



Statement of Environmental Effects Building Certificate

16 COSTER STREET, FRENCHS FOREST



Report prepared for
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July 2024

Contents

1. INTRODUCTION
2. THE SITE AND ITS LOCALITY
3. WORKS REQUIRING AUTHORISATION
4. SITE PHOTOS
5. STATUTORY FRAMEWORK
6. NUMERICAL CONTROL TABLE
7. SECTION 4.15
8. CONCLUSIONS

1. Introduction

- 1.1 This is a statement of works and compliance to accompany a Building Information Certificate for alterations and additions to an existing dwelling at 16 Coster Street, Frenchs Forest.
- 1.2 The report describes how the application addresses and satisfies the objectives and standards of the Warringah Local Environmental Plan 2011, the Warringah Development Control Plan and the heads of consideration listed in Section 4.15 of the Environmental Planning and Assessment Act 1979 (as amended).
- 1.3 This statement of environmental effects has been prepared with reference to the following:
- Site visit
 - Site Survey prepared by Burton & Field
 - Architectural drawings prepared by Design House + Drafting Studio
 - Stormwater Certification prepared by Neil & Craig Baker Plumbing
 - Structural Certification prepared by Taylor Consulting
 - Electrical Certification prepared by Matrix Electrical Contractors
 - Cost of works prepared by 3D Building
- 1.4 Development Consent was issued on 22 August 2022 (DA2022/0673) for the construction of a Secondary Dwelling and garage. These works have not yet been constructed.
- 1.5 The unauthorised works are compliant with the objectives of all Council controls, considerate of neighbouring residents and the streetscape and results in improved amenity for the residents of the site. We suggest these works are appropriate development worthy of Council consent.

2. The site and its locality

- 2.1** The subject site is located at the northern end, off the eastern side of Coster Street, approximately 155 metres north of its intersection with Iris Street in Frenchs Forest. The site is legally described as Lot 28 in DP 203735.
- 2.2** The site is irregular in shape with a southern boundary of 35.355 metres (including frontage to Coster Street), side boundaries of 16.56 metres (east) and 16.46 metres (west) and a rear/northern boundary of 33.53 metres. The site has an area of 566.9m².
- 2.3** The site is occupied by a single storey, concrete block dwelling house with a metal roof and a small clad shed with a metal roof. An awning off the southern side of the dwelling provides a covered single car space. The lot slopes approximately 2.2 metres from south-west to north-east.
- 2.4** The property is surrounded by detached residential dwellings to the north, east and south. To the west is Coster Reserve. It is located in close proximity to shops and services on Warringah Road to the south and Northern Beaches Hospital to the south-west.



