

# **ACTION PLANS**

## **STATEMENT OF ENVIRONMENTAL EFFECTS**

**DEVELOPMENT APPLICATION FOR ALTERATIONS AND ADDITIONS  
AT 27 GRACE AVENUE, FRENCHS FOREST NSW 2086**



No. 27 GRACE AVENUE, FRENCHS FOREST NSW 2086  
STREET VIEW

Client Alex & Amy Beck  
December 2020

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# 01 Property Description

The subject property legally identified as Lot 10 within DP 20461 and is known as 27 Grace Avenue, Frenchs Forest. The site is zoned R2 Low Density Residential pursuant to Warringah Local Environmental Plan 2011. The site is not identified as containing any items of environmental heritage. The site is identified as being affected by Landslip risks area A & B.

# 02 Site Description

The site is legally identified as Lot 10 within DP 20461 and is known as 27 Grace Avenue, Frenchs Forest. The site is located on the eastern side of Grace Avenue. The site has an area of 771.4m<sup>2</sup> and is rectangular in shape with a street frontage (front boundary) of 21.335 meters to Grace Avenue. The southern boundary (side boundary) has a length of 36.315 meters, the eastern boundary (rear boundary) has a length of 21.335 meters and the northern boundary (side boundary) has a length of 36.575 meters.

The site slopes gradually from east to west with a change in level of approximately 1390mm.



Fig 1: Subject site outlined in red (Google maps 2020).

The property currently accommodates a single storey dwelling with a single car garage and carport. The existing house is constructed with a combination of double brick, brick veneer, single brick & light weight timber frame. The existing roof is a combination of terracotta tile & sheet metal.

Other site works include a paved driveway, a paved front porch, covered tiled area in the rear yard. Paved patio and weatherboard shed with metal roof.



Fig 2: 27 Grace Avenue as seen from the street. (Action Plans 2020).



Fig 3: Paved front porch area. (Action Plans 2020).



Fig 4: View of the rear covered tiled area and garage. (Action Plans 2020).



## 03 Adjoining Property

The surrounding area predominantly consists of single or two storeys residential dwellings. The adjoining property to the south, 29 Grace Avenue, is a single storey brick residence with a tiled roof and vehicular access from Grace Avenue. To the immediate north, the property adjoins a pathway which links from Grace Avenue to Forest Way. The nearest northern neighbour is 25 Grace Avenue, which is a single storey brick residence with tiled roof. The property has vehicular access from Grace Avenue.



Fig 5: No. 29A Grace Avenue as seen from Grace Avenue (*Action plans 2020*).



Fig 6: No. 25 Grace Avenue as seen from Grace Avenue (*Google maps 2020*).

## 04 Description of proposed Works

The proposal seeks consent for alterations and additions to the existing dwelling at No. 27 Grace Avenue.

The proposed works include:

### Ground floor:

- Reconfiguration of ground floor.
- Extension to include open plan kitchen, living & dining.
- New Garage.
- New hardstand.
- Minor layback, crossover & driveway extension
- Proposed deck and inground pool.
- Roof to be re-sheeted.

