

Rapid Plans www.rapidplans.com.au
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Email: gregg@rapidplans.com.au



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



ACCREDITED
BUILDING DESIGNER

DEVELOPMENT APPLICATION
Alterations & Additions To Existing Residence
For Ron and Carolyn Delezio
54 Smith Street, Manly

Lot 3 D.P. 259647

Project Number: RP0720DEL

DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	2	- 4-2-2021
DA1001	A4 NOTIFICATION PLAN	2	- 4-2-2021
DA1002	SITE SURVEY	2	- 4-2-2021
DA1003	SITE PLAN	2	- 4-2-2021
DA1004	Existing Ground Floor Plan	2	- 4-2-2021
DA1005	Existing Roof Plan	2	- 4-2-2021
DA1006	Demolition Ground Floor Plan	2	- 4-2-2021
DA1007	Demolition Roof Plan	2	- 4-2-2021
DA1008	Excavation & Fill Plan	2	- 4-2-2021
DA1009	Landscape Open Space Plan Existing	2	- 4-2-2021
DA1010	Landscape Open Space Plan Proposed	2	- 4-2-2021
DA1011	Landscape Plan	2	- 4-2-2021
DA1012	Sediment & Erosion Plan	2	- 4-2-2021
DA1013	Waste Management Plan	2	- 4-2-2021
DA1014	Stormwater Plan	2	- 4-2-2021
DA2001	GROUND FLOOR	2	- 4-2-2021
DA2002	ROOF	2	- 4-2-2021
DA3000	SECTION 1	2	- 4-2-2021
DA4000	ELEVATIONS 1	2	- 4-2-2021
DA4001	ELEVATIONS 2	2	- 4-2-2021
DA5000	PERSPECTIVE	2	- 4-2-2021
DA5001	MATERIAL & COLOUR SAMPLE BOARD	2	- 4-2-2021
DA5002	SHADOW PLAN 21st June 9am	2	- 4-2-2021
DA5003	SHADOW PLAN 21st June 12pm	2	- 4-2-2021
DA5004	SHADOW PLAN 21st June 3pm	2	- 4-2-2021
DA5005	WALL ELEVATION SHADOWS	2	- 4-2-2021



BASIX® Certificate

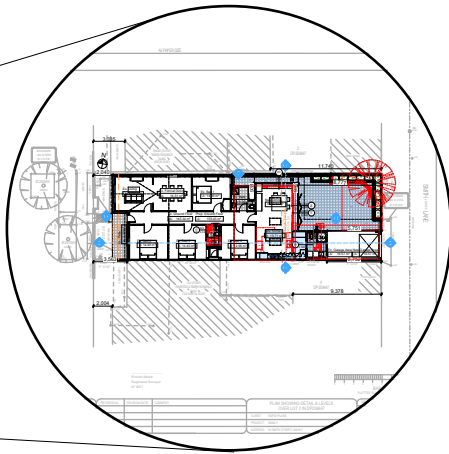
Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A402153

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 16, December 2020
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	Delezio
Street address	54 Smith Street Manly 2095
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 259647
Lot number	3
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	Rapid Plans
ABN (if applicable):	43150064592

LEGEND

EB - EDGE OF BITUMEN
EC - EDGE OF CONCRETE
TB - TOP OF BANK
BB - BOTTOM OF BANK
TW - TOP OF WINDOW
BW - BOTTOM OF WINDOW
TG - TOP OF GUTTER
RR - ROOF RIDGE
FL - FLOOR LEVEL
INV - INVERT LEVEL
ELEC - ELECTRICAL PIT
Ø4/S10H16 - TREE DIAMETER/SPREAD/HEIGHT

NOTE:

BOUNDARIES HAVE BEEN DETERMINED BY SURVEY ON 13/07/2020.

PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.

SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATOR(S) LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) USING PM 787 WITH RL 5.214 (AHD).

RIDGE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO ± 0.05m.

CONTOURS SHOWN DEPICT THE TOPOGRAPHY. EXCEPT AT SPOT LEVELS SHOWN THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. THE SPOT LEVELS ARE TRUE FOR THEIR POSITION, AND ARE INTENDED TO BE USEFUL TO REPRESENT THE GENERAL TERRAIN. CARE SHOULD BE TAKEN IF EXTRAPOLATING.

R648589 CROSS EASEMENTS AFFECTING THE PARTY WALL ON THE COMMON BOUNDARY OF LOTS 3 AND 4 IN DP259647

LEGEND

BENCH MARK	▲
TELSTRA PIT	⬢ TEL
ELECTRIC LIGHT POLE	⬢ LP
POWER POLE	⬢ PP
SIGN POST	⬢ SP
SEWER INSPECTION PIT	⬢ SIP
SEWER VENT	⬢ SEWER
MANHOLE	⬢ MH
SEWER MANHOLE	⬢ SMH
STOP VALVE	⬢ SV
WATER HYDRANT	⬢ HYD
WATER METER	⬢ WM
GAS METER	⬢ GM
STATE SURVEY MARK	⬢ SSM



TSS TOTAL SURVEYING SOLUTIONS

LANE COVE | CAMDEN | MANLY VALE | CENTRAL COAST

NOTE:

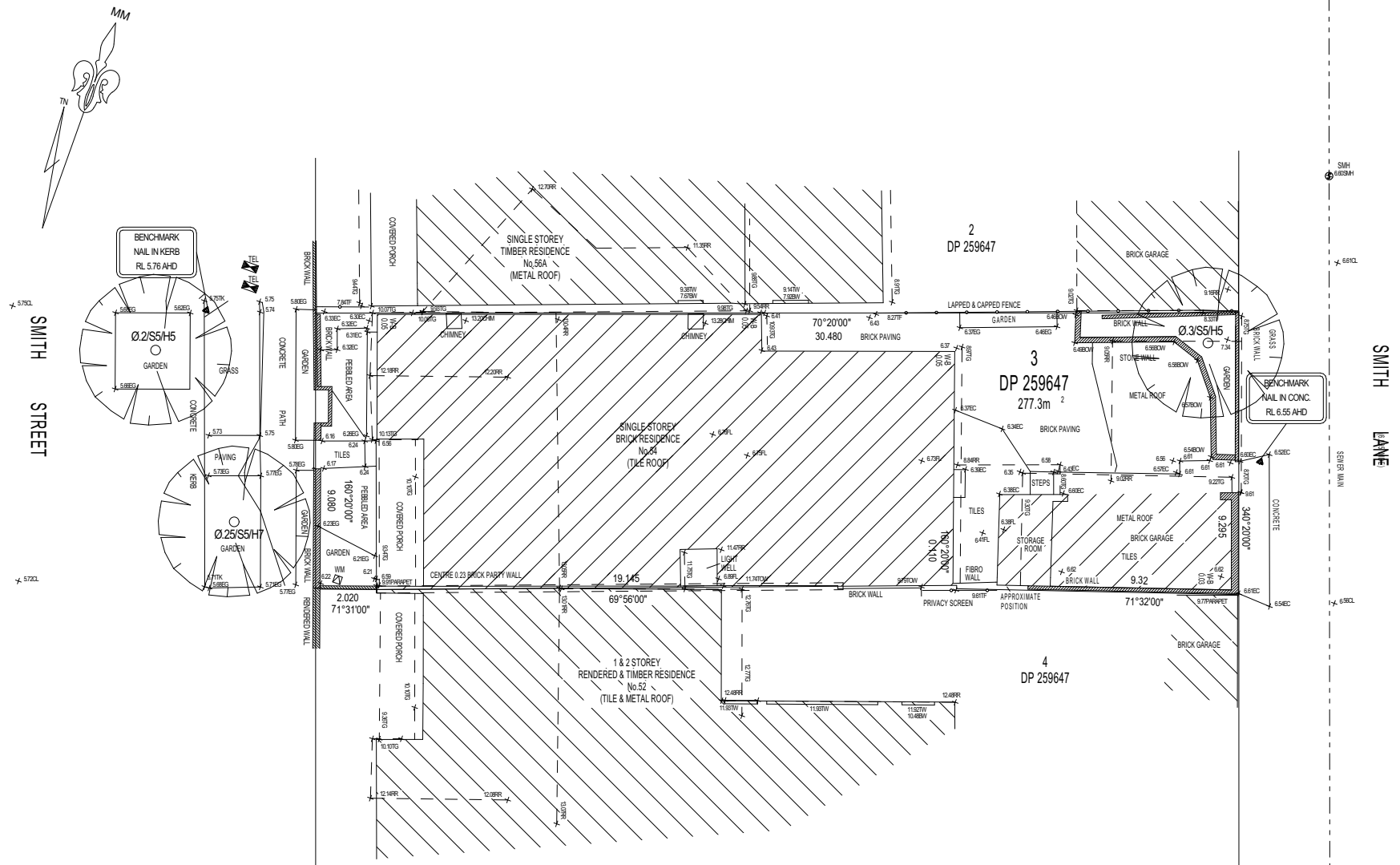
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REVISION No.	REVISION DATE:	COMMENT:

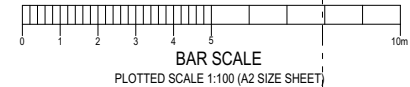
**PLAN SHOWING DETAIL & LEVELS
OVER LOT 3 IN DP259647**

CLIENT: RAPID PLANS
PROJECT: MANLY
ADDRESS: 54 SMITH STREET, MANLY

JOB No.: 201094	LGA: NORTHERN BEACHES
PLAN No.: 201094-1	DATUM: AHD
DATE: 13/07/2020	SCALE: 1:100@A2
DRAWN: DF	CONT. INTERVAL: 0.25m
CHK: SF	SHEET 1 OF 1



Richard Abbott
Registered Surveyor
N° 9057



1

SURVEY PLAN
1:200

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**



Denotes New Works

Wall Legend



Denotes New Timber Framed Wall



Denotes New Masonry Wall



Denotes New Concrete Block Wall



Denotes Existing Wall



Denotes Demolished Item



Rapid Plans
PO Box 6239 Fitzroy Vic 3065
Tel: (03) 9358-8845 Mobile: 0414-545-024
Email: info@rapidplans.com.au

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ASSOCIATION OF AUSTRALIA



ACCREDITED
BUILDING DESIGNER

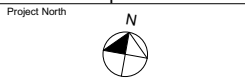
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NOTES
54 Smith Street, Marly is zoned R1-General Residential
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Concrete Slab Floor, Framed, Masonry Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed, Masonry Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 1742-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans
Basic
Basic Certificate Number A402153
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For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	277.3m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Bldg Ht Above Nat. GL	6722mm	Yes
Front Setback	2040mm	Existing
Secondary Street Setback	5752mm	Existing
Min. side bdy setback	931mm	Existing
% of landscaped area (35% min of Open Space)	37%	Yes
Impervious area (m ²)	72%	Yes
Maximum depth of fill (m)	274mm	Yes
No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0:58	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 4/02/2021
Project NO.: RP07/200DEL
Project Status DA Rev2

Client Ron and Carolyn Delezio

Site: 54 Smith Street, Marly

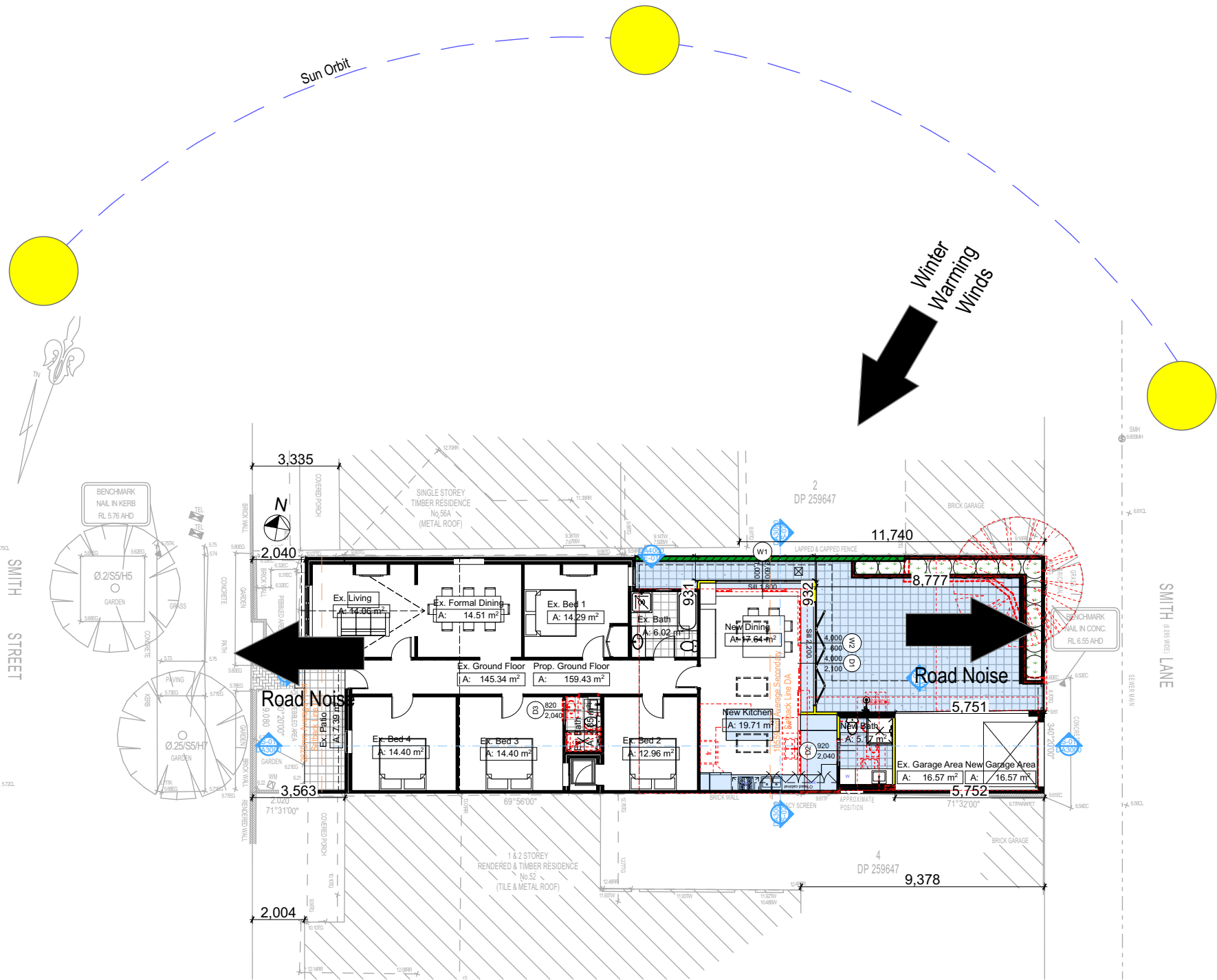
DRAWING TITLE:
SITE AND LOCATION
SITE PLAN

PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
2 4-2-2021

DRAWING NO.
DA1003

Plot Date: 4/02/2021
Sheet Size: A3



2

SITE PLAN
1:200

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: cavity brick	nil	
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

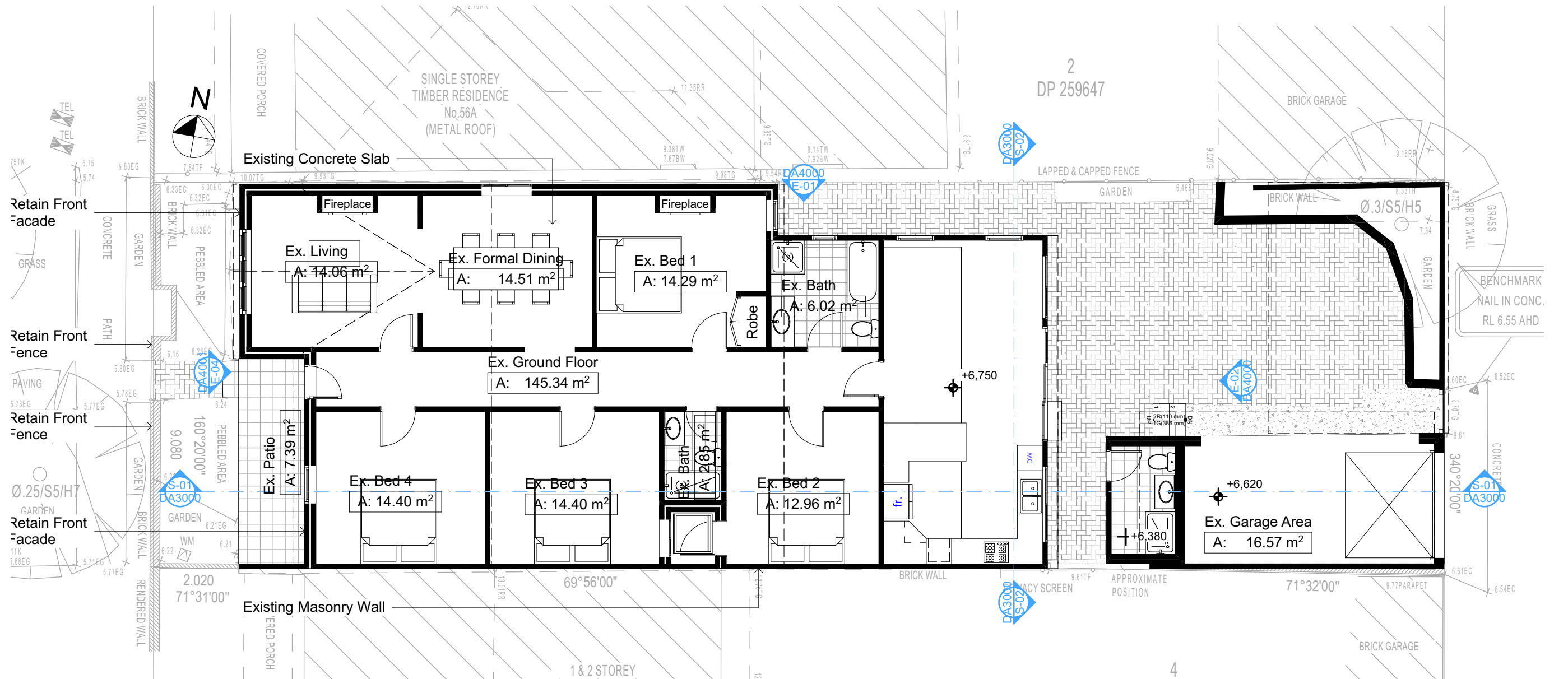
Summer
Cooling
Winds

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

Wall Legend

Denotes Existing Wall



EXISTING GROUND FLOOR

1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement

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NOTES

54 Smith Street, Manly is zoned R1-General Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
54 Smith Street, Manly is not considered a heritage item

Certifying

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Construction

Concrete Slab Floors, Framed, Masonry Walls
Roof Framed to have R1.08 Insulation
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Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A402153

All Plans to be read in conjunction with Basix Certificate

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Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	277.3m ²	Yes	Min. side bdy setback (Min.)	931mm	Existing
Housing Density (dwelling/m ²)	1	Yes	% of landscaped area (35% min of Open Space)	37%	Yes
Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m ²)	72%	Yes
Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0.58	Yes			

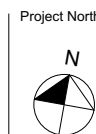


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Checked
Plot Date:
Project NO.
Project Status
Client
Site:
Sheet Size: A3

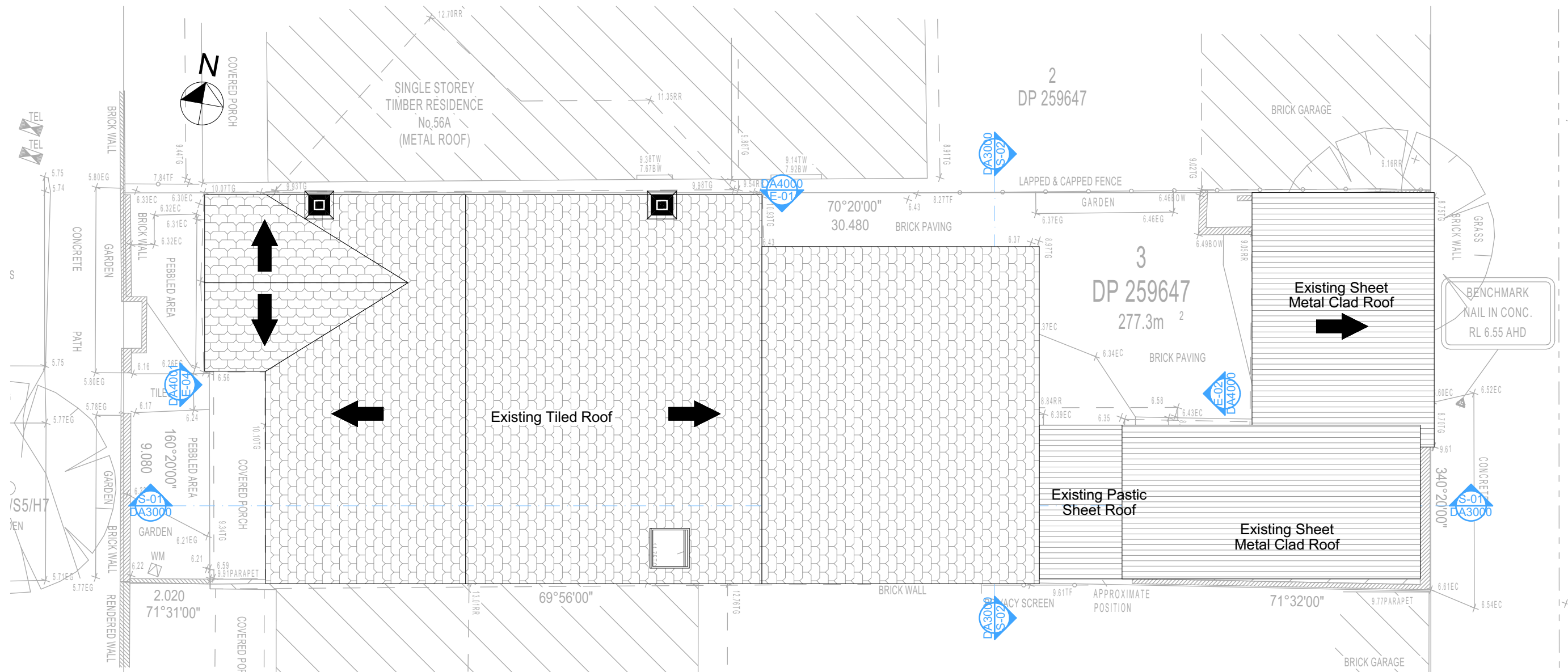
GBJ
4/02/2021
RP0720DEL
DA Rev2
Ron and Carolyn Delezio
54 Smith Street, Manly

DRAWING TITLE :
SITE AND LOCATION
Existing Ground Floor Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
2
DATE:
4-2-2021
DRAWING NO.
DA1004

Wall Legend

Denotes Existing Wall



3 EXISTING FIRST FLOOR
1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement

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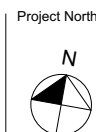


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Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

GBJ
4/02/2021
RP0720DEL
DA Rev2

Client
Site:
Ron and Carolyn Delezio
54 Smith Street, Manly

Sheet Size: A3

DRAWING TITLE :

SITE AND LOCATION
Existing Roof Plan

PROJECT NAME :

Alterations & Additions

REVISION NO.

2

DATE

4-2-2021

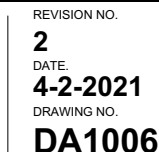
DRAWING NO.

DA1005

 Denotes Existing Wall
 Denotes Demolished Item

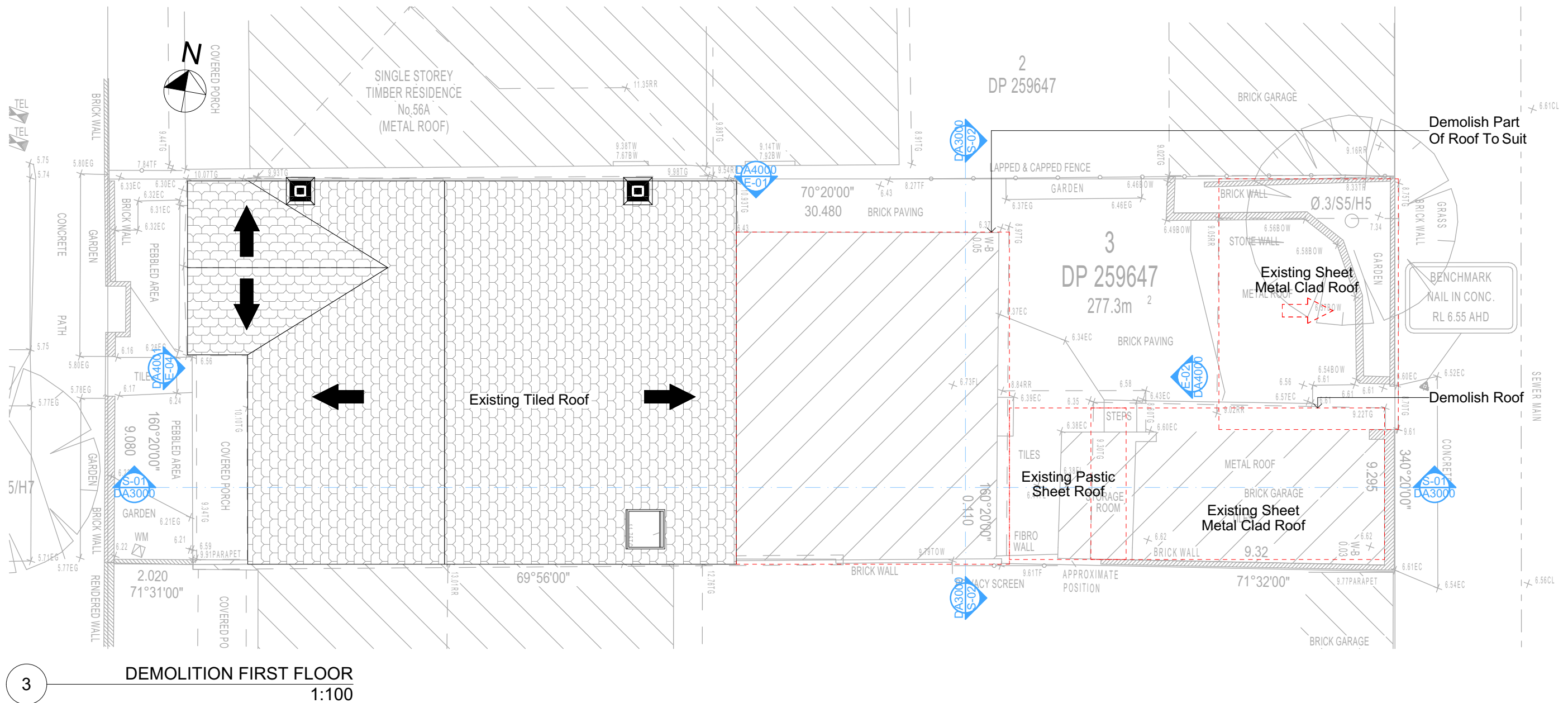


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Floor Space Ratio (Max=0.6)	0.58	Yes			



Wall Legend

Denotes Existing Wall
Denotes Demolished Item



All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

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NOTES
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Construction
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Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

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Basic Certificate Number A402153
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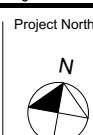


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Checked
Plot Date:
Project NO.
Project Status

Client
Site:

Sheet Size: A3

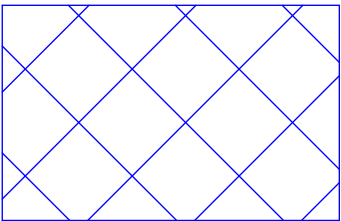
GBJ
4/02/2021
RP0720DEL
DA Rev2

Ron and Carolyn Delezio
54 Smith Street, Manly

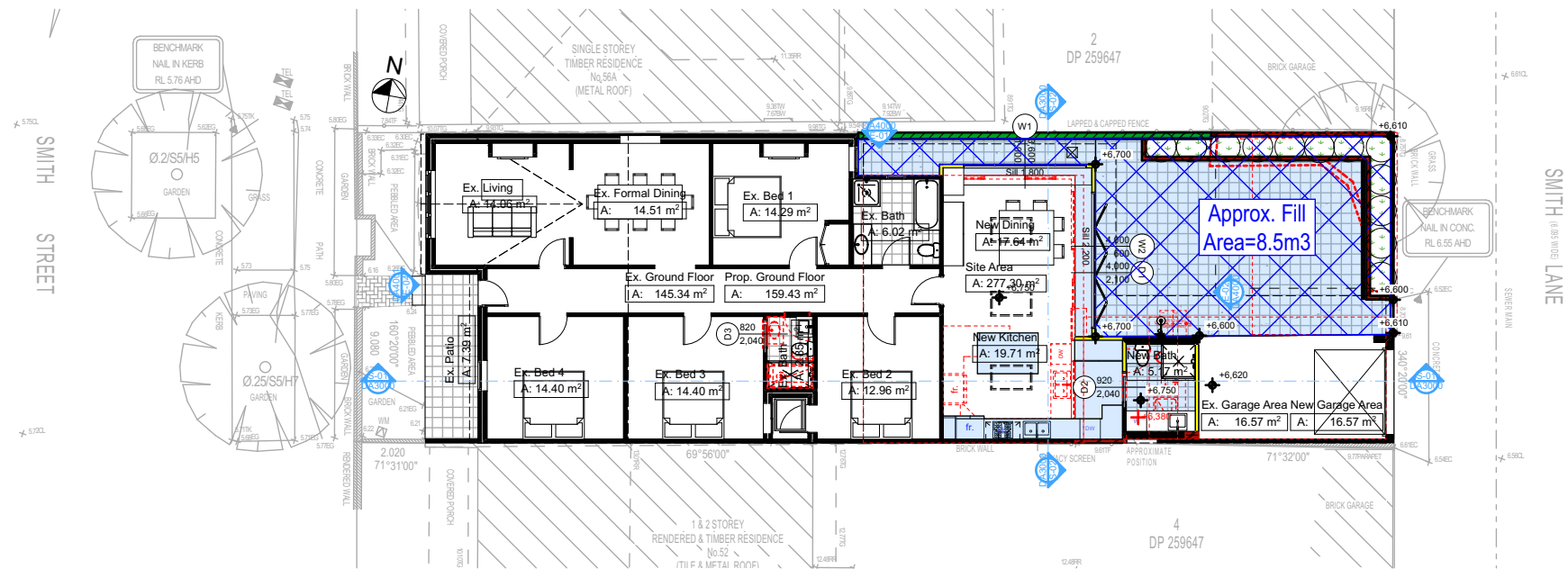
DRAWING TITLE :
SITE AND LOCATION
Demolition Roof Plan

