

GROUND FLOOR PLAN

GROSS FLOOR AREA - EXISTING	m²
GROSS FLOOR AREA - EXISTING	67.55
	67.55 m²

NOTES  
NO CHANGES TO THE FLOOR PLAN

TRUE NORTH:

NOTES (E & OE)

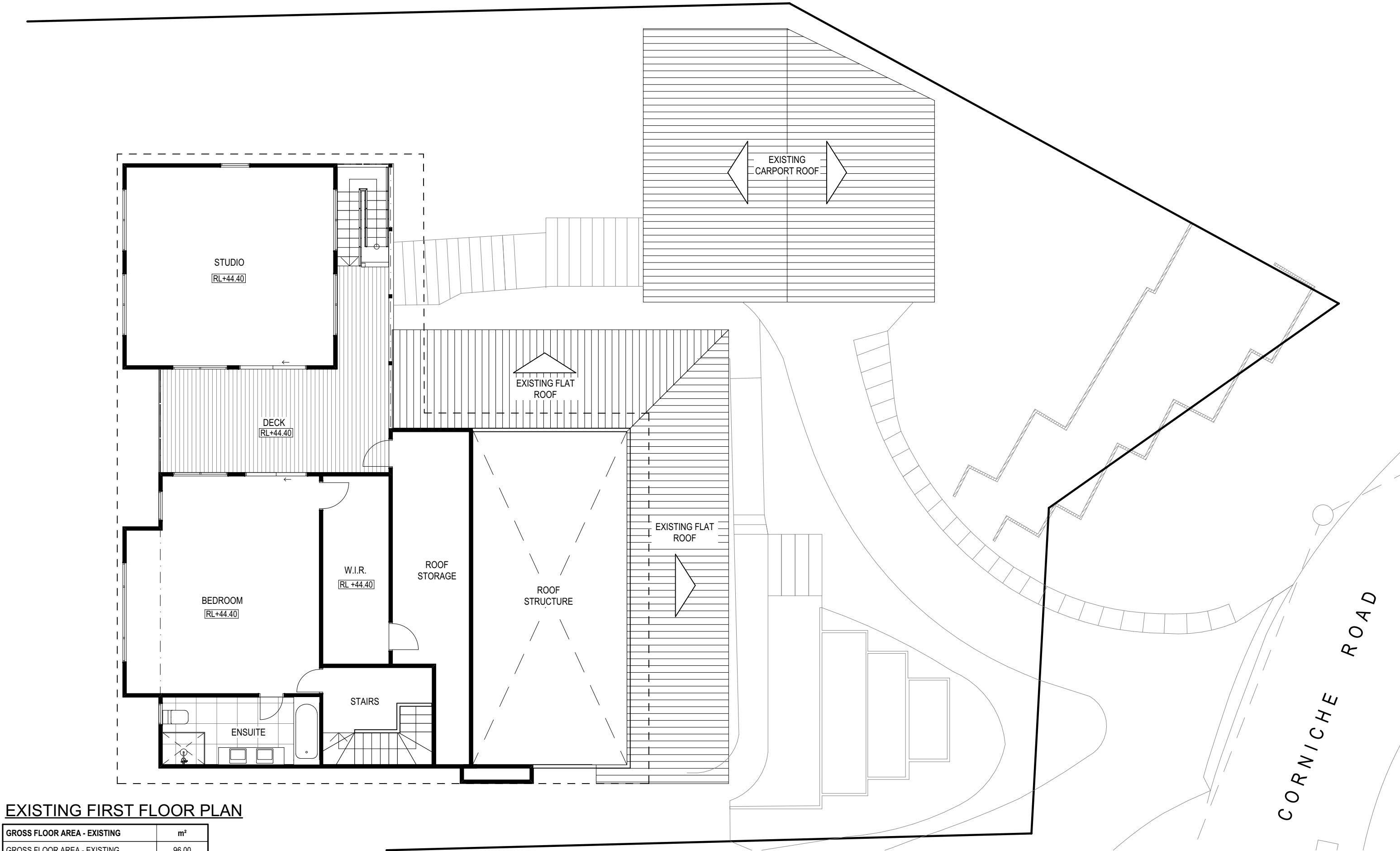
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JJ Drafting

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REV:	DATE:	DESCRIPTION:
A	01.03.21	PRELIM. DRAWINGS UPDATED AS PER CLIENT

PROJECT DETAILS: PROPOSED ALTERATIONS AND ADDITIONS 12 CORNICHE ROAD - CHURCH POINT 2105	DATE: FEB.21	DRAWN BY: LB	SCALE: 1:100 @ A3
DRAWING TITLE: GROUND FLOOR PLAN	JOB No: 871/21	CHECKED BY: JJ	DRAWING No: DA.03



EXISTING FIRST FLOOR PLAN

GROSS FLOOR AREA - EXISTING	m²
GROSS FLOOR AREA - EXISTING	96.00
	96.00 m²

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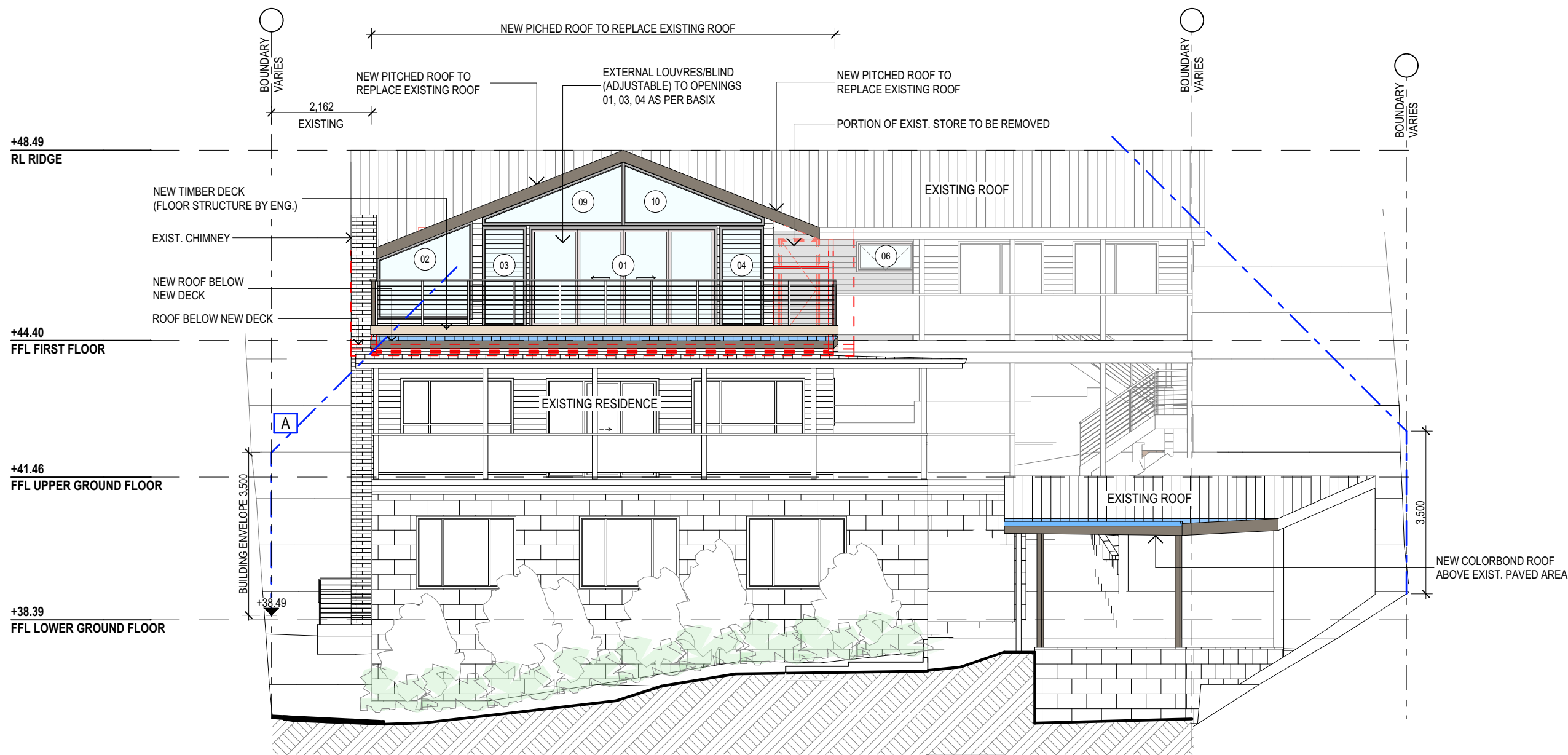
PROJECT DETAILS:  
PROPOSED ALTERATIONS AND ADDITIONS  
12 CORNICHE ROAD - CHURCH POINT 2105