Figure 1. Aerial Image of the subject site

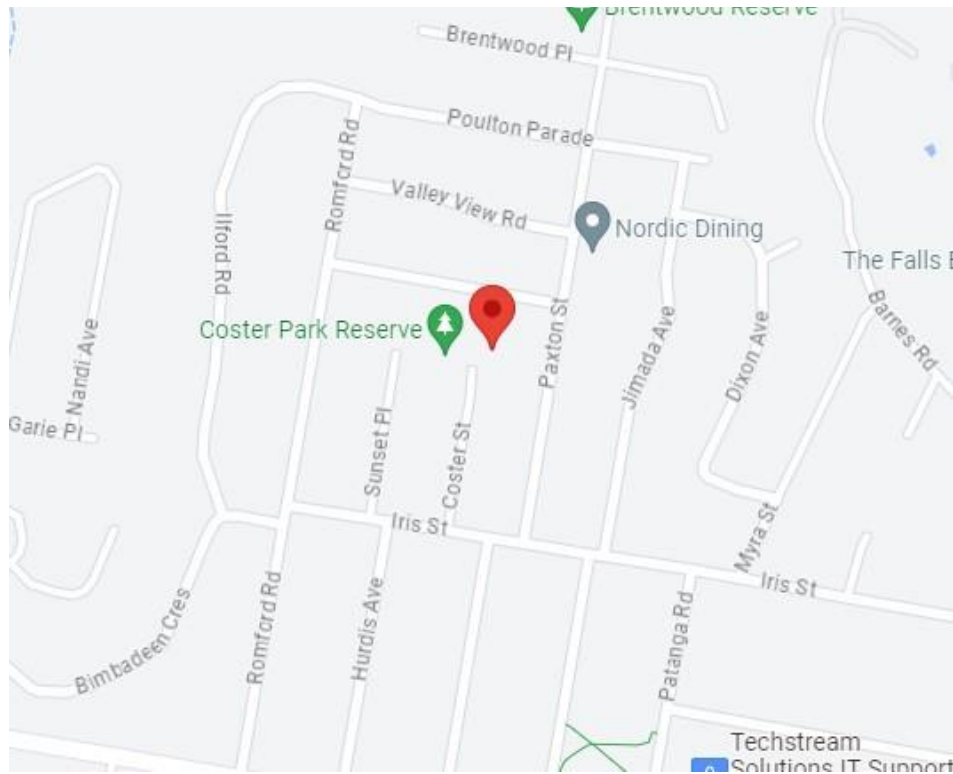


Figure 2. The site within the locality



Figure 3. Aerial Image of the site within the locality

3. Works requiring authorisation

3.1 The unauthorised works include:

Shed

Single storey shed, clad with metal roof, with an area of 19.6m². Attached to the existing dwelling by the unauthorised timber deck.



Figure 4. Looking east at the shed



Figure 5. Looking north west at the shed



Figure 6. Looking west at the shed (eastern side boundary)

A portion of the timber deck

A portion of the timber deck (approximately 28m², being 15% of the ground floor area of the dwelling on the lot *as per State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*) that wraps around the north eastern corner of the dwelling and provides level access to the shed. See Figures 7 and 8 below.

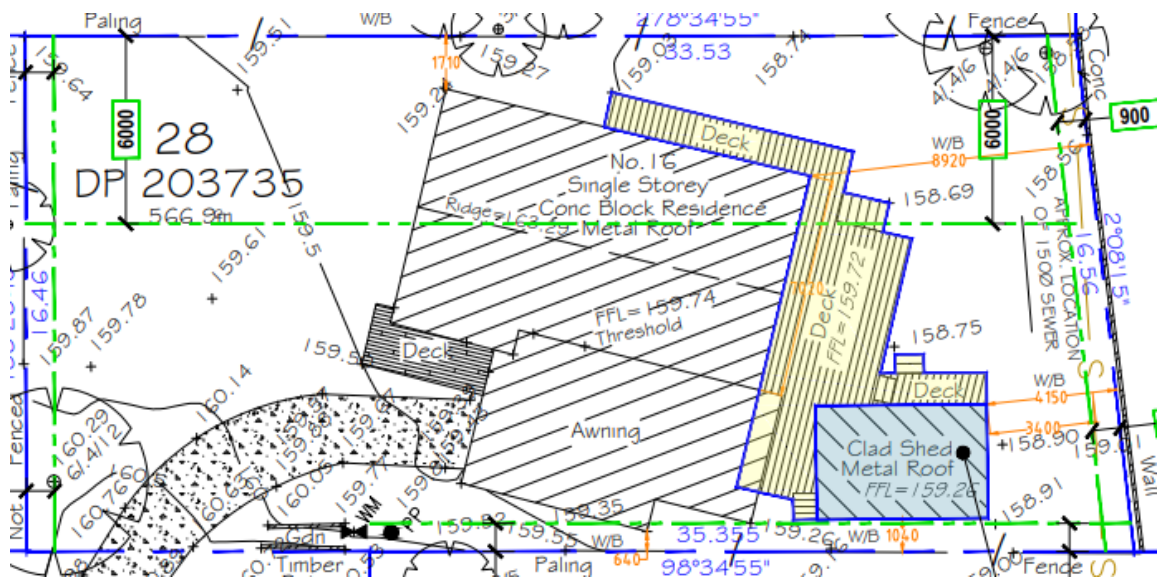


Figure 7. Extract from the attached Architectural Drawings (Site Plan, Sheet 3 of 5 Rev A), showing the location of the deck and shed