PROJECT NAME :
Alterations & Additions

REVISION NO.
2
DATE
4-2-2021
DRAWING NO.
DA1007



Denotes Fill Area



2

EXCAVATION & FILL PLAN
1:200

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Basix Certificate Number A402153
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	277.3m ²	Yes	Min. side bdy setback (Min.)	931mm	Existing
Housing Density (dwelling/m ²)	1	Yes	% of landscaped area (35% min of Open Space)	37%	Yes
Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m ²)	72%	Yes
Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0.58	Yes			

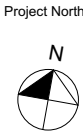


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Email: greg@rapidplans.com.au

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**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Checked
Plot Date:
Project NO.
Project Status

GBJ
4/02/2021
RP0720DEL
DA Rev2

Client
Site:
Ron and Carolyn Delezio
54 Smith Street, Manly

Sheet Size: A3

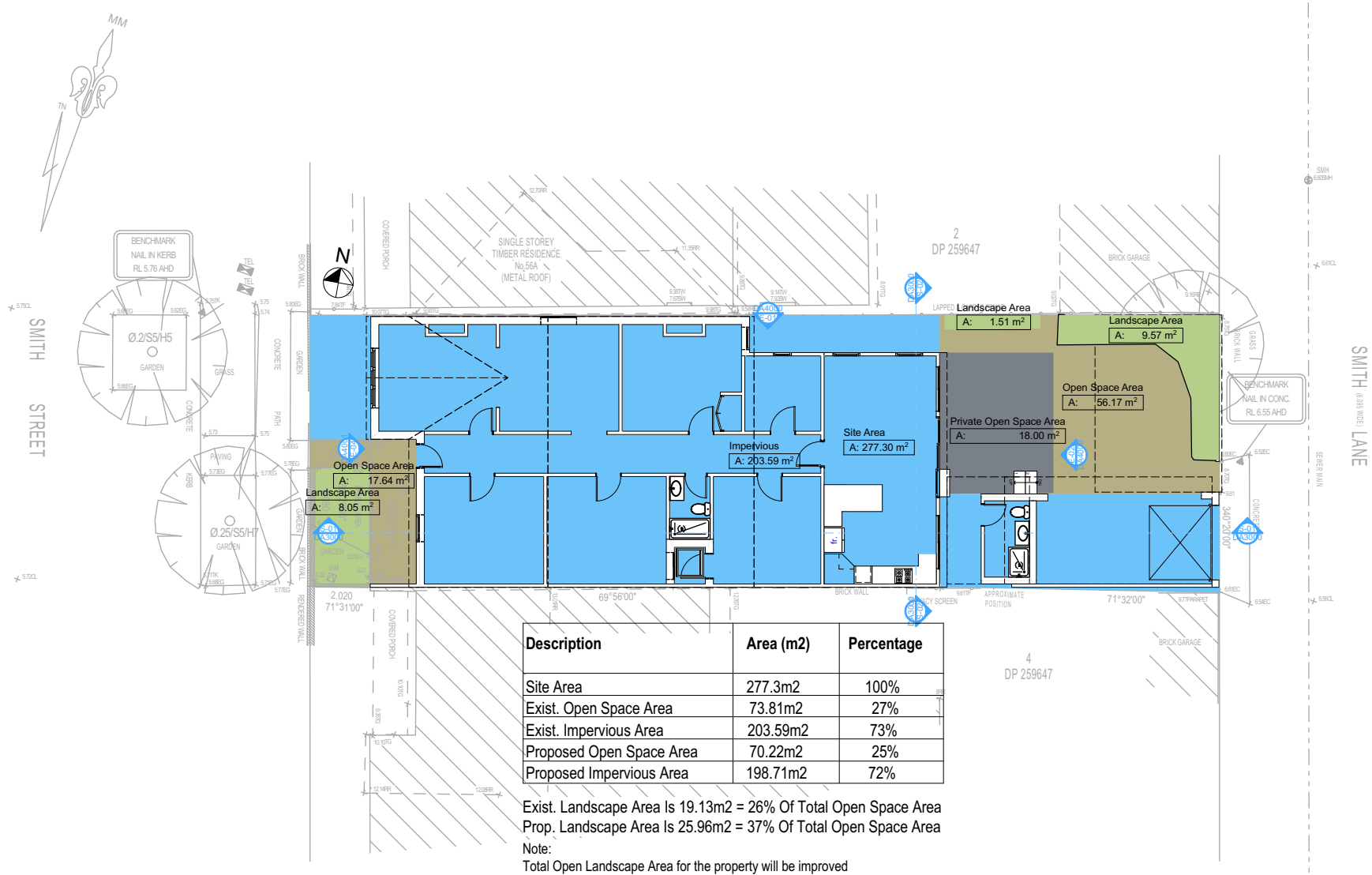
DRAWING TITLE :
**SITE AND LOCATION
Excavation & Fill Plan**

PROJECT NAME :
Alterations & Additions

REVISION NO.
2
DATE
4-2-2021
DRAWING NO.
DA1008

Denotes Impervious Area

Denotes Open Space Area



2 LANDSCAPE OPEN SPACE EXISTING 1:200

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Building Design and Architectural Drafting

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NOTES
54 Smith Street, Manly is zoned R1-General Residential
54 Smith Street, Manly is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Concrete Slab Floor, Framed, Masonry Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed, Masonry Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Conditioning
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans
Basic
Basic Certificate Number A402153
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	277.3m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Bldg Ht Above Nat. GL	6722mm	Yes
Front Setback	2040mm	Existing
Secondary Street Setback	5752mm	Existing
Min. side bdy setback	931mm	Existing
% of landscaped area (35% min of Open Space)	37%	Yes
Impervious area (m2)	72%	Yes
Maximum depth of fill (m)	274mm	Yes
No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0:58	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 4/02/2021
Project NO.: RP07/2002EL
Project Status DA Rev2

Client Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

DRAWING TITLE SITE AND LOCATION
Landscape Open Space Plan Existing

PROJECT NAME:
Alterations & Additions

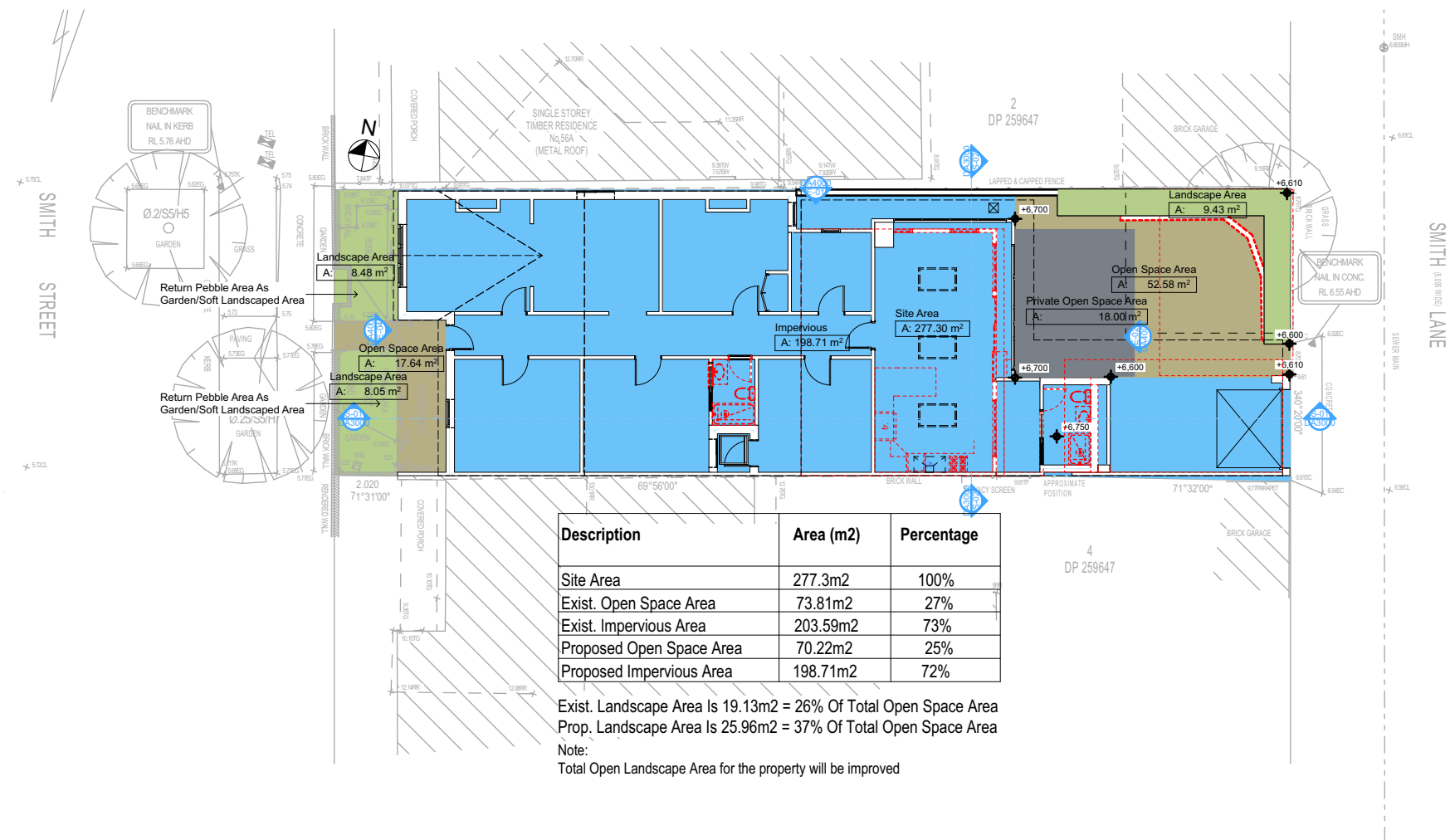
REVISION NO.	DATE
2	4-2-2021

DRAWING NO.
DA1009

Plot Date: 4/02/2021
Sheet Size: A3

Denotes Impervious Area

Denotes Open Space Area



2 LANDSCAPE OPEN SPACE PROPOSED 1:200

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NOTES
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All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Concrete Slab Floor, Framed, Masonry Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed, Masonry Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 1742
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Conditioning
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Basic
Basic Certificate Number A402153
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Site Information	Prop.	Comp.
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Impervious area (m2)	72%	Yes
Maximum depth of fill (m)	274mm	Yes
No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0:58	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 4/02/2021
Project NO.: RP07/2002EL
Project Status DA Rev2

Client Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

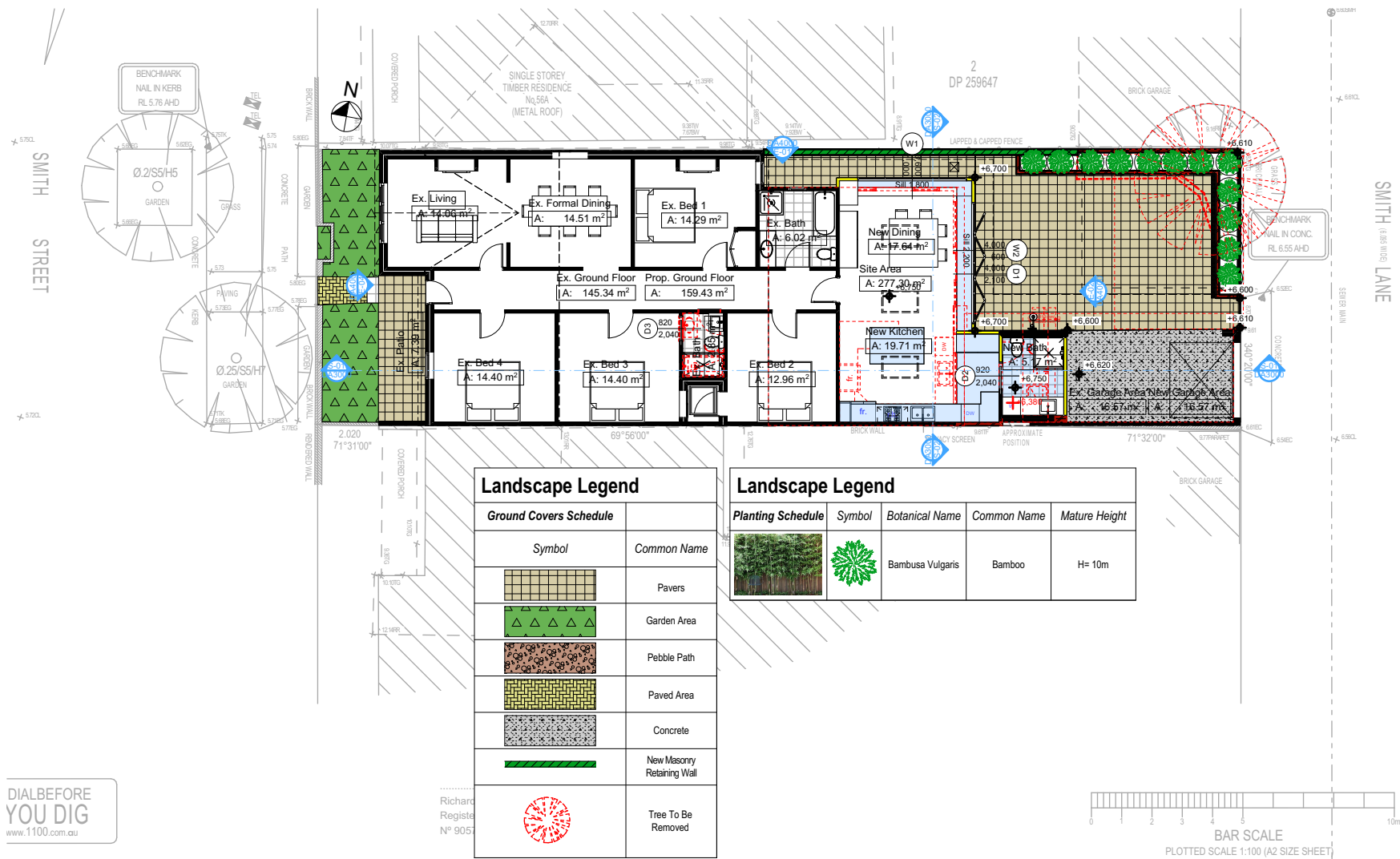
DRAWING TITLE SITE AND LOCATION
Landscape Open Space Plan Proposed

PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
2	4-2-2021

DRAWING NO.
DA1010

Plot Date: 4/02/2021
Sheet Size: A3



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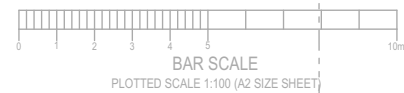
2

LANDSCAPE PLAN
1:200

Richard
Registe
N° 9057

Landscape Legend	
Ground Covers Schedule	
Symbol	Common Name
	Pavers
	Garden Area
	Pebble Path
	Paved Area
	Concrete
	New Masonry Retaining Wall
	Tree To Be Removed

Landscape Legend				
Planting Schedule	Symbol	Botanical Name	Common Name	Mature Height
		Bambusa Vulgaris	Bamboo	H= 10m



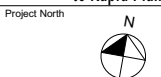
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NOTES
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54 Smith Street, Manly is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded Blue
Construction
Concrete Slab Floor, Framed, Masonry Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed, Masonry Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1019.2-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.
Certifying
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Basic
Basic Certificate Number A402153
All Plans to be read in conjunction with Basic Certificate
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Site Information	Prop.	Comp.
Site Area	277.3m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Bldg Ht Above Nat. GL	6722mm	Yes
Front Setback	2040mm	Existing
Secondary Street Setback	5752mm	Existing
Min. side bdy setback	931mm	Existing
% of landscaped area (35% min of Open Space)	37%	Yes
Impervious area (m ²)	72%	Yes
Maximum depth of fill (m)	274mm	Yes
No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0:58	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 4/02/2021
Project NO.: RP072002EL
Project Status DA Rev2

Client Ron and Carolyn Delezio

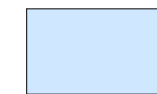
Site: 54 Smith Street, Manly

DRAWING TITLE:
SITE AND LOCATION
Landscape Plan

PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
2 4-2-2021
DRAWING NO.
DA1011

Plot Date: 4/02/2021
Sheet Size: A3



Denotes New Works

Wall Legend



Denotes New Timber Framed Wall



Denotes New Masonry Wall



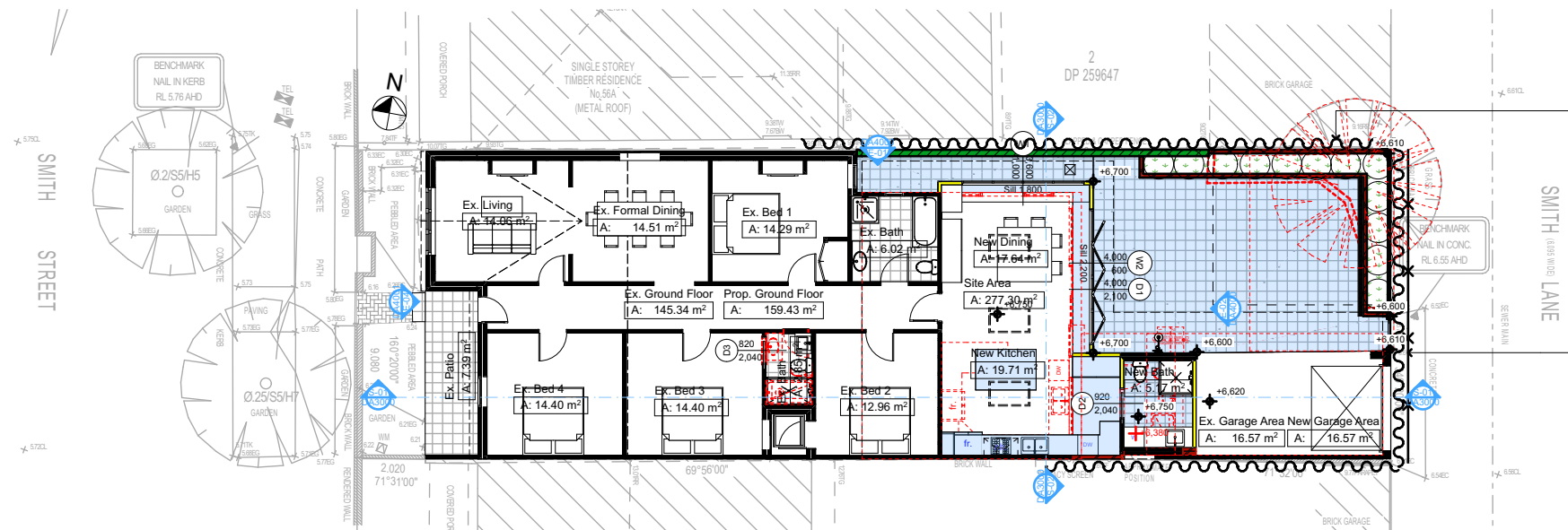
Denotes New Concrete Block Wall



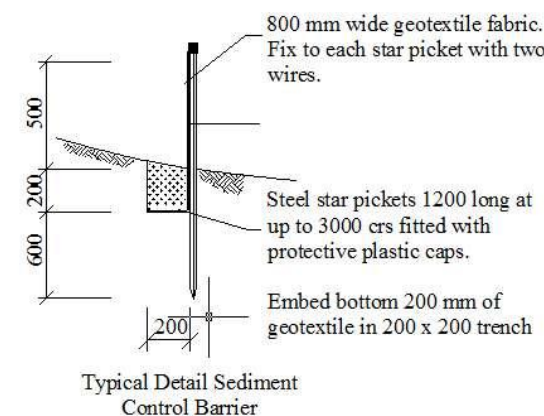
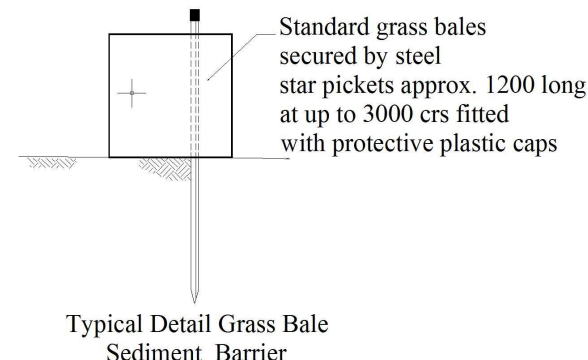
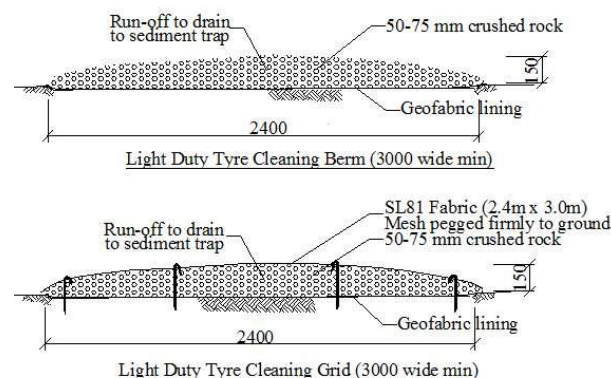
Denotes Existing Wall



Denotes Demolished Item



2 SEDIMENT & EROSION CONTROL PLAN
1:200



Sediment Control Fence

Site Safety Fence

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NOTES

54 Smith Street, Manly is zoned R1-General Residential

54 Smith Street, Manly is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

Construction

Concrete Slab Floor, Framed, Masonry Walls

Roof Framed to have R1.08 Insulation

Insulation to External Framed, Masonry Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS10198-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying

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Basic

Basic Certificate Number A402153

All Plans to be read in conjunction with Basic Certificate

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	277.3m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Bldg Ht Above Nat. GL	6722mm	Yes
Front Setback	2040mm	Existing
Secondary Street Setback	5752mm	Existing
Min. side bdy setback	931mm	Existing
% of landscaped area (35% min of Open Space)	37%	Yes
Impervious area (m ²)	72%	Yes
Maximum depth of fill (m)	274mm	Yes
No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0.58	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 4/02/2021
Project NO.: RP07202EL
Project Status DA Rev2

Client Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

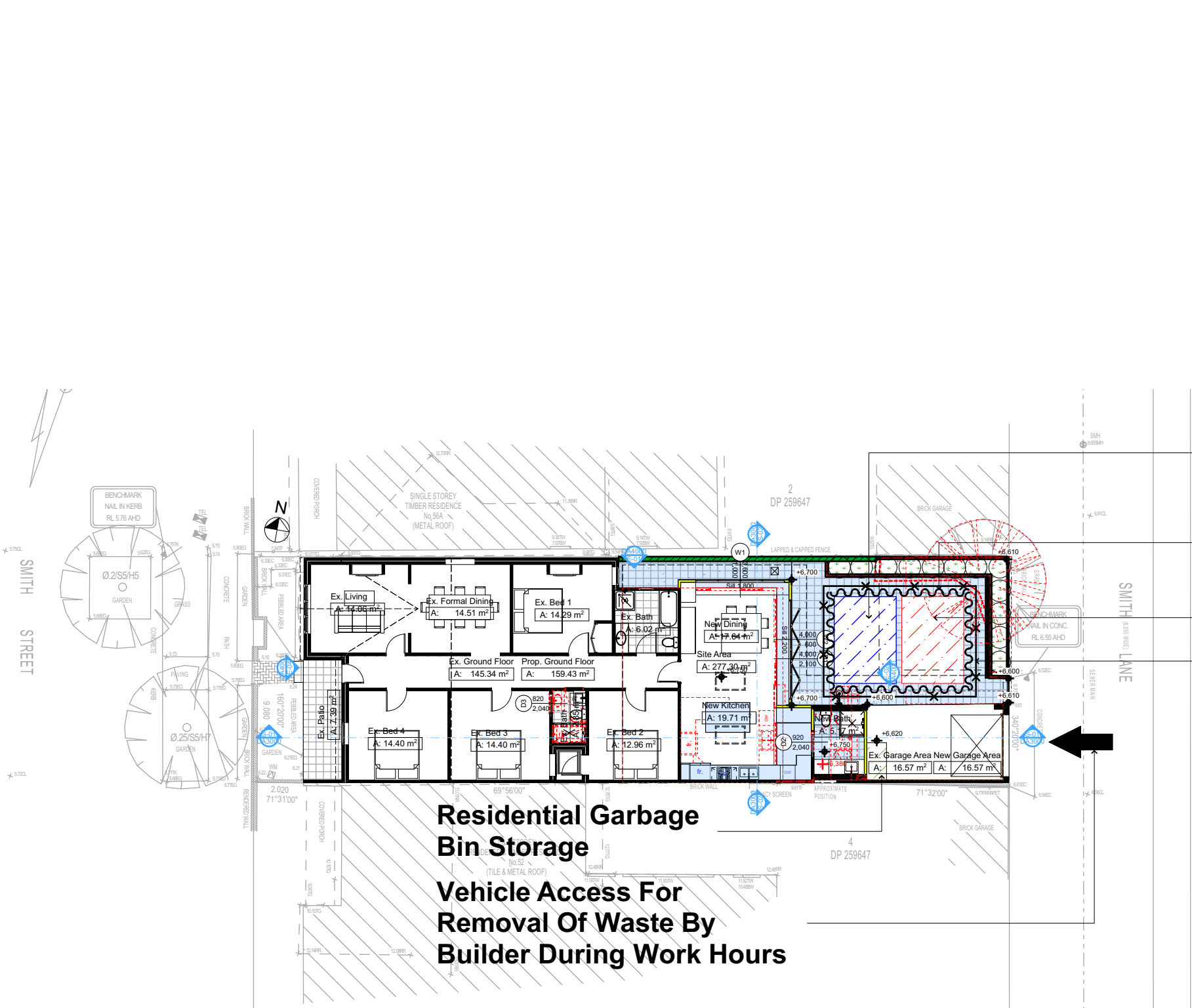
DRAWING TITLE :
SITE AND LOCATION
Sediment & Erosion Plan

PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
2	4-2-2021

DRAWING NO.
DA1012

Plot Date: 4/02/2021
Sheet Size: A3



2 WASTE MANAGEMENT PLAN
1:200

Approximate Location
Of Building Waste &
Recycling Area

Sediment Control
Fence

Material Storage Area

Site Safety Fence

- Denotes New Works
- Wall Legend**
- Denotes New Timber Framed Wall
 - Denotes New Masonry Wall
 - Denotes New Concrete Block Wall
 - Denotes Existing Wall
 - Denotes Demolished Item



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Building Design and Architectural Drafting

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NOTES

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54 Smith Street, Manly is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

Construction

Complete Site Works, Framed, Masonry Walls

Roof Framed to have R1.08 Insulation

Insulation to External Framed, Masonry Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1078-2007

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Setbacks

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Basic

Basic Certificate Number A402153

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Site Information	Prop.	Comp.
Site Area	277.3m ²	Yes
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Min. side bdy setback	931mm	Existing
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Impervious area (m ²)	72%	Yes
Maximum depth of fill (m)	274mm	Yes
No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0:58	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 4/02/2021
Project NO.: RP07/2002EL
Project Status DA Rev2

