DA1012

DA1013

DA1014

DA2001

DA2002

DA3000

DA4000

DA4001

DA5000

DA5001

DA5002

DA5003

DA5004

DA5005

Sediment & Erosion Plan

Waste Management Plan

Stormwater Plan

GROUND FLOOR

SECTION 1

ELEVATIONS 1

ELEVATIONS 2

PERSPECTIVE

MATERIAL & COLOUR SAMPLE BOARD

SHADOW PLAN 21st June 9am

SHADOW PLAN 21st June 12pm

SHADOW PLAN 21st June 3pm

WALL ELEVATION SHADOWS

Rapíd Plans www.rapídplans.com.au P.O. Box 6193 Frenchs Forest DC NSW 2086 Fax: (02) 9905-8865 Mobile: 0414-945-024 Email: gregg@rapidplans.com.au



DEVELOPMENT APPLICATION Alterations & Additions To Existing Residence

For Ron and Carolyn Delezio

54 Smith Street, Manly





				Lot 3 D.P. 259647	4) *
DRAWING No.	DESCRIPTION	REV	ISSUED DATE	The Court of the C	
DA1000 C	Cover Sheet	2	- 4-2-2021	Project Number: RP0720DEL	4
DA1001 A	A4 NOTIFICATION PLAN	2	- 4-2-2021	wlah	
DA1002 S	SITE SURVEY	2	- 4-2-2021		
DA1003 S	SITE PLAN	2	- 4-2-2021	The Craft Cottage	Man
DA1004 E	Existing Ground Floor Plan	2	- 4-2-2021	eaps & Bounds 54 Smith St.	Landr
DA1005 E	Existing Roof Plan	2	- 4-2-2021	reschool Manly Manly NSW 2095	
DA1006 [Demolition Ground Floor Plan	2	- 4-2-2021		
DA1007 [Demolition Roof Plan	2	- 4-2-2021	Marky Burkhausa	
DA1008 E	Excavation & Fill Plan	2	- 4-2-2021	Kannas and Salah S	
DA1009 L	Landscape Open Space Plan Existing	2	- 4-2-2021	Dripping Wet Surf Co (A)	
DA1010 L	Landscape Open Space Plan Proposed	2	- 4-2-2021	BASIX*Certific	rate
DA1011 L	Landscape Plan	2	- 4-2-2021	Building Sustainability Index www.basix.ns	
DA1002 S DA1003 S DA1004 E DA1005 E DA1006 C DA1007 C DA1008 E DA1009 L DA1010 L	SITE SURVEY SITE PLAN Existing Ground Floor Plan Existing Roof Plan Demolition Ground Floor Plan Demolition Roof Plan Excavation & Fill Plan Landscape Open Space Plan Existing Landscape Open Space Plan Proposed	2 2 2 2 2 2 2 2 2 2	- 4-2-2021 - 4-2-2021 - 4-2-2021 - 4-2-2021 - 4-2-2021 - 4-2-2021 - 4-2-2021 - 4-2-2021 - 4-2-2021	eaps & Bounds reschool Manly Manly Bunkhouse Manly Bunkhouse BASIX®Cert	

Manly's Hidden Gem

4-2-2021

- 4-2-2021

4-2-2021

4-2-2021

4-2-2021

4-2-2021

4-2-2021

4-2-2021

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4-2-2021

4-2-2021

4-2-2021

- 4-2-2021

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Alterations and Additions

Certificate number: A402153

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

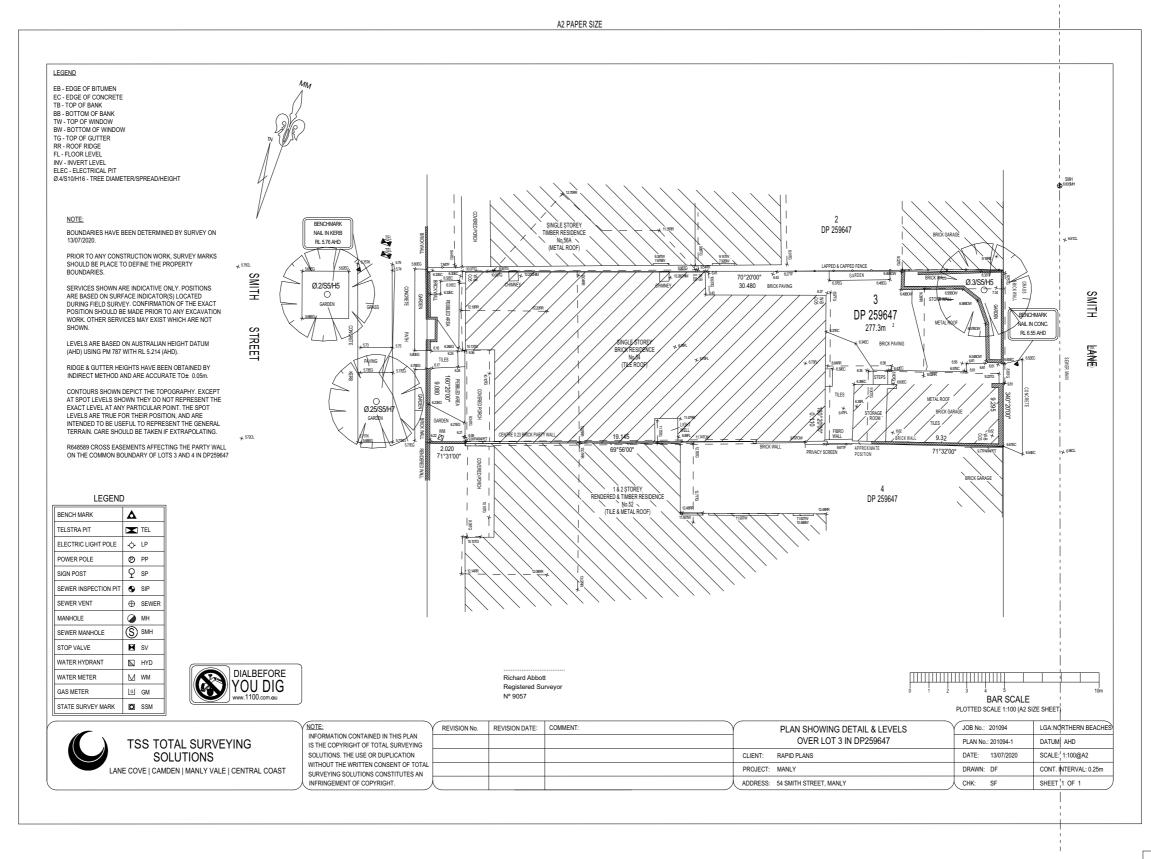
Date of issue: Wednesday, 16, December 2020
To be valid, this certificate must be lodged within 3 months of the date of issue.



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713

Project address		
Project name	Delezio	
Street address	54 Smith Street Manly 2095	
Local Government Area	Northern Beaches Council	
Plan type and number	Deposited Plan 259647	
Lot number	3	
Section number		
Project type		
Dwelling type	Separate dwelling house	
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).	

Certificate Prepared b	by (please complete before submitting to Council or PCA)
Name / Company Name: Ra	apid Plans
ABN (if applicable): 431500	64592



SURVEY PLAN 1:200

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Discrepancies to Rapid Plans



Checked Plot Date: Project NO. Project Status

Sheet Size: A3

Client

Site:

4/02/2021 RP0720DEL DA Rev2

Ron and Carolyn Delezio 54 Smith Street, Manly

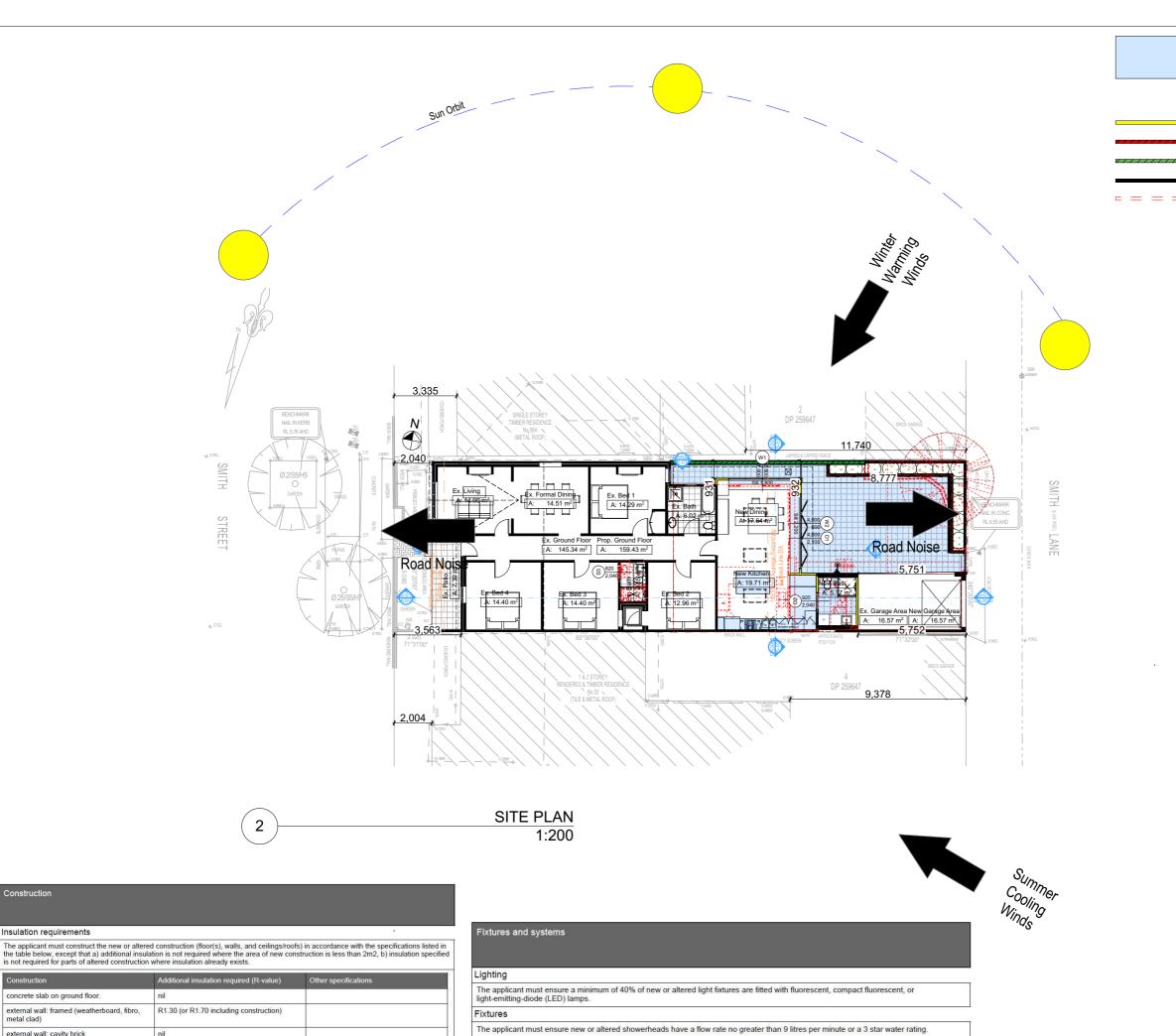
DRAWING TITLE :