16 Coster Street, Frenchs Forest



Figure 10. The deck, looking south east towards the shed

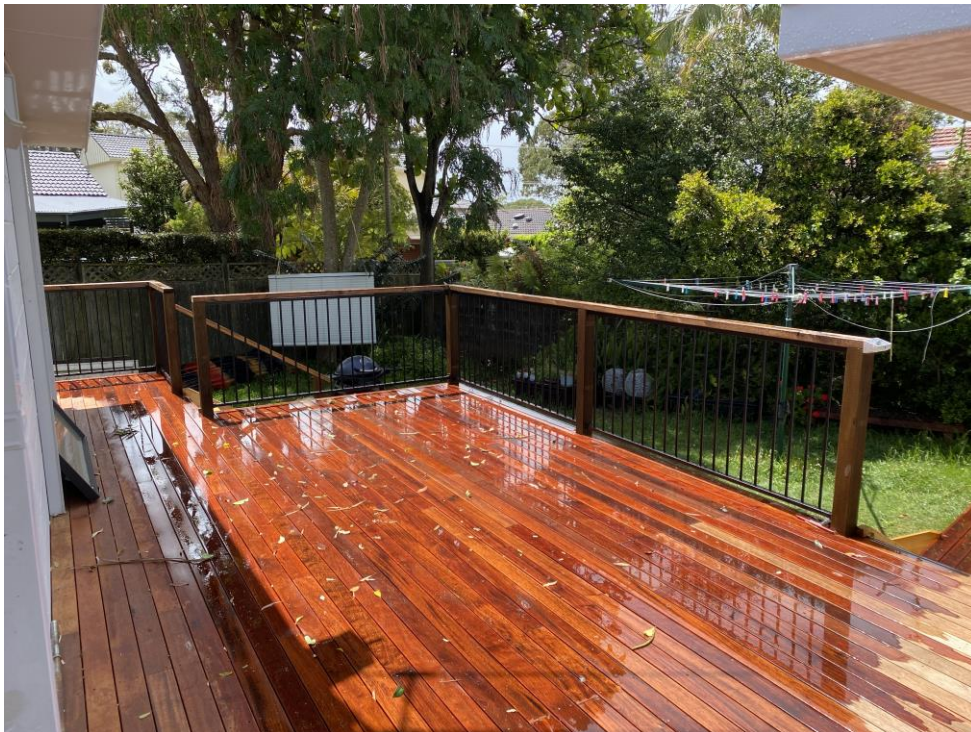


Figure 11. The deck looking north from the eastern side/rear of the dwelling



Figure 12. The deck on the northern elevation/rear of the site (this portion is considered exempt development)

- 3.2 Structural Certification has been provided for the works which were all undertaken by qualified tradesmen. Please see relevant certification that is attached to this application.
- 3.3 All works have been designed to complement and consider the subject site and locality.
- 3.4 The neighbouring properties have not raised any objection to the works that are the subject of this application.

4. Site Photos



Figure 13. The existing dwelling and front yard, looking north-east from Coster Street.



Figure 14. The awning on the southern side of the dwelling.



Figure 15. The shed built at the south eastern corner of the site



Figure 16. Looking north west towards the rear/side yard



Figure 17. Looking west towards the rear/eastern side of the dwelling and attached deck



Figure 18. Looking east towards the rear yard of the neighbouring property at 16 Paxton Street



Figure 19. Looking west towards the awning on the southern side of the dwelling (southern setback)

5. Statutory Framework

5.1 Warringah Local Environmental Plan 2011

The relevant clauses of the Warringah Local Environmental Plan 2011 are addressed below.

Zoning

The site is zoned R2 low density residential, pursuant to the provisions of the Warringah Local Environmental Plan 2011. Residential dwellings and associated works are permitted with consent in the R2 Zone.

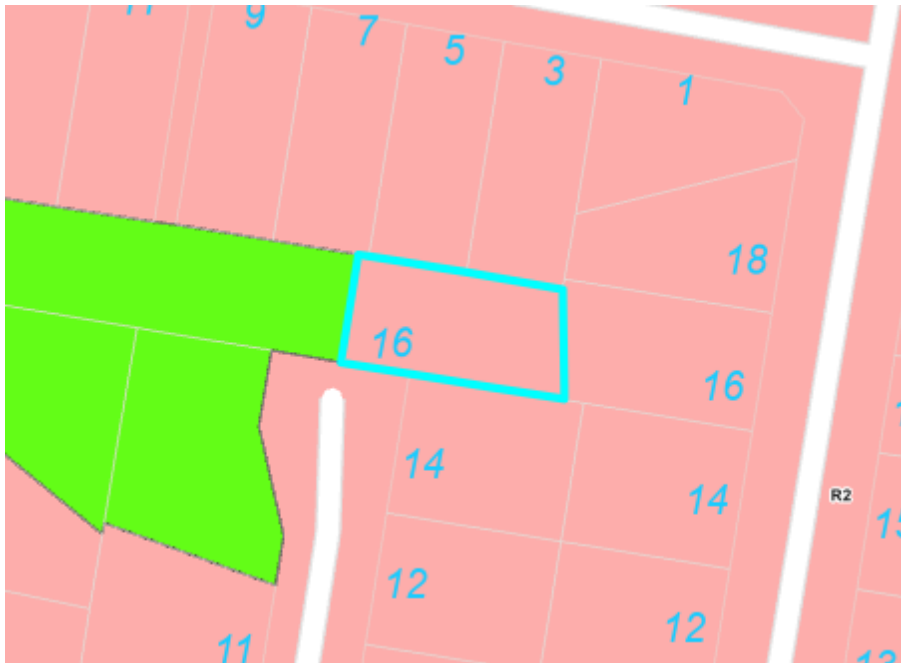


Figure 20. Extract from Warringah LEP 2011 Zoning Map

Height of Buildings

The LEP restricts the height of any development on the subject site to 8.5 metres. The development proposes a compliant maximum building height of 3.35 metres from existing ground level to the top of the roof of the shed TBC.