DRAWING TITLE:  
EXISTING FIRST FLOOR PLAN

DATE: FEB.21	DRAWN BY: LB	SCALE: 1:100 @ A3
JOB No: 871/21	CHECKED BY: JJ	DRAWING No: DA.04







NORTH EAST ELEVATION

NOTES (E & OE)

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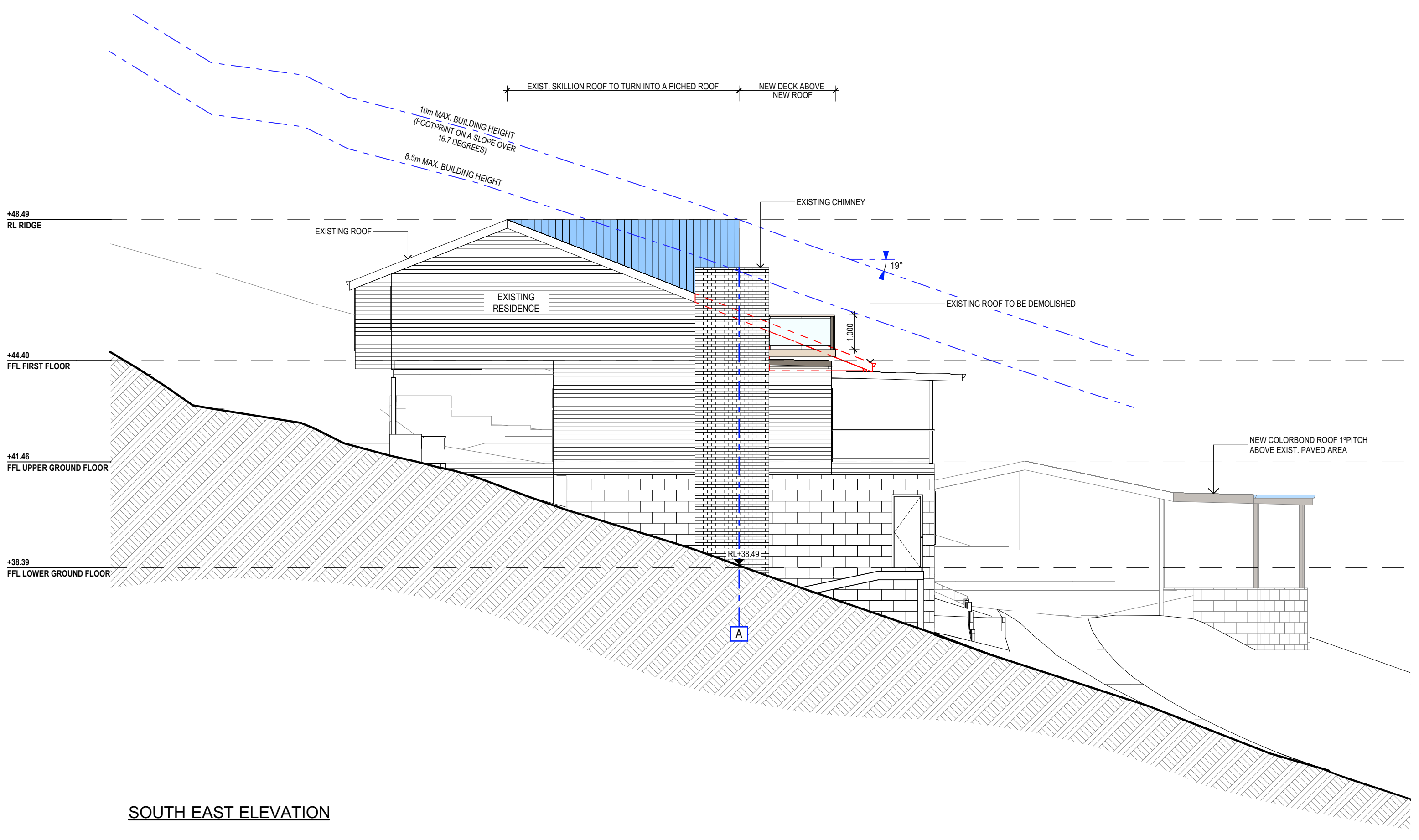
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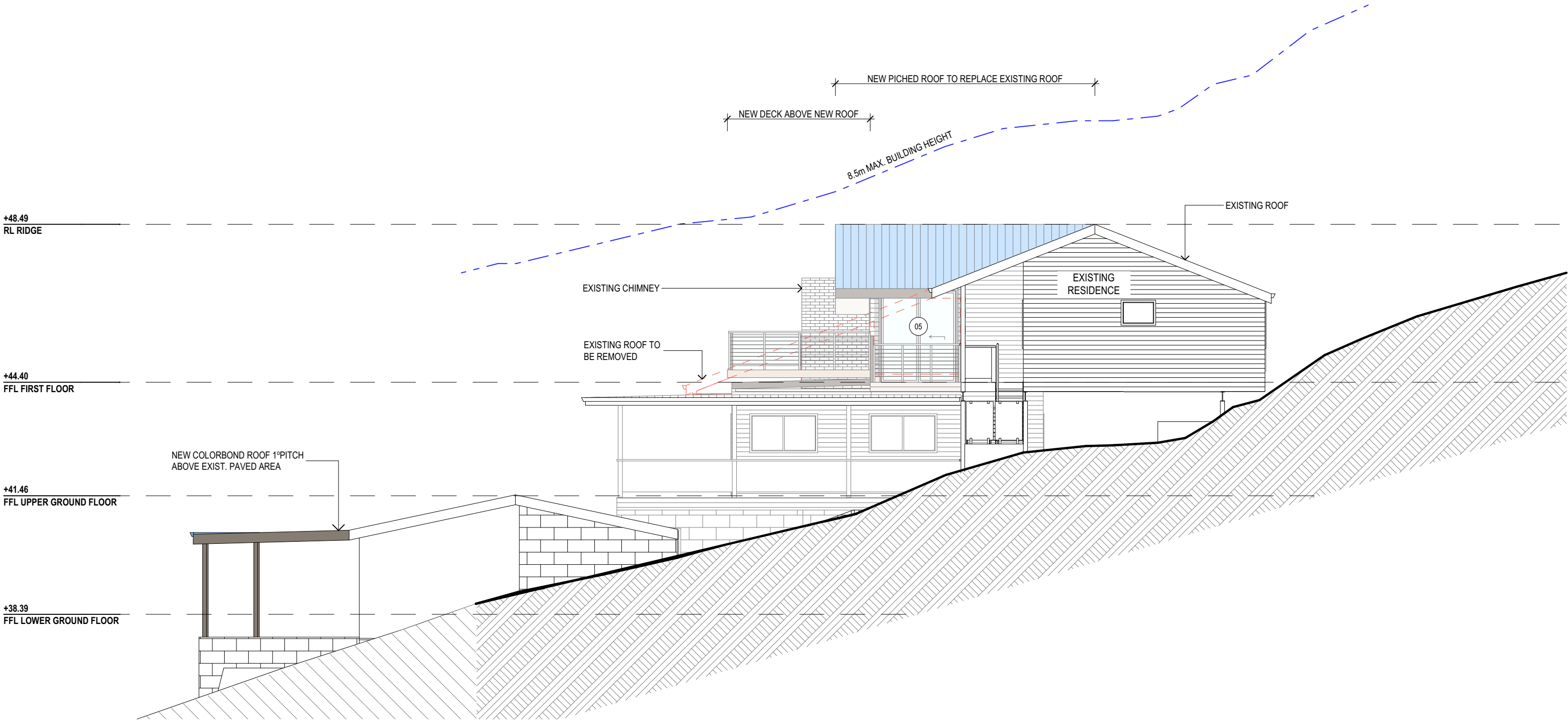
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PROJECT DETAILS: PROPOSED ALTERATIONS AND ADDITIONS 12 CORNICHE ROAD - CHURCH POINT 2105
DRAWING TITLE: NORTH EAST ELEVATION