SITE AND LOCATION
SITE SURVEY

PROJECT NAME :

2 ДАТЕ. 4-2-2021

Alterations & Additions DA1002



The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Insulation requirements

concrete slab on ground floor.

external wall: cavity brick

flat ceiling, flat roof: framed

external wall: framed (weatherboard, fibro, metal clad)

medium (solar absorptance 0.475 - 0.70)

ceiling: R1.08 (up), roof: foil backed blanket (75 mm)

Denotes New Works

Wall Legend

Denotes New Timber Framed Wall Denotes New Masonry Wall Denotes New Concrete Block Wall Denotes Existing Wall Denotes Demolished Item





BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



Site Information	Prop.	Comp.
Site Area	277.3m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Bldg Ht Above Nat. GL	6722mm	Yes
Front Setback	2040mm	Existing
Secondary Street Setback	5752mm	Existing
Min. side bdy setback	931mm	Existing
% of landscaped area 35% min of Open Space)	37%	Yes
mpervious area (m2)	72%	Yes
Maximum depth of fill (m)	274mm	Yes
No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0:6)	0:58	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. mmediately Report any Discrepancie to Rapid Plans



Drawn | Checked GBJ Plot Date: 4/02/2021 Project NO. RP0720DEL Project Status DA Rev2

lient Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

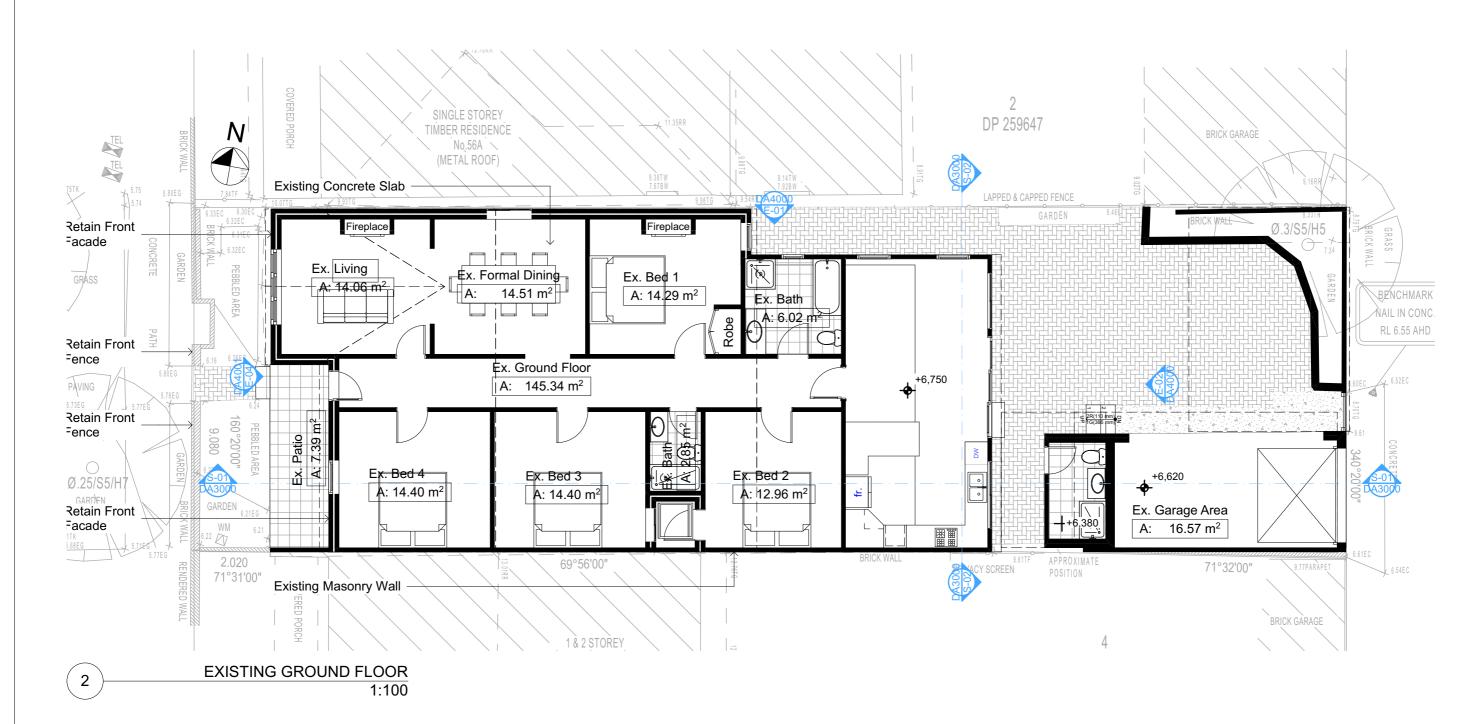
SITE AND LOCATION

Alterations &

Additions

4-2-2021

DA1003



Builder To Check & Confirm Existing Measurements Prior to Commencement



NOTES 54 Smith Street, Manly is zoned R1-General Residential All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue 54 Smith Street, Manly is not considered a heritage ite

Rapid Plans 2020

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Concrete Slab Floors, Framed, Masonry Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed, Masonry Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix Certificate Number A402153

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area se plans	277.3m2	Yes	Min. side bdy setback (Min.)	931mm	Existing
Housing Density (dwelling/m2)	Alang	Yes	% of landscaped area (35% min of Open Space	37%	Yes
Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m2)	72%	Yes
Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0:6)	0:58	Yes			



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Checked Plot Date: Project NO. Project Status
Client
Site:

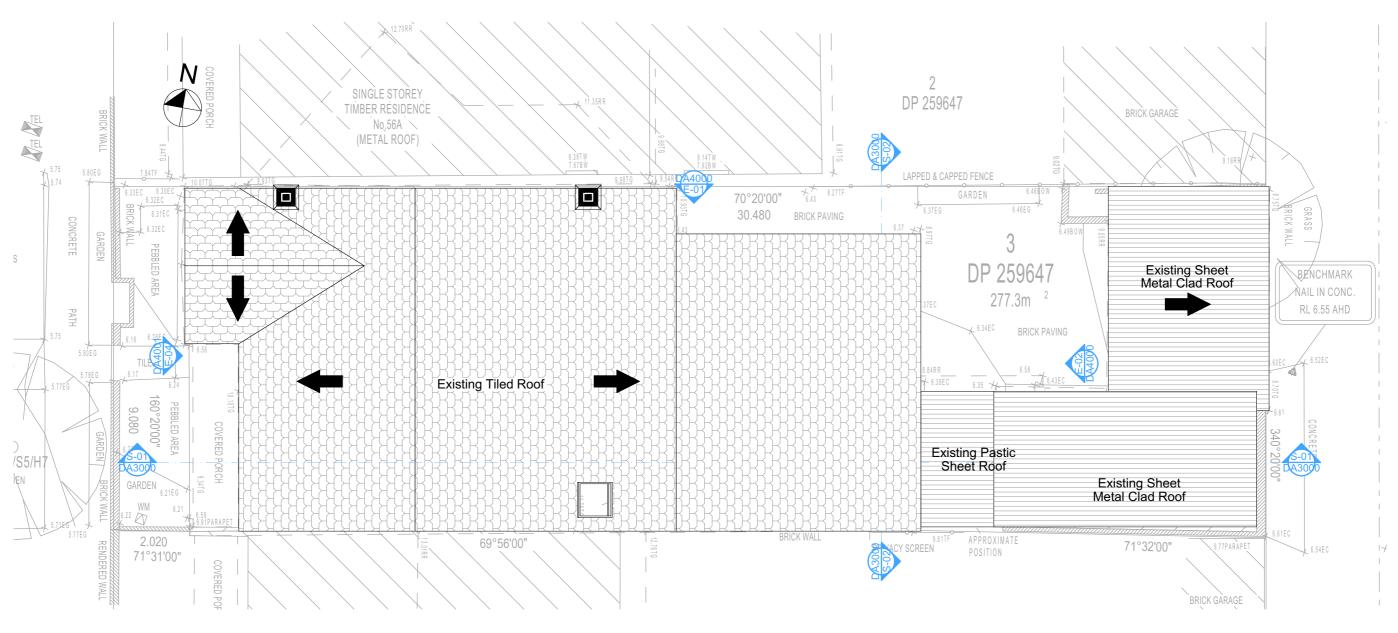
DA Rev2 Ron and Carolyn Delezio 54 Smith Street, Manly

SITE AND LOCATION

Existing Ground Floor Plan

2 DATE. 4-2-2021 **Alterations & Additions DA1004**

Wall Legend **Denotes Existing Wall**



EXISTING FIRST FLOOR 1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement

DA APPLICATION ONLY NOT FOR CONSTRUCTION

NOTES 54 Smith Street, Manly is zoned R1-General Residential All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue 54 Smith Street, Manly is not considered a heritage itel

Construction

Concrete Slab Floors, Framed, Masonry Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed, Masonry Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 3740
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, ACCREDITED BUILDING DESIGNER

all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Basix Certificate Number A402153



Checked Plot Date: Project NO. Project Stat
Client
Site:

Basix Certificate Number A402153
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

Checked	GBJ
Plot Date:	4/02/2021
Project NO.	RP0720DEL
Project Status	DA Rev2
Client	Ron and (

nd Carolyn Delezio 54 Smith Street, Manly

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area se plans	277.3m2	Yes	Min. side bdy setback (Min.)	931mm	Existing
Housing Density (dwelling/m2)	Alano	Yes	% of landscaped area (35% min of Open Space	37%	Yes
Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m2)	72%	Yes
Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0:6)	0:58	Yes			

DRAWING TITLE :

SITE AND LOCATION
Existing Roof Plan

2 DATE. 4-2-2021 **DA1005**

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BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

Sheet Size: A3

Alterations & Additions

DP 259647 Demolish Items Shown Red Dashed BRICK GARAGE Remove Tree **Existing Concrete Slab** LAPPED & CAPPED FENCE Fireplace Fireplace 30,480 Ex. Living Ex. Formal Dining Ex. Bed 1 A: 14.06 m² 14.51 m² A: 14.29 m² Ex. Bath A: 6.02 m² RL 6.55 AH Front BRICK PAVING Ex. Ground Floor +6,750 A: 145.34 m² Front Ą Ex. Bed 3 Ex. Bed 2 55/H7 A: 14.40 m² A: 12.96 m² A: 14.40 m² Front Ex. Garage Area A: 16.57 m² 2.020 71°32'00" POSITION **Existing Masonry Wall** BRICK GARAGE **DEMOLITION GROUND FLOOR** 2

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations



NOTES 54 Smith Street, Manly is zoned R1-General Residentia All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue 54 Smith Street, Manly is not considered a heritage itel

