

GENERAL CONSTRUCTION NOTES

ALL ROOFS CONNECTED TO STORMWATER SYSTEM. NEW GUTTERS AND DOWNPIPES IN LOCATIONS AS

REFER TO HYDRAULIC DRAWINGS FOR DETAILS.

REFER TO STRUCTURAL DRAWINGS FOR DETAILS.

REFER TO SPECIFICATION FOR FLOOR, WALL, ROOF

REFER TO BASIX FOR SUSTAINABILITY REQUIREMENTS.

CONSTRUCTION TO COMPLY WITH BAL 29. REFER TO

ACOUSTIC AND THERMAL INSULATION.

ROOF STRUCTURE: TIMBER FRAMED ALL ROOFS TO BE SARKED AS SPECIFIED.

SPECIFIED.

HYDRAULIC:

STRUCTURAL:

BUSHFIRE:

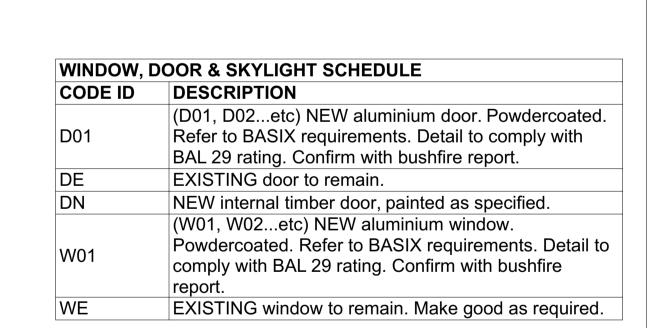
BUSHFIRE REPORT

REFER TO DA CONDITIONS.











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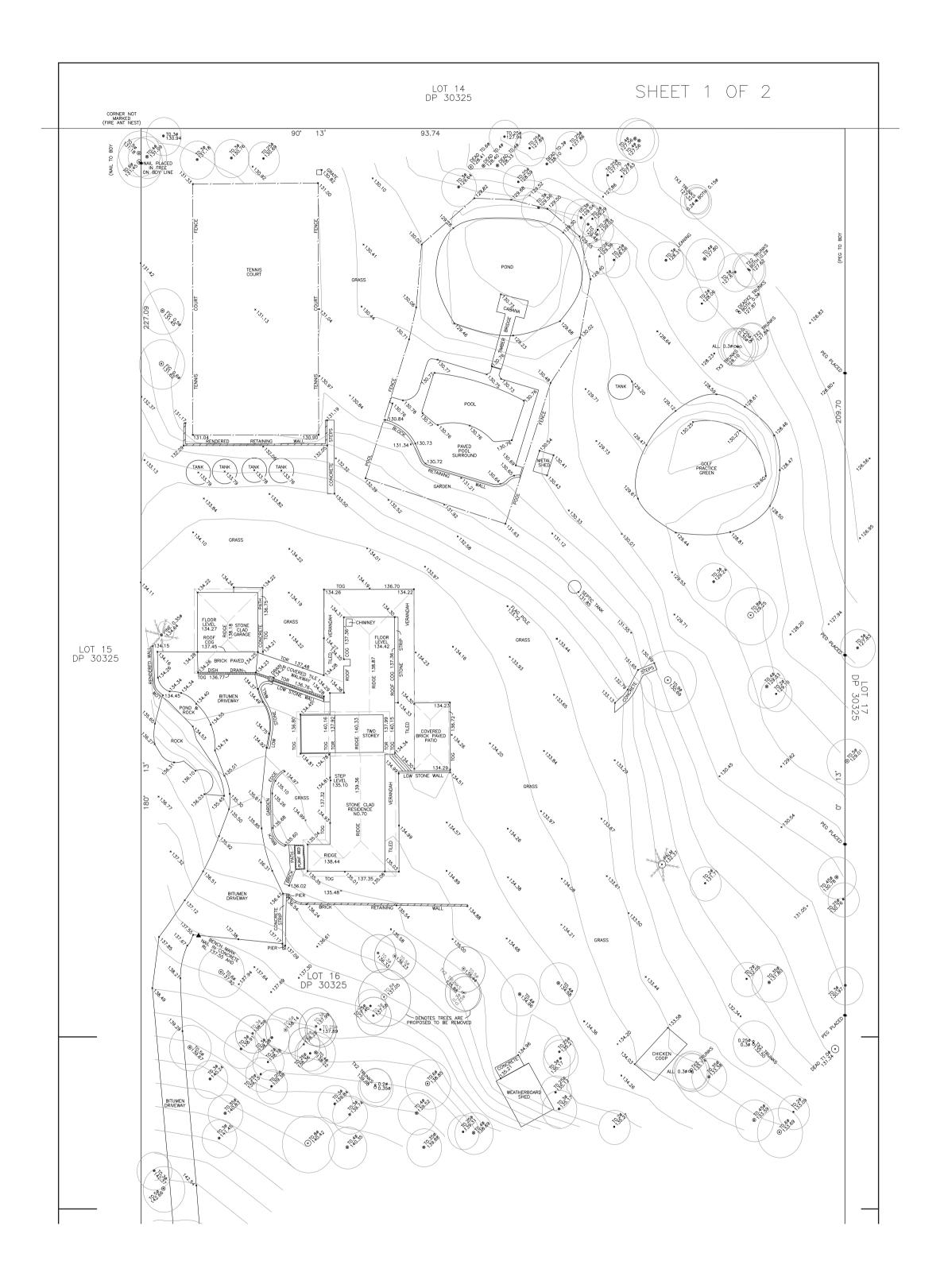
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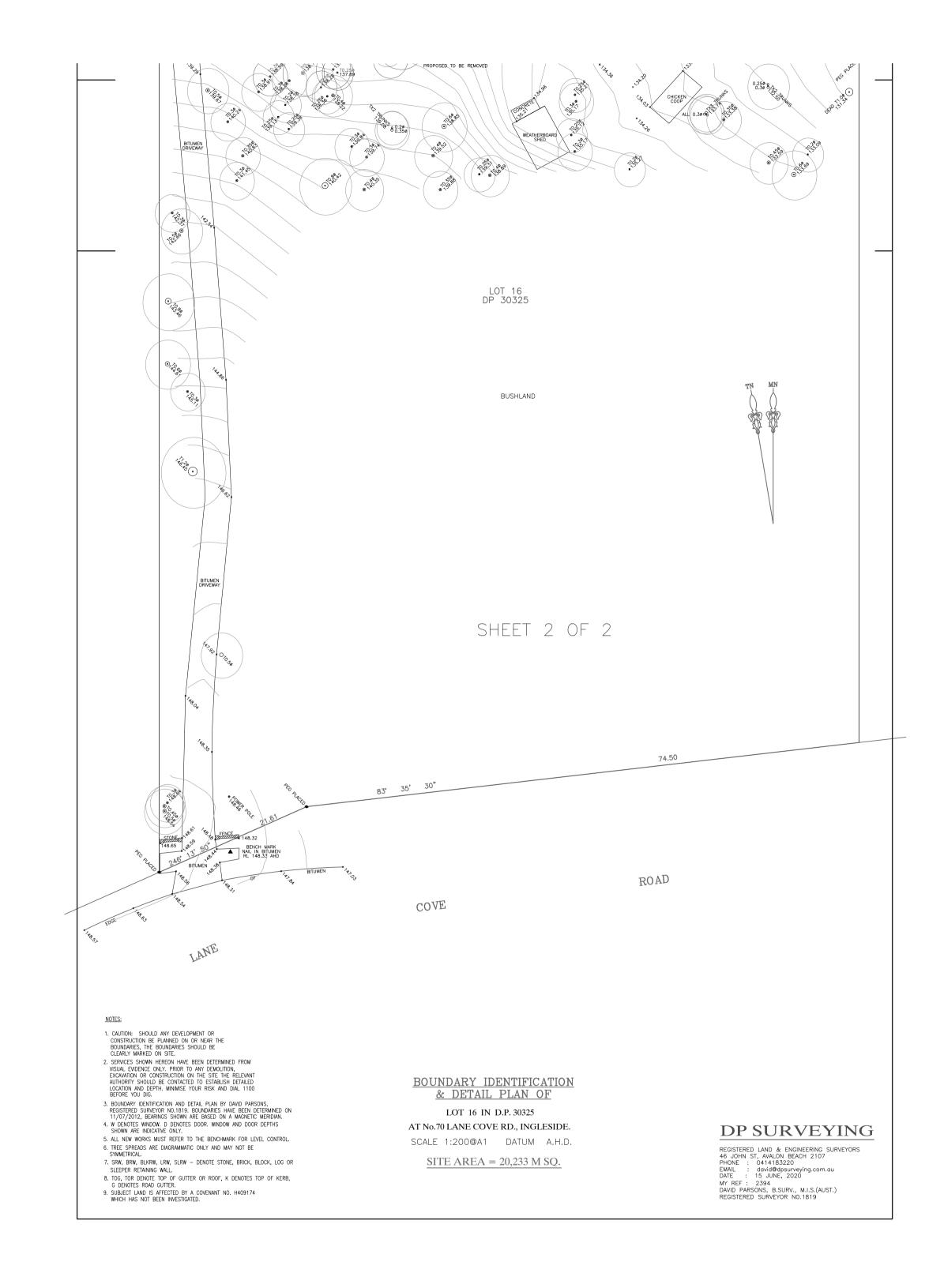
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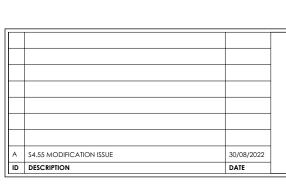
BUSHFIRE REQUIREMENTS: Refer to bushfire assessment report and Australian Standards for BAL29.

