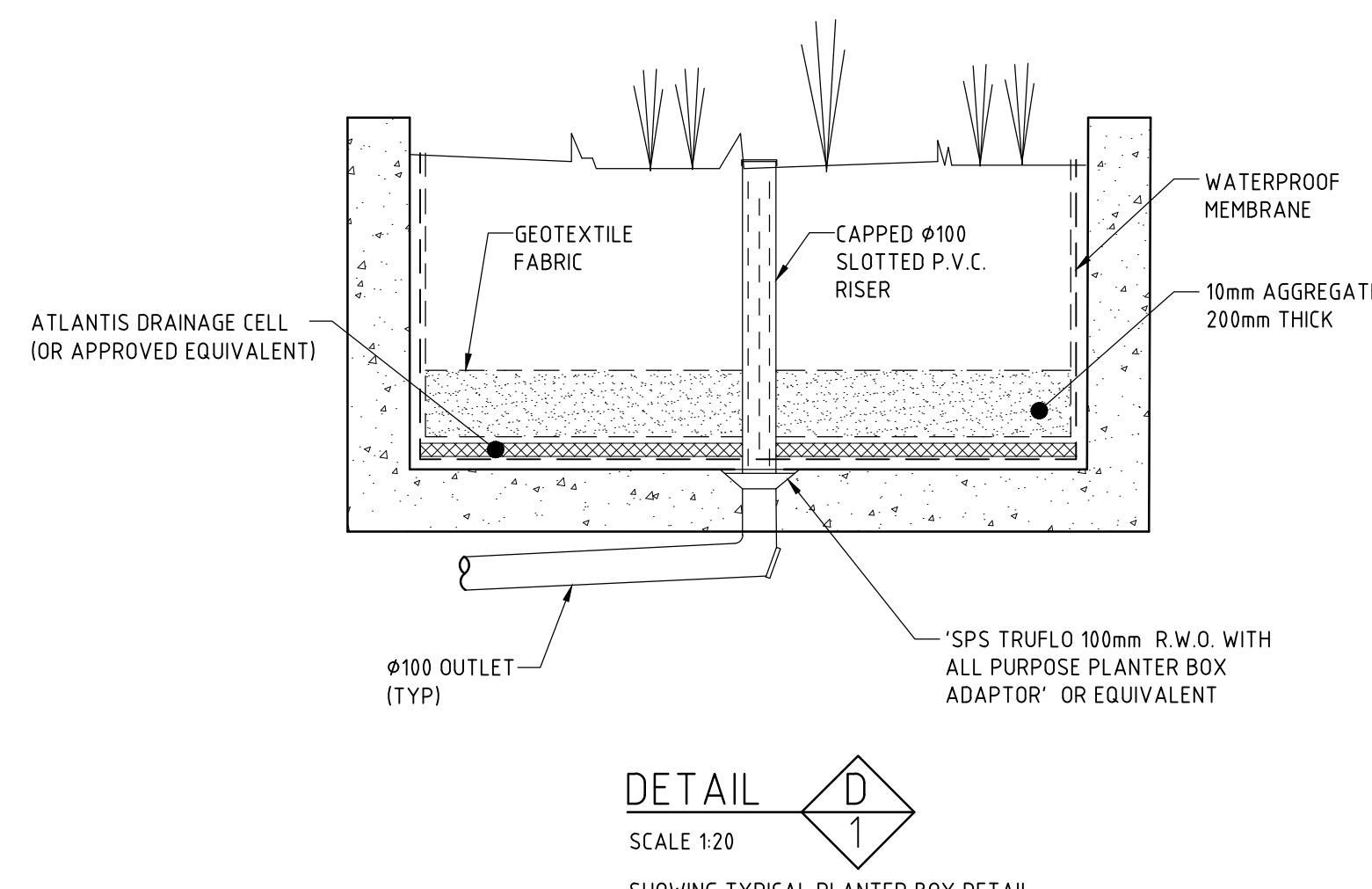
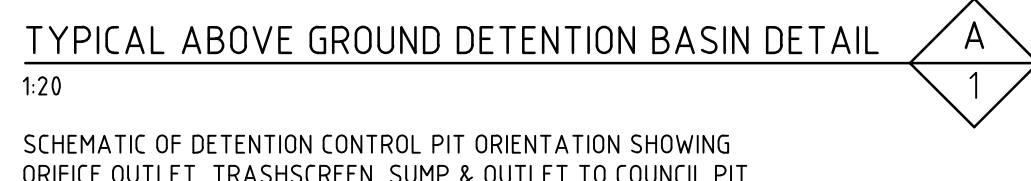
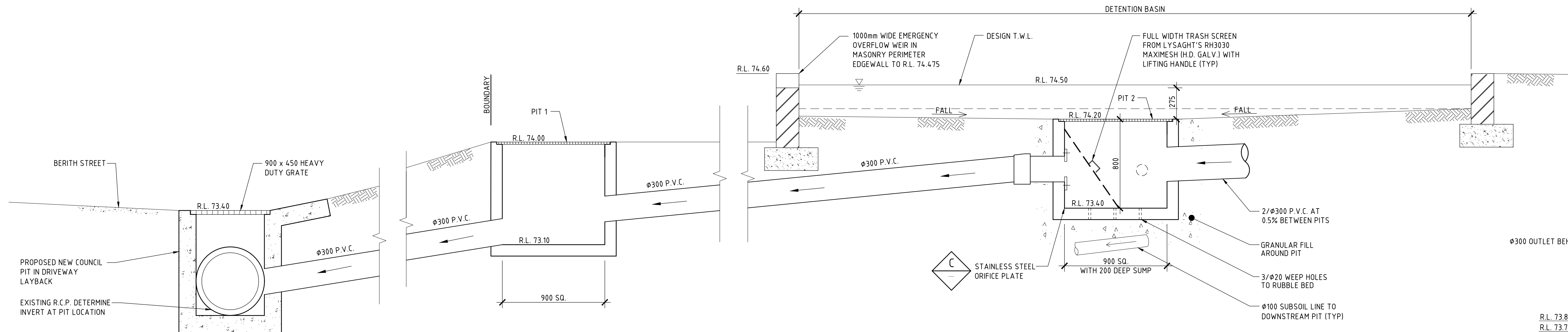
STORMWATER SYSTEM DESIGN DATA