Construction
Concrete Slab Floors, Framed, Masonry Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed, Masonry Walls R1.70
Refer to Engineers drawing, Masonry Walls R1.70
Refer to Engineers Specification and BCA
Timber framing to BCA and A\$ 1684
Termite Management to BCA and A\$ 566.1
Glazing to BCA and A\$0.2188-2047
Waterproofing to BCA and A\$ 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix Certificate Number A402153

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table all additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

Specializations must be admitted to a continuous management of the window or glazed door and no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Sheet Size: A3

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area se plans	277.3m2	Yes	Min. side bdy setback (Min.)	931mm	Existing
Housing Density (dwelling/m2)	Alans	Yes	% of landscaped area (35% min of Open Space)	37%	Yes
Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m2)	72%	Yes
Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0:6)	0:58	Yes			

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Checked	GBJ
Plot Date:	4/02/2021
Project NO.	RP0720DEL
Project Status	DA Rev2
Client Site:	Ron and Carolyn Delezio

DRAWING TITLE :	SITE AND LOCATION Demolition Ground Floor Plan
PROJECT NAME:	Iterations & Additions

Wall Legend

Denotes Existing Wall Denotes Demolished Item

> REVISION NO. 2 DATE. 4-2-2021 **DA1006**

Denotes Existing Wall Denotes Demolished Item SINGLE STOREY DP 259647 TIMBER RESIDENCE No.56A **Demolish Part** (METAL ROOF) Of Roof To Suit PPED & CAPPED FENCE 70°20'00" 30.480 BRICK PAVING **Existing Sheet** DP 259647 BENCHMARK Metal Clad Roof NAIL IN CONC RL 6.55 AHD BRICK PAVING Demolish Roof **Existing Tiled Roof** METAL ROOF Existing Pastic Sheet Roof Existing Sheet Metal Clad Roof 69°56'00' APPROXIMATE 71°32'00" POSITION 71°31'00" BRICK GARAGE **DEMOLITION FIRST FLOOR** 3

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations



NOTES 54 Smith Street, Manly is zoned R1-General Residentia All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue 54 Smith Street, Manly is not considered a heritage itel

Construction
Concrete Slab Floors, Framed, Masonry Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed, Masonry Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 3740
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix Certificate Number A402153

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2,
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Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area se plans	277.3m2	Yes	Min. side bdy setback (Min.)	931mm s	Existing
Housing Density (dwelling/m2)	Alang	Yes	% of landscaped area (35% min of Open Space)	37%	Yes
Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m2)	72%	Yes
Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0:6)	0:58	Yes			

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Checked	GBJ
Plot Date:	4/02/
Project NO.	RP07
Project Status	DA R
Client	Ron

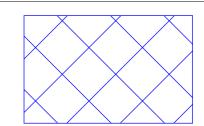
n and Carolyn Delezio 54 Smith Street, Manly

DRAWING TITLE : SITE AND LOCATION **Demolition Roof Plan** PROJECT NAME **Alterations & Additions**

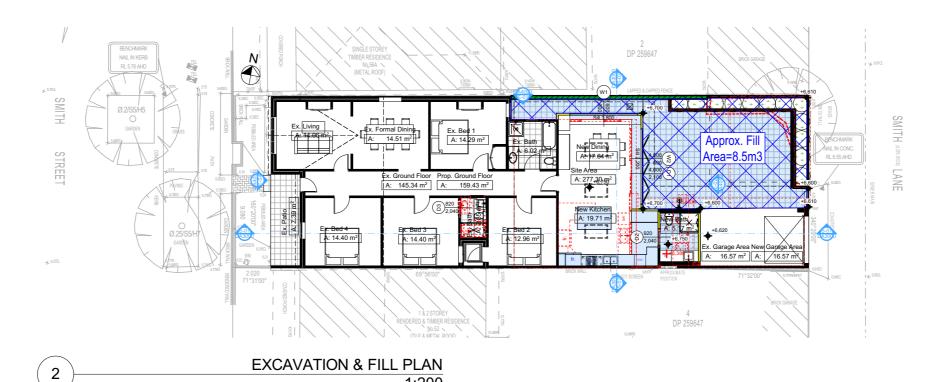
Wall Legend

REVISION NO 2 DATE. 4-2-2021

DA1007



Denotes Fill Area



1:200

Basix Certificate Number A402153

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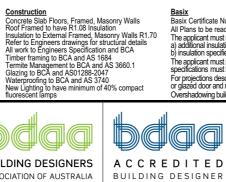
NOTES 54 Smith Street, Manly is zoned R1-General Residential All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
54 Smith Street, Manly is not considered a heritage iter

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

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Checked	GB
Plot Date:	4/0:
Project NO.	RP
Project Status	DA
Client	Ro

Rev2

on and Carolyn Delezio 54 Smith Street, Manly Site:

Sheet Size: A3

	Housing Density (dwelling/m2)	Alan	Yes	% of landscaped area (35% min of Open Space	e 37%
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that: a) additional insulation is not required where the area of new construction is less than 2m2,	Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m2)	72%
b) insulation specified is not required for parts of altered construction where insulation already exists. The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing	Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mr
anadifications must be activified for each window and district door	Secondary Street Setback	5752mm	Existing	No. of car spaces provided	\$1
	Floor Space Ratio (Max=0:6)	0:58	Yes		

SITE AND LOCATION **Excavation & Fill Plan**

Prop. Comp.

277.3m2 Yes Min. side bdy setback (Min.)

REVISION NO. 2 ДАТЕ. 4-2-2021 **DA1008**

Prop. Comp.

Existing

Yes

Yes Yes

Yes

931mm

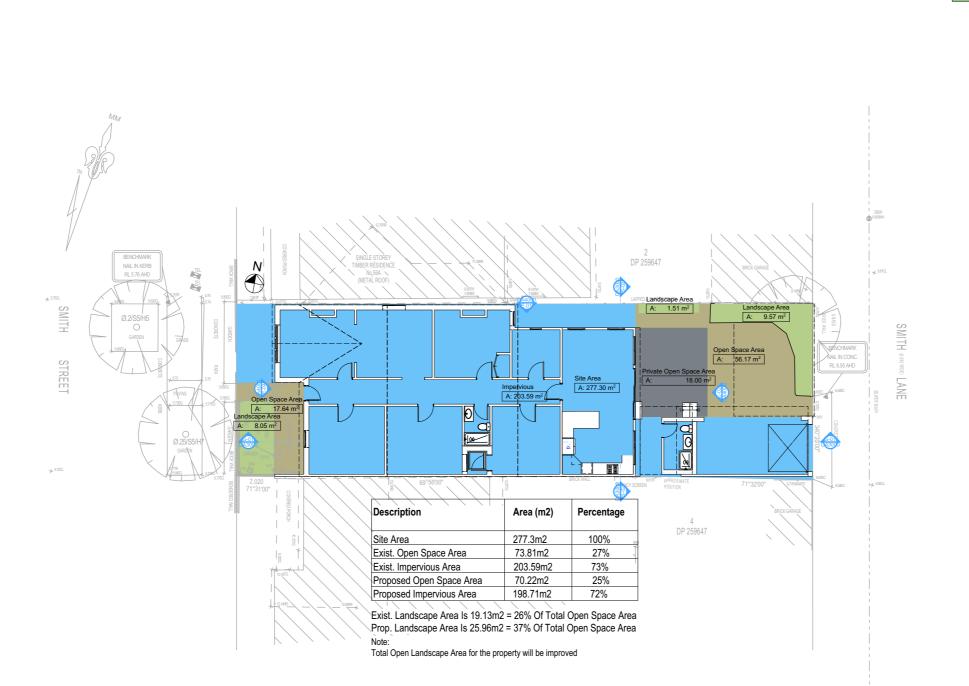
PROJECT NAME :

DRAWING TITLE :

BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

Alterations & Additions

Site Information



Denotes Impervious Area

Denotes Open Space Area



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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



Site Information	Prop.	Comp.
Site Area	277.3m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Bldg Ht Above Nat. GL	6722mm	Yes
Front Setback	2040mm	Existing
Secondary Street Setback	5752mm	Existing
Min. side bdy setback	931mm	Existing
% of landscaped area (35% min of Open Space)	37%	Yes
Impervious area (m2)	72%	Yes
Maximum depth of fill (m)	274mm	Yes
No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0:6)	0:58	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. mmediately Report any Discrepancie to Rapid Plans



Drawn | Checked GBJ Plot Date: 4/02/2021 Project NO. RP0720DEL Project Status DA Rev2

ient Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

DRAWING TITLESTITE AND LOCATION

Landscape Open Space
Plan Existing

Alterations & **Additions**

4-2-2021

DA APPLICATION

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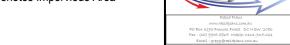
DA1009

LANDSCAPE OPEN SPACE EXISTING 1:200

2



Denotes Open Space Area



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workmarship and materials shall be in accordance with the iurements of Building Codes of Australia. tithying DA Application Only plans are for DA Application purposes only. The sare not to be used for the construction certificate application by any lifting Authority without the within permission of Rapid Plans or the yor of authorised Construction Certificate drawings by Rapid Plans or the same of the sam

Basix Certificate Number A402153
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or allered construction
(s), walls, and calingshootly in accordance with the specificat
required where the area of new construction is less than 2m2
insulation specified is not required for parts of altered constru
where insulation selected with the construction is less than 2m2
the applicant must install the windows, glazed doors and shadin

devices, in accordance with the specifications listed in the table televient overshadowing specifications must be satisfied for ead kindow and glazed door. For projections described in millimetres, the leading edge of e a

Site Information Prop. Comp 277.3m2 Yes Site Area ousing Density (dwelling/m2) 1 Max Bldg Ht Above Nat. GL 6722mm Yes ront Setback 2040mm Existing 5752mm Existin Secondary Street Setback 931mm Existin Min. side bdv setback % of landscaped area (35% min of Open Space) mpervious area (m2) 72% aximum depth of fill (m) 274mm Yes Yes No. of car spaces provided 1

Builder to Check and Confirm all Measurements Prior to Commencement of any works. mmediately Report any Discrepancie to Rapid Plans

Floor Space Ratio (Max=0:6) 0:58 Yes



Drawn | Checked GBJ Plot Date: 4/02/2021 Project NO. RP0720DEL Project Status DA Rev2