DATE: XX/21	DRAWN BY: XX	SCALE: 1:100 @ A3
JOB No: 871/21	CHECKED BY: JJ	DRAWING No: DA.06



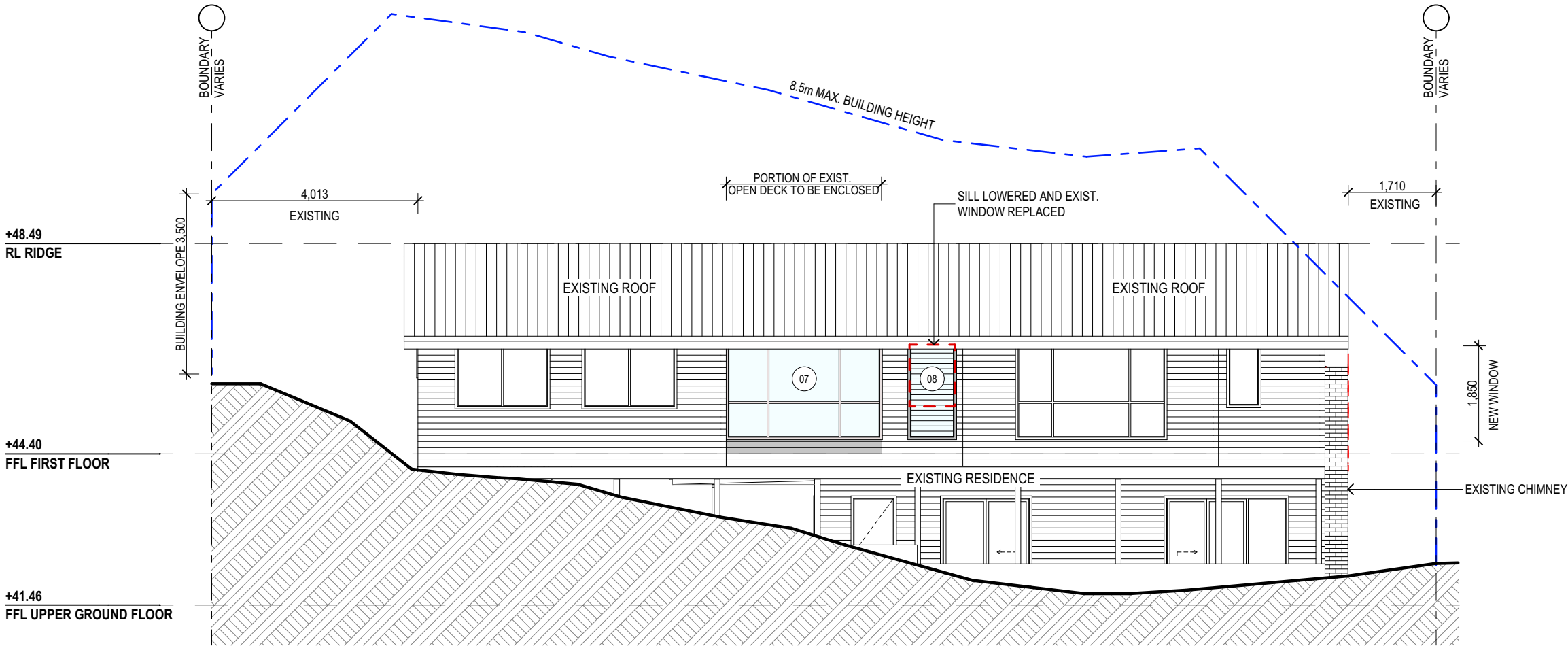
	<b>NOTES</b> (E & OE) <ul style="list-style-type: none"><li>• All structures including stormwater &amp; drainage to engineer's details.</li><li>• Do not obtain dimensions by scaling drawings.</li><li>• All dimensions are to be checked on site prior to starting work.</li><li>• These drawings are to be read in conjunction with all other consultant's drawings and specifications.</li><li>• All workmanship &amp; materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards &amp; local council requirements.</li><li>• New materials are to be used throughout unless otherwise noted.</li><li>• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.</li></ul>	<div><i>JJ Drafting</i></div> <div>174 Garden St, North Narrabeen, NSW, 2101</div> <div>PO Box 687, Dee Why, NSW, 2099</div> <div>Mob. 0414 717 541</div> <div>Email. jjdraft@tpg.com.au</div> <div>www.jjdrafting.com.au</div>	REV:	DATE:	DESCRIPTION:	PROJECT DETAILS:		DATE:	DRAWN BY:	SCALE:
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						DRAWING TITLE:		JOB No:	CHECKED BY:	DRAWING No:
						SOUTH EAST ELEVATION		871/21	JJ	<b>DA.07</b>



NORTH WEST ELEVATION

	<b>NOTES (E &amp; OE)</b> <ul style="list-style-type: none"><li>● All structures including stormwater &amp; drainage to engineer's details.</li><li>● Do not obtain dimensions by scaling drawings.</li><li>● All dimensions are to be checked on site prior to starting work.</li><li>● These drawings are to be read in conjunction with all other consultant's drawings and specifications.</li><li>● All workmanship &amp; materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards &amp; local council requirements.</li><li>● New materials are to be used throughout unless otherwise noted.</li><li>● Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.</li></ul>	<div><i>JJ Drafting</i></div> <div>174 Garden St, North Narrabeen, NSW, 2101</div> <div>PO Box 687, Dee Why, NSW, 2099</div> <div>Mob. 0414 717 541</div> <div>Email. jjdraft@tpg.com.au</div> <div>www.jjdrafting.com.au</div>	REV: A    DATE: 01.03.21    DESCRIPTION: PRELIM. DRAWINGS UPDATED AS PER CLIENT	PROJECT DETAILS: PROPOSED ALTERATIONS AND ADDITIONS 12 CORNICHE ROAD - CHURCH POINT 2105	DATE:  XX/21	DRAWN BY:  XX	SCALE:  1:100 @ A3
				DRAWING TITLE: NORTH WEST ELEVATION	JOB No:  871/21	CHECKED BY:  JJ	DRAWING No:  DA.08





SOUTH WEST ELEVATION

SPECIFICATION NOTES

**INTERNAL LINING**  
- PROVIDE PLASTERBOARD LINING.  
- INSTALL TO MANUFACTURERS SPECIFICATIONS & AS 2589

**EXTERNAL WALLS:**  
- LIGHTWEIGHT TIMBER CLADDING OR SIMILAR TO DWELLING.

**FLOOR:**  
- FIRST FLOOR TO BE TIMBER FRAMED FINISHED WITH T&G HARDWOOD FLOORING.

**WET AREAS:**  
- ALL WATERPROOFING TO AS 3740  
- PROVIDE A GUARANTEED FLEXIBLE WATERPROOF MEMBRANE TO ALL WET AREA FLOORS & SHOWERS  
WALLS TO MANUFACTURES INSTRUCTIONS

**BEARERS AND JOISTS:**  
- SHALL BE INSTALLED TO COMPLY WITH AS1684 AS AMENDED FOR TIMBER COMPONENTS OR AS3620  
FOR LIGHTEIGHT STEEL FRAMING SECTIONS OR AS PER THE NASH ALTERNATIVES TO AS 3623.

**ANT CAPS:**  
- SHALL BE INSTALLED IN ACCORDANCE WITH AS3660.

**PROFILED STEEL ROOF:**  
- NCC VOL.2 PART 3.5.1.  
- DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH AS/NZS 1562.

**ROOFING:**  
- COLORBOND ROOF CLADDING

**CONCRETE:**  
- SHALL BE IN ACCORDANCE WITH NCC VOL.1 PART B1.4 OR VOL.2 PART 3.2.3.  
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE  
AS3600.

**FOOTINGS:**  
- FOOTINGS TO BE IN ACCORDANCE WITH AS1480.  
- FOOTINGS TO BE IN ACCORDANCE WITH NCC VOL.2 PARTS 3.2.3, 3.2.4 AND 3.2.5  
- ALL REINFORCEMENTS SHALL CONFORM TO AS1302, AS1303 AND AS1304.

**CARPENTRY:**  
- TIMBER TO COMPLY WITH AS1170.2 OR AS4055.  
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS1684 AND 1720 AS APPLICABLE.