SITE DATA
SITE AREA = 1269.2 m ² (100%)
PROPOSED IMPERVIOUS AREA = 694 m ² (55%)
PROPOSED LANDSCAPED AREA = 575.2 m ² (45%)
EXISTING IMPERVIOUS AREA = 395 m ² (31.2%)
EXISTING LANDSCAPED AREA = 874.2 m ² (68.8%)

NOTE: PLAN TO BE READ IN CONJUNCTION WITH STORMWATER MANAGEMENT DETAILS - SHEET-2

ISSUE DATE	REVISION
10 SEPTEMBER 18	DRIVEWAY AND PIT POSITION TO SUIT NEW ARCHITECTURAL PLANS

TITLE STORMWATER MANAGEMENT PLAN 3 BERTH STREET, WHEELER HEIGHTS		DRAWN AWW		DATE 16 AUGUST 2018	CHECKED 	SCALE @ A1 1:100
TAYLOR CONSULTING CIVIL & STRUCTURAL ENGINEERS		SHEET - 1/A		TAYLOR CONSULTING CIVIL & STRUCTURAL ENGINEERS		



NOTE: CHECK & LOCATE DEPTH OF EXISTING MAINS & SERVICES PRIOR TO CONSTRUCTION OF STORMWATER SYSTEM AS VARIATIONS IN POSITION OF MAINS COULD AFFECT DRAINAGE CONSTRUCTION DETAILS.