Floor Space Ratio

The site is not identified on the floor space ratio map.

Heritage Conservation

The site is not a heritage item, is not located within a heritage conservation area and is not located in proximity to a heritage item.

Flood Planning

The site is not identified on the NBC flood hazard map.

Acid Sulfate soils

The site is not identified to contain acid sulfate soils.

Earthworks

The works involved minimal earthworks for footings associated with the alterations and additions subject of the BIC Application.

Development on Sloping Land

The site is located in the area nominated the LEP maps as Area A – Slope <5, where a geotechnical report is not normally required as the slope of the land is minimal.

5.2 Warringah Development Control Plan 2011

The relevant sections of the Warringah DCP 2011 are addressed below.

Part A Introduction

Objectives

The development is entirely consistent with the ecologically sustainable, environmental, social and economic objectives as specified in the DCP. The works are appropriate to the site and the locality and have been designed with fulfilment of these objectives as essential criteria.

Part B Built Form Controls

Wall Heights

A maximum wall height of 7.2 metres is permitted by the DCP. The shed has a maximum wall height of 3.1 metres on the northern side

Side Building Envelope

The site requires a side boundary envelope of 4m/45°. The shed is single storey and complies with this requirement.

Side Boundary Setbacks

Side setbacks of 900mm are permitted on the subject site. Due to the configuration of the lot, the boundary setbacks are not definitive and for the purposes of our assessment we have treated the east, south and west boundaries as side boundaries (and the northern boundary as the rear boundary).

Based on the above interpretation of side boundaries, the development proposes compliant side setbacks of:

Shed

4.15 metres (east)

1.04 metres (south)

Deck

6.03 metres (east)

Front Boundary Setback

A front setback of 6.5 metres to the primary road frontage is required on the site. Due to the configuration of the lot, it is considered that the front setback requirement is not applicable to the site.

Rear Boundary Setback

The DCP requires a minimum rear setback of 6 metres on the subject site. As stated above, our assessment has considered the northern boundary as the rear setback. The deck is setback 1.81 metres from the northern property boundary. However, if the northern boundary were to be considered the side boundary, the proposed setback is also considered acceptable.

It is noted that the portion of the deck that is considered to be exempt development complies with the required 900mm setback as stipulated within the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008

The variation to the northern setback for the remaining portion of the deck is considered appropriate, in this case, as the development remains consistent with the objectives of the control, despite the variation, as addressed below:

Objectives of the control:

- *To create a sense of openness.*

Comment

The non-compliance to the side boundary is through the provision of an open and narrow raised timber deck. The proposed deck, with open balustrading, no side walls or screening will maintain the sense of openness in the location.

- *To maintain the visual continuity and pattern of buildings and landscape elements.*

Comment

The timber deck is complementary to the appearance of the existing dwelling. It is not visible from the street. Mature vegetation along the northern side of the dwelling was unaffected by the construction of the deck. See Figure 20 below.

- *To protect and enhance the visual quality of streetscapes and public spaces.*

Comment

The deck is not visible from Coster Street or the adjoining public reserve.

- *To achieve reasonable view sharing.*

Comment

A site visit has been undertaken and it is considered there will be no impact on any views.



Figure 21. The northern/rear setback showing the deck (a portion which is exempt development) and the existing mature vegetation along this boundary

Part C Siting Factors

Parking Facilities

No impact from the unauthorised works.

Stormwater

Stormwater runoff resulting from the development has been connected to existing drainage infrastructure. See stormwater certification attached.

Waste Management

No impact from the unauthorised works.

Part D Design

Landscaping and Open space and bush land setting

The DCP requires 40% landscaping on the site which is equivalent to 226.76m² for the site area of 566.9m². The development results in an easily compliant landscaped area of 52.9% or 300.3m². ***Note: open space areas with a dimension of less than 2 metres are excluded from the calculation, landscaped open space calculation will need updating but should still comply. The triangular area adjacent to the deck (north of driveway) at the south western corner of the dwelling will need to be deleted.***

Private open space

The DCP requires a minimum 60m² private open space (with minimum dimensions of 5 metres) and the development provides a compliant private open space area for the enjoyment of residents.