Client Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

Site: 54 Smith Street, Man

DRAWING TITLESTEE AND LOCATION

Landscape Open Space

Plan Proposed

Alterations & Additions

2 4-2-2021

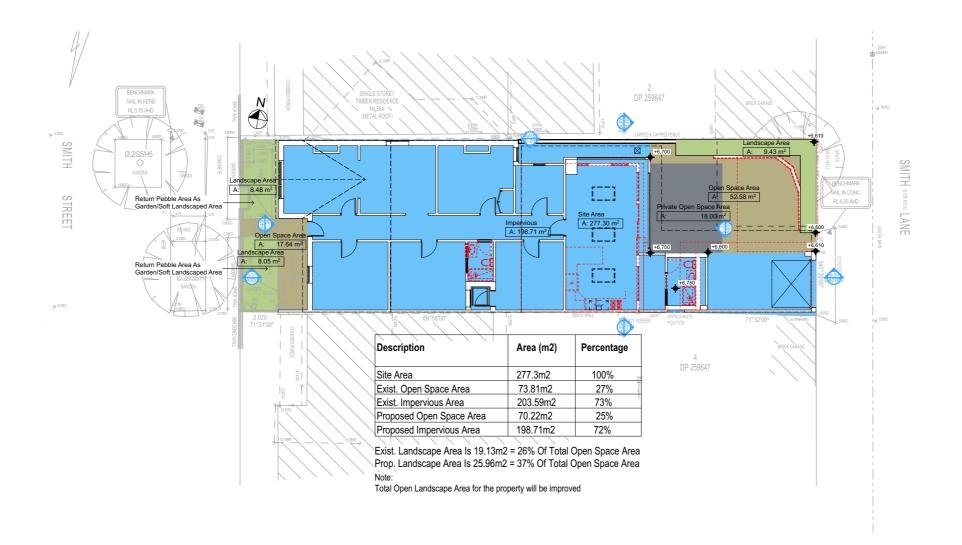
DA APPLICATION

ONLY

NOT FOR CONSTRUCTION

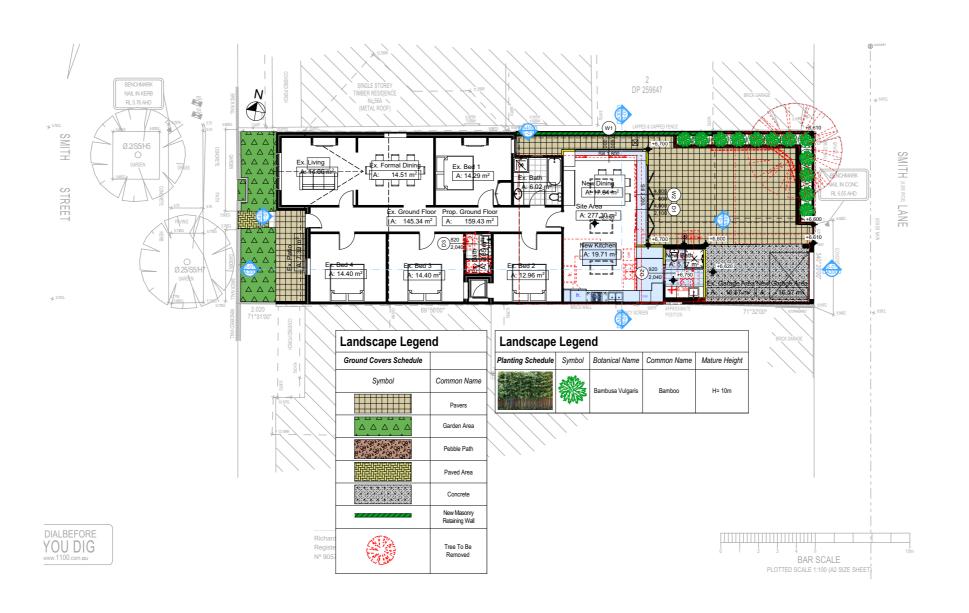
DA1010

Plot Date: 4/02/2 Sheet Size: A3



LANDSCAPE OPEN SPACE PROPOSED 1:200

2



LANDSCAPE PLAN

1:200

2

Rapid Plans
Bulding Design and Architectural Portring

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PO Box 619x Frenchs Forest DC NSW 2
Fax: (CQ) 9905-8865 Mobile: 0424-945

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A Smith Street, Manly is zoned R1-General Residential

Smith Street, Manly is not considered a heritage item
Plans to be read in conjunction with Basix Certificate
ew Works to be constructed shown in Shaded/Blue
onstruction
oncrete Stab Floors, Framed, Masonry Walls
on Framed in bawe R1 08 insulation

All work to Engineers Specification and BCA.

Timber framing to BCA and AS 1986.1.

Glazing to BCA and AS 3986.1.

Glazing to BCA and AS 3986.1.

Glazing to BCA and AS 3987.4.

Waterprotoing to BCA and AS 3740.

Waterprotoing

Certifying
The DA Application Only plans are for DA Application purposes only. The plans are not to be used for the construction certificate application by an Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans Basix.

Basix Certificate Number A402153
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (the
test of the property of the property of the property of the property of the
test of the table below, except that a) additional insulation is in
required where the area of new construction is less than 2nd, to
suitabling specified is not required for parts of altered construction
The applicant must install the windows, glazed dross and shading
views, in accordance with the specification is laid in the table be

window and glazed door."
For projections described in millimetres, the leading edge of ear eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed do

	_	-
Site Information	Prop.	Comp
Site Area	277.3m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Bldg Ht Above Nat. GL	6722mm	Yes
Front Setback	2040mm	Existing
Secondary Street Setback	5752mm	Existing
Min. side bdy setback	931mm	Existing
% of landscaped area (35% min of Open Space)	37%	Yes
Impervious area (m2)	72%	Yes
Maximum depth of fill (m)	274mm	Yes
No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0:6)	0:58	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. mmediately Report any Discrepancie to Rapid Plans



Drawn | Checked GBJ Plot Date: 4/02/2021 Project NO. RP0720DEL Project Status DA Rev2

Client Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

ication purpose

DRAWING TITLE:
SITE AND LOCATION

Landscape Plan

ECT NAME:
Alterations &

Alterations & Additions

2 4-2-2021 RAWING NO.

DA1011

Plot Date:



Denotes New Works

Wall Legend

Denotes New Timber Framed Wall Denotes New Masonry Wall Denotes New Concrete Block Wall **Denotes Existing Wall** Denotes Demolished Item







Site Information	Prop.	Comp
Site Area	277.3m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Bldg Ht Above Nat. GL	6722mm	Yes
Front Setback	2040mm	Existing
Secondary Street Setback	5752mm	Existing
Min. side bdy setback	931mm	Existing
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Impervious area (m2)	72%	Yes
Maximum depth of fill (m)	274mm	Yes
No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0:6)	0:58	Yes
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Builder to Check and Confirm all Measurements Prior to Commencement of any works. mmediately Report any Discrepancie to Rapid Plans



Drawn | Checked GBJ Plot Date: 4/02/2021 Project NO. RP0720DEL Project Status DA Roy2

lient Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

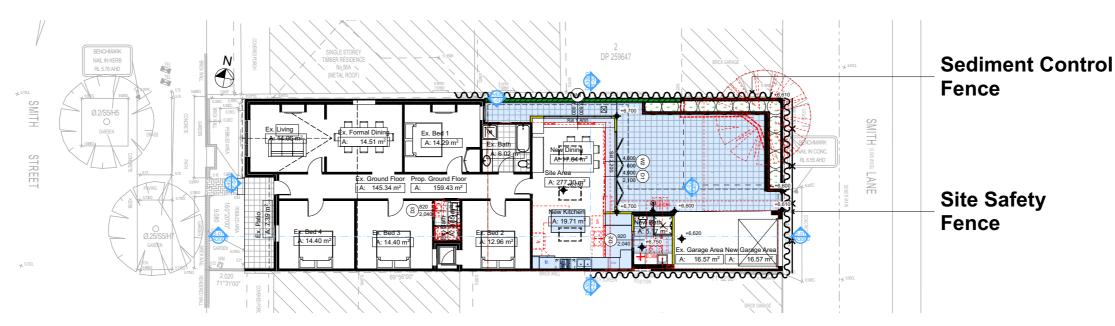
DRAWING TITLE:
SITE AND LOCATION
Sediment & Erosion Plan

Alterations &

Additions

4-2-2021

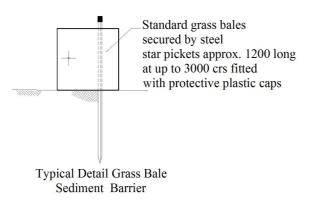
DA1012

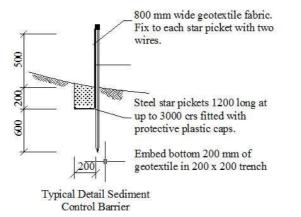


SEDIMENT & EROSION CONTROL PLAN 1:200

50-75 mm crushed rock -Geofabric lining Light Duty Tyre Cleaning Berm (3000 wide min) SL81 Fabric (2.4m x 3.0m) Mesh pegged firmly to ground 50-75 mm crushed rock Run-off to drain Light Duty Tyre Cleaning Grid (3000 wide min)

2







Denotes New Works

Wall Legend

Denotes New Timber Framed Wall
Denotes New Masonry Wall
Denotes New Concrete Block Wall
Denotes Existing Wall
Denotes Demolished Item





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54 Smith Street, Manly is not considered a heritage item AP Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue New Works to be constructed shown in Shaded/Blue Concrete State Ploors, Framed, Mascony Walss Roof Framed to have R108 insulation to External Framed, Mascony Wals R1.70 Refer to Engineers drawings for structural details All work to Engineers Specification and BCA Termite Management to ERC and AS 306.0.1

erproofing to BCA and AS 3740. Lytiphing to have minimum of 40% compact fluorescent lam rorkmanship and materials shall be in accordance with the irements of Building Codes of Australia. Ithina BA Application Only plans are for DA Application purposes only. The sale not to be used for the construction certificate application by an

authorised Construction Certificate chawings by Repid Plans entificate Number A402153 to be read in conjunction with Basix Certificate is to be read in conjunction with Basix Certificate is the second of the conference of the construction (floors, s, and ceilingshroid in accordance with the specifications the table below. except that a) additional insulation is not where the area of here construction is less than 2m2, b) in specified is not required for parts of altered construction suitation altered youts.

where insulation already exists.

