



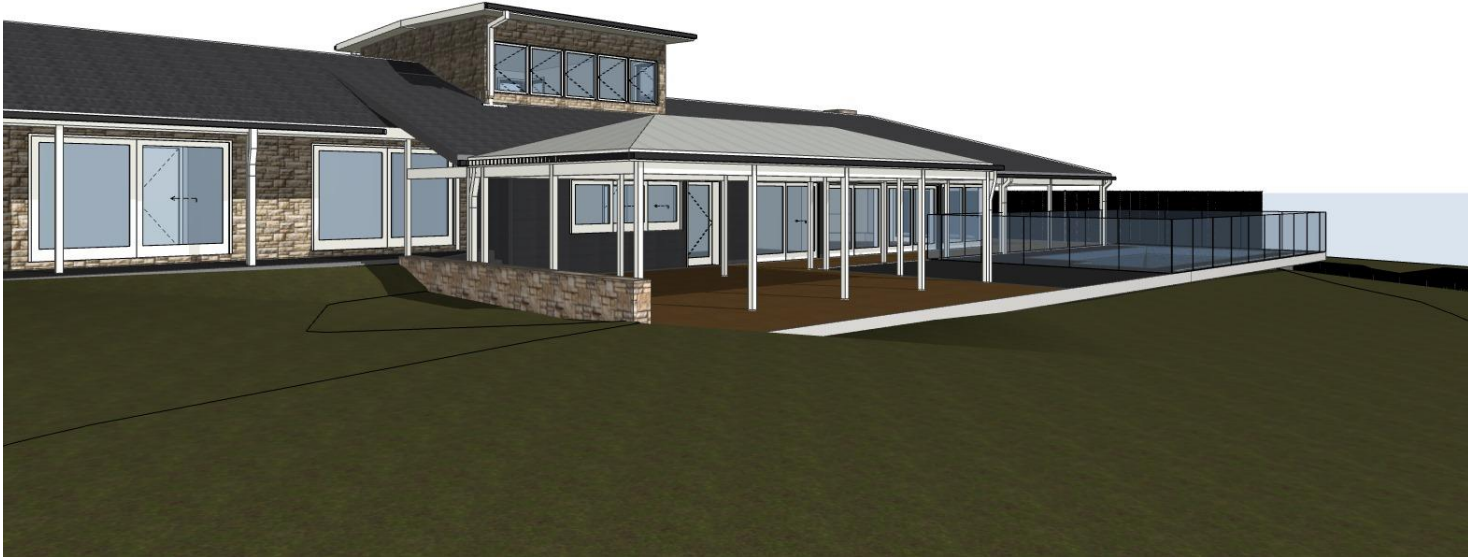
1 EXTERNAL VIEW 1



2 EXTERNAL VIEW 2



3 EXTERNAL VIEW 3



4 EXTERNAL VIEW 4



5 EXTERNAL VIEW 5



6 EXTERNAL VIEW 6



7 EXTERNAL VIEW 7

SECTION NAME	DRAWING No.	DESCRIPTION
01 S4.55 MODIFICATION A1		
A01		COVER PAGE, SCHEDULES AND PERSPE...
A02		SURVEY
A03		SITE PLANWASTE MANAGEMENT PLAN, S...
A04		EXISTING ( DA APPROVED-DA2020/0241) P...
A05		CELLAR AND GROUND FLOOR PLAN
A06		LEVEL 1 AND ROOF PLAN
A07		ELEVATIONS AND SECTIONS
A08		SHADOW STUDY
A09		LANDSCAPE CALCULATIONS, FINISHES S...

#### GENERAL CONSTRUCTION NOTES

**ROOFS:**  
ROOF STRUCTURE: TIMBER FRAMED  
ALL ROOFS TO BE SARKED AS SPECIFIED.  
ALL ROOFS CONNECTED TO STORMWATER SYSTEM.  
NEW GUTTERS AND DOWNPIPES IN LOCATIONS AS SPECIFIED.