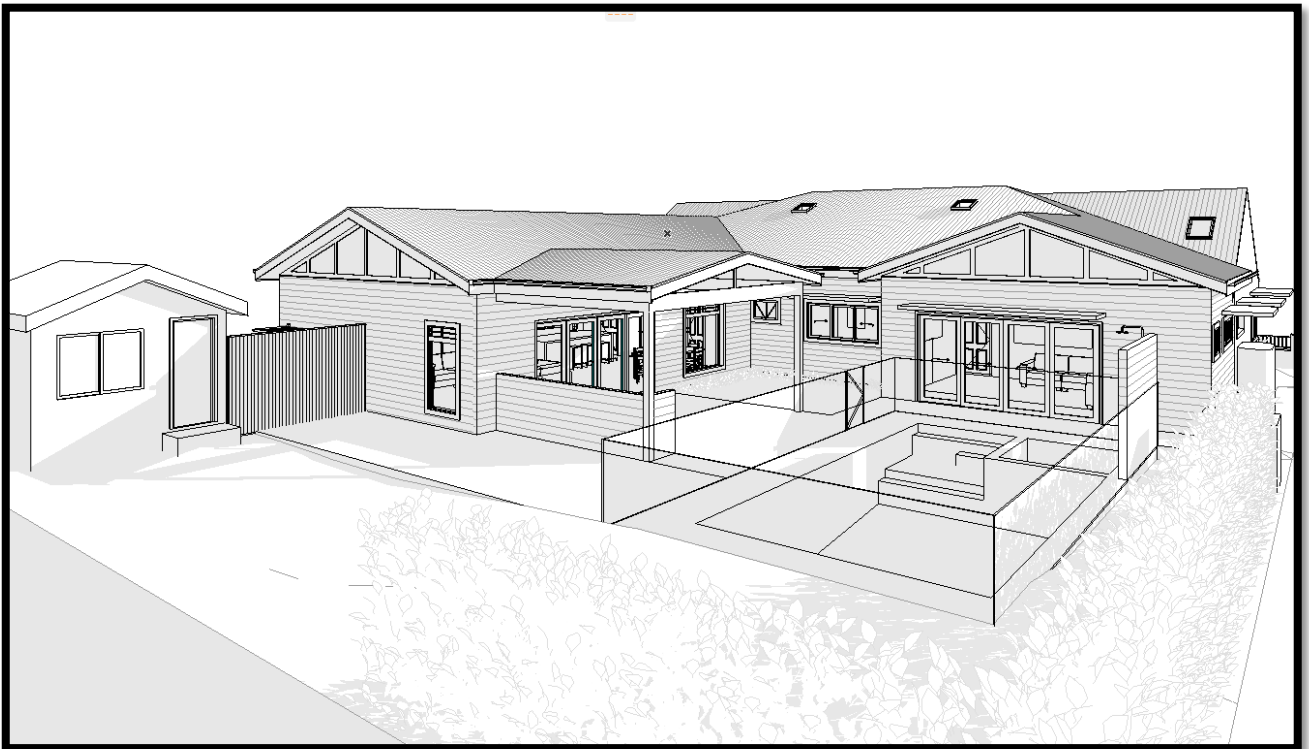


Fig 7: Proposed works at No. 27 Grace Avenue. (*Action Plans 2020*).

## 05 Area and Compliance Summary

Site Information and Building Controls	Control	Existing	Proposed
Zoning	Zone R2	Zone R2	Unchanged
Site area	450m <sup>2</sup>	771.4m <sup>2</sup>	Unchanged
Frontage	12.19m	21.335m	Unchanged
Number of stories	Not identified	N/A	N/A
Maximum building height	8.50 metres	5.835m	6.091m
Front Building Setback	6.5m	8.519m	8.496 m
Rear Building Setback	6.0m	17.503m	7.219m
Min. side boundary setback (North)	0.9m	1.194m	Unchanged
Min. side boundary setback (South)	0.9m	5.149m	0.906m
Landscaping Open Space:	40% (308.56m <sup>2</sup> )	43.1% (332.5m <sup>2</sup> )	40.9% (315.8m <sup>2</sup> )
Private Open Space	60m <sup>2</sup>	75.61m <sup>2</sup>	60m <sup>2</sup>

## 06 Planning Assessment

### STATUTORY PROVISIONS

#### Warringah Environmental Plan (WLEP) 2011

##### Permissibility

The site is zoned R2 Low Density Residential pursuant to the land use table of The Warringah Local Environmental Plan 2011. The proposed works being alterations and additions to the existing dwelling are permissible with development consent.

The proposal satisfies the objectives of R2 Low Density Residential as the proposal for alterations and additions to a single dwelling which maintains the low density residential environment and does not adversely affect adjoining properties, the landscape setting of the existing dwelling or the streetscape.

### 6.1 Principal Development Standards

#### 6.1.1. Height of Buildings (WLEP Clause 4.3)

Pursuant to Clause 4.3 the maximum height requirement is 8.5 metres. The proposal does alter the height of the existing building; however, proposal is compliant with the development standard.

##### Response to the objectives of this clause:

The proposal is an appropriate form of development, which is compatible with the height and scale of the surrounding development. The proposal does not result in any significant visual impacts upon adjoining neighbouring properties and does not adversely affect visual privacy of adjoining properties. The proposal is consistent with the objectives of Clause 4.3 of the Warringah LEP 2011.

## 6.2. Additional Local Provisions

### 6.2.1 Acid Sulphate Soils (LEP Clause 6.1)

The site is not identified as having acid sulphate soils on the Acid Sulphate Soils map.

### 6.2.2 Earthworks (LEP Clause 6.2)

The proposal does require earthworks. Excavation is required to allow for the inground pool and footings for the new rear house extension and associated deck. A Geotechnical has been prepared and should be read in conjunction with plans & this report.

### 6.2.3 Flood Planning (LEP Clause 6.3)

Not applicable.