The applicant must install the windows, glazed doors and shadn devices, in accordance with the specifications liked in the table to redeven our shadowing specifications must be satisfied for each property of the specification o

 Site Information
 Prop.
 Comp

 Site Area
 277.3m2 Yes

 Housing Density (dwelling/m2)
 1
 Yes

 Max Bldg Ht Above Nat. GL
 6722mm
 Yes

 Front Setback
 2040mm
 Existing

 Secondary Street Setback
 5752mm
 Existing

 Min. side bdy setback
 931mm
 Existing

 % of landscaped area (35% min of Open Space)
 37%
 Yes

 Impervious area (m2)
 72%
 Yes

 Maximum depth of fill (m)
 274mm
 Yes

ioor Space Ratio (Max=0:6) | 0:58 | Yes

Builder to Check and Confirm all

Measurements Prior to

Commencement of any works.

mmediately Report any Discrepanci



Drawn | Checked GBJ Plot Date: 4/02/2021 Project NO. RP0720DEI Project Status DA Rev2

Client Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

4! ---

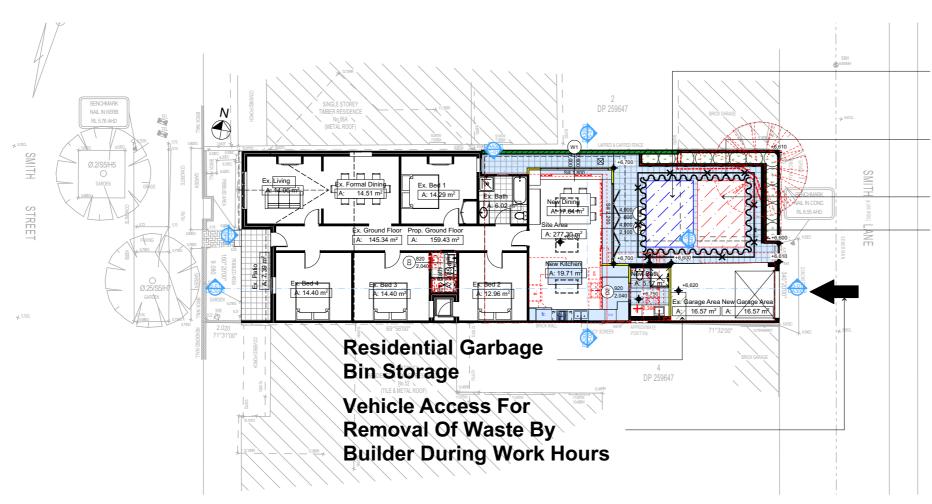
DRAWING TITLE:
SITE AND LOCATION
Waste Management Plan

Alterations & Additions

2 4-2-2021

DA1013

Plot Date: 4



Approximate Location
Of Building Waste &
Recycling Area
Sediment Control
Fence

Material Storage Area Site Safety Fence

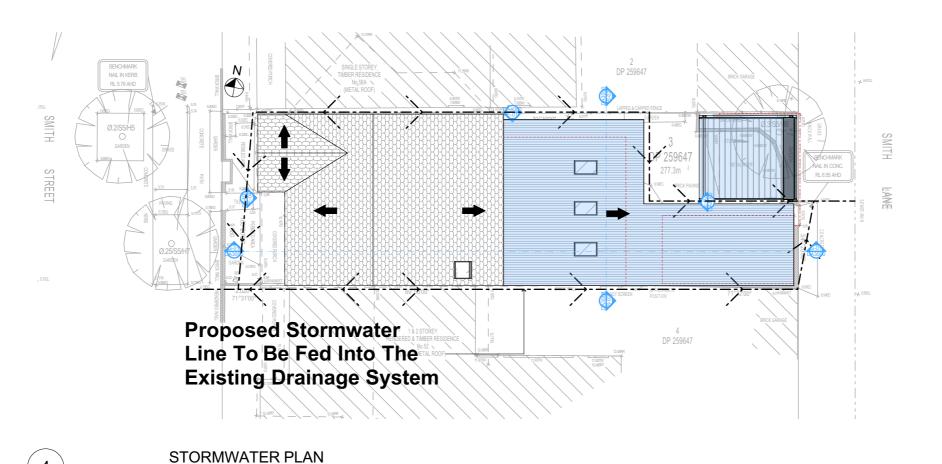
WASTE MANAGEMENT PLAN 1:200

> only. These plans are for DA Appli only. These plans are not to construction certificate appli the written permission of Ra



Legend

□ = □ Denotes Demolished Item



Plumber To Confirm Location Of Existing Stormwater/Sewer Prior To Commencement

1:200

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DA APPLICATION
ONLY
NOT FOR CONSTRUCTION



BUILDING DESIGNER

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ber faming is 6CA and AS 1584 in UA.

ber faming is 6CA and AS 1584 in UA.

ting to BCA and AS 3586.1

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erproficing to BCA and AS 3740.

Lighting to have minimum of 40% compact fluorescent lam

ordinariship and malerials shall be in accordance with the

remember of Building Codes of Australia.

DA Application Crity plans are for DA Application purposes only. The six are not to be used for the construction certificate application by any lighting Authority without the wittlen permission of Repid Paris or the ply of authorised Construction Certificate drawings by Repid Plans is Certificate Number A402153 Plans to be read in conjunction with Basix Certificate

e applicant must construct the new or altered construction (feel) walls and cellingerioos) in accordance with the specification der in the table below, except that a) additional irrelation is not qualitation specified is not required for parts of altered construction ere insulation already exists. applicant must install the windows, glezed doors and shading close, in accordance with the specifications is sided in the table below down and observed our specifications must be satisfied for each down and observed our specifications must be satisfied for each down and observed by specifications must be satisfied for each down and observed by specifications must be satisfied for each down and observed by specifications must be satisfied for each down and observed by specifications must be satisfied for each down and observed by specifications must be satisfied for each down and observed by specifications must be satisfied for each down and observed by several specifications must be satisfied for each down and observed by several specifications must be satisfied for each down and observed by several specifications and several specifications are several specifications are several specifications and several specifications are seve

ndow and glazed doo?, or projections described in millimetres, the leading edge of each ve, pergola, verandah, balcony or awning must be no more an 500 mm above the head of the window or glazed door and more than 2400 mm above the sill. wershadowing buildings or vegetation must be of the height and stance from the centre and the base of the window and glazed door

Site Information	Prop.	Comp.				
Site Area	277.3m2	Yes				
Housing Density (dwelling/m2)	1	Yes				
Max Bldg Ht Above Nat. GL	6722mm	Yes				
Front Setback	2040mm	Existing				
Secondary Street Setback	5752mm	Existing				
Min. side bdy setback	931mm	Existing				
% of landscaped area (35% min of Open Space)	37%	Yes				
Impervious area (m2)	72%	Yes				
Maximum depth of fill (m)	274mm	Yes				
No. of car spaces provided	1	Yes				
Floor Space Ratio (Max=0:6)	0:58	Yes				
Builder to Check and Confirm all						

Measurements Prior to
Commencement of any works.
mediately Report any Discrepanci
to Rapid Plans



Drawn | Checked GBJ Plot Date: 4/02/2021 Project NO. RP0720D Project Status DA Rev2

Client Ron and Carolyn Delezio

Site: 54 Smith Street, Ma

RAWING TITLE : SITE AND LOCATION

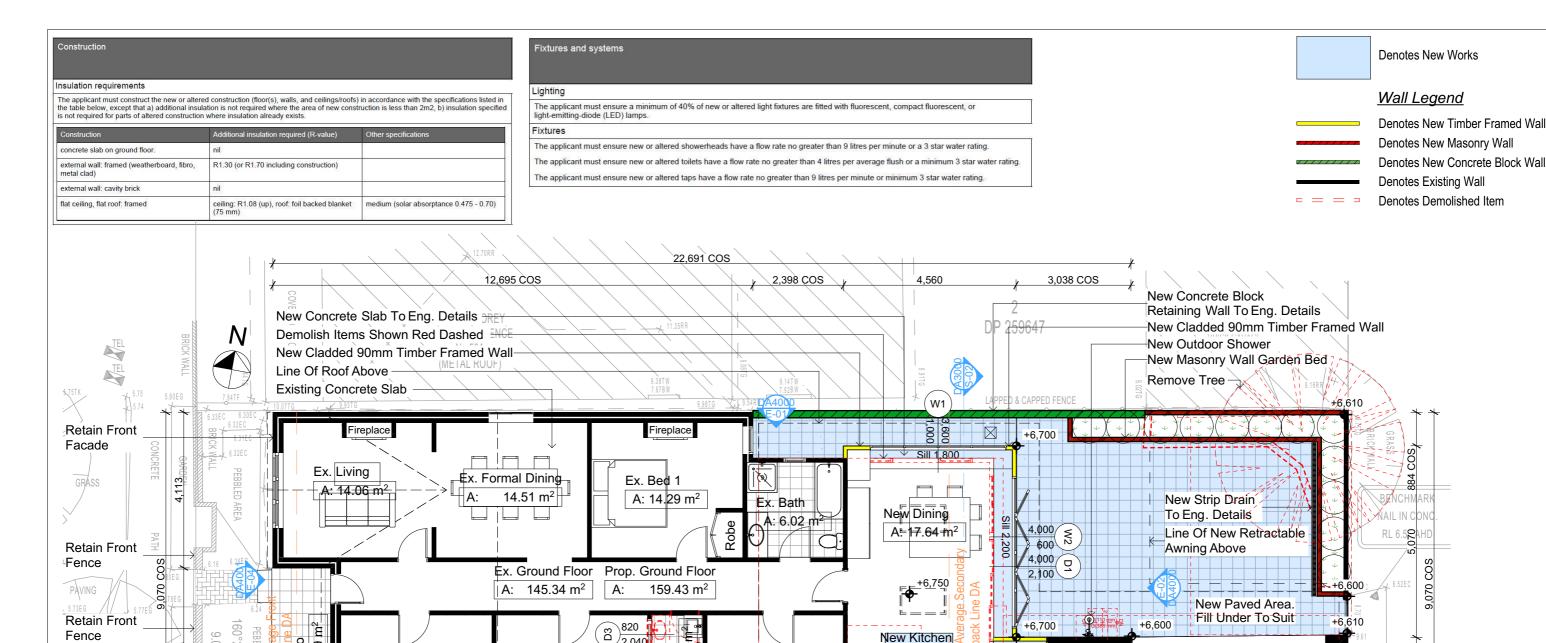
Stormwater Pla

Alterations & Additions

2 4-2-2021

DA1014

ot Date: 4/0
heet Size: A3



Ex. Bed 2

21.166 COS

Basix Certificate Number A402153

A: 12.96 m²

New Kitchen

GROUND FLOOR

2.020

71°31'00'

Refurbish Existing Bath

Existing Masonry Wall

Line Of Skylight Above

DA APPLICATION ONLY NOT FOR CONSTRUCTION

Ø.25/S5/H7

Retain Front Facade

> NOTES 54 Smith Street, Manly is zoned R1-General Residential All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue 54 Smith Street, Manly is not considered a heritage ite

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Ex. Bed 4

A: 14.40 m²

BUILDING DESIGNERS

Ex. Bed 3

A: 14.40 m²

1 & 2 STOREY

GROUND FLOOR

Ex. Garage Area New Garage Area

Wet Areas To Be Waterproofed

New Concrete Slab To Eng. Details

-New Concrete Slab To Eng. Details

Site Information

16.57 m² A:

To BCA & Aust. Stds.

New Masonry Wall

Prop. Comp.