**TIMBER FRAMING:**  
- TO COMPLY WITH NCC VOL.2 PART 3.4  
- GROUND FLOOR TIMBERS SHALL BE ONLY OF HARDWOOD, CYPRESS PINE OR PRESSURE TREATED  
RADIATA OR CANADA PINE BELOW A HEIGHT OF 300mm ABOVE FINISHED GROUND LEVEL AND MUST NOT  
BE BUILT INTO BRICKWORK.  
- SUBFLOOR VENTILATION SHALL CONFORM TO NCC VOL.2 PART 3.4.1.  
- IN BUSHFIRE PRONE AREAS SPECIAL CONDITIONS APPLY.  
- WHERE TERMITE BARRIERS NEED TO BE INSPECTED, 400mm CLEARANCE IS REQUIRED BETWEEN THE  
UNDERSIDE OF BEARER AND GROUND SURFACE.  
- USE TREATED TIMBER WHERE REQUIRED FOR DURABILITY.  
- DO NOT USE TIMBER UNSUITABLE FOR EXPOSURE TO MOISTURE IN EXPOSED LOCATION.  
- PROVIDE STRUCTURE BRACING IN ACCORDANCE WITH AS1684  
- PROVIDE STRUCTURE TIEDOWN IN ACCORDANCE WITH AS1684  
- USE GALVANISED FIXINGS WHERE EXPOSED TO WEATHER.

**TERMITE CONTROL:**  
- TO BE IN ACCORDANCE WITH TO AS3660.1  
- SHALL BE IN ACCORDANCE WITH NCC VOL.2 PART 3.1.3 OR VOL.1 PART B1.4.

**FLASHING AND CAPPINGS:**  
- SELECTION AND INSTALLATION OF METAL RAINWATER GOODS REFER TO AS2180  
- FLASH PROJECTIONS ABOVE THE ROOF WITH TWO PART FLASHINGS CONSISTING OF AN APRON  
FLASHING AND OVER FLASHING, WITH AT LEAST 100mm OVERLAP.  
- PROVIDE FOR INDEPENDENT MOVEMENT BETWEEN ROOF AND PROJECTION.

**CONCRETE BLOCKS OR BRICKS:**  
- TO COMPLY WITH TO AS4455 MANSORY BUILDING BLOCKS/PAVER.

**LIGHTING:**  
- 40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT  
FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS

**DOOR & WINDOWS:**  
- ALL FRAMED WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH AS2047-48 FOR ALUMINIUM  
WINDOWS AND AS2047 FOR TIMBER WINDOWS.  
- ALUMINIUM FRAMED WINDOWS AND DOORS.  
- WEATHER STRIPPING IS TO BE PROVIDED TO ALL EXTERNAL WINDOWS AND DOORS.

**STAIRS, HANDRAILS AND BALUSTRADES:**  
- NCC VOL.2 PARTS 3.9.1 AND 3.9.2  
- RELATIONSHIP OF RISER TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED  
TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED OR AS PERMITTED IN  
AS1657.  
- BALUSTRADES SHALL BE PROVIDED TO ALL LANDINGS, RAMPS, DECKS, ROOFS AND OTHER ELEVATED  
PLATFORMS WHERE THE VERTICAL DISTANCE FROM THAT LEVEL IS MORE THAN 1m ABOVE THE  
ADJOINING FLOOR OR FINISHED GROUND LEVEL.  
- THE HEIGHT OF BALUSTRADE MUST BE A MINIMUM OF 1m HIGH ABOVE LANDING AND NOT LESS THAN  
865mm ABOVE THE NOSINGS OF ANY STAIR TREADS OR FLOOR RAMP AND HAVE NO OPENING GREATER  
THAN 125mm.  
- THE HEIGHT OF BALUSTRADE TO THE NEW STAIR CASES IS TO BE MEASURED A MINIMUM 865mm ABOVE  
THE NOSING LINE AND HAVE NO OPENING GREATER NO OPENING GREATER THAN 125mm.

**SLIP RESISTANCE:**  
- MATERIALS TO BE USED FOR SURFACES OF FLOORS, STAIR LANDING, STEPS AND NOSINGS SHALL BE  
IN ACCORDANCE WITH THE CLASSIFICATIONS FOR SLIP RESISTANCE AS APPLY IN AS4586 AND HB198.

**STORMWATER:**  
**EAVES GUTTERS, VALLEY GUTTERS AND DOWPIPES**  
- TO COMPLY WITH AS/NZS 2179 FOR METAL AND AS1273 FOR UPVC COMPONENTS.  
- NEW DOWNPIPES TO BE CONNECTED INTO EXISTING STORMWATER LINE  
- COLORBOND GUTTERS AND DOWNPIPES  
- MINIMUM SLOPE OF EAVES AND GUTTERS 1:200

**GLAZING:**  
- NCC VOL.1 PARTS B 1.4, D 3.12, F1.13 OR NCC VOL.2 PART 3.6

**SMOKE DETECTORS/ALARMS:**  
- NCC VOL 2 PART 3.7.2, FIRE/SMOKE DETECTORS COMPLYING WITH THE REQUIREMENTS OF THE LOCAL  
GOVERNMENT ACT AND/OR STATE OR TERRITORY REGULATIONS MUST BE FITTED IN THE LOCATIONS  
REQUIRED AND APPROVED BY THE AUTHORITY AND SHALL BE INSTALLED IN ACCORDANCE WITH AS3786.  
- INSTALLATIONS IN BUILDINGS OTHER THAN CLASS 1 AND 10 MUST BE INSTALLED AND MANAGED TO  
COMPLY WITH NCC SPEC. E2.2a.  
- MULTIPLE ALARMS WITHIN HOUSES AND SOLE OCCUPANCY UNITS MUST BE HARD WIRED AND  
INTERCONNECTED.

**WASTE MANAGEMENT:**  
- ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT.  
- ALL WASTE SHALL BE COVERED DURING TRANSPORTATION.  
- WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY  
AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE.

**SEDIMENT CONTROL:**  
- A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS  
STORMWATER SYSTEM.

**NOTE:**  
**ALL PLANS ARE TO BE READ IN CONJUNCTION AND COMPLY WITH THE BASIX CERTIFICATE, BUSHFIRE  
AND GEOTECH REPORTS.**

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A	01.03.21	PRELIM. DRAWINGS UPDATED AS PER CLIENT

PROJECT DETAILS: PROPOSED ALTERATIONS AND ADDITIONS 12 CORNICHE ROAD - CHURCH POINT 2105
DRAWING TITLE: SOUTH WEST ELEVATION & SPECIFICATION NOTES

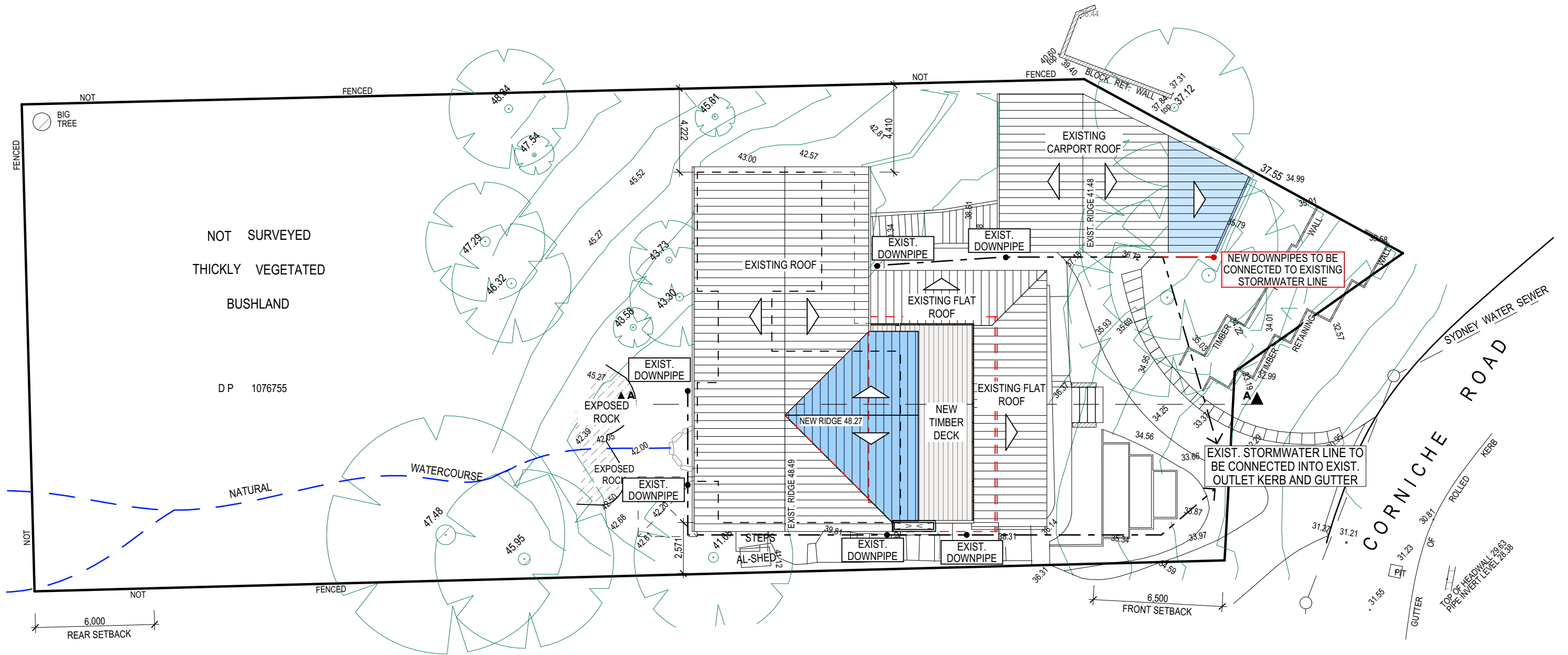
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JOB No: 871/21	CHECKED BY: JJ	DRAWING No: DA.09