**HYDRAULIC:**  
REFER TO HYDRAULIC DRAWINGS FOR DETAILS.  
REFER TO DA CONDITIONS.

**STRUCTURAL:**  
REFER TO STRUCTURAL DRAWINGS FOR DETAILS.

**INSULATION:**  
REFER TO SPECIFICATION FOR FLOOR, WALL, ROOF  
**ACOUSTIC AND THERMAL** INSULATION.

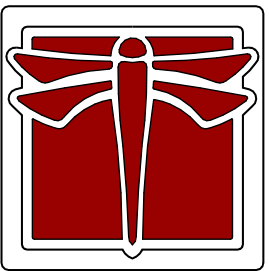
**BASIX:**  
REFER TO BASIX FOR SUSTAINABILITY REQUIREMENTS.

**BUSHFIRE:**  
**CONSTRUCTION TO COMPLY WITH BAL 29. REFER TO BUSHFIRE REPORT**

WINDOW, DOOR & SKYLIGHT SCHEDULE	
CODE ID	DESCRIPTION
D01	(D01, D02...etc) NEW aluminium door. Powdercoated. Refer to BASIX requirements. Detail to comply with BAL 29 rating. Confirm with bushfire report.
DE	EXISTING door to remain.
DN	NEW internal timber door, painted as specified.
W01	(W01, W02...etc) NEW aluminium window. Powdercoated. Refer to BASIX requirements. Detail to comply with BAL 29 rating. Confirm with bushfire report.
WE	EXISTING window to remain. Make good as required.