Alterations & Additions

REVISION NO. 2 4-2-2021 **DA2001**

Prop. Comp. 931mm

Yes

Construction
Concrete Slab Floors, Framed, Masonry Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed, Masonry Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps Dask Certificate vinition reversity of the All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists. The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Divershadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door Checked Plot Date: Project NO. Project Status 4/02/2021 RP0720DEL DA Rev2 **Builder to Check and Confirm** Client Ron and Carolyn Delezio ACCREDITED Discrepancies to Rapid Plan Site: 54 Smith Street, Manly ASSOCIATION OF AUSTRALIA

72% Yes Max Bldg Ht Above Nat. G 6722mm Yes Front Setback 2040mm Existing Maximum depth of fill (mm) 274mm Yes Secondary Street Setback 5752mm Existing No. of car spaces provided Yes Floor Space Ratio (Max=0:6) 0:58 Yes DRAWING TITLE :

Housing Density (dwelling/m2)

/16.57 m²

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Rapid Plans 2020

BUILDING DESIGNER

m N

Sheet Size: A3

A: 19.71 m²

New Bath

920 42

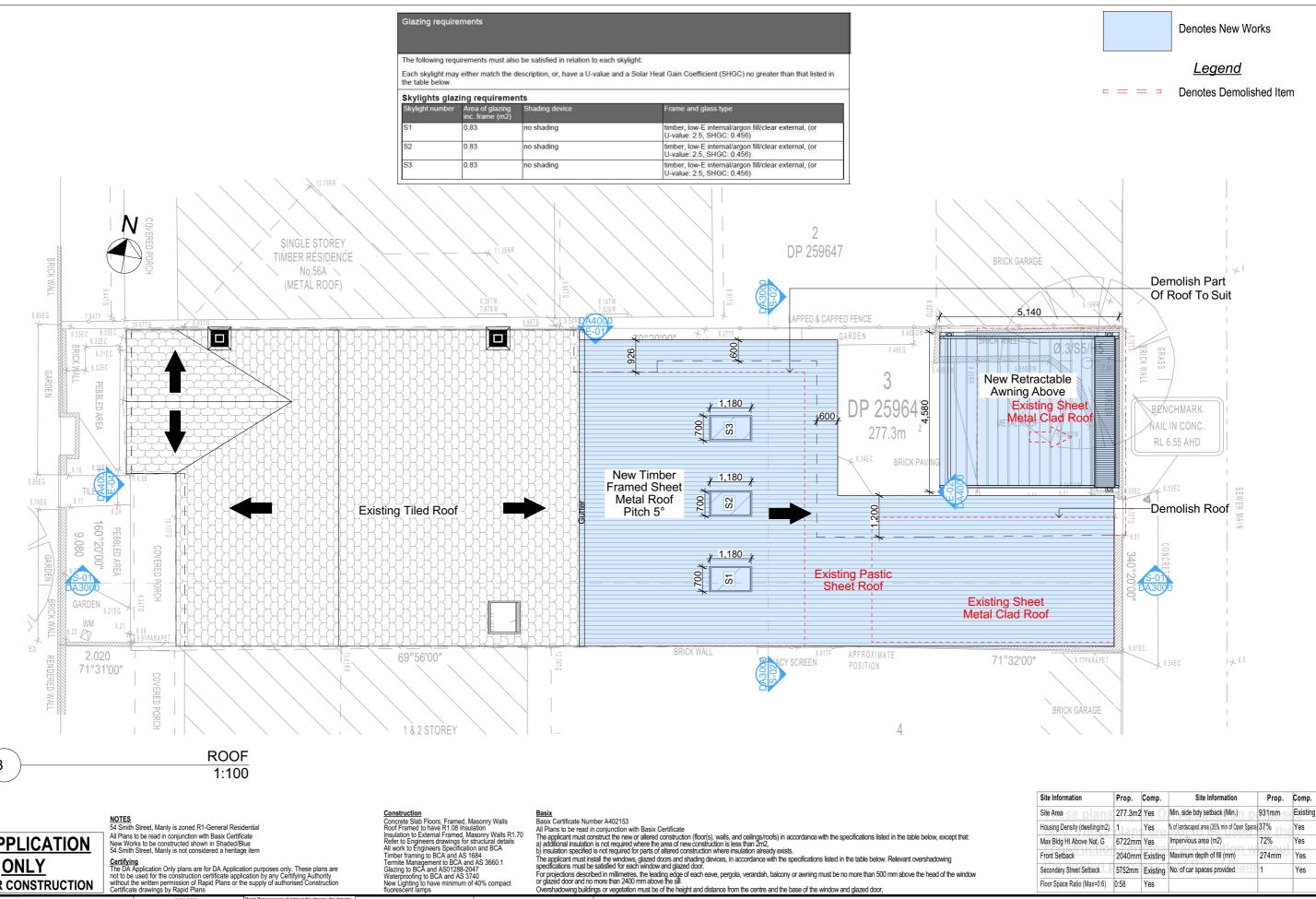
2.040

A: 5.17 m²

+6,750

+6,620

PROJECT NAME



DA APPLICATION ONLY NOT FOR CONSTRUCTION All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue 54 Smith Street, Manly is not considered a heritage itel

Certifying
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BUILDING DESIGNERS



Builder to Check and Confirm all Measurements Prior to ommencement of any works. Immediately Report any Discrepancies to Rapid Plans



1	Checked Plot Date: Project NO. Project Statu
	Client
	Site:

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Checked	GBJ
Plot Date:	4/02/2021
Project NO.	RP0720DEL
Project Status	DA Rev2
Client	Ron and Caroly

DRAWING TITLE :

ROOF PROJECT NAME

REVISION NO. 2 DATE. 4-2-2021 Yes

Alterations & Additions DA2002

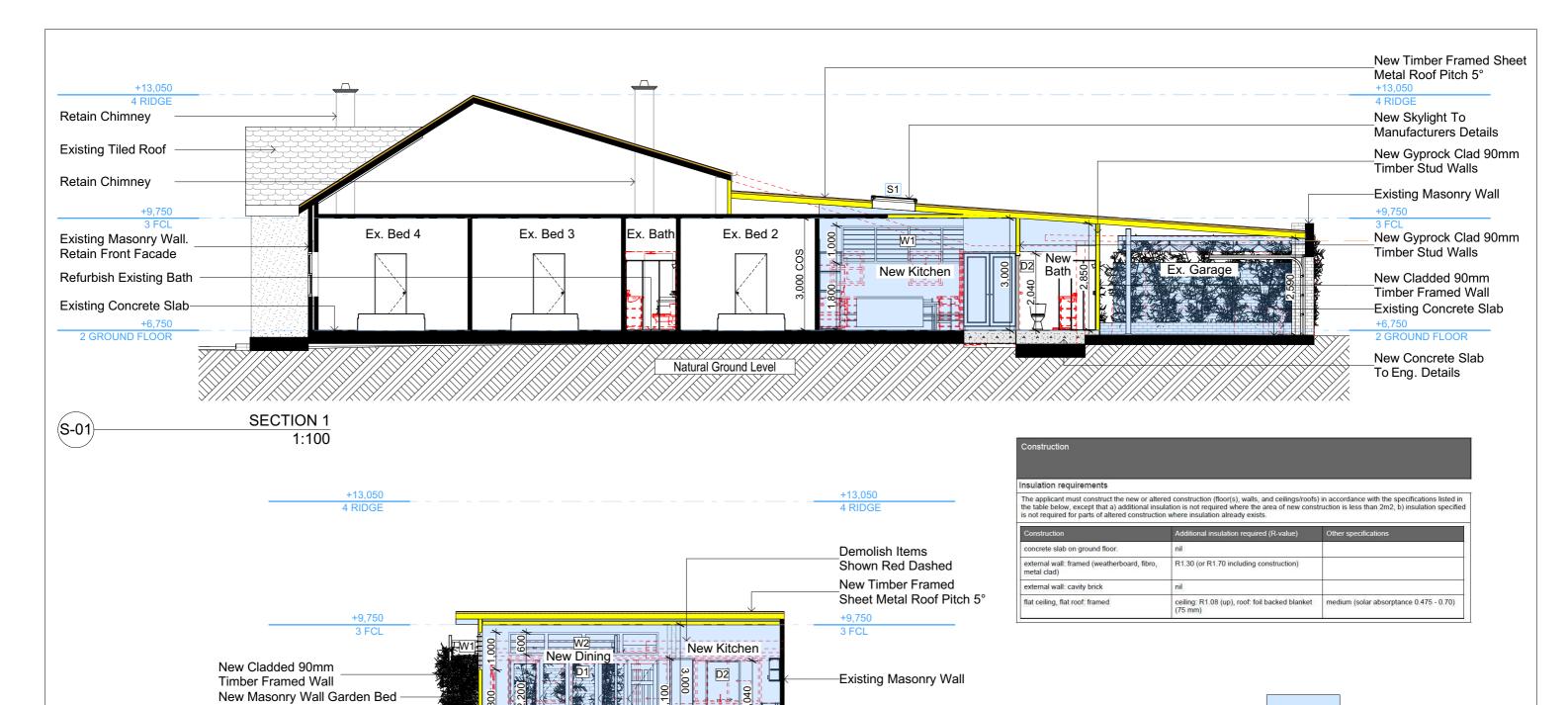
Secondary Street Setback 5752mm Existing No. of car spaces provided

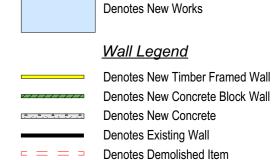
Floor Space Ratio (Max=0:6) 0:58 Yes

vn Delezio 54 Smith Street, Manly

Sheet Size: A3

ASSOCIATION OF AUSTRALIA BUILDING DESIGNER Rapid Plans 2020





Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area sa mlans	277.3m2	Yes	Min. side bdy setback (Min.)	931mm	Existing
Housing Density (dwelling/m2)	Alang	Yes	% of landscaped area (35% min of Open Space	37%	Yes
Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m2)	72%	Yes
Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0:6)	0:58	Yes			

DA APPLICATION

NOTES 54 Smith Street, Manly is zoned R1-General Residential All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue 54 Smith Street, Manly is not considered a heritage ite

New Concrete Block Retaining

Wall To Eng. Details

New Concrete Slab

(S-02)

To Eng. Details

Certifying
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+6,750

2 GROUND FLOOR

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SECTION 2

1:100

BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA



Builder to Check and Confirm Discrepancies to Rapid Plans



2 GROUND FLOOR

Existing Concrete Slab

For projections descrit or glazed door and no	more than 2400 mm above the	dge of each eave, p sill.		ony or awning must be no more than 500 m the base of the window and glazed door,	m above the head of the window
laa	Builder to Check and Confirm all Measurements Prior to	Project North	Checked Plot Date: Project NO. Project Status	GBJ 4/02/2021 RP0720DEL DA Rev2	DRAWING TITLE :
	Commencement of any works. Immediately Report any		Client	Ron and Carolyn Delezio	PROJECT NAME :

Basix Certificate Number 44/12/153
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

arolyn Delezio

DRAWING TITLE :