DRAWING No:

**DA.10**





ROOF PLAN & STORMWATER CONCEPT PLAN

**STORMWATER CONCEPT LEGEND**

EXISTING DOWNPIPES      ●

NEW DOWNPIPES      ●

EXISTING STORMWATER LINE      - - - - -

NEW STORMWATER LINE      - - - - -

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12 CORNICHE ROAD - CHURCH POINT 2105

DRAWING TITLE:  
ROOF & STORMWATER CONCEPT PLAN

DATE: FEB.21	DRAWN BY: LB	SCALE: 1:200 @ A3
JOB No: 871/21	CHECKED BY: JJ	DRAWING No: DA.12



NOTES

DESIGNATED SITE MANAGER/BUILDER

PRIOR TO COMMENCEMENT OF WORK A SITE MANAGER OR BUILDER MUST BE NOMINATED. THE SITE MANAGER OR BUILDER WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS ASSUMES THE RESPONSIBILITY FOR THE ACTIONS OF ALL SUBCONTRACTED PARTIES AS WELL AS ADVISING THEM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT WORKS.

TOPSOIL MANAGEMENT

PRIOR TO THE STRIPPING OF TOPSOIL, THE VEGETATIVE COVER MUST BE REDUCED BY EITHER SLASHING OR MOWING. ALL TOPSOIL IS TO BE RETAINED AND PROTECTED FOR REUSE ON SITE. SOIL STOCKPILES MUST NOT BE LOCATED ON NATURE STRIPS, FOOTPATHS, ROADWAYS, KERBS, ACCESSWAYS, WITHIN DRAINAGE LINES/FLOWS/PATHS OR AROUND OR AGAINST TREE SHRUBS. SEDIMENT CONTROL MEASURES MUST BE INCORPORATED WITH ANY RESULTING STOCKPILE. THE STOCKPILE CAN BE PROTECTED FROM EROSION BY COVERING IT WITH AN IMPERVIOUS MATERIAL, IN CONJUNCTION WITH THE INSTALLATION OF A SEDIMENT FENCE AROUND IT. IF STOCKPILES ARE TO REMAIN FOR MORE THAN ONE MONTH THEY ARE TO BE GRASSED IMMEDIATELY AND STABILISED WITHIN FOURTEEN DAYS. SURPLUS TOPSOIL MUST BE REASONABLY REMOVED FROM SITE.

BUILDING MATERIAL STOCKPILING

SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS, ETC. AS WILL BE REQUIRED.

SEDIMENT FENCES

A SEDIMENT FENCE SHOULD BE LOCATED ALONG THE DOWNSLOPE BOUNDARY(S) OF THE SITE, ON THE CONSTRUCTION SIDE OF THE TURF FILTER STRIP OR NATIVE VEGETATION, AND AROUND ALL STOCKPILES OF MATERIAL ON THE SITE.

DUST CONTROL

ALL TRUCKS/UTES MUST COVER THEIR LOADS AT ALL TIMES. APPROPRIATE METHODS ARE TO BE EMPLOYED TO PREVENT BLOWING DUST CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR DOWN WIND. PRODUCTION OF DUST CAN BE MINIMISED BY LIMITING AREA OF EARTHWORKS, WATERING AND PROGRESSIVE VEGETATION. WHERE DUST IS CREATED AS A RESULT WORKS AND/OR SOIL EXPOSURE, THE BARE SOIL AREAS MUST BE WATERED, DURING AND/OR AT THE END OF EACH DAY TO LAY THE DUST. EARTH MOVING ACTIVITIES SHOULD BE AVOIDED WHERE WINDS ARE SUFFICIENTLY STRONG ENOUGH TO RAISE VISIBLE DUST.

EROSION & SEDIMENT CONTROLS

APPROPRIATE EROSION AND SEDIMENT CONTROLS MUST BE IMPLEMENTED ON ALL SITES THAT INVOLVE SOIL DISTURBANCE. THE MEASURES MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF WORK. THOSE CONTROLS ARE TO BE MONITORED AND MAINTAINED IN ORDER TO SERVE THEIR INTENDED FUNCTION FOR THE DURATION OF THE WORKS OR UNTIL SUCH TIME AS THE SITE IS FULLY STABILISED. IF ANY CONTROLS ARE DAMAGED OR BECOME INEFFECTIVE DURING THE COURSE OF THE WORKS THEY ARE TO BE REINSTATED OR REPLACED IMMEDIATELY. SUFFICIENT ACCESS TO THESE CONTROLS MUST BE PROVIDED IN CASE OF THE NEED TO REPAIR.

SEDIMENT TRAPS

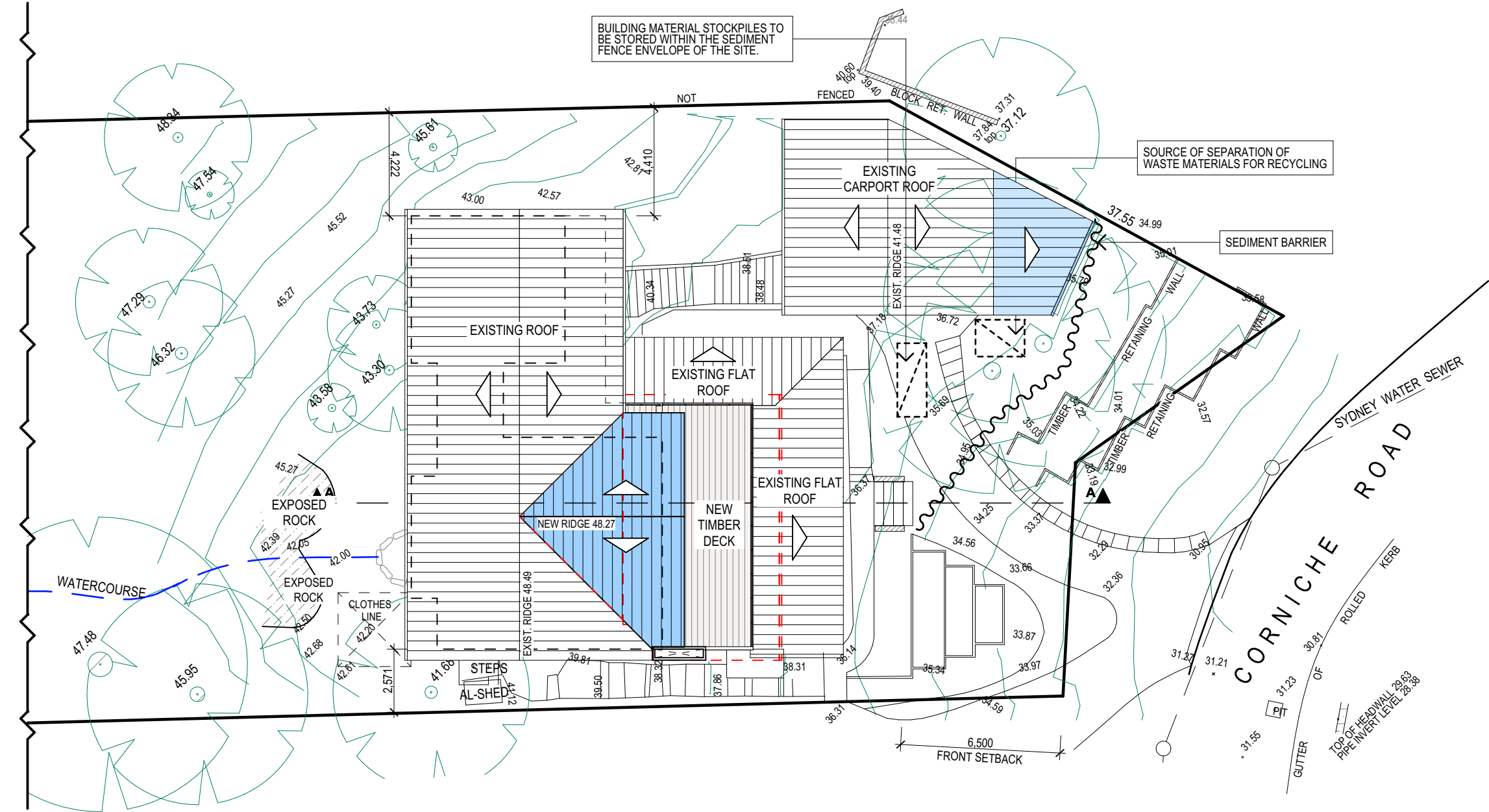
WHERE A SEDIMENT FENCE IS NOT USED APPROPRIATE SEDIMENT TRAPS SHOULD BE LOCATED AT ALL POINTS WHERE STORMWATER LEAVES THE CONSTRUCTION SITE OR LEAVES THE GUTTER AND ENTERS THE DRAINAGE SYSTEM. A COMMON TECHNIQUE IS THE GRAVEL SAUSAGE.