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CONN HOUSE







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BUSHFIRE REQUIREMENTS: Refer to bushfire assessment report and Australian Standards for BAL29.



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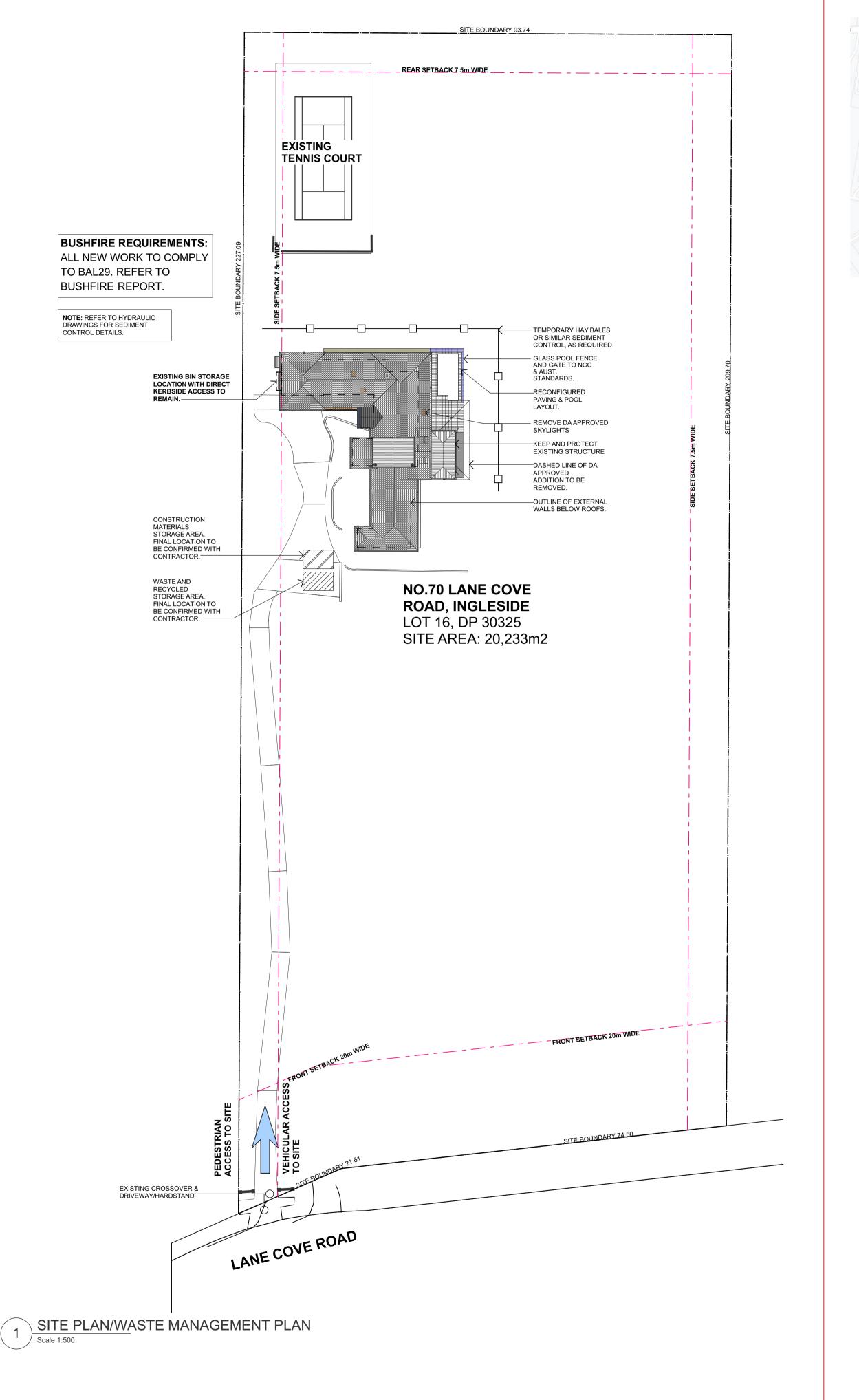
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70 LANE COVE ROAD INGLESIDE NSW 2101 **SURVEY**

