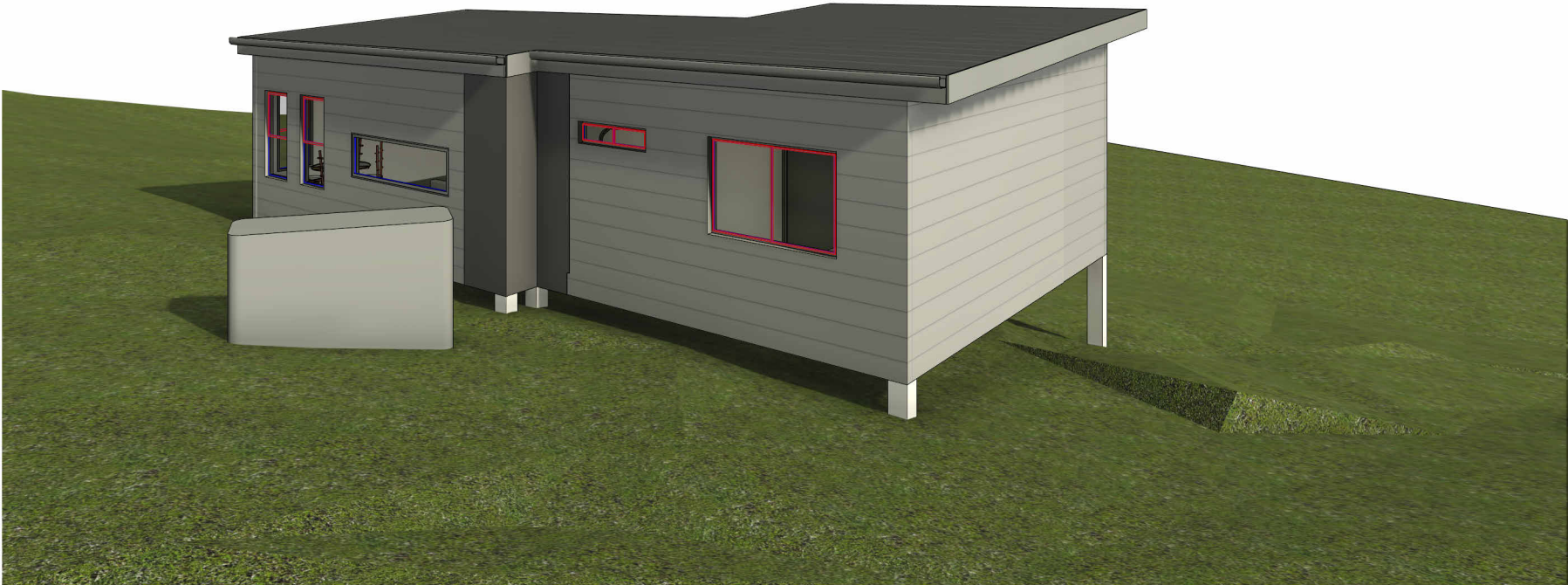


4 WOLLOMBI ROAD BILGOLA PLATEAU

RESIDENCE

SHEET LIST (A)

SHEET NUMBER	SHEET NAME	ISSUE
A 0	3D VIEWS	H
A 1	NOTES	H
A 2	BASIX	H
A 3	SITE AND ROOF PLAN	H
A 4	GROUND FLOOR PLAN	H
A 5	ELEVATIONS AND SECTION	H
A 6	AREA CALCULATIONS	H
A 7	DRIVEWAY SECTION	H



GENERAL NOTES

. All dimensions are to be confirmed on site by the builder/subcontractor, any incongruencies must be reported to the Designer before commencement of any work.

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. All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer.

. All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

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project

PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 4 WOLLOMBI ROAD BILGOLA PLATEAU NSW 2107 LOT 217 DP16902

client

WADE ORTH

true north

drawing

3D VIEWS

project no

24-47

date

05/08/24

sheet no.