Noise

No impact from the unauthorised works.

Access to sunlight

No impact from the unauthorised works.

Views

A site visit has been undertaken and it is concluded the development will not result in any view loss impacts.

Privacy

The works will have no impact for neighbour's visual privacy with no direct overlooking to private open space or any key living areas. The shed is single storey and includes only one high sill window on the southern side where it sits closest to the southern/side property boundary. Existing side boundary fencing and vegetation will ensure that privacy will be retained for neighbours.

Building Bulk

The development does not add inappropriate bulk to the building and the existing dwelling retains an appropriate presentation to Coster Street.

Building Colours and Materials

The chosen building materials complement the existing dwelling. All materials and finishes complement the residential surrounds and are consistent with a modern finish.

Roofs

The shed has a flat roof form to minimise its visual impact within the lawn area.

Glare & Reflection

Materials have been chosen to ensure no glare or reflection issues.

Site Facilities

All site facilities including a bin storage area, mailbox and clothes drying facility are provided on the site.

Side and Rear Fences

The DCP requires a maximum side and rear fence height of 1.8 metres. No changes are proposed to existing boundary fencing.

Safety and Security

An ability to view the street frontage is retained which is to the benefit of safety and security of residents.

Part E The Natural Environment

Preservation of Trees or Bushland Vegetation

The development did not result in the removal of any significant trees.

Wildlife Corridors

The site is not identified as a wildlife corridor.

Retaining unique Environmental Features

There are no significant environmental features on the site.

Waterways and Riparian Lands

There will be no impact on waterways or riparian lands in the locality.

Landslip Risk

The site is located in the area nominated in the LEP maps as Area A – Slope <5 and it is considered a geotechnical report is not required due to the minimal risk.

6. Numerical Control Table

The following table provides a summary of the works subject to this BIC Application, in accordance with the relevant numerical planning controls contained in the Warringah LEP 2011 and the Warringah DCP 2011.

	Standard	Proposed	Compliance
Warringah LEP 2011			
Lot Size	600m ²	566.9m ²	Yes – no change
Building Height	8.5 metres	Max building height of shed is 3.1 metres	TBC
Floor Space Ratio	Not identified		
Warringah DCP 2011			
Wall Height	7.2 metres	Max wall height is 2.9 metres on northern side of shed	TBC
Number of Stories	Not identified		
Side Boundary Envelope	4 metres / 45 degrees	Complies	Yes
Site Coverage	Not identified		
Side Boundary Setbacks	0.9 metres <i>Eastern, western and southern boundaries considered to be side setbacks</i>	<u>Shed</u> 4.04m (east) 1.04 (south) TBC <i>Eastern side deck to dwelling</i> 5.93m	Yes Yes
Front Boundary Setback	6.5 metres	N/A	
Rear Boundary Setbacks	6 metres <i>Northern boundary considered rear boundary</i>	Deck on northern side of dwelling 4.04m	Achieves compliance with objectives
Parking	2 spaces	Existing parking to be retained	Yes

	Standard	Proposed	Compliance
Landscaped Open Space and Bushland Setting	40% of lot area (226.76m ² for site area of 566.9m ²)	52.9% or 300.3m ²	Yes
Private Open Space	60m ²	>60m ²	Yes
Solar access	3 hours sunlight to 50% of POS of both subject site and adjoining properties between 9am and 3pm on June 21.	Complies	Yes

7. Section 4.15 Considerations

The subject works have been considered against issues pursuant to Section 4.15 of the Environmental Planning and assessment Act 1979. The development is considered to meet all of these matters and result in an appropriate development, considerate of neighbours, the site, the built and natural environment and the public domain.

8. Conclusions

- 8.1** This Building Certificate application for the unauthorised works, including a portion of the existing timber deck, and a shed, at 16 Coster Street, Frenchs Forest, is appropriate considering all State and Council controls.
- 8.2** When assessed under the relevant heads of consideration of s4.15 of the Environmental Planning and Assessment Act, the development is meritorious and should be granted consent.
- 8.3** Considering all the issues, the fully compliant development is considered worthy of Council's consent.

Planner Declaration

This report was prepared by:

Senior Planner: Susan May-Roberts

Report Version: Final

Document Control Table

Document Purpose:	Statement of Environmental Effects	
Date	Prepared by	Approved by
17/07/2023	Susan May-Roberts Senior Planner	Sarah McNeilly Director

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