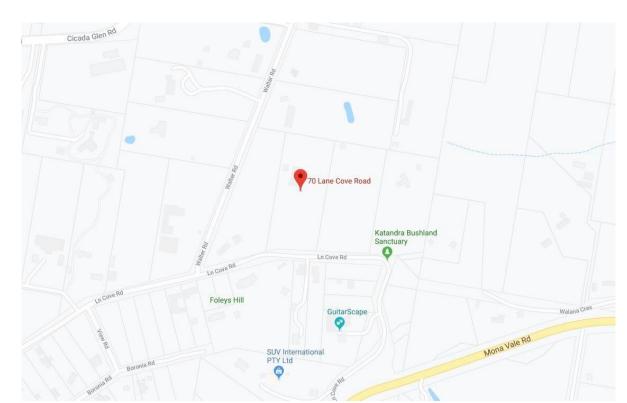
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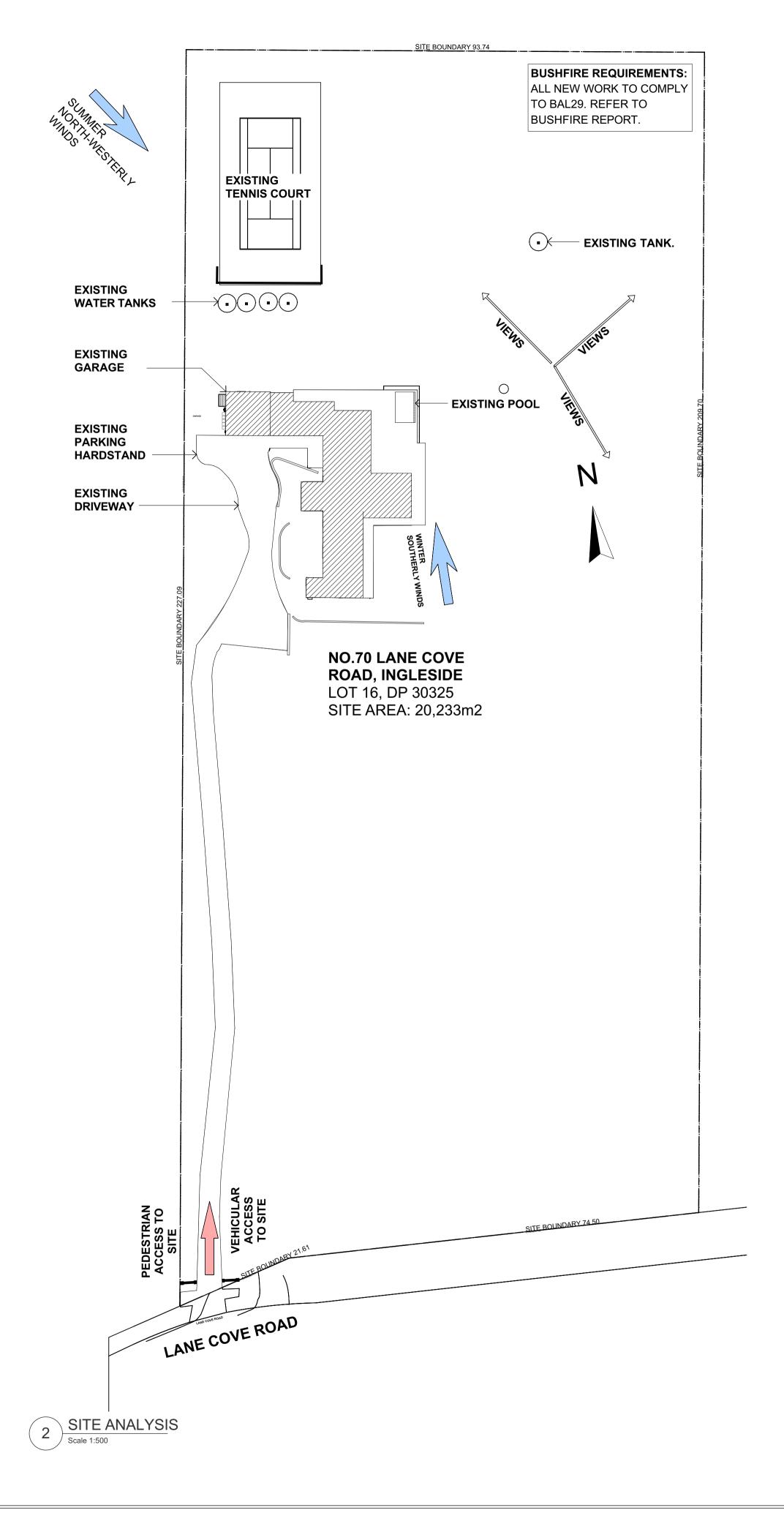
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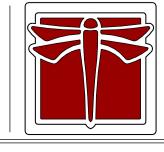




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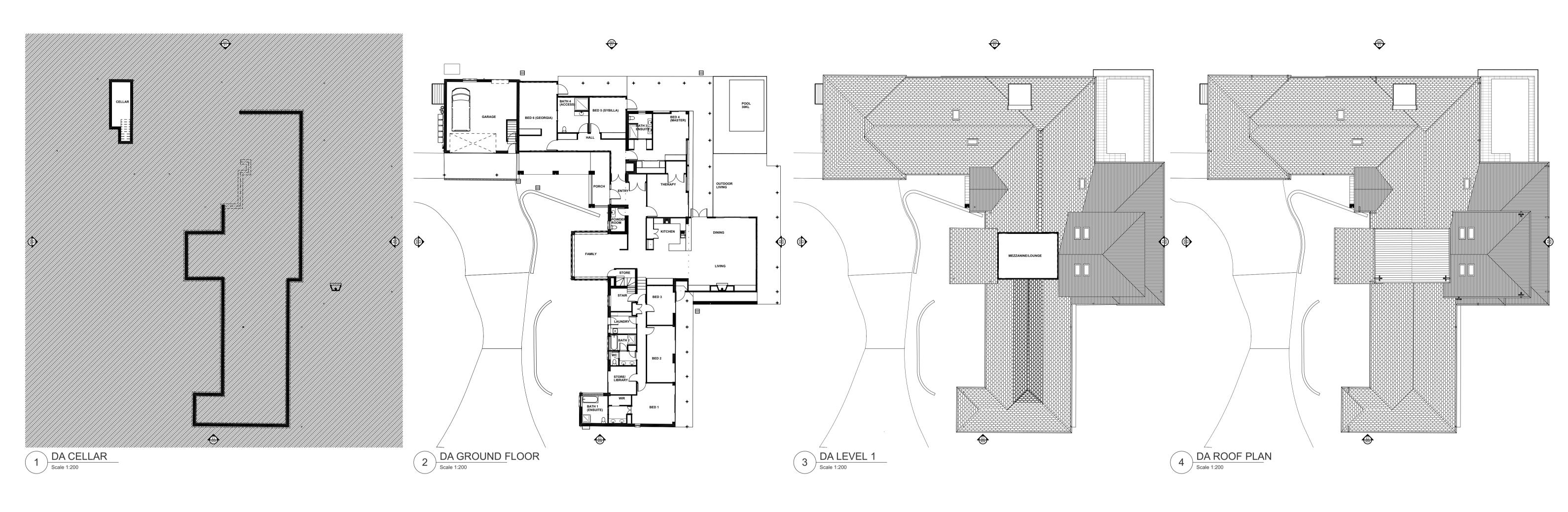
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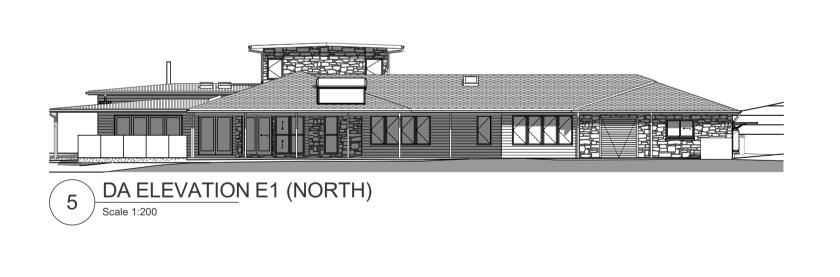
Architect - Catherine Seeto - Reg. 8345