SECTION 1

REVISION NO. 2 DATE. 4-2-2021 **DA3000**

ONLY

NOT FOR CONSTRUCTION

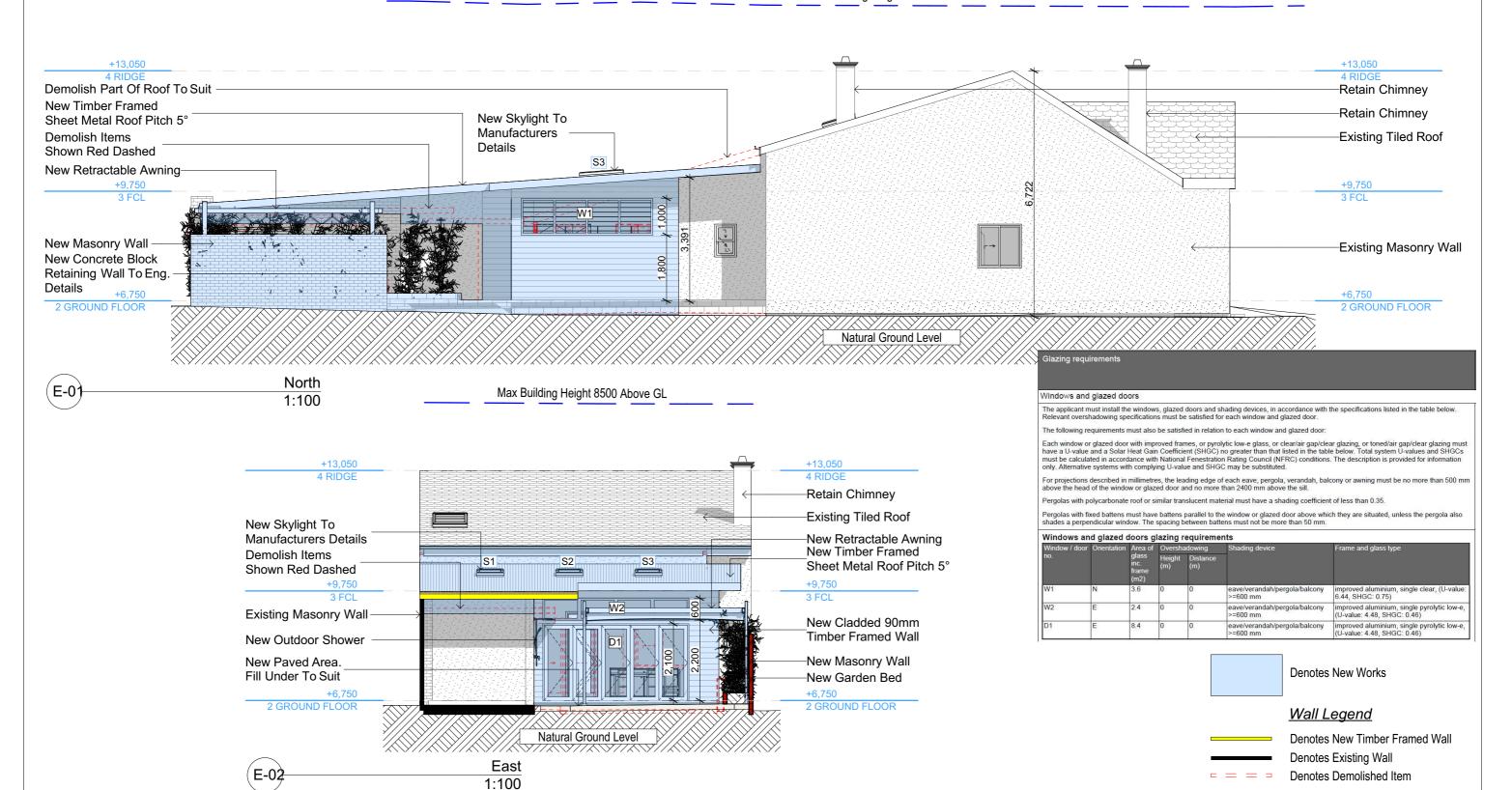
Natural Ground Level

Basix Certificate Number A402153

54 Smith Street, Manly Site

Sheet Size: A3

Alterations & Additions



DA APPLICATION ONLY NOT FOR CONSTRUCTION

NOTES 54 Smith Street, Manly is zoned R1-General Residential All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue 54 Smith Street, Manly is not considered a heritage ite

Certifying
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Construction
Concrete Slab Floors, Framed, Masonry Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed, Masonry Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix Certificate Number A402153

Dask Certificate vinition reversity of the All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door



Checked Plot Date: Project NO. Project Status

4/02/2021 RP0720DEL DA Rev2

Ron and Carolyn Delezio Site: 54 Smith Street, Manly

DRAWING TITLE :

ELEVATIONS 1

Floor Space Ratio (Max=0:6) 0:58 Yes

Prop. Comp.

277.3m2 Yes

6722mm Yes

Secondary Street Setback 5752mm Existing No. of car spaces provided

Yes

2040mm Existing Maximum depth of fill (mm)

REVISION NO. 2 DATE. 4-2-2021

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BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA



Discrepancies to Rapid Plan

Sheet Size: A3

PROJECT NAME **Alterations & Additions**

Site Information

Front Setback

Housing Density (dwelling/m2) 1

Max Bldg Ht Above Nat. G

DA4000

Prop. Comp.

72%

274mm

Yes

Yes

Yes

Yes

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door Orienta	Orientation	Area of	Overshadowing		Shading device	Frame and glass type	
		glass inc. frame (m2)	Height (m)	Distance (m)			
W1	N	3.6	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)	
W2	E	2.4	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)	
D1	E	8.4	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)	

Glazing requirements

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in

Skylights glazing requirements

Skylight number Area of glazing Shadir inc. frame (m2)		Shading device	Frame and glass type			
S1	0.83	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
S2 0.83 no shading		no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
S3	0.83	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			

Denotes New Works

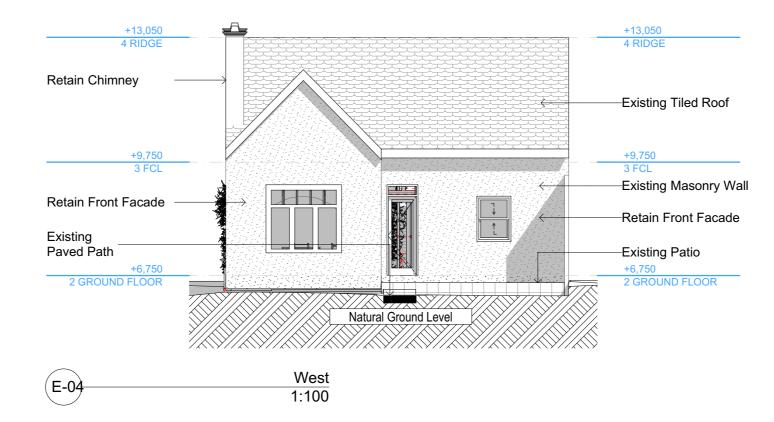
Wall Legend

Denotes Existing Path

 \Box \equiv \Box

Denotes Demolished Item

Max Building Height 8500 Above GL



DA APPLICATION ONLY NOT FOR CONSTRUCTION

NOTES 54 Smith Street, Manly is zoned R1-General Residential All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue 54 Smith Street, Manly is not considered a heritage item

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Fax: (02) 9905-8865

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction

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Builder to Check and Confirm Discrepancies to Rapid Plans

Basix Dertificate Number A402153



For projections descrit or glazed door and no	bed in millimetres, the leading ending ending ending ending ending ending endings or vegetation must be of the	dge of each eave, p sill.		, ,	more than 500 mm above the head of the window glazed door,
	Builder to Check and Confirm all Measurements Prior to Commencement of any works.	Project North	Checked Plot Date: Project NO. Project Status	GBJ 4/02/2021 RP0720DEL DA Rev2	DRAWING TITLE :

Sheet Size: A3

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The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

Client Ron and Carolyn Delezio Site: 54 Smith Street, Manly

PROJECT NAME

Site Information

Front Setback

Site Area

ELEVATIONS 2

Housing Density (dwelling/m2) 1 Yes

Max Bldg Ht Above Nat. G 6722mm Yes

Floor Space Ratio (Max=0:6) 0:58 Yes

REVISION NO.

Prop. Comp.

Existing

Yes

Yes

Yes

Yes

931mm

72%

274mm

Site Information

% of landscaped area (35% min of Open Space) 37%

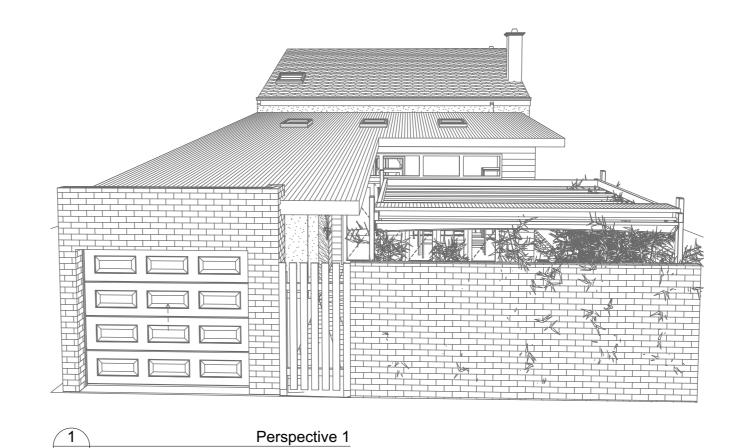
2 DATE. 4-2-2021 **Alterations & Additions DA4001**

Prop. Comp.

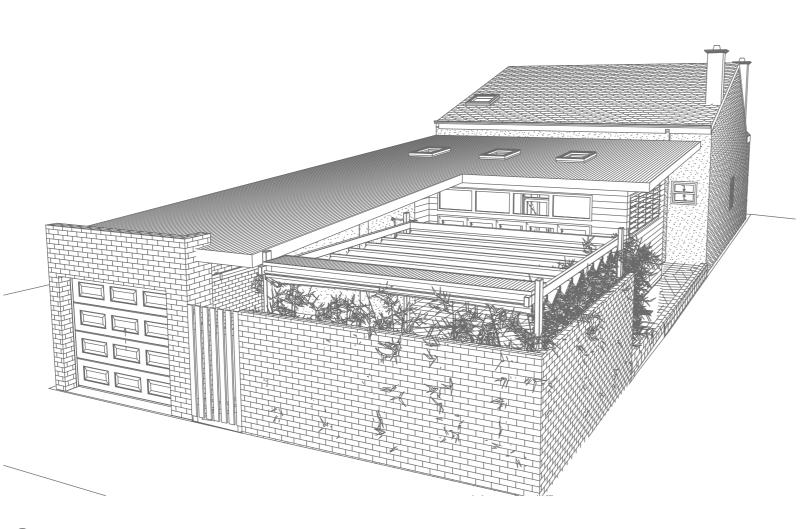
Secondary Street Setback 5752mm Existing No. of car spaces provided

277.3m2 Yes Min. side bdy setback (Min.)

2040mm Existing Maximum depth of fill (mm)



1:200



These plans are for DA Ap only. These plans are not to construction certificate ap the written permission of F

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION



PO Box 619% Frenchs Forest DC NSW 208 Fax : (02) 9905-8865 Mohille: 0414-945-02 Email : gregg@rapidplans.com.au





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DITES

14 Smith Street, Manily is zoned RT-General Residential

4 Smith Street, Manily is not considered a heritage item

4 Fams to be read in conjunction with Basix Certificate

tew Works to be constructed shown in Shaded Blue

5000 Smith Street, Smith Street, Smith Street

5000 Smith Street

500

Refer to Engineers drawing for structural details: All work to Engineers Specification and BCA All work to Engineers Specification and BCA Termite Management to BCA and AS 3860.1 (Bazing Ib BCA and AS 3860.1 Waterpropting to BCA and AS 374.0% compact fluorescent la All workmarship and materials shall be in accordance with the requirements of Building Codes of Australia.