DIVERSION CHANNELS

A DIVERSION CHANNEL IS AN EXCAVATED EARTH DITCH OR PATH. THESE STRUCTURES ARE USED TO INTERCEPT AND DIRECT RUN-OFF TO A DESIRED LOCATION WHERE POSSIBLE. ALL STORMWATER RUN-OFF FLOWING ONTO DISTURBED AREAS, INCLUDING STOCKPILES, MUST BE INTERCEPTED, DIVERTED AND/OR SAFELY DISPOSED OF. THIS CAN BE ACHIEVED BY CONSTRUCTING A TEMPORARY EARTH BANK AROUND THE UPSLOPE EXTENT OF THE CONSTRUCTION SITE WHERE THE DIVERSION DOES NOT AFFECT THE NEIGHBOURING PROPERTIES.

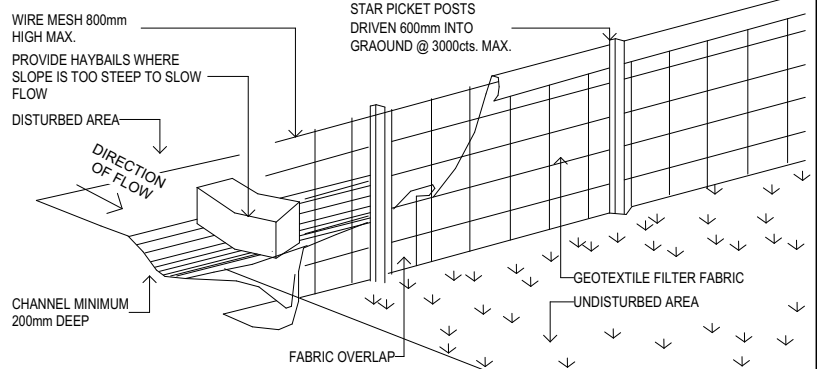
VEHICLE MOVEMENTS

TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET ALL VEHICLES AND PLANT EQUIPMENT ARE TO USE A SINGLE ENTRY/EXIT POINT UNLESS COUNCIL HAS APPROVED ALTERNATIVE ARRANGEMENTS. ACCESS POINTS AND PARKING AREAS ARE TO BE STABILISED WITH COMPACTED SUB-GRADE ASAP AFTER THEIR FORMATION. IF SPILLAGE DOES OCCUR IT IS TO BE CONTAINED IMMEDIATELY AND CAREFULLY REMOVED. THE AREA AFFECTED IS TO BE RESTORED TO A STANDARD EQUAL TO OR BETTER THAN ITS PREVIOUS CONDITION. ALL VEHICLES ARE TO BE WASHED PRIOR TO EXISTING THE SITE. THIS SERVES THE PURPOSE OF REMOVING SITE MATERIAL ON THE VEHICLE AND PREVENTS IT FROM BEING DEPOSITED ON THE ROAD NETWORK ADJACENT TO THE SITE AND THUS, THE STORMWATER SYSTEM. NO VEHICLE ASSOCIATED WITH THE WORK IS TO BE PARKED ON A FOOTPATH OR PUBLIC RESERVE. ALL VEHICLES VISITING THE SITE DURING DEMOLITION, EXCAVATION AND/OR CONSTRUCTION WORKS, ARE TO COMPLY WITH THE PARKING REQUIREMENTS IN THAT AREA.

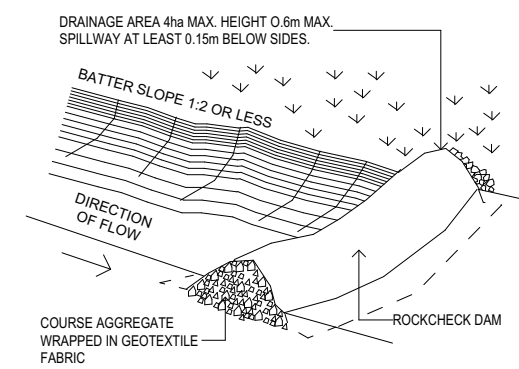


EROSION & SEDIMENT CONTROL / WASTE MANAGEMENT PLAN

TYPICAL SEDIMENT FENCE - nts



TYPICAL DIVERSION CHANNEL - nts



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DRAWING TITLE: EROSION & SEDIMENT CONTROL / WASTE MANAGEMENT PLAN

DATE: FEB.21	DRAWN BY: LB	SCALE: 1:200 @ A3
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JUNE 21\_SHADOW DIAGRAM 9am

21 JUNE SHADOW DIAGRAM LEGEND

EXISTING SHADOWS

NEW SHADOWS

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JJ Drafting

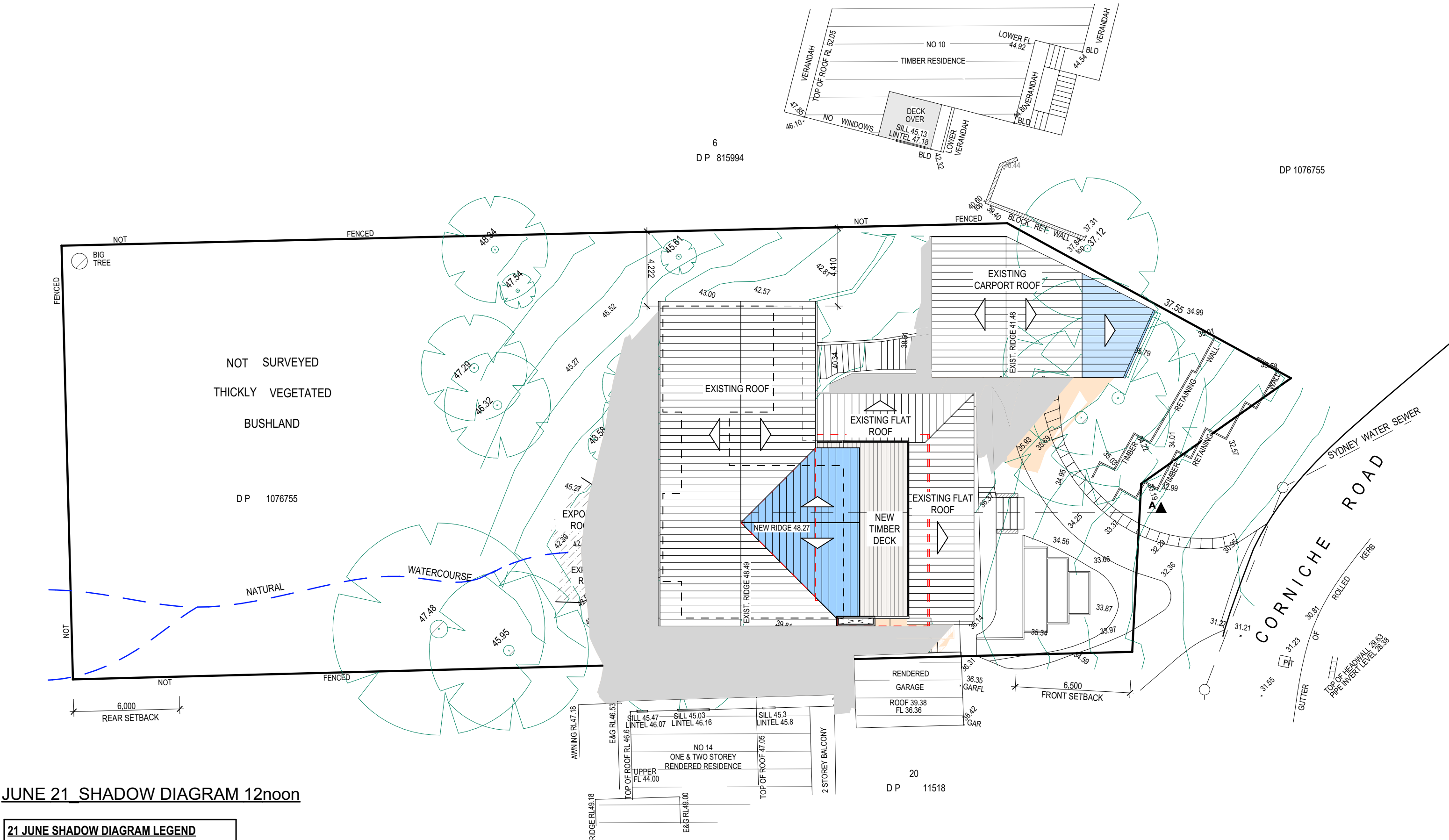
174 Garden St, North Narrabeen, NSW, 2101  
PO Box 687, Dee Why, NSW, 2099  
Mob. 0414 717 541  
Email. [jjdraft@tpg.com.au](mailto:jjdraft@tpg.com.au)  
[www.jjdrafting.com.au](http://www.jjdrafting.com.au)