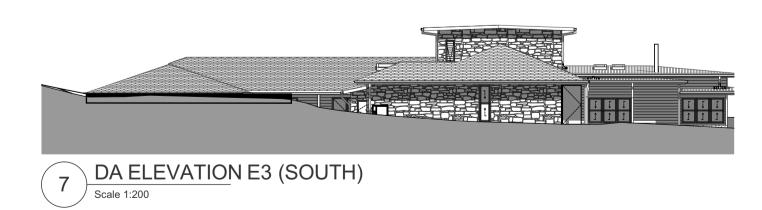
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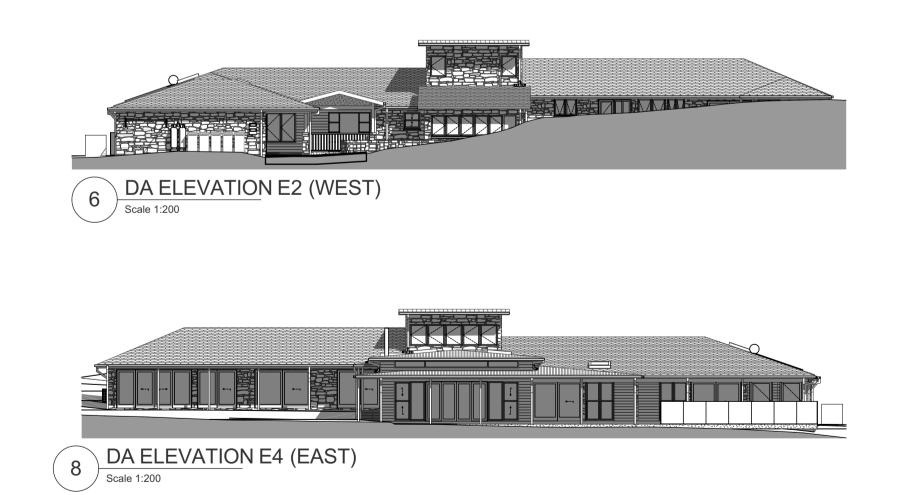
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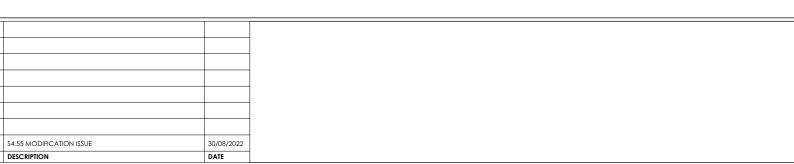
70 LANE COVE ROAD INGLESIDE NSW 2101 SITE PLAN/WASTE
MANAGEMENT PLAN, SITE
ANALYSIS AND LOCATION
MAP
DFA1905-A03













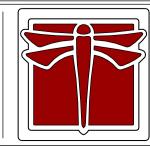
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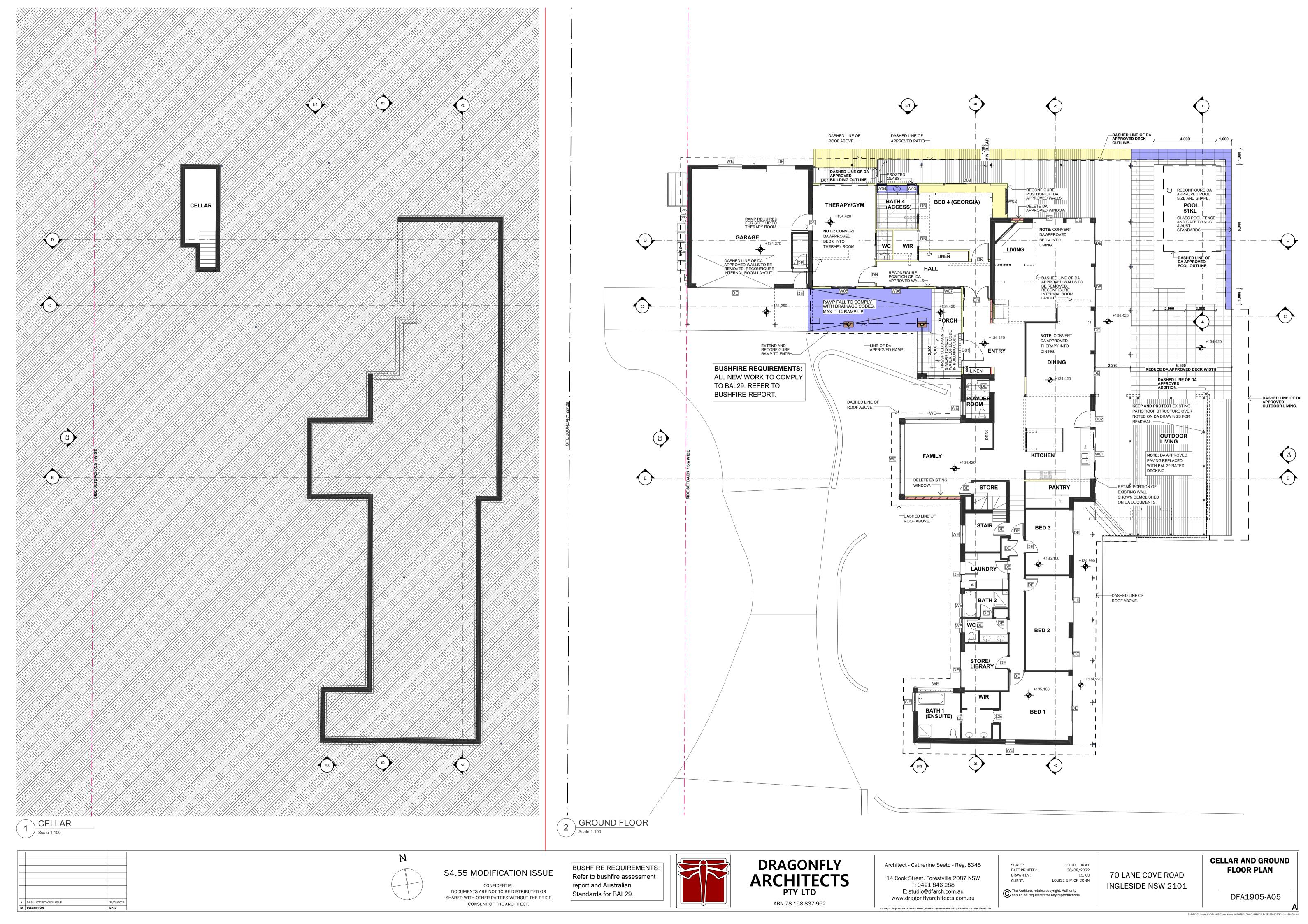
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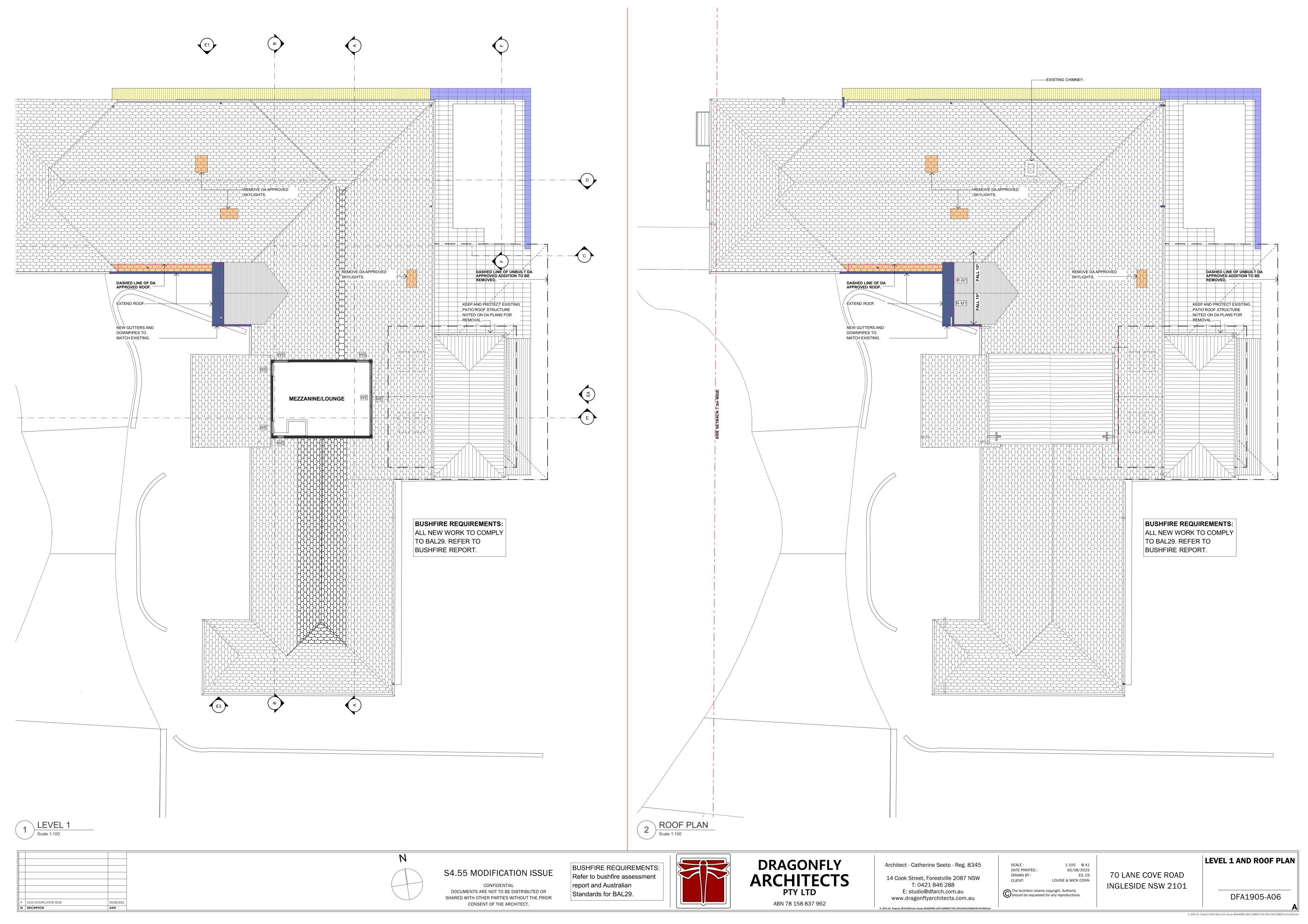
70 LANE COVE ROAD INGLESIDE NSW 2101 **EXISTING (DA APPROVED-**DA2020/0241) PLANS AND ELEVATIONS