### 6.2.4 Development on Sloping Land (LEP Clause 6.4)

The subject site is identified as a landslide risk on the Landslide Risk Map as Area A & B—Slopes less than 5 degrees & Flanking Slopes from 5 to 25 degrees. A Geotechnical has been prepared and should be read in conjunction with plans & this report.

### 6.2.5 Coastline Hazards (LEP Clause 6.5)

Not applicable.

# 07 RESPONSE TO THE WARRINGAH DCP 2011

## 7.1 Compliance table

Existing Site Area = 771.4m <sup>2</sup>		
DCP COMPLIANCE TABLE SECTION A - Part 4 Dwelling houses		
Development control	Proposed	Complies
Part B – Built Form Controls		
<b>B1 – Wall Heights</b> Walls are not to exceed 7.2 meters from ground level (existing) to the underside of the ceiling on the uppermost floor of the building (excluding habitable areas wholly located within a roof space).	The proposed walls do not alter the existing wall height of 3.353m.	Yes
<b>B2 – Number of Storeys</b>	Not identified on map.	Not applicable.
<b>B3 – Side Boundary Envelope</b> Buildings must be sited within a building envelope determined by projecting planes at 45 degrees from a height above ground level (existing) at the side boundaries of 4 metres as identified on the map.	The proposed Southern gable end roof eave has a minor encroachment within the 4m side boundary envelope. However, this is considered to be acceptable.	Yes
<b>B4 – Site Coverage</b>	Not applicable.	Not applicable.



<b>B5 – Side Boundary Setbacks</b> Minimum 0.9 metres	North = 1.194 metres unchanged  South = 5.149 metres 0.906 metres	<b>Yes</b> The setback along the Southern side boundary is unchanged with this proposal.  <b>Yes</b> The setback along the Southern side boundary is changed with this proposal and is within the minimum side setback.
<b>B6 – Merit assessment of Side Boundary Setbacks</b>	Not applicable.	<b>Not applicable.</b>
<b>B7 – Front Boundary Setback</b> Minimum 6.5 metres	8.519 metres 8.496 metres	<b>Yes</b> The front setback is changed with this proposal and falls within the minimum setback required.
<b>B8 – Merit assessment of front boundary setbacks</b>	Not applicable.	<b>Not applicable.</b>
<b>B9 – Rear Boundary Setbacks</b> Minimum 6.0 metres	17.503 metres 7.7219 metres	<b>Yes</b> All proposed works are located behind the rear setback.
<b>B10 – Merit Assessment of Rear Setbacks</b>	Not applicable.	<b>Not applicable.</b>
<b>B11 – Foreshore Building Setback</b>	Not applicable.	<b>Not applicable.</b>
<b>B12 – National Parks Setback</b>	Not applicable.	<b>Not applicable.</b>
<b>B13 – Coastal Cliffs Setback</b>	Not applicable.	<b>Not applicable.</b>
<b>B14 – Main Roads Setback</b>	Not applicable.	<b>Not applicable.</b>
<b>Part C – Siting Factors</b>		
<b>C1 – Subdivision</b> 1.R2 Low Density Residential zone requirements: Proposed new allotments: a) Minimum width: 13 metres b) Minimum depth: 27 metres; and c) Minimum building area: 150m2	Not applicable	<b>Not applicable</b>
<b>C2 – Traffic, Access and Safety</b> Vehicular crossing to be provided in accordance with Council's Vehicle Crossing Policy. Vehicle crossing construction and design is to be in accordance with Council's Minor works specification.	The existing vehicle layback and crossover is to be extending by approximately 2.4m to the north to allow for ease of access. The existing driveway and foot kerb are to be maintained and made good to council's specifications.	<b>Yes</b>
<b>C3 – Parking Facilities</b> Garage doors and carports are to be integrated into the house design and to not dominate the façade. Parking is to be located within buildings or on site. Parking is to be located so that views of the street from front windows are not obscured; and where garages and carports face the street, the garage or carport opening must not exceed 6 metres or 50% of the building width, whichever is the lesser.	The proposed works includes a new single enclosed car garage and oversized hardstand parking space forward of the garage.	<b>Yes</b>