REV:	DATE:	DESCRIPTION:
A	01.03.21	PRELIM. DRAWINGS UPDATED AS PER CLIENT

PROJECT DETAILS:  
PROPOSED ALTERATIONS AND ADDITIONS  
12 CORNICHE ROAD - CHURCH POINT 2105

DRAWING TITLE:  
SHADOW DIAGRAM JUNE 21 9:00 am

DATE: FEB.21	DRAWN BY: LB	SCALE: 1:200 @ A3
JOB No: 871/21	CHECKED BY: JJ	DRAWING No: DA.14



JUNE 21 SHADOW DIAGRAM 12noon

21 JUNE SHADOW DIAGRAM LEGEND	
EXISTING SHADOWS	
NEW SHADOWS	

TRUE NORTH:

NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

JJ Drafting

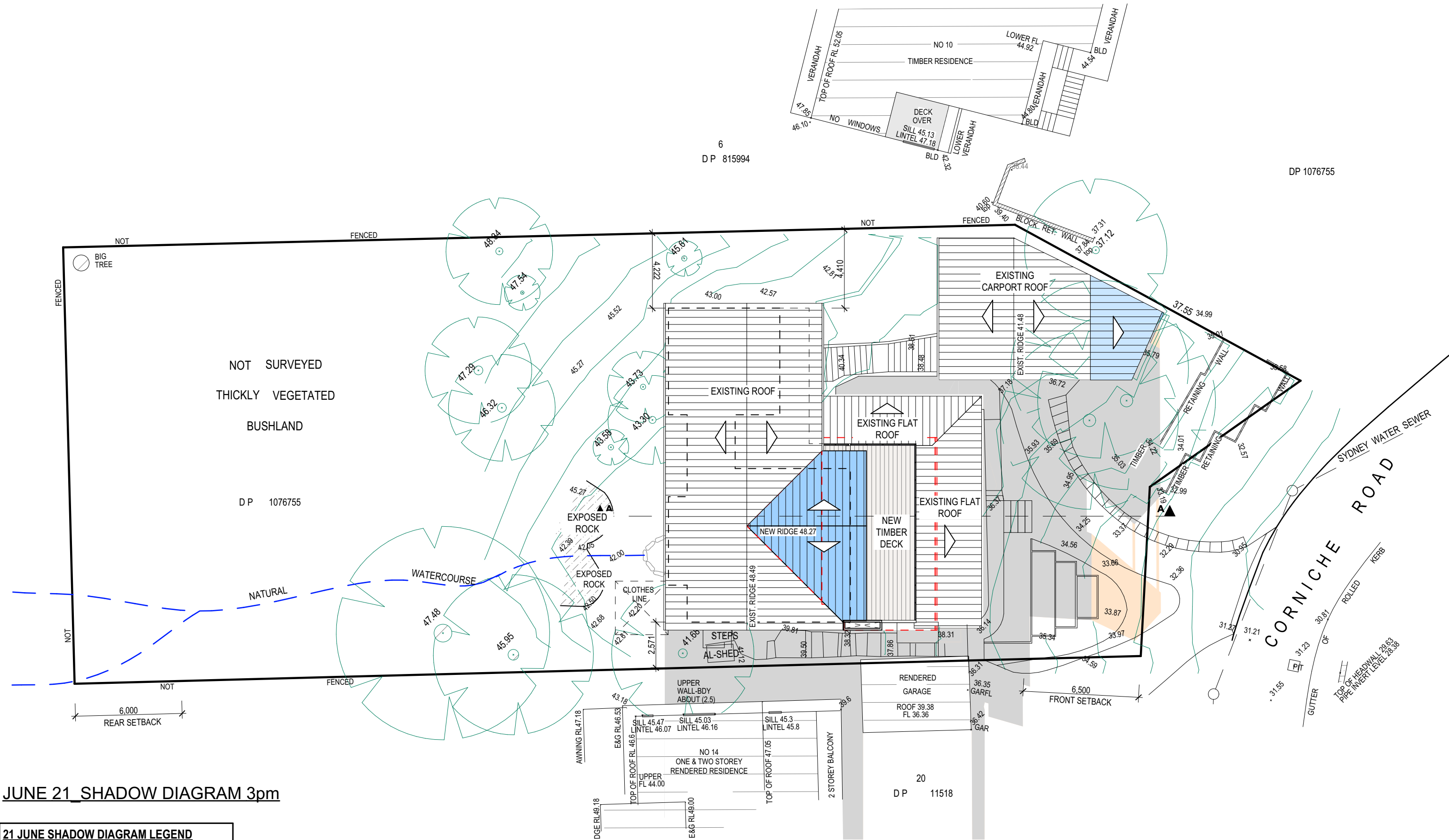
174 Garden St, North Narrabeen, NSW, 2101  
PO Box 687, Dee Why, NSW, 2099  
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REV:	DATE:	DESCRIPTION:
A	01.03.21	PRELIM. DRAWINGS UPDATED AS PER CLIENT

PROJECT DETAILS:  
PROPOSED ALTERATIONS AND ADDITIONS  
12 CORNICHE ROAD - CHURCH POINT 2105

DRAWING TITLE:  
SHADOW DIAGRAM JUNE 21 12 noon

DATE: FEB.21	DRAWN BY: LB	SCALE: 1:200 @ A3
JOB No: 871/21	CHECKED BY: JJ	DRAWING No: DA.15



JUNE 21\_SHADOW DIAGRAM 3pm

21 JUNE SHADOW DIAGRAM LEGEND

EXISTING SHADOWS

NEW SHADOWS

TRUE NORTH:

NOTES (E & OE)