Client Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

DRAWING TITLE :
SITE AND LOCATION
Waste Management Plan

PROJECT NAME :
Alterations & Additions

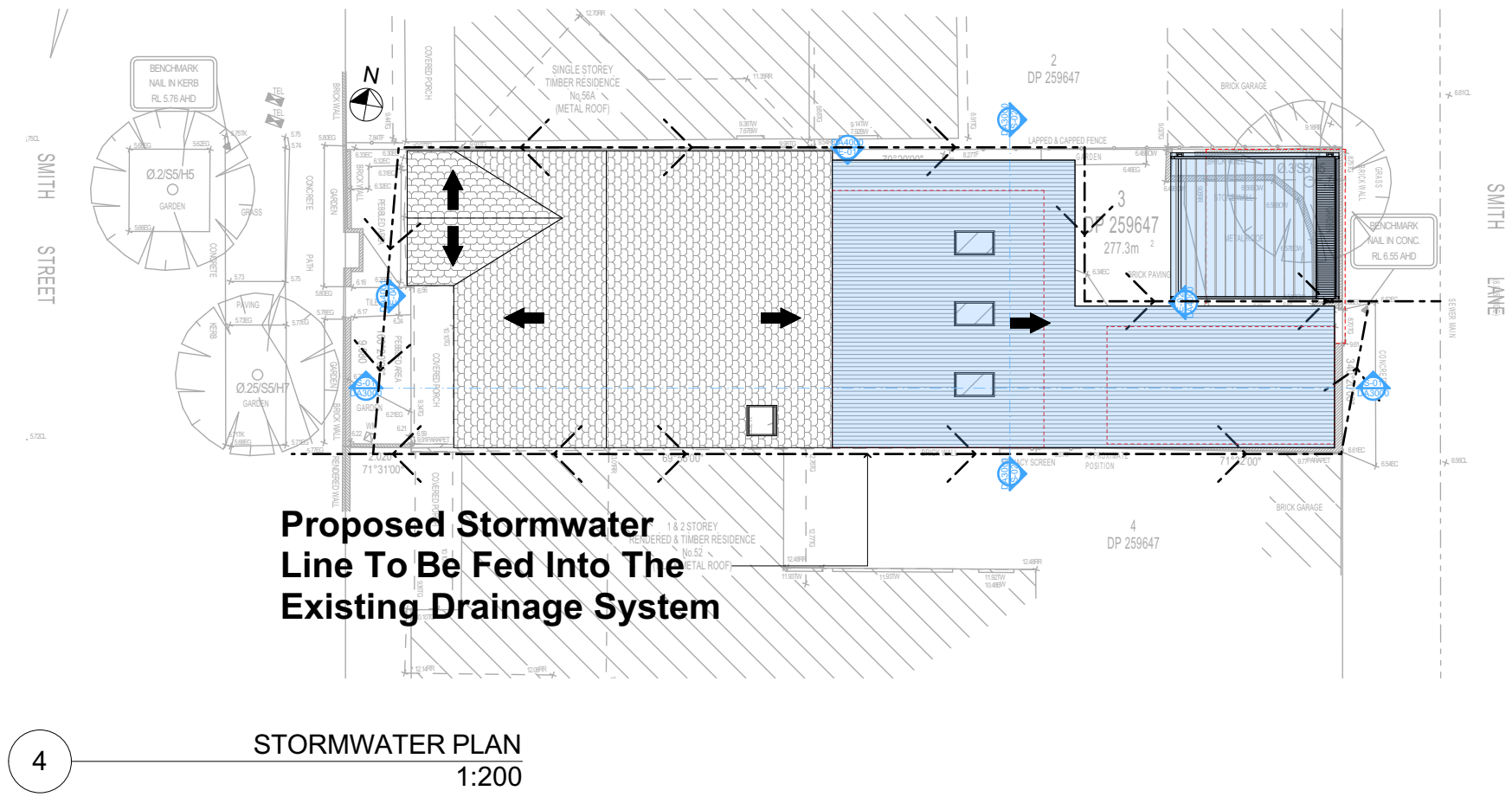
REVISION NO.	DATE
2	4-2-2021

DRAWING NO.:
DA1013

Plot Date: 4/02/2021
Sheet Size: A3

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Plumber To Confirm Location Of Existing Stormwater/Sewer Prior To Commencement



Denotes New Works

Legend

Denotes Demolished Item

DA APPLICATION ONLY
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Building Design and Architectural Drafting

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Tel: (02) 9350-8845 Mobile: 0414-54-6524
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NOTES

54 Smith Street, Manly is zoned R1-General Residential

54 Smith Street, Manly is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue Construction

Concrete Slab Floor, Framed, Masonry Walls

Roof Framed to have R1.08 Insulation

Insulation to External Framed, Masonry Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS 1742

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Conditioning

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The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

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Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each space, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	277.3m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Bldg Ht Above Nat. GL	6722mm	Yes
Front Setback	2040mm	Existing
Secondary Street Setback	5752mm	Existing
Min. side bdy setback	931mm	Existing
% of landscaped area (35% min of Open Space)	37%	Yes
Impervious area (m ²)	72%	Yes
Maximum depth of fill (m)	274mm	Yes
No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0:58	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 4/02/2021
Project NO.: RP07/2021EL
Project Status DA Rev2

Client Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

DRAWING TITLE :
SITE AND LOCATION
Stormwater Plan

PROJECT NAME :
Alterations & Additions






REVISION NO.	DATE
2	4-2-2021

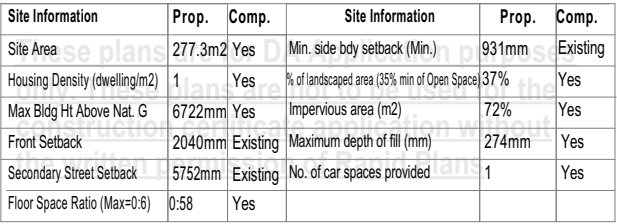
DRAWING NO.
DA1014

Plot Date: 4/02/2021
Sheet Size: A3

<p>Fixtures and systems</p>
<p>Lighting</p> <p>The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.</p>
<p>Fixtures</p> <p>The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.</p> <p>The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.</p> <p>The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.</p>

Wall Legend

-  Denotes New Timber Framed Wall
 Denotes New Masonry Wall
 Denotes New Concrete Block Wall
 Denotes Existing Wall
 Denotes Demolished Item



DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES
54 Smith Street, Manly is zoned R1-General Residential
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
54 Smith Street, Manly is not considered a heritage item

Certifying
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Construction
Concrete Slab Floors, Framed, Masonry Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed, Masonry Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
 Basix Certificate Number A402153
 All Plans to be read in conjunction with Basix Certificate
 The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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 b) insulation specified is not required for parts of altered construction where insulation already exists.
 The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
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 Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,



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Plot Date:	4/02/2021
Project NO.	RP0720DEL
Project Status	DA Rev2

Client	Ron and Carolyn Delezio
Site:	54 Smith Street, Manly

Sheet Size: A3

DRAWING TITLE : **PLANS**
GROUND FLOOR

PROJECT NAME : **Alterations & Additions**

REVISION NO.
2
DATE.
4-2-2021
DRAWING NO.
DA2001

Glazing requirements

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

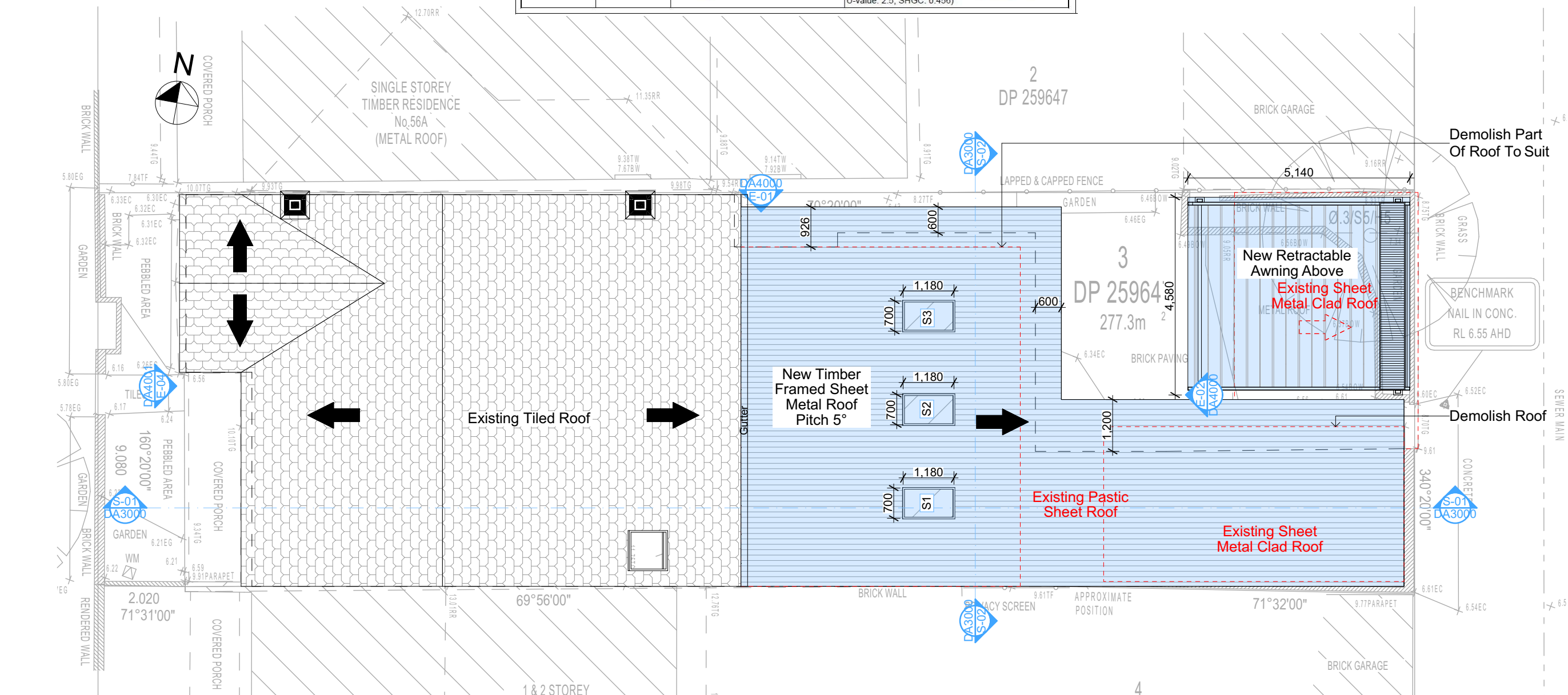
Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	0.83	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S2	0.83	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S3	0.83	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)

Denotes New Works

Legend

Denotes Demolished Item



3
ROOF
1:100

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NOTES

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New Works to be constructed shown in Shaded/Blue
54 Smith Street, Manly is not considered a heritage item

Certifying

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Construction

Concrete Slab Floors, Framed, Masonry Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed, Masonry Walls R1.70
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All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A402153
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	277.3m2	Yes	Min. side bdy setback (Min.)	931mm	Existing
Housing Density (dwelling/m2)	1	Yes	% of landscaped area (35% min of Open Space)	37%	Yes
Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m2)	72%	Yes
Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0.58	Yes			



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Checked
Plot Date:
Project NO.
Project Status

GBJ
4/02/2021
RP0720DEL
DA Rev2

Client
Site:
Ron and Carolyn Delezio
54 Smith Street, Manly

Sheet Size: A3

DRAWING TITLE :

PLANS
ROOF

PROJECT NAME :

Alterations & Additions

REVISION NO.

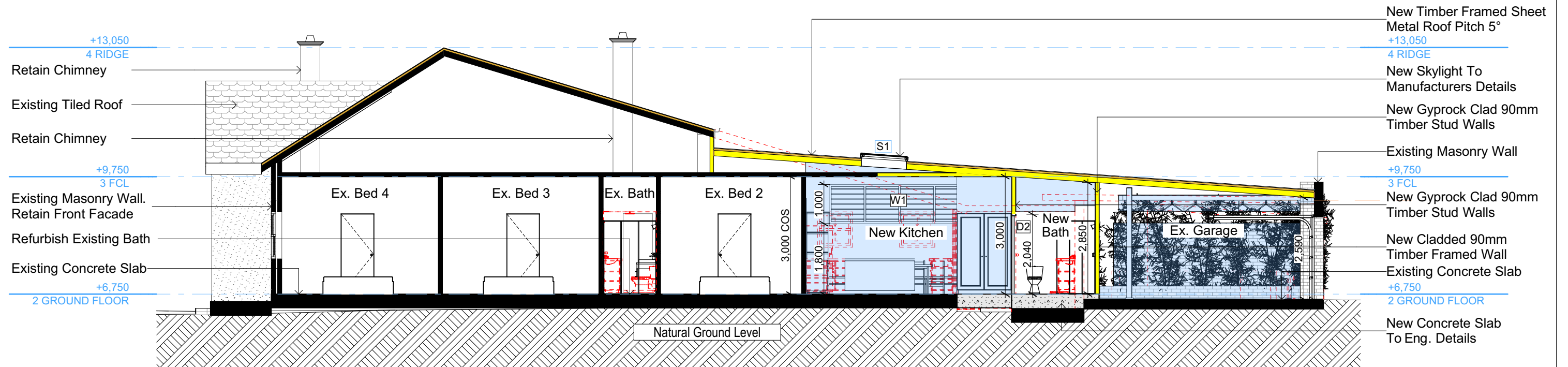
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DATE

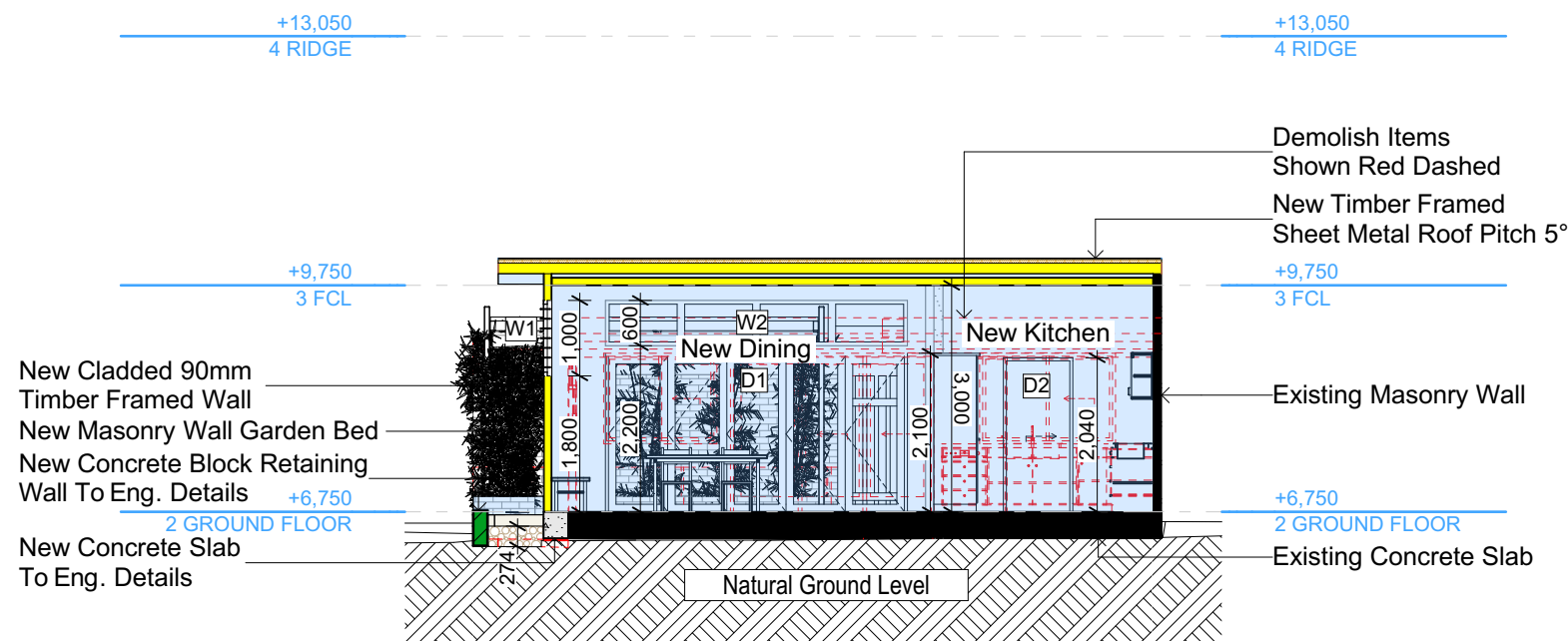
4-2-2021

DRAWING NO.