A 0

scale @ A3

issue

H

checked

?

bdag

ACCREDITED

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02 9633 4797
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RK

DESIGNS

ALL ASPECTS OF CONSTRUCTION ARE TO COMPLY WITH THE APPLICABLE PERFORMANCE REQUIREMENTS OF THE NCC 2022 AND THE HOUSING PROVISIONS

NO SURVEY HAS BEEN MADE ON THE BOUNDARIES, ALL BEARINGS, DISTANCES AND AREAS HAVE BEEN TAKEN FROM THE CONTOUR SURVEY PLAN. A SURVEY MUST BE CARRIED OUT TO CONFIRM THE EXACT BOUNDARY LOCATIONS

IN THE EVENT OF ENCOUNTERING ANY DISCREPANCIES ON THESE
DRAWINGS, SPECIFICATION OR SUBSEQUENT INSTRUCTIONS
ISSUED, THE BUILDER/SUBCONTRACTOR SHALL CONTACT THE
DESIGNER BEFORE PROCEEDING FURTHER WITH ANY WORK

MEASUREMENTS FOR THE FABRICATION OF SECONDARY COMPONENTS SUCH AS, WINDOWS, DOORS, INTERNAL FRAMES, STRUCTURAL STEEL COMPONENTS AND THE LIKE, ARE NOT TO BE TAKEN FROM THESE DOCUMENTS. MEASUREMENTS MUST BE TAKEN ON SITE TO SUIT THE WORK AS CONSTRUCTED

ALL EXISTING STRUCTURES NEED TO BE EXAMINED FOR STRUCTURAL ADEQUACY, AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT A CERTIFICATE OF STRUCTURAL ADEQUACY IS AVAILABLE PRIOR TO THE START OF ANY WORK

FINISHED FLOOR LEVELS MAY VARY (+/- 50MM) FROM THOSE
INDICATED
ON PLAN, DUE TO SITE CLEARING, DEMOLITION, CONTOUR
INCONSISTENCIES ETC

ANY STRUCTURE SHOWN AS EXEMPT DEVELOPMENT IS TO BE
WORKED OUT ON SITE, CONTRACTOR TO ENSURE THE
CONSTRUCTION IS DONE IN ACCORDANCE TO THE EXEMPT
DEVELOPMENT CONTROLS IN FULL PRIOR TO CONSTRUCTING

TERMITE MANAGEMENT MUST BE CARRIED OUT IN ACCORDANCE WITH NCC 2022 PART 3.4 OF THE HOUSING PROVISIONS AND THE RELEVANT GUIDELINES SETOUT IN THE AUSTRALIAN STANDARDS AS3660.1 TERMITE MANAGEMENT

BULKHEADS TO BE INSTALLED IN ACCORDANCE WITH RELEVANT
NCC REQUIREMENTS. LOCATIONS OF BULKHEADS TO BE
CONFIRMED ON SITE BY THE BUILDER ON SITE

CONTRACTOR IS TO ENSURE THAT ANY SHARED WALLS ARE FIRE RATED IN ACCORDANCE WITH CLAUSE 9.3.1 OF THE HOUSING PROVISIONS 2022, HAVE NO PENETRATIONS AND A SOUND SEPARATION AS PER CLAUSE 10.7.1 OF THE HOUSING PROVISIONS 2022

IF AIR CONDITIONING IS TO BE PROVIDED, ALLOW FOR THE AIR CONDITIONING TO BE CONCEALED IN THE CEILING, THE ROOF AND IN DUCTS. AIR CONDITIONING IS TO BE AS PER THE AIR CONDITIONING CONSULTANTS DETAILS AND THE BASIX CERTIFICATE REQUIREMENTS