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- All dimensions are to be checked on site prior to starting work.
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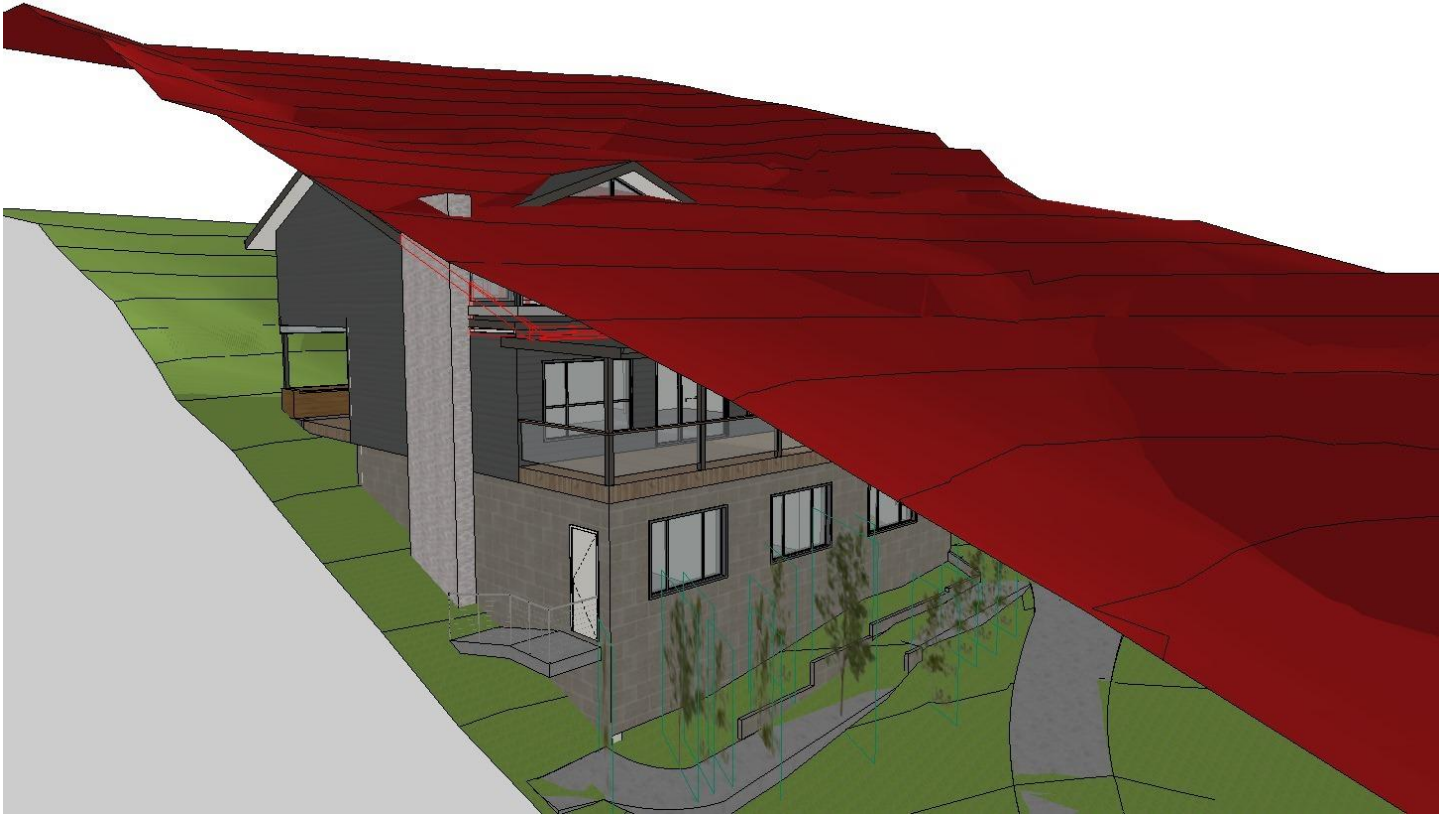
REV:	DATE:	DESCRIPTION:
A	01.03.21	PRELIM. DRAWINGS UPDATED AS PER CLIENT

PROJECT DETAILS:  
PROPOSED ALTERATIONS AND ADDITIONS  
12 CORNICHE ROAD - CHURCH POINT 2105

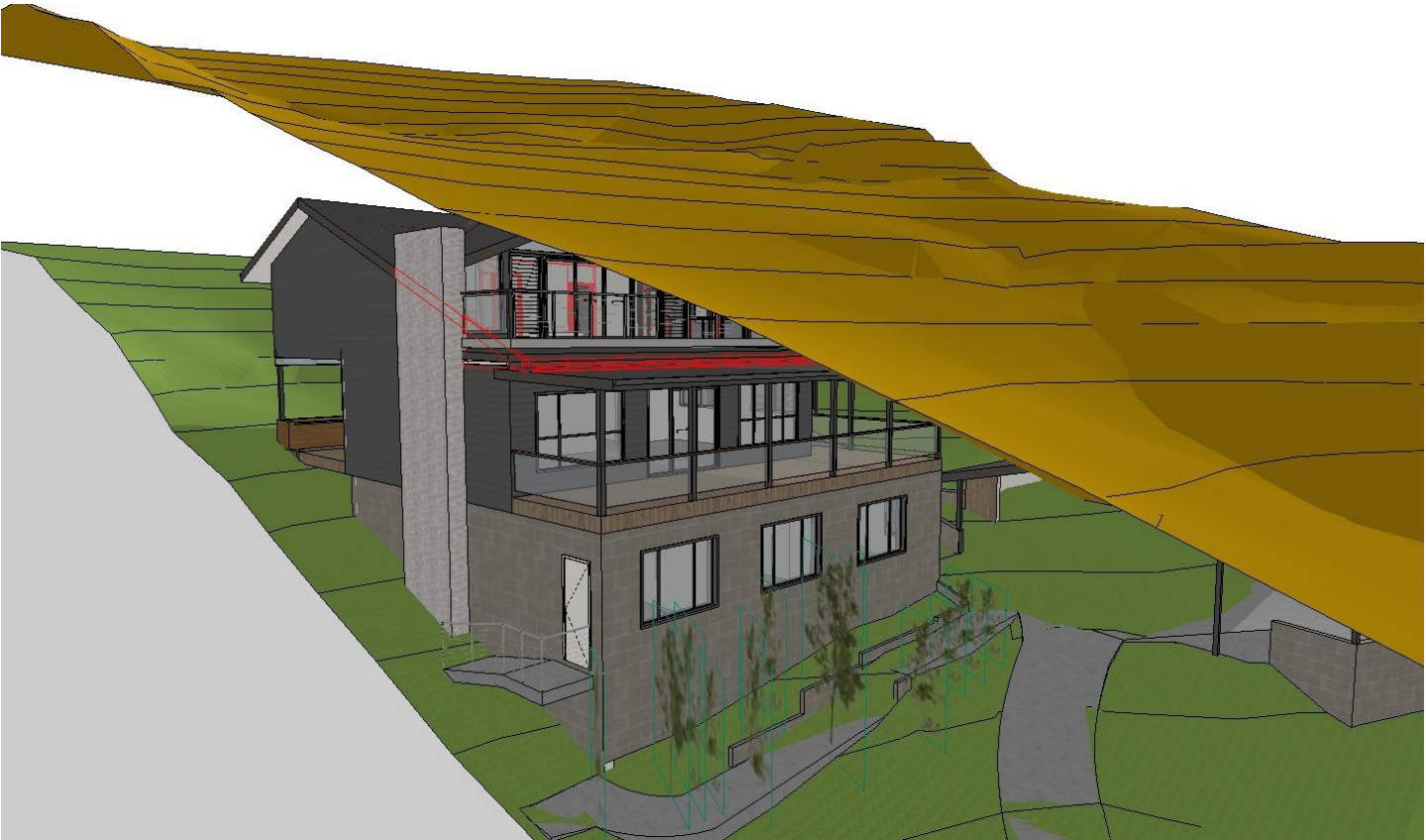
DRAWING TITLE:  
SHADOW DIAGRAM JUNE 21 3:00 pm

DATE: FEB.21	DRAWN BY: LB	SCALE: 1:200 @ A3
JOB No: 871/21	CHECKED BY: JJ	DRAWING No: DA.16





8.5m BUILDING HEIGHT PLANE



10m BUILDING HEIGHT PLANE

	<div>NOTES (E &amp; OE)</div> <div><ul style="list-style-type: none"><li>• All structures including stormwater &amp; drainage to engineer's details.</li><li>• Do not obtain dimensions by scaling drawings.</li><li>• All dimensions are to be checked on site prior to starting work.</li><li>• These drawings are to be read in conjunction with all other consultant's drawings and specifications.</li><li>• All workmanship &amp; materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards &amp; local council requirements.</li><li>• New materials are to be used throughout unless otherwise noted.</li><li>• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.</li></ul></div>	<div>JJ Drafting</div> <div>174 Garden St, North Narrabeen, NSW, 2101</div> <div>PO Box 687, Dee Why, NSW, 2099</div> <div>Mob. 0414 717 541</div> <div>Email. jjdraft@tpg.com.au</div> <div>www.jjdrafting.com.au</div>	<div>REV:DATE:DESCRIPTION:</div> <div>A01.03.21PRELIM. DRAWINGS UPDATED AS PER CLIENT</div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div>	<div>PROJECT DETAILS:</div> <div>PROPOSED ALTERATIONS AND ADDITIONS</div> <div>12 CORNICHE ROAD - CHURCH POINT 2105</div>	<div>DATE:</div> <div>XX/21</div>	<div>DRAWN BY:</div> <div>XX</div>	<div>SCALE:</div> <div>@ A3</div>
			<div>DRAWING TITLE:</div> <div>BUILDING HEIGHT PLANE</div>	<div>JOB No:</div> <div>871/21</div>	<div>CHECKED BY:</div> <div>JJ</div>	<div>DRAWING No:</div> <div>DA.17</div>	