The DA Application Only plans are for DA Application purposes only. The plans are not to be used for the construction certificate application by an Certifying Authority without the within permission of Pagid Pens or the supply of authorised Construction Certificate drawings by Rapid Pens Basix.

Basix Certificate Number A402153

Basix Certificate Number ANQT153
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (flo), walls, and conjunction the new properties of the p

Relevant overshadowing specifications must be satisfied for each window and glazed door. For projections described in millimetres, the leading edge of ead eave, pergola, vernorials, bascomy or awning must be not more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sinus. Overshadowing buildings or vegetation must be of the height and distance from the conthe and the bese of the window and glazed doo

Site Information	Prop.	Comp.			
Site Area	277.3m2	Yes			
Housing Density (dwelling/m2)	1	Yes			
Max Bldg Ht Above Nat. GL	6722mm	Yes			
Front Setback	2040mm	Existing			
Secondary Street Setback	5752mm	Existing			
Min. side bdy setback	931mm	Existing			
% of landscaped area (35% min of Open Space)	37%	Yes			
Impervious area (m2)	72%	Yes			
Maximum depth of fill (m)	274mm	Yes			
No. of car spaces provided	1	Yes			
Floor Space Ratio (Max=0:6)	0:58	Yes			
Builder to Check and Confirm all					

Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans



Plot Date: 4/02/2021 Project NO. RP0720DEL Project Status DA Rev2

Client Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

ation purpose

SHADOW PLANS
PERSPECTIVE

Alterations & Additions

REVISION NO. DATE

2 4-2-2021

DA5000

Date: 4/02/2i

Perspective 2 1:200



Denoted Cladding (Typical). Builder To Confirm Type & Colour



Denoted Retractable Awning (Typical). Builder To Confirm Type & Colour





Measurements Prior to Commencement of any works. mmediately Report any Discrepancies to Rapid Plans

Drawn | Checked GBJ Plot Date: 4/02/2021 Project NO. RP0720DEL Project Status DA Rev2

lient Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

MATERIAL & COLOUR
SAMPLE BOARD

Alterations & **Additions**

4-2-2021

DA5001



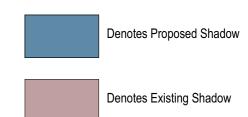
Denoted Rendered Wall (Typical). Builder To Confirm Type & Colour

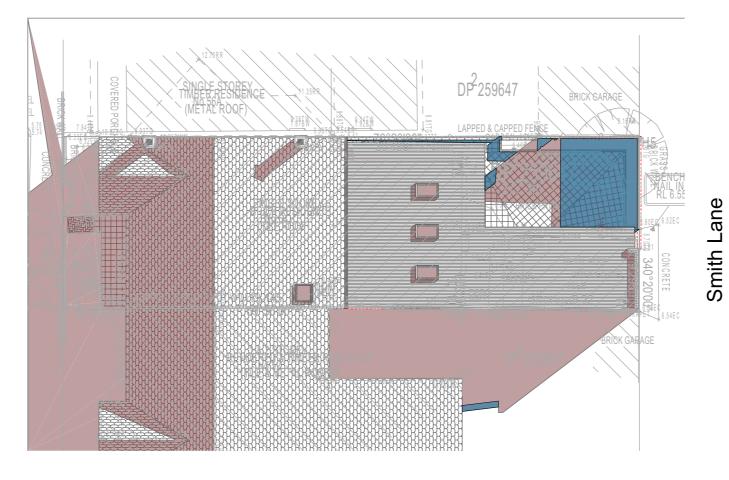


Denoted Paving (Typical). Builder To Confirm Type & Colour



Denoted Sheet Metal Roof (Typical). Builder To Confirm Type & Colour





Smith Street

SHADOW PLAN 21 JUN at 0900h

DA APPLICATION ONLY NOT FOR CONSTRUCTION

NOTES 54 Smith Street, Manly is zoned R1-General Residential All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
54 Smith Street, Manly is not considered a heritage item

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Checked	GBJ
Plot Date:	4/02/2021
Project NO.	RP0720DE
Project Status	DA Rev2
Client	Ron and

Basix
Basix Certificate Number A402153
All Plans to be read in conjunction with Basix Certificate
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For expecifications must be satisfied for each window and glazed door.

on and Carolyn Delezio 54 Smith Street, Manly

Sheet Size: A3

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, DRAWING TITLE :

SHADOW PLAN 21st June

9am **DA5002**

Prop. Comp.

Secondary Street Setback 5752mm Existing No. of car spaces provided

2040mm Existing Maximum depth of fill (mm)

Housing Density (dwelling/m2) 1 Yes

Max Bldg Ht Above Nat. G 6722mm Yes

Floor Space Ratio (Max=0:6) 0:58 Yes

REVISION NO. 2

Prop. Comp.

Existing

Yes

Yes

Yes

Yes

931mm

72%

274mm

PROJECT NAME : **Alterations & Additions**

Site Information

Front Setback

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ДАТЕ. 4-2-2021



Smith Lane

02

SHADOW PLAN 21 JUN at 1200h

DA APPLICATION ONLY NOT FOR CONSTRUCTION

NOTES
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All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
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Construction
Concrete Slab Floors, Framed, Masonry Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed, Masonry Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 3740
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix Certificate Number A402153
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site:

Site illiorillation	riop.	Comp.	Site illiorillation	riop.	Comp.
Site Area se plans	277.3m2	Yes	Min. side bdy setback (Min.)	931mm	Existing
Housing Density (dwelling/m2)	Alang	Yes	% of landscaped area (35% min of Open Space)	37%	Yes
Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m2)	72%	Yes
Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0:6)	0:58	Yes			

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all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



GBJ 4/02/2021 RP0720DEL DA Rev2 Checked Plot Date: Project NO. Project Status Client

Sheet Size: A3

Ron and Carolyn Delezio

54 Smith Street, Manly

PROJECT NAME : **Alterations & Additions**

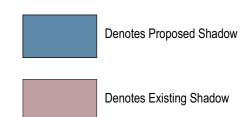
SHADOW PLANS 21st June

12pm

DRAWING TITLE :

REVISION NO. 2 ДАТЕ. 4-2-2021

DA5003



Smith Lane

Smith Street

SHADOW PLAN 21 JUN at 1500h 1:200

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Checked Plot Date: Project NO. Project Status

GBJ 4/02/2021 RP0720DEL DA Rev2

Ron and Carolyn Delezio 54 Smith Street, Manly

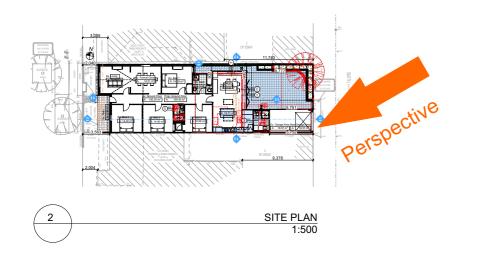
DRAWING TITLE : SHADOW PLAN 21st June 3pm

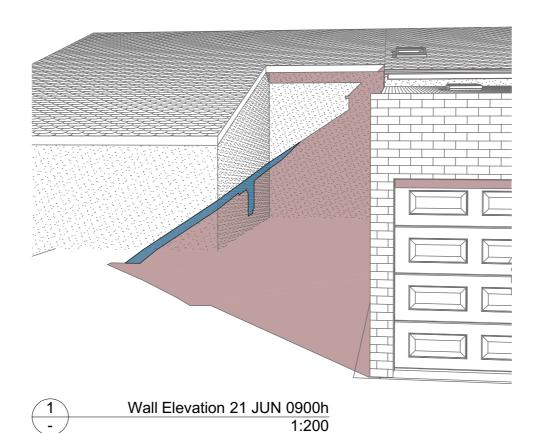
REVISION NO.

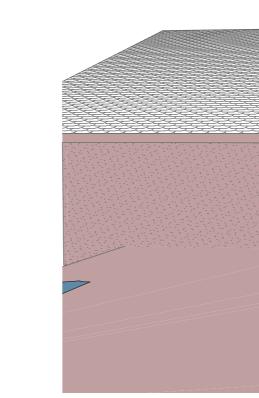
2
DATE.

4-2-2021
DRAWING NO. DA5004

Alterations & Additions







3 Wall Elevation 21 JUN 1500h 1:200 Denotes Proposed Shadow

Denotes Existing Shadow



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NOTES
54 Smith Street, Marily is zoned R1-General Residential
54 Smith Street, Marily is not considered a heritage liter
All Plans to be read in conjunction with Basis Certificate
New Works to be constructed shown in Shadedflue
Construction
Control State Floors, Framed, Maconny Walls
C

All work to Engineers Specification and BCA.

Timber framing to BCA and AS 1986.1

Timber framing to BCA and AS 3986.1

Glazing to BCA and AS 1978.2

Waterproting to BCA and AS 3980.1

Waterproting to BCA and AS 3740

Waterproting

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The applicant must construct the new or altered construction (to
(s), walls, and ceilings/roofs) in accordance with the specification
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regular to the plant of the second of the second of the second of the
regular to the plant of the second of the second of the
where insulation already exists.
The applicant must install the windows, glazed doors and shading
devices, in accordance with the specifications issted in the table below

window and glazed door."
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must 5e no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door

Site Information Prop. Comp. 277.3m2 Yes Site Area ousing Density (dwelling/m2) 1 Max Bldg Ht Above Nat. GL 6722mm Yes ront Setback 2040mm Existing 5752mm Existing Secondary Street Setback 931mm Existin Min. side bdy setback % of landscaped area (35% min of Open Space) mpervious area (m2) 72% Yes Maximum depth of fill (m) No. of car spaces provided 1 Floor Space Ratio (Max=0:6) 0:58 Yes Builder to Check and Confirm all

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Commencement of any works.
mmediately Report any Discrepancie
to Rapid Plans



Drawn | Checked GBJ Plot Date: 4/02/2021 Project NO. RP0720DEL Project Status DA Rev2

Client Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

cation purpose

WALL ELEVATION
SHADOWS

Alterations & Additions

2 4-2-2021

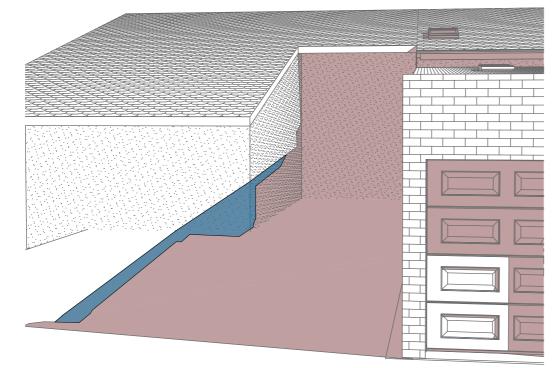
DA5005

DA APPLICATION

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t Date: 4/02/2021
Diskatel jobs on the golDeleado-22-0
Rev2 pin



Wall Elevation 21 JUN 1200h 1:200