# CONN HOUSE

## S4.55 MODIFICATION ISSUE A



**DRAGONFLY  
ARCHITECTS**  
PTY LTD

ABN 78 158 837 962

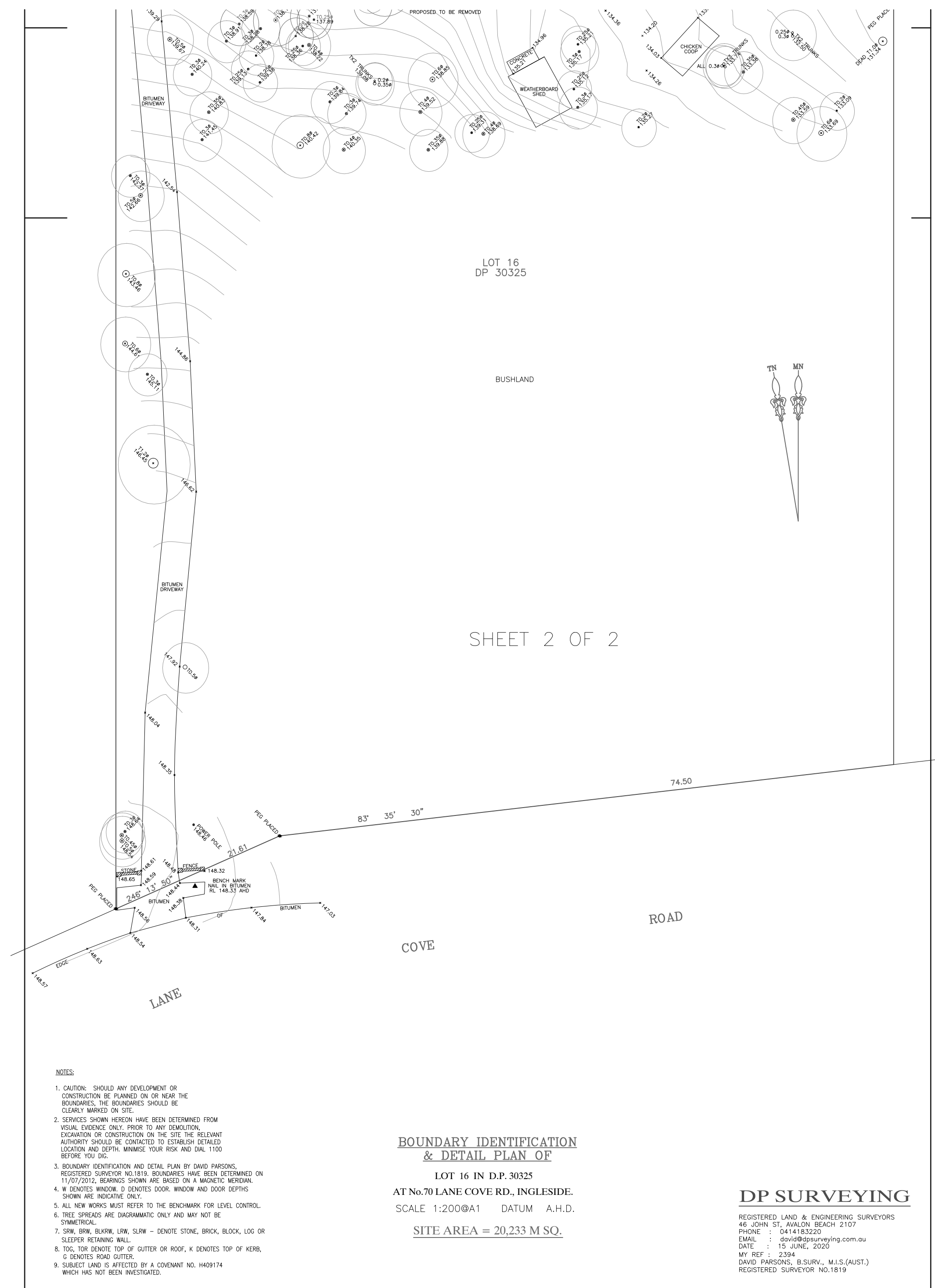
#### S4.55 MODIFICATION ISSUE

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CONSENT OF THE ARCHITECT.

**BUSHFIRE REQUIREMENTS:**  
Refer to bushfire assessment  
report and Australian  
Standards for BAL29.

**LOUISE & MICK CONN**  
70 LANE COVE ROAD INGLESIDE NSW 2101



[illegible]



1 SITE PLAN/WASTE MANAGEMENT PLAN  
Scale 1:500

**BUSHFIRE REQUIREMENTS:**  
ALL NEW WORK TO COMPLY  
TO BAL29. REFER TO  
BUSHFIRE REPORT.

**NOTE:** REFER TO HYDRAULIC  
DRAWINGS FOR SEDIMENT  
CONTROL DETAILS.

EXISTING BIN STORAGE  
LOCATION WITH DIRECT  
KERBSIDE ACCESS TO  
REMAIN.

CONSTRUCTION  
MATERIALS  
STORAGE AREA.  
FINAL LOCATION TO  
BE CONFIRMED WITH  
CONTRACTOR.

WASTE AND  
RECYCLED  
STORAGE AREA.  
FINAL LOCATION TO  
BE CONFIRMED WITH  
CONTRACTOR.

PEDESTRIAN  
ACCESS TO SITE

VEHICULAR ACCESS  
TO SITE

LANE COVE ROAD

**NO.70 LANE COVE  
ROAD, INGLESIDE**  
LOT 16, DP 30325  
SITE AREA: 20,233m<sup>2</sup>

TEMPORARY HAY BALES  
OR SIMILAR SEDIMENT  
CONTROL, AS REQUIRED.  
GLASS POOL FENCE  
AND GATE TO NCC  
& ALIST  
STANDARDS.  
RECONFIGURED  
PAVING & POOL  
LAYOUT.  
REMOVE DA APPROVED  
SKYLIGHTS  
KEEP AND PROTECT  
EXISTING STRUCTURE  
DASHED LINE OF DA  
APPROVED  
ADDITION TO BE  
REMOVED.  
OUTLINE OF EXTERNAL  
WALLS BELOW ROOFS.