THE CONTRACTOR MUST ALLOW FOR ALL LABOUR AND MATERIALS NECESSARY FOR THE SUPPLY AND INSTALLATION OF ALL WINDOWS AND DOORS INDICATED THROUGHOUT THE PROPOSED BUILDING. HE MUST ALSO ALLOW FOR THE PREPARATION OF A DETAILED WINDOW AND DOOR SCHEDULE THAT PROVIDES DETAIL INFORMATION AS TO THE TYPE, NUMBER AND CONFIGURATION OF EACH AND EVERY DOOR AND WINDOW FOR THE APPROVAL OF THE OWNERS BEFORE ORDERING AND OF THE DOORS AND WINDOWS. THIS DETAIL SCHEDULE IS NOT PART OF THE CONSTRUCTION CERTIFICATE DOCUMENTATION AND MUST BE ALLOWED FOR BY THE CONTRACTOR IN THE TENDER PRICE. ALL WINDOW AND DOOR DIMENSIONS ARE TO BE VERIFIED ON SITE PRIOR TO ORDERING THESE ITEMS

THE CONTRACTOR IS TO ALLOW FOR FLOOR WASTES TO BE PROVIDED TO EACH AND EVERY BALCONY (IRRESPECTIVE OF WHETHER THEY ARE INDICATED IN THE CONSULTANTS DRAWINGS OR NOT. THESE FLOOR WASTES ARE TO BE CONNECTED TO STORMWATER GRATES PVC AND THEN TO DOWNPIPES LOCATED DIRECTLY IN ONE INTERNAL CORNER OF EACH AND EVERY BALCONY. CONFIRM THE LOCATIONS OF THESE DOWNPIPES WITH THE OWNERS. THE CONTRACTOR MUST ALLOW FOR ALL ASSOCIATED WORKS (SUCH A CONNECTION TO BE STORMWATER LINES AND THE LIKE) THAT IS REQUIRED IN ORDER FOR ALL SUCH FLOOR WASTES TO ADEQUATELY DRAIN EACH AND EVERY BALCONY

ALL OFF-STREET PARKING FACILITIES INCLUDING DRIVEWAY WIDTHS, RAMP GRADES, AISLE WIDTHS, TURNING PATHS, SIGHT DISTANCES AND PARKING BAY SIZES MUST CONFORM TO CURRENT AUSTRALIAN STANDARDS AS 2890.1 AND AS 2890.2-2002

PROVIDE 100MM MINIMUM AGRICULTURAL PIPE WITH A FILTER STOCKING AROUND PERIMETER OF THE BUILDING AND CONNECT TO STORMWATER LINES AS PER THE STORMWATER ENG DETAILS AND SYDNEY WATER REQUIREMENTS

CONTRACTOR MUST ENSURE THAT THE ACCESS LIFT COMPLIES WITH THE REQUIREMENTS OF AS1735.12. THE LIFT SHAFT IS TO BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE MANUFACTURERS AND STRUCTURAL ENG DETAIL. THE CONTRACTOR MUST LIAISE WITH THE LIFT MANUFACTURERS AND ALLOW FOR THE ITEMS TO BE PROVIDED BY OTHER CONTRACTORS AS REQUIRED IN THE "WORK BY OTHERS" THE LIFT SHAFT AND PIT ARE TO BE WATERPROOFED AS PER THE ARCHITECTURAL SPECIFICATION AND MANUFACTURERS REQUIREMENTS.

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PRELIMINARY
DO NOT USE FOR CONSTRUCTION

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project
PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 4
WOLLOMBI ROAD BILGOLA PLATEAU NSW 2107 LOT 217
DP16902

client
WADE ORTH



true north



drawing

SITE AND ROOF PLAN

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24-47	05/08/24	A 3	1 : 200	H	?