DA2002



S-01 SECTION 1
1:100



S-02 SECTION 2
1:100

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: cavity brick	nil	
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

	Denotes New Works
	Denotes New Timber Framed Wall
	Denotes New Concrete Block Wall
	Denotes New Concrete
	Denotes Existing Wall
	Denotes Demolished Item

Wall Legend

NOTES
54 Smith Street, Manly is zoned R1-General Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
54 Smith Street, Manly is not considered a heritage item

Certifying
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Construction
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Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A402153
All Plans to be read in conjunction with Basix Certificate
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Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	277.3m2	Yes	Min. side bdy setback (Min.)	931mm	Existing
Housing Density (dwelling/m2)	1	Yes	% of landscaped area (35% min of Open Space)	37%	Yes
Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m2)	72%	Yes
Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0.58	Yes			

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

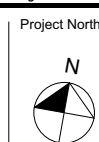


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Checked
Plot Date:
Project NO.
Project Status

Client
Site:

Sheet Size: A3

GBJ
4/02/2021
RP0720DEL
DA Rev2

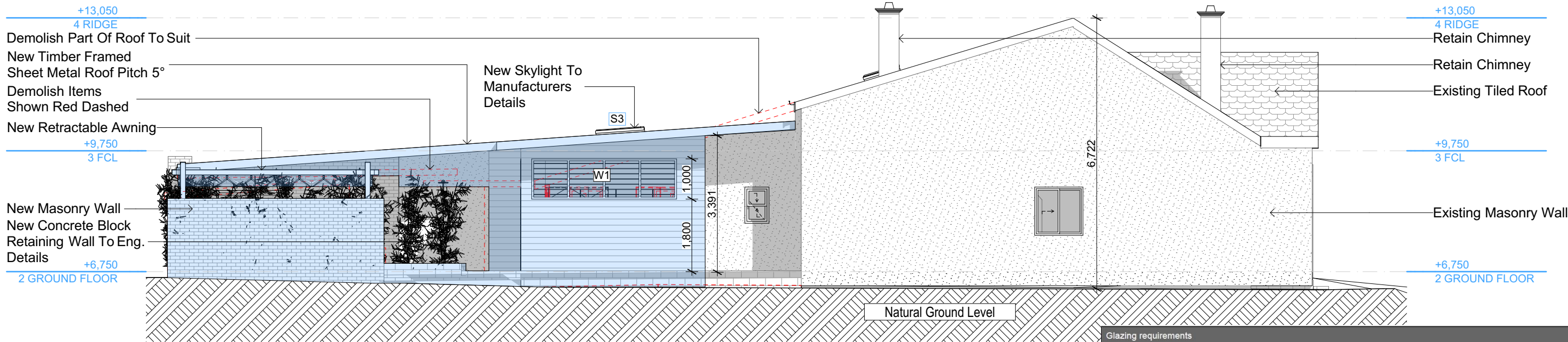
Ron and Carolyn Delezio
54 Smith Street, Manly

DRAWING TITLE :
**SECTIONS
SECTION 1**

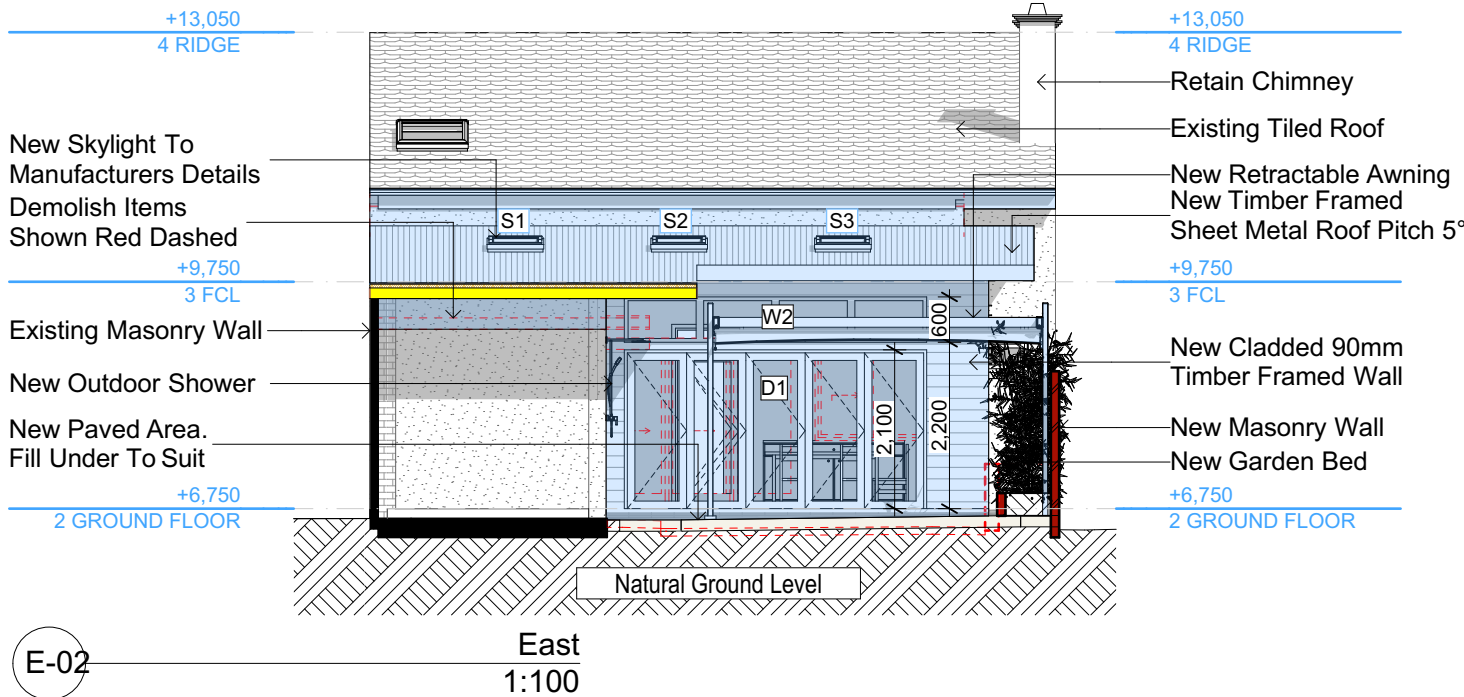
PROJECT NAME :
Alterations & Additions

REVISION NO.
2
DATE:
4-2-2021
DRAWING NO.
DA3000

Max Building Height 8500 Above GL



E-01



E-02

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES

54 Smith Street, Manly is zoned R1-General Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
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Construction

Concrete Slab Floors, Framed, Masonry Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed, Masonry Walls R1.70
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Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

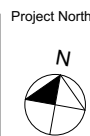
Basix Certificate Number A402153
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2
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The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



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Builder to Check and Confirm
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Checked
Plot Date:
Project NO.
Project Status

Client
Site:

Sheet Size: A3

GBJ
4/02/2021
RP0720DEL
DA Rev2

Ron and Carolyn Delezio
54 Smith Street, Manly

DRAWING TITLE :

ELEVATIONS
ELEVATIONS 1

PROJECT NAME :

Alterations & Additions

REVISION NO.

2

DATE

4-2-2021

DRAWING NO.

DA4000

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	N	3.6	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	E	2.4	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D1	E	8.4	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

Glazing requirements

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	0.83	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S2	0.83	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S3	0.83	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)

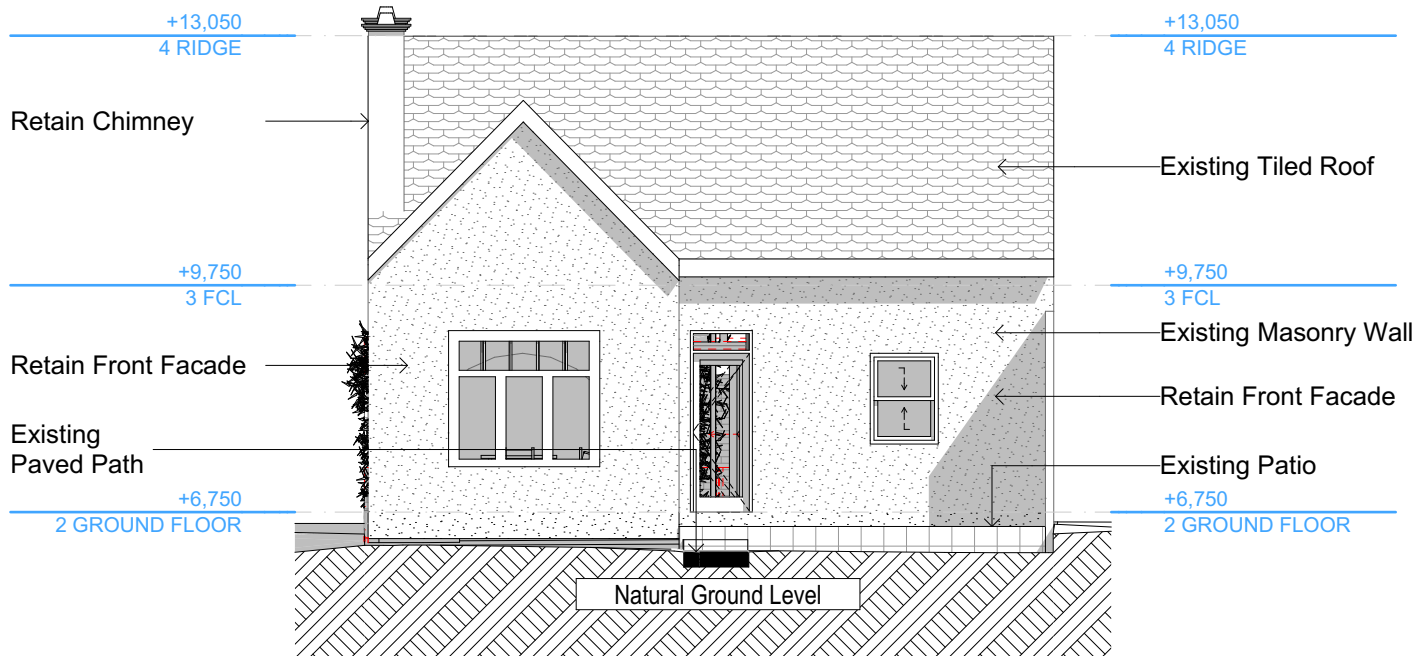
Denotes New Works

Wall Legend

Denotes Existing Path

Denotes Demolished Item

Max Building Height 8500 Above GL



West
1:100

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES

54 Smith Street, Manly is zoned R1-General Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
54 Smith Street, Manly is not considered a heritage item

Certifying

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Construction

Concrete Slab Floors, Framed, Masonry Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed, Masonry Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A402153

All Plans to be read in conjunction with Basix Certificate

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Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	277.3m2	Yes	Min. side bdy setback (Min.)	931mm	Existing
Housing Density (dwelling/m2)	1	Yes	% of landscaped area (35% min of Open Space)	37%	Yes
Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m2)	72%	Yes
Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0.58	Yes			

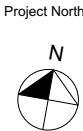


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Builder to Check and Confirm
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Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

GBJ
4/02/2021
RP0720DEL
DA Rev2

Client
Site:
Ron and Carolyn Delezio
54 Smith Street, Manly

Sheet Size: A3

DRAWING TITLE :

ELEVATIONS
ELEVATIONS 2

PROJECT NAME :

Alterations & Additions

REVISION NO.

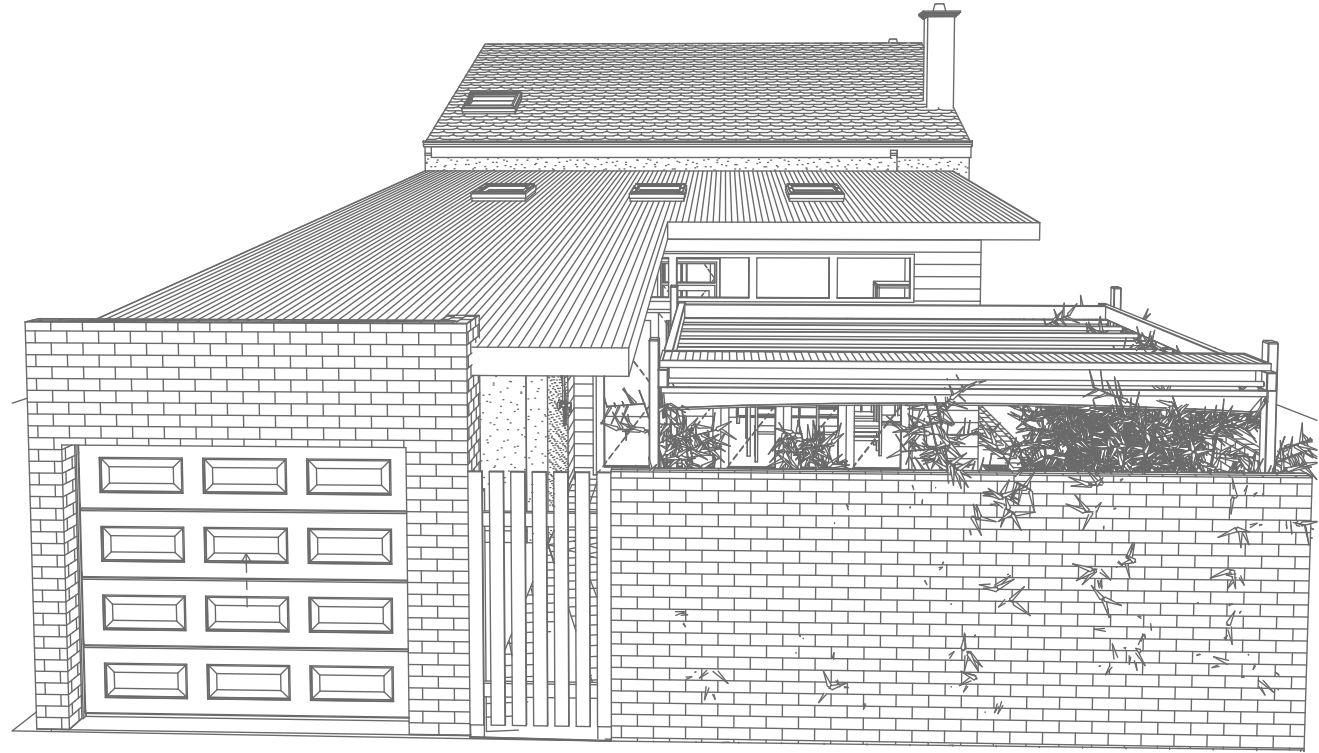
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DATE