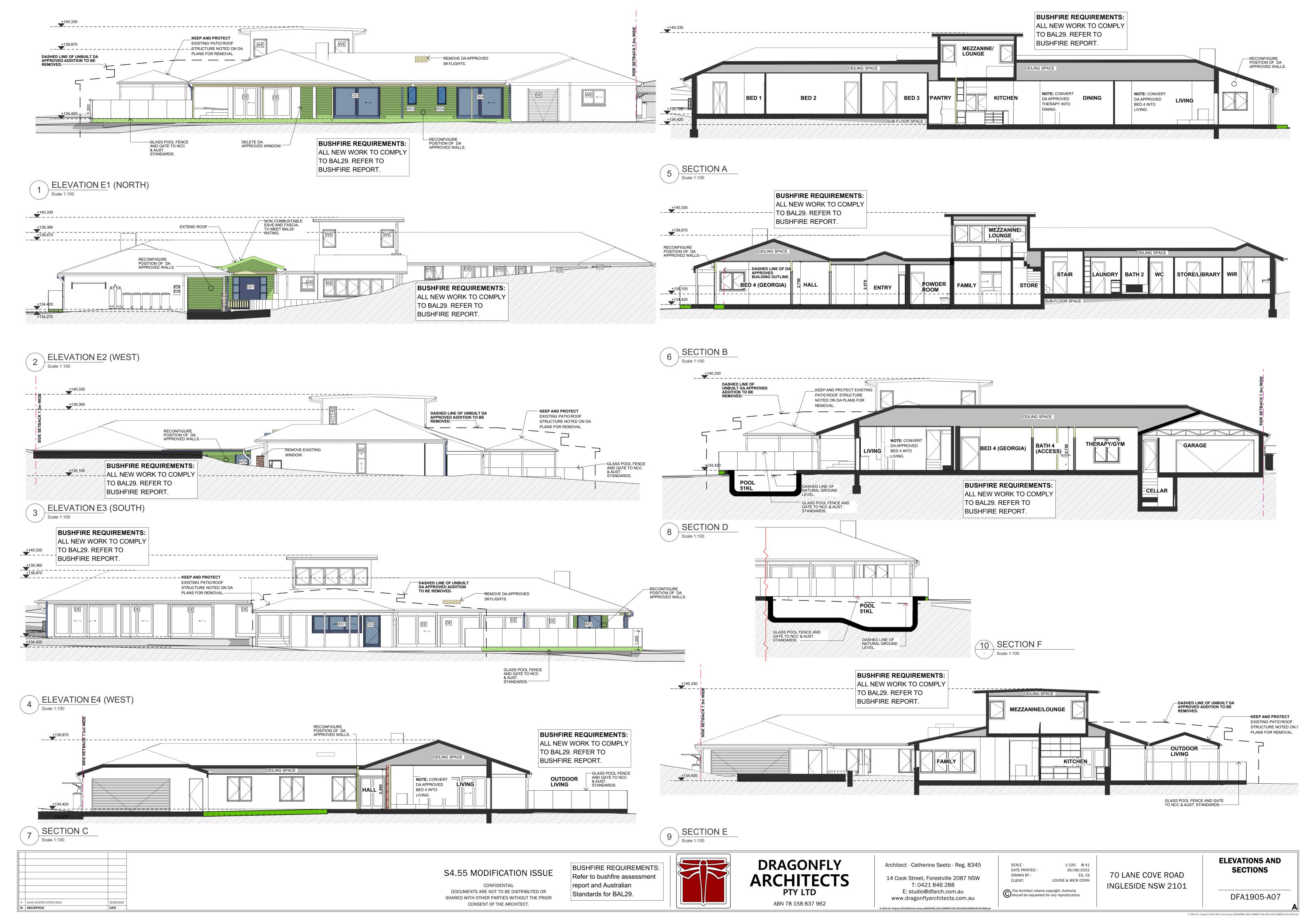
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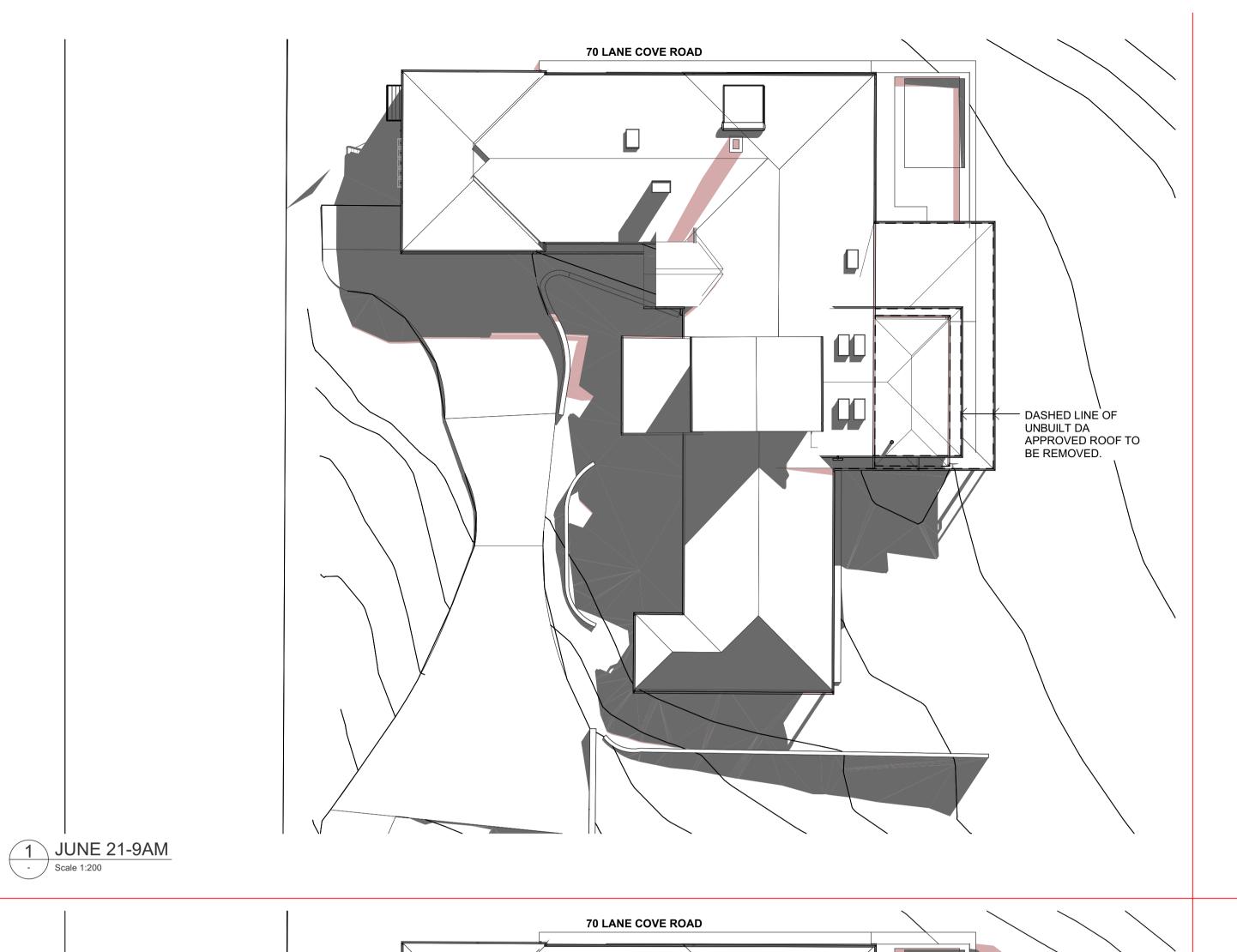
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