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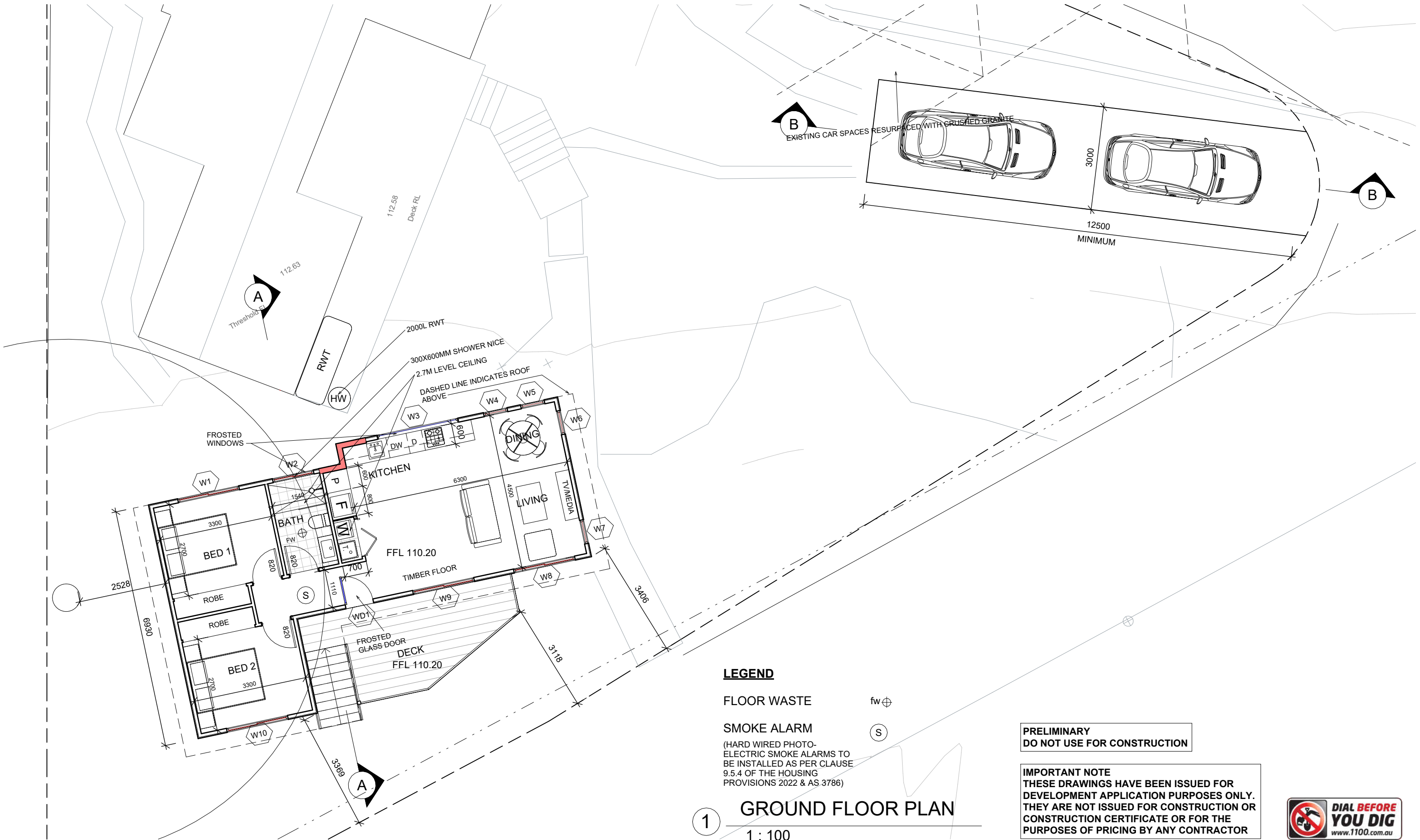
1 SITE AND ROOF PLAN