SITE BOUNDARY 93.74

REAR SETBACK 7.5m WIDE

SIDE SETBACK 7.5m WIDE

SIDE SETBACK 7.5m WIDE

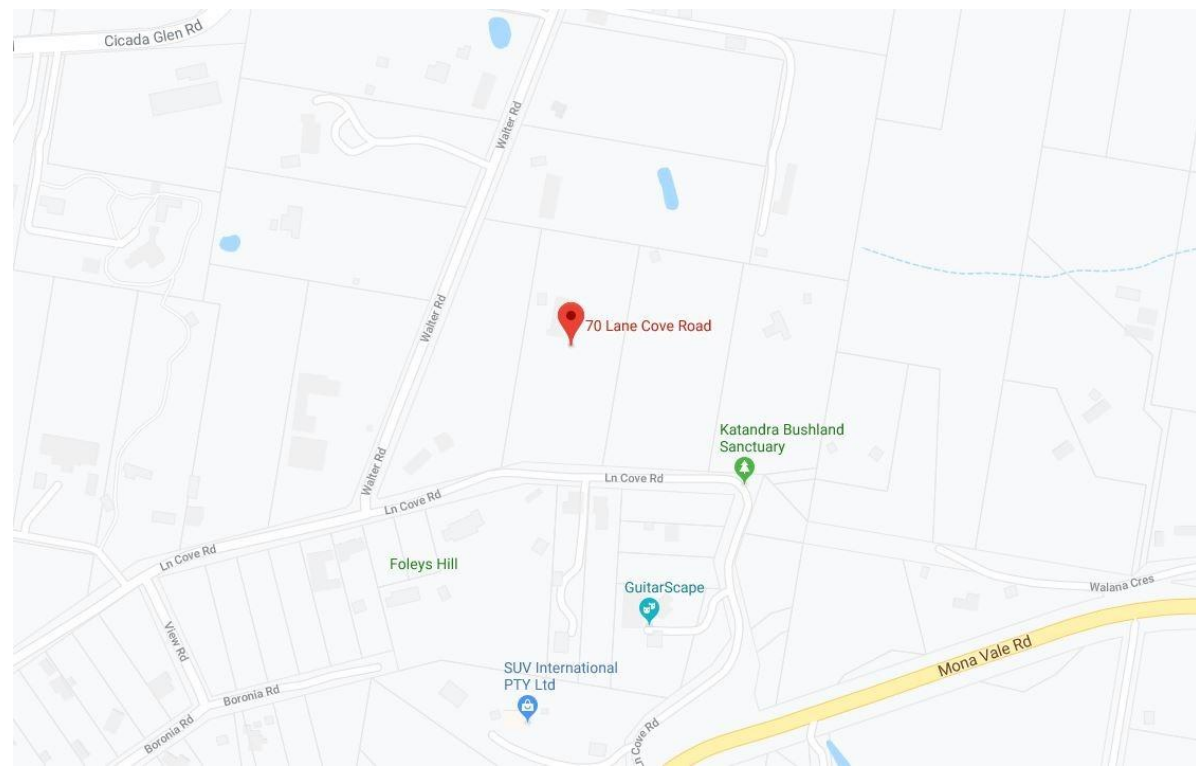
SITE BOUNDARY 203.70

SITE BOUNDARY 74.50

SITE BOUNDARY 21.61

FRONT SETBACK 20m WIDE

FRONT SETBACK 20m WIDE



2 SITE ANALYSIS  
Scale 1:500

SUMMER  
NORTH-WESTERLY  
WINDS

EXISTING  
WATER TANKS

EXISTING  
GARAGE

EXISTING  
PARKING  
HARDSTAND

EXISTING  
DRIVEWAY

EXISTING  
TENNIS COURT

EXISTING POOL

EXISTING TANK.

VEWS

N

WINTER  
SOUTHEAST  
WINDS

**NO.70 LANE COVE  
ROAD, INGLESIDE**  
LOT 16, DP 30325  
SITE AREA: 20,233m<sup>2</sup>

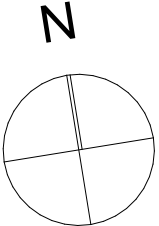
PEDESTRIAN  
ACCESS TO  
SITE

VEHICULAR  
ACCESS  
TO SITE

LANE COVE ROAD

SITE BOUNDARY 74.50

SITE BOUNDARY 21.61



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report and Australian  
Standards for BAL29.