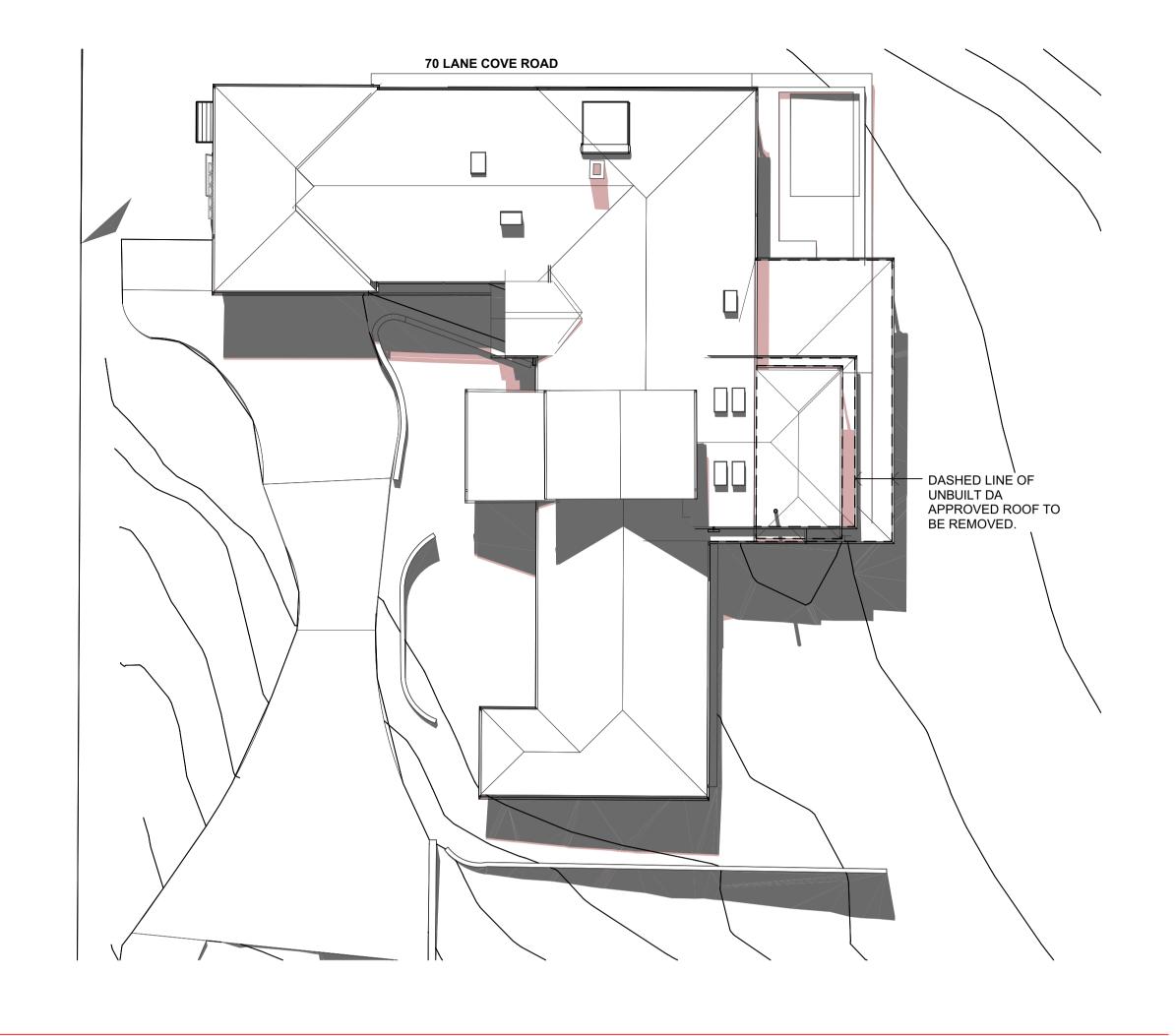
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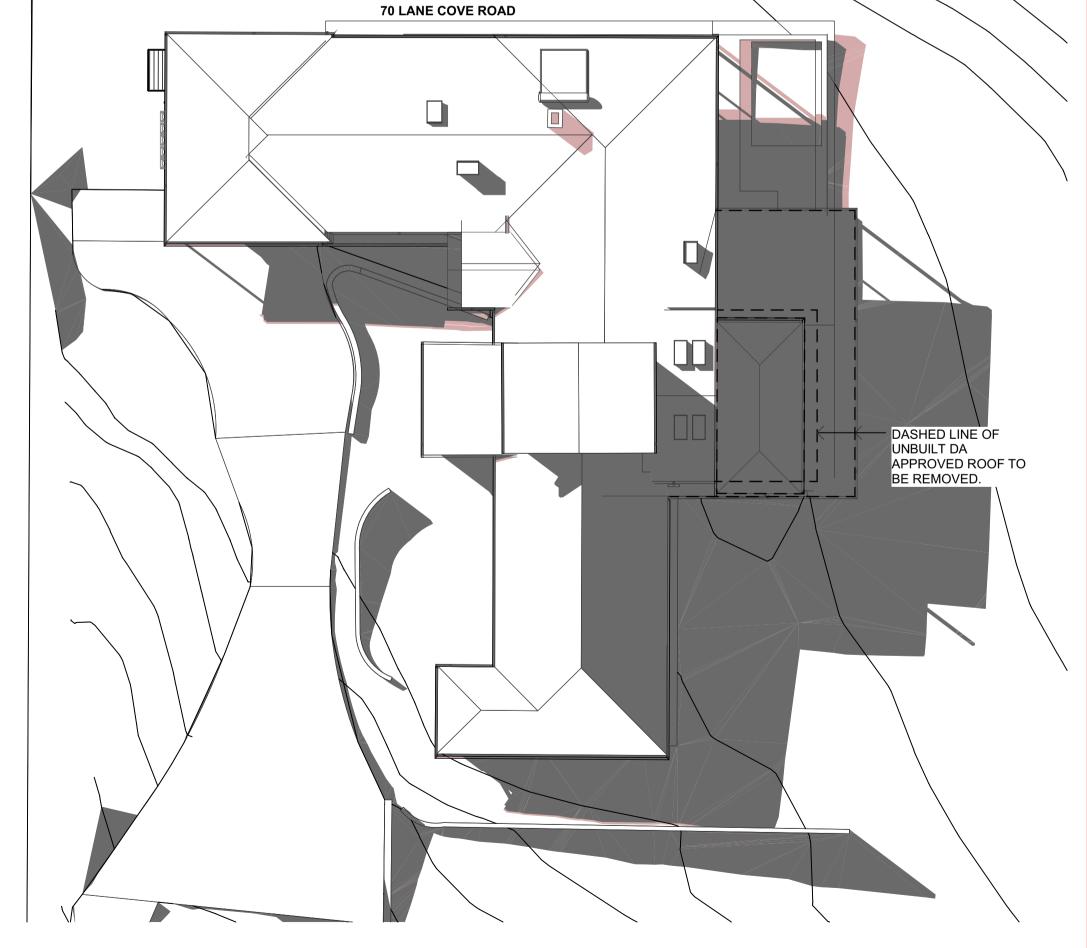