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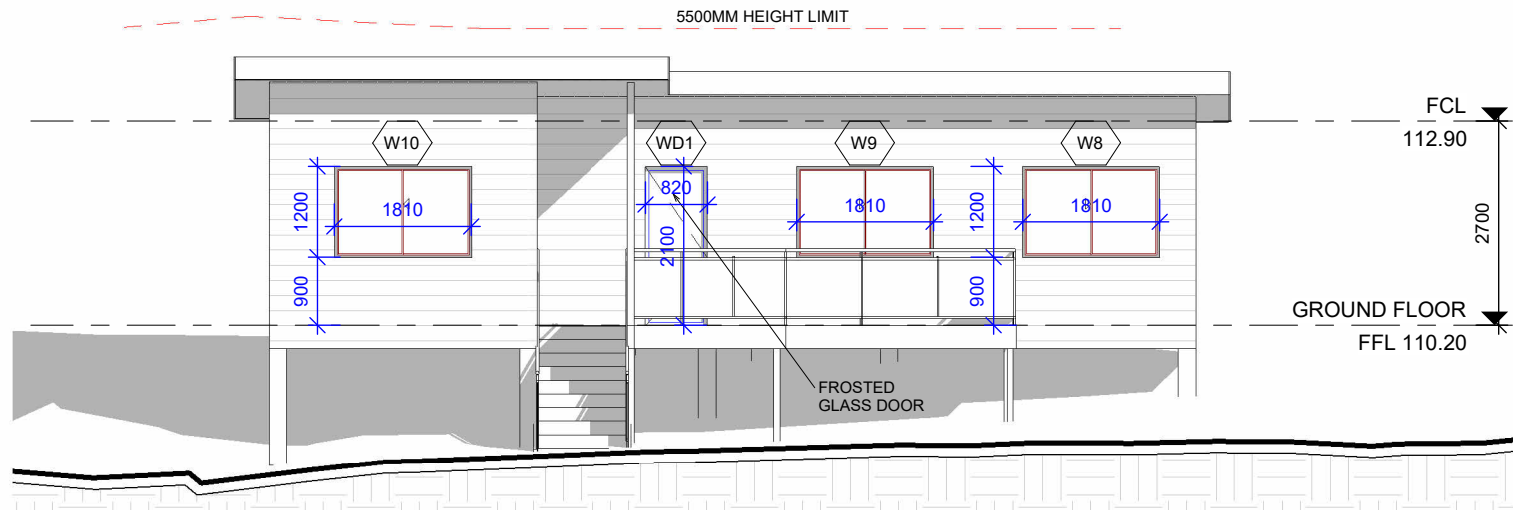