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SCALE: 1:500 @ A1  
DATE PRINTED: 30/08/2022  
DRAWN BY: ES, CS  
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70 LANE COVE ROAD  
INGLESIDE NSW 2101

**SITE PLAN/WASTE  
MANAGEMENT PLAN, SITE  
ANALYSIS AND LOCATION  
MAP**  
DFA1905-A03



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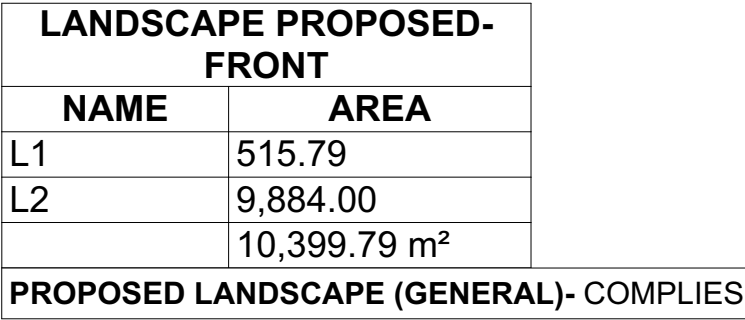
## ELEVATIONS AND SECTIONS

DFA1905-A07









**VARIATIONS:**

THE MINIMUM LANDSCAPED AREA MAY BE GREATER THAN STATED ABOVE, WHERE A SITE IS LOCATED ON ENVIRONMENTALLY SENSITIVE OR STEEPLY SLOPING LAND, OR WHERE ITS DEVELOPMENT POTENTIAL IS RESTRICTED IN SOME OTHER WAY.

**DAMS, PONDS, ON-SITE DETENTION TANKS, THE WATER SURFACE AREA OF SWIMMING POOLS AND WATER TANKS, WASTE WATER TREATMENT SYSTEMS CAN BE INCLUDED AS LANDSCAPED AREA.**

DRIVEWAYS AND POUROUS OR SOFT SURFACE AREAS THAT PERMIT THE INFILTRATION OF SURFACE WATER INTO THE SUBSTRATA CAN BE INCLUDED AS LANDSCAPED AREA. (NOTE THAT THE TENNIS COURT HAS A GRASS SURFACE ON A SAND BED)

SHEDS WITH A MAXIMUM OF 200m<sup>2</sup> ARE PERMITTED IN ADDITION TO NON-LANDSCAPED AREAS PERMITTED.

**NOTE: MINIMUM OF 80m<sup>2</sup> OF PRIVATE OPEN SPACE IS REQUIRED PER DWELLING. PRIVATE OPEN SPACE IS CALCULATED AT GROUND LEVEL WITH NO DIMENSION LESS THAN 3m.**

**LANDSCAPE PLAN:**

**NOTE:** A LANDSCAPING PLAN IS NOT REQUIRED BECAUSE OF THE FOLLOWING:

1. The proposal does not cause any substantial change to the visual character of the site.
2. Existing vegetation and trees are to be retained.

LANDSCAPE PROPOSED	
NAME	AREA
L1	515.79
L2	9,884.00
L3	8,092.07
L4	199.39
L5	34.00
	18,725.25 m <sup>2</sup>

**PROPOSED LANDSCAPE (INGLESIDE) - DOES NOT COMPLY  
MIN. CHANGE TO COMPLIANCE FROM DA APPROVED.**



<p><b>ROOF TILES</b> NO CHANGE TO DA APPROVAL</p>
<p><b>EXTERNAL TIMBER POSTS AND BALUSTRADE</b> NO CHANGE TO DA APPROVAL</p>
<p><b>SANDSTONE CLADDING</b> NO CHANGE TO DA APPROVAL.</p>
<p><b>DOWNPIPES &amp; GUTTERS</b> NO CHANGE TO DA APPROVAL.</p>



**EXTERNAL LIGHTWEIGHT WALLS**  
PAINT - BEIGE, WHITE OR GREY TONES (NO CHANGE TO DA APPROVAL)

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**WINDOWS AND DOOR ALUMINIUM FRAMES**  
POWDERCOATED - MID-DARK GREY/BEIGE OR WHITE TONES (NO CHANGE TO DA APPROVAL)