PROPOSED SHADOWS

EXISTING SHADOWS

2 JUNE 21-12NOON
- Scale 1:200



3 JUNE 21-3PM
- Scale 1:200

Scale 1:200

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DESCRIPTION
DATE

N

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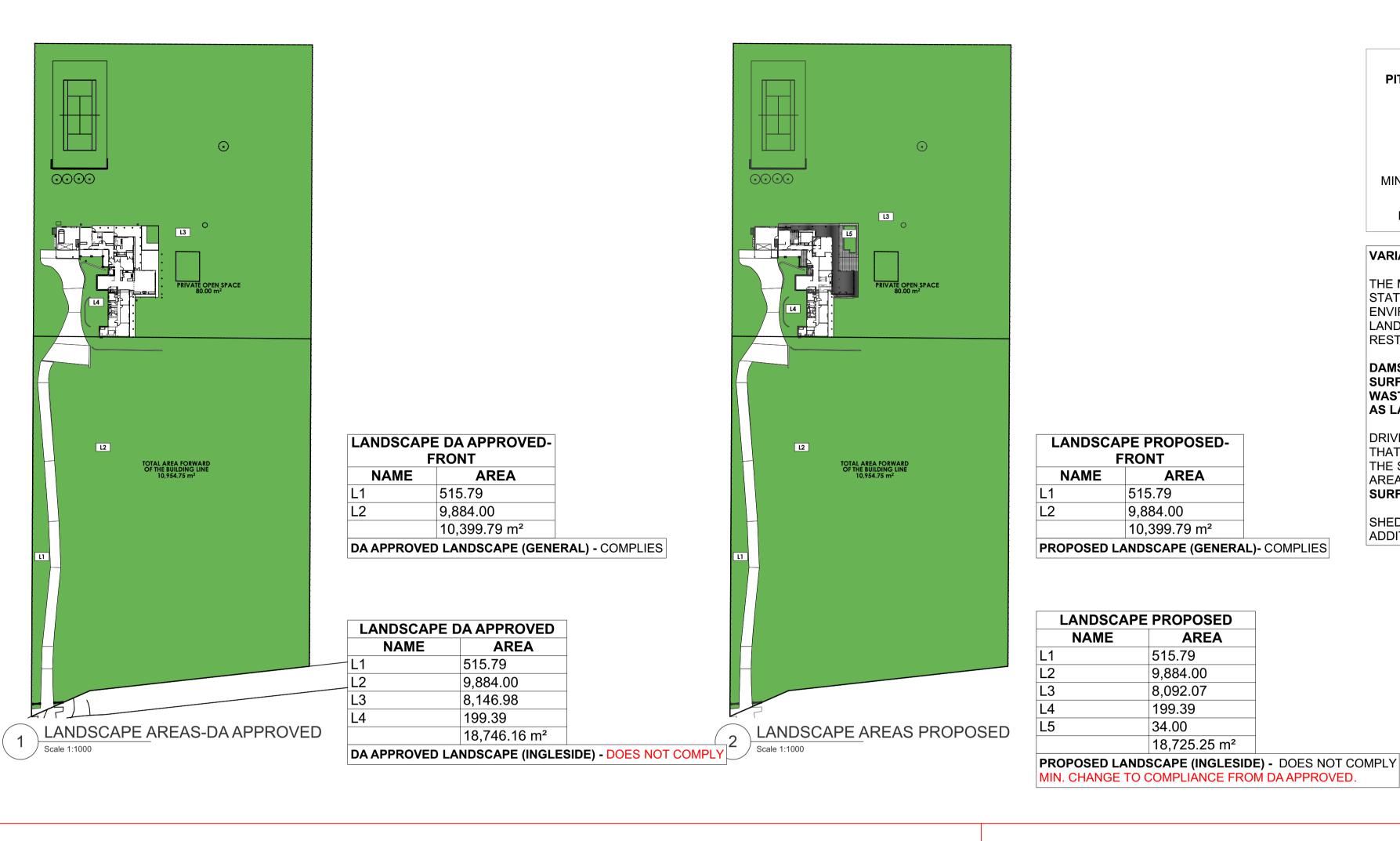
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70 LANE COVE ROAD INGLESIDE NSW 2101 SHADOW STUDY

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DFA1905-A08



NORTHERN BEACHES COUNCIL PITTWATER 21 DCP-PART D6.8 - LANDSCAPED AREA -NON-URBAN GENERAL (INGLESIDE LOCALITY)

TOTAL SITE IS 20,233m²

MIN LANDSCAPE REQUIRED IS 96% - 400m² MIN. LANDSCAPE (0.96 X 20,233m²) - 400m²= 19,023.68m²

MIN. REQUIRED SOFT LANDSCAPE = 19,023.68m²

VARIATIONS:

THE MINIMUM LANDSCAPED AREA MAY BE GREATER THAN STATED ABOVE, WHERE A SITE IS LOCATED ON ENVIRONMENTALLY SENSITIVE OR STEEPLY SLOPING LAND, OR WHERE ITS DEVELOPMENT POTIENTIAL IS RESTRICED IN SOME OTHER WAY.