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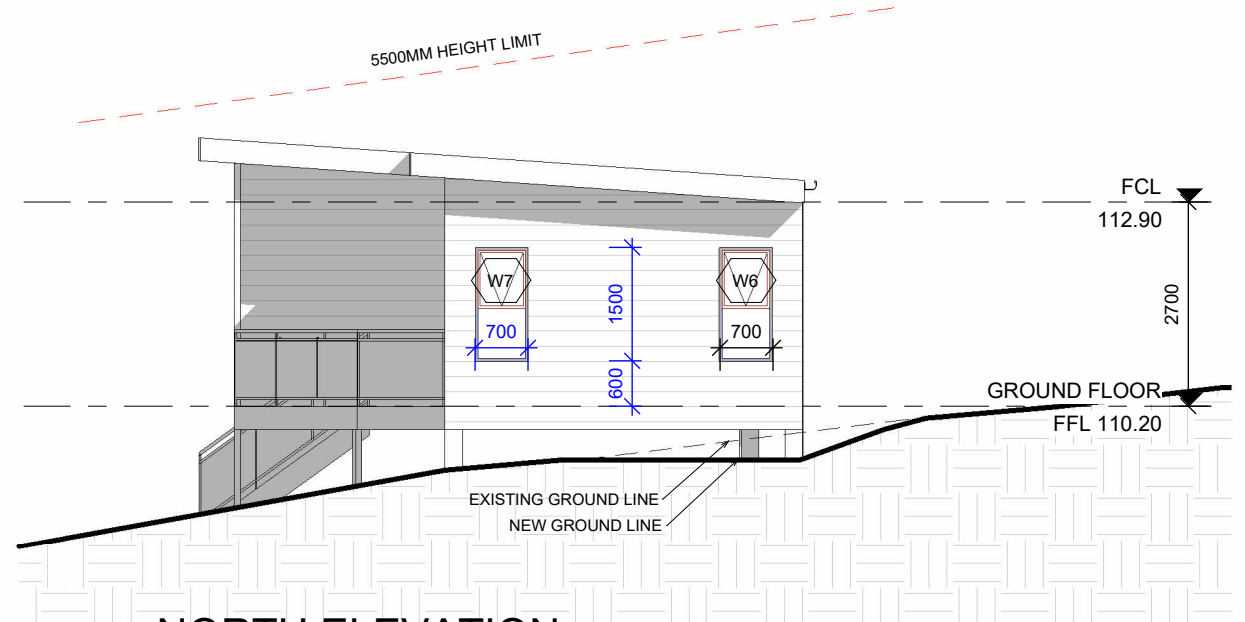
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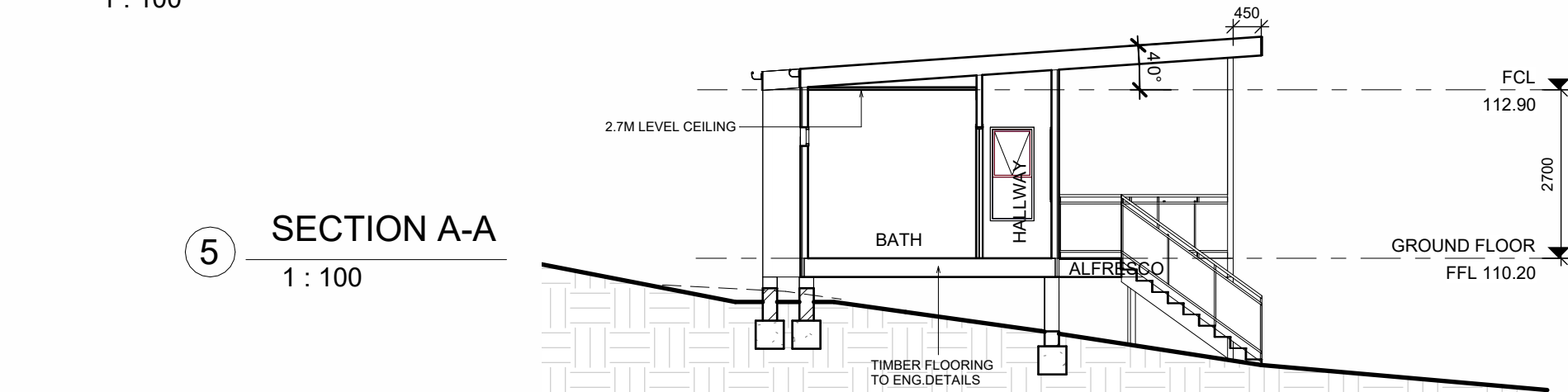