<b>C4 – Stormwater</b> To be provided in accordance with Council's Stormwater Drainage Design Guidelines for Minor Developments & Minor Works Specification.	All collected stormwater within the proposal to drain to the existing drainage system. Refer to stormwater management plan.	<b>Yes</b>
<b>C5 – Erosion and Sedimentation</b>	Soil and Water Management required.	<b>Yes</b> A Soil Erosion Management Plan has been prepared and is included in the submission to Council.
<b>C6 - Building over or adjacent to Constructed Council Drainage Easements</b> The objective of this policy is to ensure efficient construction, replacement, maintenance or access for emergency purposes to constructed public drainage systems located within private property.		<b>Yes</b>
<b>C7 - Excavation and Landfill</b> Land excavation or fill work should not have an adverse effect upon the visual and natural environment or adjoining and adjacent properties, or create airborne pollution. The integrity of the physical environment should be preserved, as well as the visual and scenic quality.	The proposal does not require extensive earthworks. Excavation is required for the proposed inground pool as well as footings for the rear extensions and associated timber decking.	<b>Yes</b>
<b>C8 – Demolition and Construction</b> Waste management plan required.	Refer to the Site/Sediment Erosion, Waste management and materials handling Plan DA02.	<b>Yes</b>
<b>C9 – Waste Management</b> Waste storage area to be provided.	Refer to the Site/Sediment Erosion, Waste management and materials handling Plan DA02.	<b>Yes</b>

**Part D – Design**

<b>D1 – Landscaped Open Space and Bushland</b> Min 40% Landscaped Area to be maintained.	The existing landscaped open space measures 43.1% (332.5m <sup>2</sup> ). The proposal decreases this by 2.2% (16.7m <sup>2</sup> ) and measures 40.9% (315.8m <sup>2</sup> ).	<b>YES</b>
<b>D2 - Private Open Space</b> Dwelling houses with 3 or more bedrooms Min 60m <sup>2</sup> with minimum dimension = 5m.	The proposal decreases the Private Open Space Area from 75.61 to 60m <sup>2</sup>	<b>YES</b>
<b>D3 - Noise</b>	Mechanical noise is to be attenuated to maintain adjoin unit amenity. Compliance with NSW Industrial Noise Policy Requirements	<b>Not applicable.</b>
<b>D4 – Electromagnetic Radiation</b>	Not applicable.	<b>Not applicable.</b>
<b>D6 – Access to sunlight</b> The controls require that sunlight to at least 50% of the private open space of both the subject and adjoining properties private open space receives not less than three hours sunlight between 9am – 3pm on 21 June winter solstice.	The proposal does not result in any additional over shadowing to the southern neighbours private open space and is largely falling onto the driveway for No. 29a & No. 29 Refer to Shadow Diagrams included in DA package. DA10-DA12	<b>Yes</b>
<b>D7 – Views</b> View sharing to be maintained.	The proposal does not result in loss of views for any of the adjoining neighbouring buildings.	<b>Yes</b>
<b>D8 – Privacy</b> This clause specifies that development is not to cause unreasonable overlooking of habitable rooms and principle private open space of adjoining properties.	The proposed decks do not overlook on the private open spaces of the adjoining properties. The existing vegetation and fences also contribute to retain the privacy.	<b>Yes</b>
<b>D9 – Building Bulk</b> This clause requires buildings to have a visual bulk and architectural scale that is consistent with structures on nearby properties & not to visually dominate the street.	The additions are well articulated, maintain the existing setbacks to the adjoining property boundaries and do not result in any unreasonable bulk or scale.	<b>Yes</b>
<b>D10 – Building Colours and materials</b> External finishes and colours sympathetic to the natural and built environment.	External finishes selected to be compatible with the existing dwelling.	<b>Yes</b>