4-2-2021

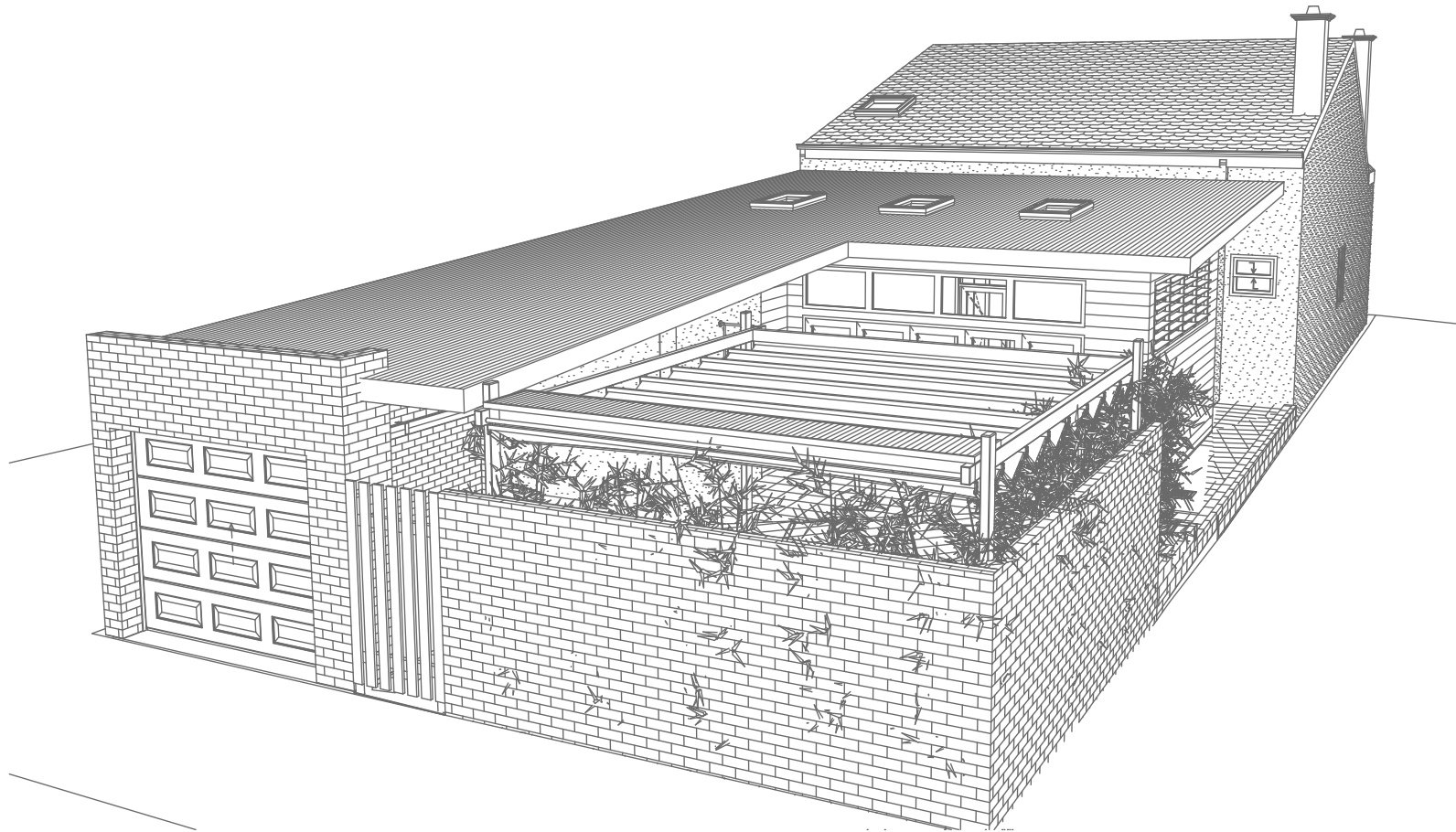
DRAWING NO.

DA4001



1
-

Perspective 1
1:200



2
-

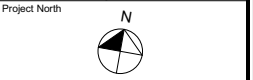
Perspective 2
1:200

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NOT FOR CONSTRUCTION

Site Information	Prop.	Comp.
Site Area	277.3m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Bldg Ht Above Nat. GL	6722mm	Yes
Front Setback	2040mm	Existing
Secondary Street Setback	5752mm	Existing
Min. side bdy setback	931mm	Existing
% of landscaped area (35% min of Open Space)	37%	Yes
Impervious area (m ²)	72%	Yes
Maximum depth of fill (m)	274mm	Yes
No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0:58	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 4/02/2021
Project NO.: RP07/2020EL
Project Status DA Rev2

Client Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

DRAWING TITLE :
SHADOW PLANS
PERSPECTIVE

PROJECT NAME :
Alterations & Additions

REVISION NO. DATE
2 4-2-2021
DRAWING NO.
DA5000

Plot Date: 4/02/2021
Sheet Size: A3



Denoted Cladding (Typical).
Builder To Confirm Type & Colour



Denoted Rendered Wall (Typical).
Builder To Confirm Type & Colour



Denoted Sheet Metal Roof (Typical).
Builder To Confirm Type & Colour




Denoted Retractable Awning (Typical).
Builder To Confirm Type & Colour



Denoted Paving (Typical).
Builder To Confirm Type & Colour

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Rapid Plans
Building Design and Architectural Drafting

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**BUILDING DESIGNERS
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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
54 Smith Street, Manly is zoned R1-General Residential
54 Smith Street, Manly is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded Blue
Construction
Concrete Slab Floor, Framed, Masonry Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed, Masonry Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS10798-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.


Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A402153
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each space, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	277.3m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Bldg Ht Above Nat. GL	6722mm	Yes
Front Setback	2040mm	Existing
Secondary Street Setback	5752mm	Existing
Min. side bdy setback	931mm	Existing
% of landscaped area (35% min of Open Space)	37%	Yes
Impervious area (m ²)	72%	Yes
Maximum depth of fill (m)	274mm	Yes
No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0.58	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 4/02/2021
Project NO.: RP07202DEL
Project Status DA Rev2

Client Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

DRAWING TITLE SHADOW PLANS
**MATERIAL & COLOUR
SAMPLE BOARD**

PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
2	4-2-2021

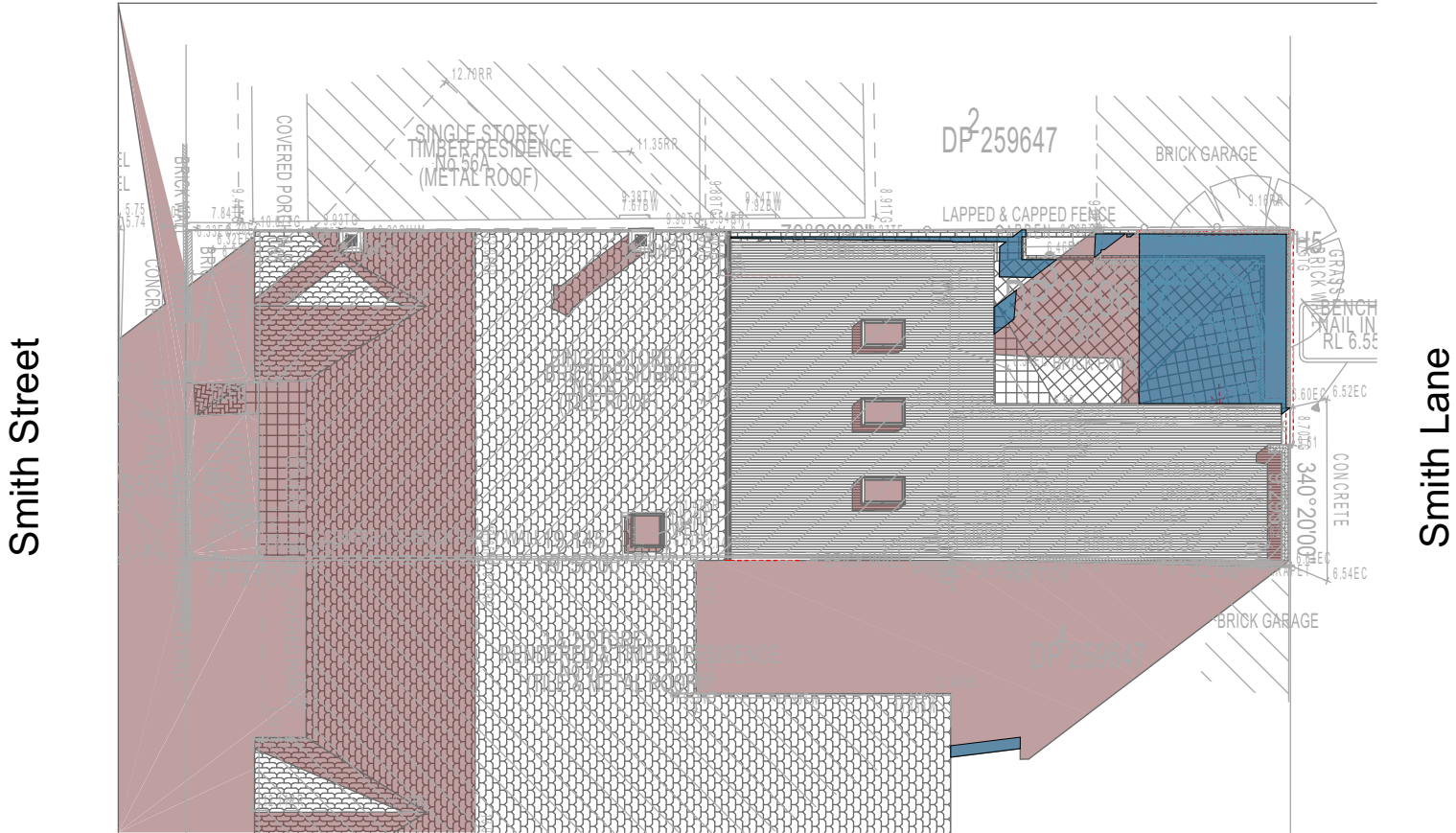
DRAWING NO.
DA5001

Plot Date: 4/02/2021
Sheet Size: A3

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Denotes Proposed Shadow

Denotes Existing Shadow



01

SHADOW PLAN 21 JUN at 0900h
1:200

DA APPLICATION
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NOT FOR CONSTRUCTION

NOTES
54 Smith Street, Manly is zoned R1-General Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
54 Smith Street, Manly is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Concrete Slab Floors, Framed, Masonry Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed, Masonry Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A402153
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	277.3m2	Yes	Min. side bdy setback (Min.)	931mm	Existing
Housing Density (dwelling/m2)	1	Yes	% of landscaped area (35% min of Open Space)	37%	Yes
Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m2)	72%	Yes
Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0.58	Yes			

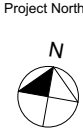


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Checked
Plot Date:
Project NO.
Project Status

GBJ
4/02/2021
RP0720DEL
DA Rev2

Client
Site:

Ron and Carolyn Delezio
54 Smith Street, Manly

Sheet Size: A3

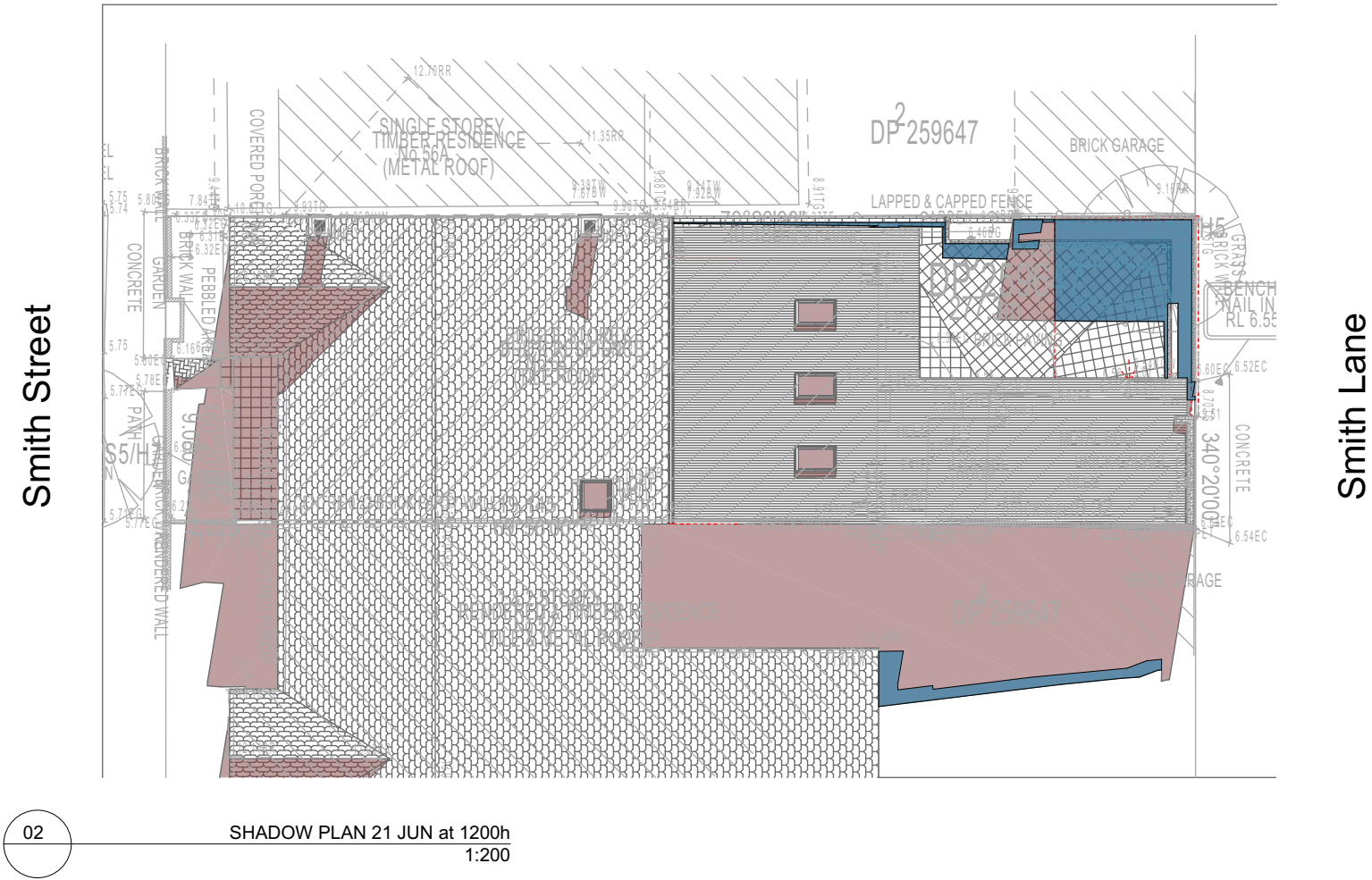
DRAWING TITLE : SHADOW PLANS
SHADOW PLAN 21st June
9am