1 EAST ELEVATION
1 : 100

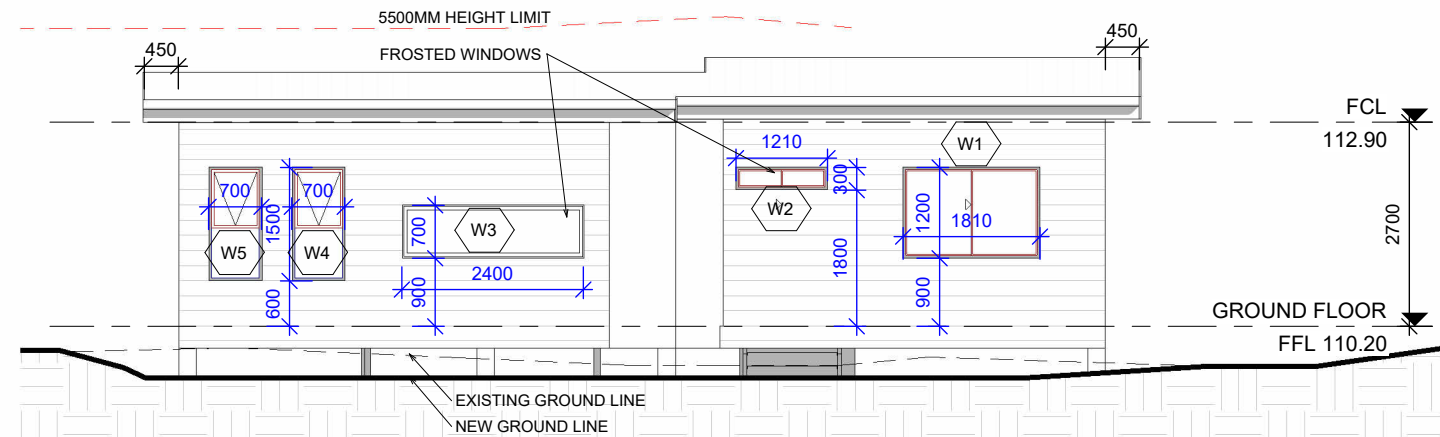


2 NORTH ELEVATION
1 : 100

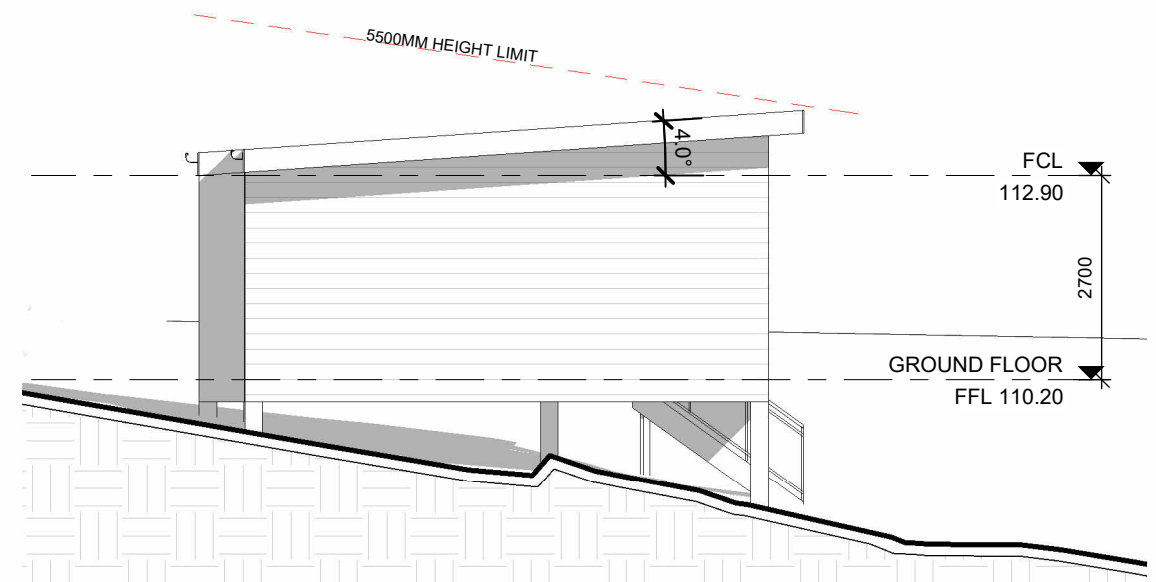
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5 SECTION A-A
1 : 100