DAMS, PONDS, ON-SITE DETENTION TANKS, THE WATER SURFACE AREA OF SWIMMING POOLS AND WATER TANKS, WASTE WATER TREATMENT SYSTEMS CAN BE INCLUDED AS LANDSCAPED AREA.

DRIVEWAYS AND POUROUS OR SOFT SURFACE AREAS THAT PERMIT THE INFILTRATION OF SURFACE WATER INTO THE SUBSTRATA CAN BE INCLUDED AS LANDSCAPED AREA. (NOTE THAT THE TENNIS COURT HAS A GRASS SURFACE ON A SAND BED)

RE-CLAD WITH NEW CLADDING ON

EXTENT TO BE CONFIRMED ON SITE.

LIHGTWEIGHT WALLS TO MATCH ADDITION.

SHEDS WITH A MAXIMUM OF 200m² ARE PERMITTED IN ADDITION TO NON-LANDSCAPED AREAS PERMITTED.

NORTHERN BEACHES COUNCIL PITTWATER 21 DCP-PART C1.1 - LANDSCAPING (GENERAL RESIDENTIAL)

TOTAL SITE IS 20,233m²

MIN LANDSCAPE REQUIRED IS 60% IN FRONT OF THE BUILDING FOR A SINGLE DWELLING. MIN. LANDSCAPE (0.60 X 10,954.75m²)= 6,572.85m²

MIN. REQUIRED SOFT LANDSCAPE IN FRONT OF THE **BUILDING LINE = 6,572.85m²**

NORTHERN BEACHES COUNCIL PITTWATER 21 DCP-PART C1.7 - PRIVATE OPEN SPACE

NOTE: MINIMUM OF **80m**² OF PRIVATE OPEN SPACE IS REQUIRED PER DWELLING. PRIVATE OPEN SPACE IS CALCULATED AT GROUND LEVEL WITH NO DIMENSION LESS THAN 3m.

EXISTING PRIVATE OPEN SPACE - COMPLIES

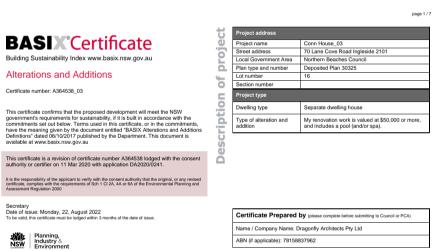
PROPOSED PRIVATE OPEN SPACE - COMPLIES

LANDSCAPE PLAN:

NOTE: A LANDSCAPING PLAN IS NOT REQUIRED BECAUSE OF THE FOLLOWING:

1. The proposal does not cause any substantial change to the visual character of the site.

2. Existing vegetation and trees are to be retained.



ASIX Certificate number: A364538,03			page 2
Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank			
The applicant must install a rainwater tank of at least 1328 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	~	~
The applicant must configure the rainwater tank to collect rainwater runoff from at least 80 square metres of roof area.		✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.		~	✓
Outdoor swimming pool			
The swimming pool must be outdoors.	V		✓
The swimming pool must not have a capacity greater than 51 kilolitres.	✓	~	✓
The swimming pool must have a pool cover.		✓	✓
The applicant must install a pool pump timer for the swimming pool.		✓	✓
The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.		V	_

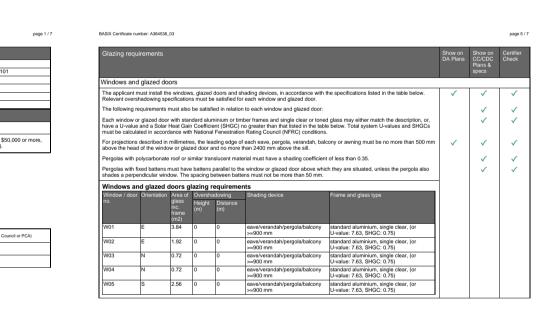
Planning, Industry & Environment

ASIX Certificate number: A364538_03			page 3 /
Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Hot water			
The applicant must install the following hot water system in the development: electric heat pump system that is eligible to create Renewable Energy Certificates under the (Commonwealth) Renewable Energy (Electricity) Regulations 2001 (incorporating Amendment Regulations 2005 (No. 2):	~	~	✓
Lighting		•	•
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		~	✓
Fixtures		•	
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		V	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		/	

ASIX Certificate number: A364538_03					page 4 / 7
Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
nsulation requirements					
The applicant must construct the new or altered the table below, except that a) additional insulat is not required for parts of altered construction v	ion is not required where the area of new cons		✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
concrete slab on ground floor.	nil				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
flat ceiling, pitched roof	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)			

30/08/2022

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ASIX Certificate nur	nber: A364538_	03							page 6 /
Glazing requ	irements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Oversha Height (m)	dowing Distance (m)	Shading device	Frame and glass type			
W06	S	2.56	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W07	S	2.56	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D01	W	4.62	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D02	E	2.31	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	71		
D03	N	6.3	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	71		
D04	N	6.3	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

ASIX Certificate number: A364538_03	page 7 / 7
Legend	
In these commitments, "applicant" means the person carrying out the development.	
Commitments identified with a "\sigma" in the "Show on DA plans" column must be shown on the plans accompanying the development app development application is to be lodged for the proposed development).	lication for the proposed development (if a
Commitments identified with a "\" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accredificate / complying development certificate for the proposed development.	ompanying the application for a construction
Commitments identified with a "\sqrt in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before development may be issued.	ore a final occupation certificate for the





SANDSTONE CLADDING NO CHANGE TO DA APPROVAL.

ROOF TILES

APPROVAL

POSTS AND BALUSTRADE

APPROVAL

NO CHANGE TO DA

EXTERNAL TIMBER

NO CHANGE TO DA

DOWNPIPES & GUTTERS NO CHANGE TO DA APPROVAL.

EXTERNAL LIGHTWEIGHT WALLS

PAINT - BEIGE, WHITE OR GREY TONES (NO CHANGE TO DA APPROVAL)

WINDOWS AND DOOR ALUMINIUM FRAMES

POWDERCOATED - MID-DARK GREY/BEIGE OR WHITE TONES (NO CHANGE TO DA APPROVAL)



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BUSHFIRE REQUIREMENTS: Refer to bushfire assessment report and Australian Standards for BAL29.

FRONT

515.79

LANDSCAPE PROPOSED

9,884.00

10,399.79 m²

515.79

9.884.00

8,092.07

199.39

18,725.25 m²

34.00

AREA

AREA

NAME

NAME

EXTERNAL VIEW 6



Architect - Catherine Seeto - Reg. 8345

BAL 29 RATED DECKING

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LANDSCAPE CALCULATIONS. FINISHES **SCHEDULE AND BASIX**

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