<b>D11 – Roofs</b> The LEP requires that roofs should not dominate the local skyline. Roofs should complement the roof pitch and forms of the existing buildings in the streetscape. Roofing materials should not cause excessive glare and reflection.	The proposed roof is of an appropriate form & scale to that of the existing building.	<b>Yes</b>
<b>D12 – Glare and Reflection</b> Glare impacts from artificial illumination minimised. Reflective building materials to be minimized.	The proposal will not result in unreasonable glare or reflection.	<b>Yes</b>
<b>D13 - Front Fences and Front Walls</b> Fences located within the street setback area are to be compatible with the existing streetscape character.	The proposed widening of the driveway results in a small portion of the front fence being demolished and made good. The existing sandstone will be used on site for landscaping where possible..	<b>Yes</b>
<b>D14 – Site Facilities</b> Site facilities including garbage and recycling enclosures, mail boxes and clothes drying facilities are to be adequate and convenient for users and services and are to have minimal visual impact from public places	Garbage storage areas and other facilities maintained.	<b>Yes</b>
<b>D15 – Side and Rear Fences</b> Side and rear fences to be maximum 1.8m and have regard for Dividing Fences Act 1991.	Existing side fences compliant and retained as they are.	<b>Yes</b>
<b>D16 – Swimming Pools and Spa Pools</b> Pools are not to be located in the front building setback.	The proposal includes a combined in ground concrete pool & spa located in the north eastern corner.	<b>Yes</b>
<b>D17 – Tennis Courts</b>	Not Applicable	<b>Not Applicable</b>
<b>D18 – Accessibility</b> Safe and secure access for persons with a disability to be Provided where required.	Not Applicable	<b>Not Applicable</b>
<b>D19 – Site Consolidation in the R3 and IN1 Zone</b>	Not Applicable	<b>Not Applicable</b>
<b>D20 – Safety and Security</b> Buildings to enhance the security of the community. Buildings are to provide for casual surveillance of the street	The dwelling will maintain a good outlook of dwelling approach and street.	<b>Yes</b>
<b>D21 – Provision and Location of Utility Services</b> The location of utility services should take account of and minimise any impact on natural features such as bushland and natural watercourses.	Existing facilities on site.	<b>Yes</b>
<b>D22 – Conservation of Energy and Water</b>	The proposal makes the best use of natural ventilation, daylight and solar energy.	<b>Yes</b>
<b>D23 – Signs</b> Building identification signage to be appropriate for proposed use and not to impact on amenity of surrounding locality. Signs not to obscure views or potentially hazardous road features or traffic control devices.	Not Applicable	<b>Not Applicable</b>



<b>Part E – The Natural Environment</b>		
<b>E1 – Private Property Tree Management</b> An Arboricultural report has be provided to support development where impacts to trees are presented.	The proposal requires the removal of an xylosma spp. Refer to arboricultural report.	<b>Yes</b>
<b>E2 – Prescribed Vegetation</b>	Not identified on map	<b>Not applicable</b>
<b>E3 – Threatened species, populations, ecological communities</b>	Not identified on map	<b>Not applicable</b>
<b>E4 – Wildlife Corridors</b>	Not identified on map	<b>Not applicable</b>
<b>E5 – Native Vegetation</b>	Not identified on map	<b>Not applicable</b>
<b>E6 - Retaining unique environmental features</b> Unique or distinctive features within a site to be retained.	Not applicable	<b>Not applicable</b>
<b>E7 – Development on land adjoining public open space</b>	Not identified on map	<b>Not applicable</b>
<b>E8 – Waterways and Riparian Lands</b>	Not identified on map	<b>Not applicable</b>
<b>E9 – Coastline Hazard</b>	Not identified on map	<b>Not applicable</b>
<b>E10 – Landslip Risk</b> Identified on map as A & B Slopes less than 5 degrees & Flanking Slopes from 5 to 25 degrees.	Due to the amount of excavation required for the proposal, A Geotechnical report has been included and should be read in conjunction with the DA plans and this report.	<b>Yes</b>
<b>E11 – Flood Prone Land</b>	Not identified on map	<b>Not applicable</b>

## 08 EP & A ACT - SECTION 79C

### **The Provisions of any Environmental Planning Instruments**

The proposal is subject to the provisions of the Warringah Local Environmental Plan 2011. The site is zoned R2 Low Density Residential under the provisions of the LEP.

Construction of alterations/additions to the existing dwelling house is permissible with the consent of Council in this zone. It is considered that the provisions of this document have been satisfactorily addressed within this report and that the proposal complies with the relevant provisions.

There are no other environmental planning instruments applying to the site.

### **The Likely Impacts of the Development**

It is considered that the development will provide for alterations/additions to an existing dwelling without any detrimental impact on the environment, social and economic status of the locality.

### **The Suitability of the Site for the Development**

The subject site is zoned R2 Low Density Residential and the construction of alterations/additions to an existing dwelling house in this zone is permissible with the consent of Council. The resultant dwelling is of a bulk and scale that is consistent with the existing surrounding development. For these reasons it is considered that the site is suitable for the proposed development.

### **The Public Interest**

It is considered that the proposal is in the public interest in that it will provide for alterations/additions to an existing dwelling that is consistent with other development in this locality without impacting the amenity of the adjoining properties or the public domain.

## 09 CONCLUSION

Following a review of the relevant planning controls, it is concluded that the proposed development is consistent with the objectives, planning strategies and detailed controls of these planning documents with the exception of those discussed in detail previously in this statement. Consideration has been given to the potential environmental and amenity impacts that are relevant to the proposed development and this report addresses these impacts. Having regard to the benefits of the proposal and taking into account the absence of adverse environmental, social, economic, or heritage related impacts, the application is submitted to The Warringah Council for assessment and granting of development consent.