PROJECT NAME : Alterations & Additions

REVISION NO.
2
DATE
4-2-2021
DRAWING NO.
DA5002

Denotes Proposed Shadow

Denotes Existing Shadow



DA APPLICATION ONLY

NOT FOR CONSTRUCTION

NOTES

54 Smith Street, Manly is zoned R1-General Residential

All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

54 Smith Street, Manly is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Concrete Slab Floors, Framed, Masonry Walls

Roof Framed to have R1.08 Insulation

Insulation to External Framed, Masonry Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A402153

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m²


b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	277.3m ²	Yes	Min. side bdy setback (Min.)	931mm	Existing
Housing Density (dwelling/m ²)	1	Yes	% of landscaped area (35% min of Open Space)	37%	Yes
Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m ²)	72%	Yes
Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0.58	Yes			




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Builder to Check and Confirm
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Immediately Report any
Discrepancies to Rapid Plans



Project North

Checked
Plot Date:
Project NO.
Project Status

GBJ
4/02/2021
RP0720DEL
DA Rev2

Client
Site:

Ron and Carolyn Delezio
54 Smith Street, Manly

Sheet Size: A3

DRAWING TITLE :

SHADOW PLANS
SHADOW PLAN 21st June
12pm

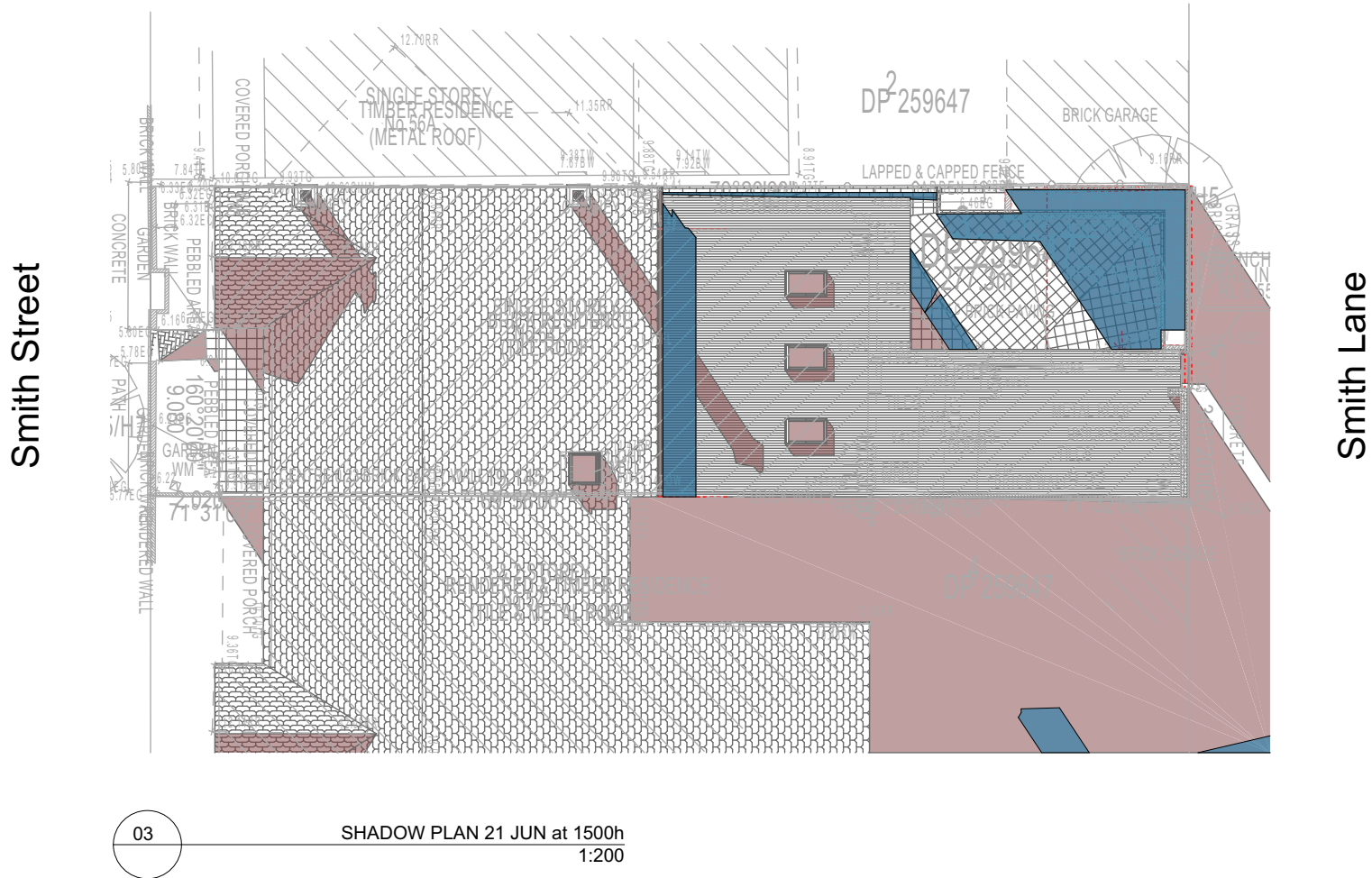
PROJECT NAME :

Alterations & Additions

REVISION NO.
2
DATE
4-2-2021
DRAWING NO.
DA5003

Denotes Proposed Shadow

Denotes Existing Shadow



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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

GBJ
4/02/2021
RP0720DEL
DA Rev2

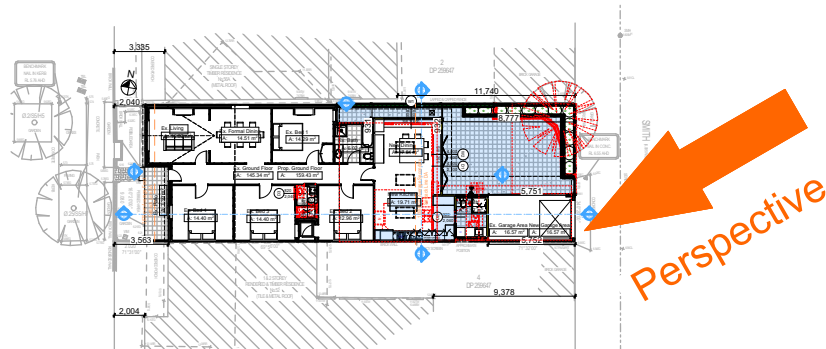
Client
Site:
Ron and Carolyn Delezio
54 Smith Street, Manly

Sheet Size: A3

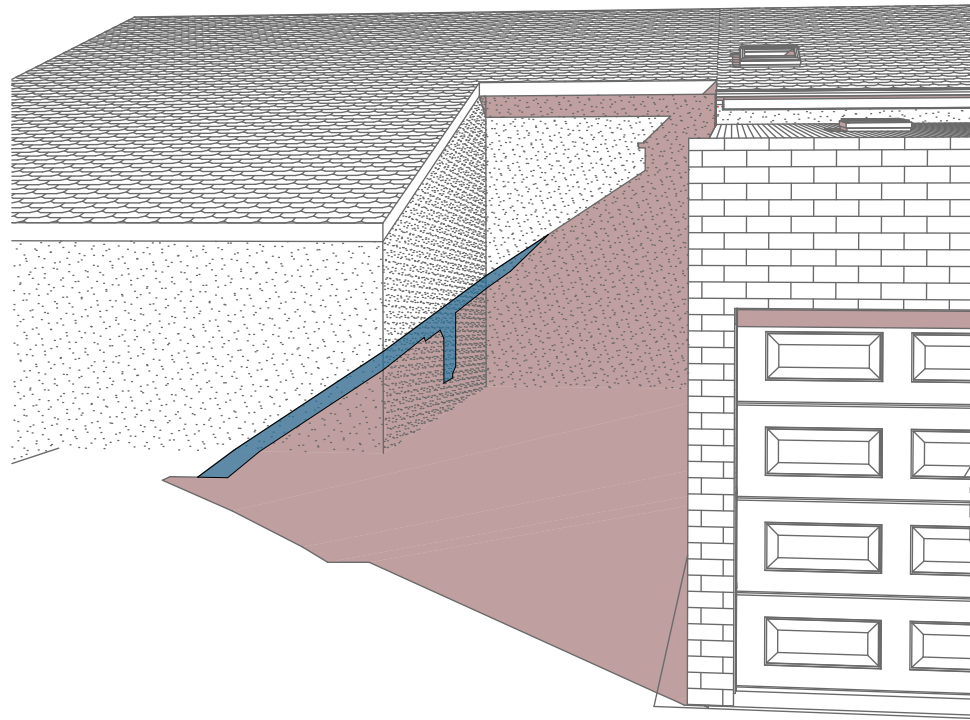
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**SHADOW PLAN 21st June
3pm**

PROJECT NAME :
Alterations & Additions

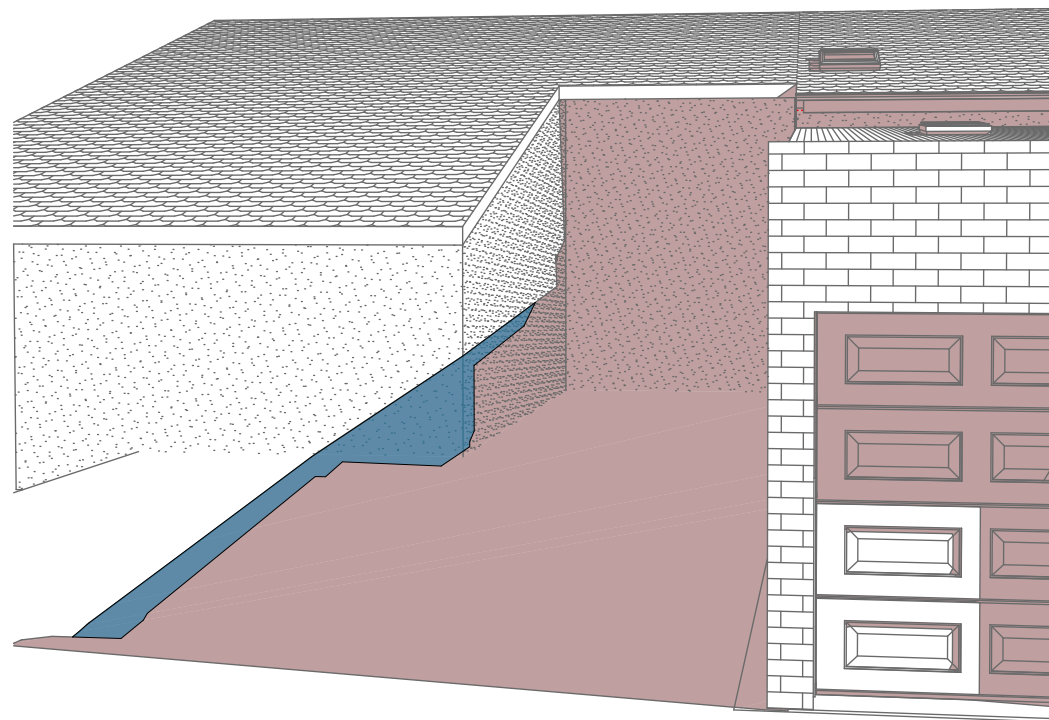
REVISION NO.
2
DATE:
4-2-2021
DRAWING NO.
DA5004



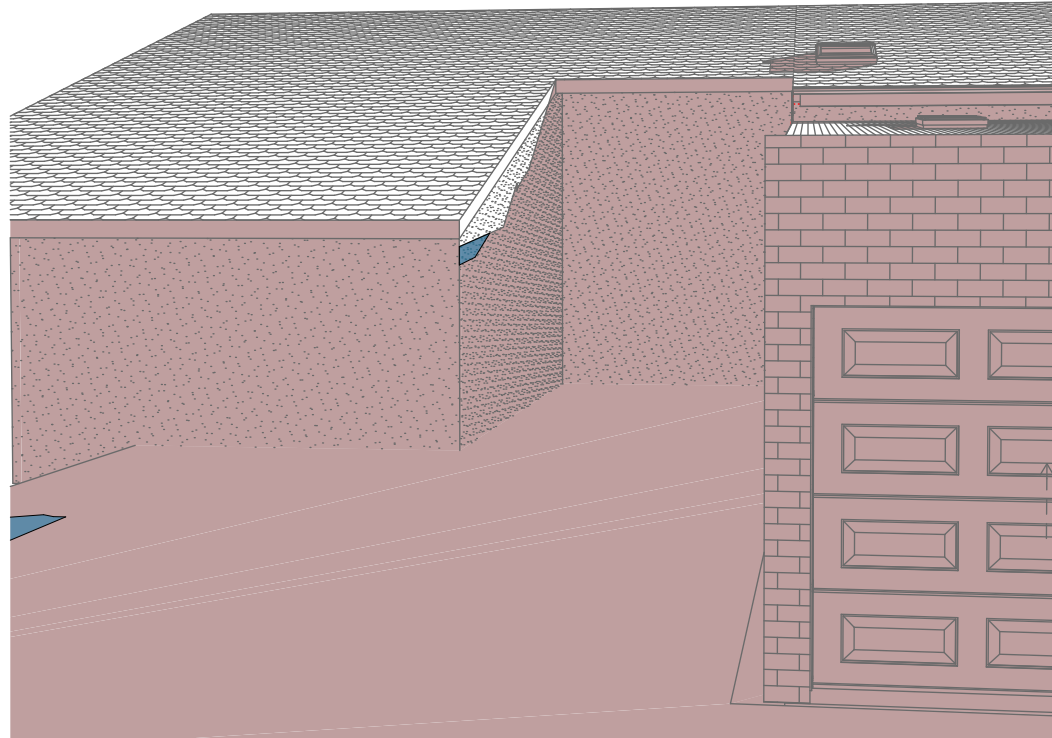
2 SITE PLAN
1:500



1 Wall Elevation 21 JUN 0900h
1:200



2 Wall Elevation 21 JUN 1200h
1:200



3 Wall Elevation 21 JUN 1500h
1:200

Denotes Proposed Shadow

Denotes Existing Shadow

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Rapid Plans
Building Design and Architectural Drafting

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Site Area	277.3m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Bldg Ht Above Nat. GL	6722mm	Yes
Front Setback	2040mm	Existing
Secondary Street Setback	5752mm	Existing
Min. side bdy setback	931mm	Existing
% of landscaped area (35% min of Open Space)	37%	Yes
Impervious area (m ²)	72%	Yes
Maximum depth of fill (m)	274mm	Yes
No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0:58	Yes

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Project North

Drawn | Checked GBJ
Plot Date: 4/02/2021
Project NO.: RP07/2002EL
Project Status DA Rev2

Client Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

DRAWING TITLE SHADOW PLANS
WALL ELEVATION SHADOWS

PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
2	4-2-2021

DRAWING NO.
DA5005

Plot Date: 4/02/2021
Sheet Size: A3