3 WEST ELEVATION
1 : 100



4 SOUTH ELEVATION
1 : 100

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PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 4 WOLLOMBI ROAD BILGOLA PLATEAU NSW 2107 LOT 217 DP16902

client
WADE ORTH

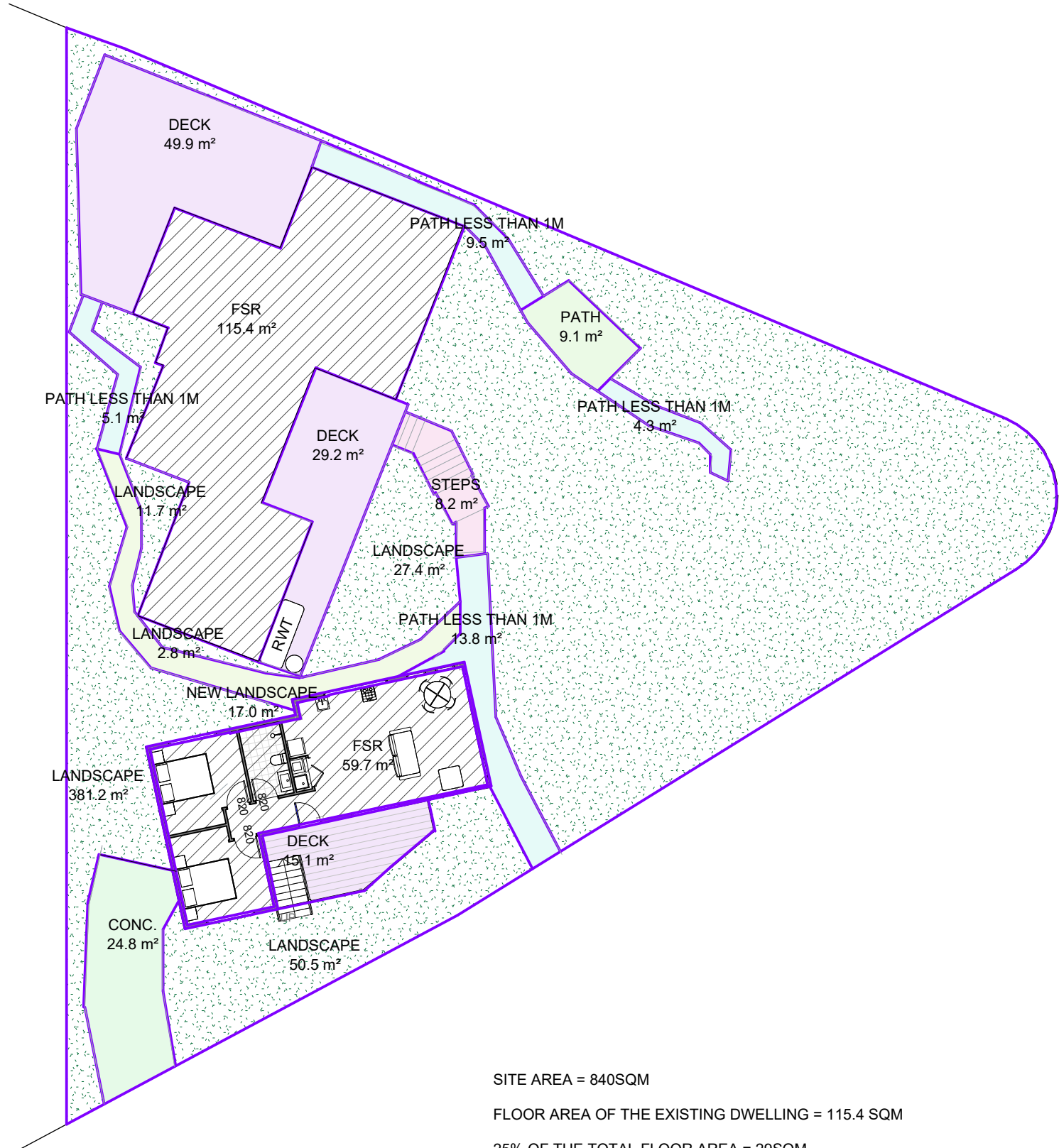
 **Bungalow Homes**

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DESIGNS



1 GROUND FLOOR
1 : 200

SITE AREA = 840SQM
FLOOR AREA OF THE EXISTING DWELLING = 115.4 SQM
25% OF THE TOTAL FLOOR AREA = 29SQM
TOTAL FLOOR AREA OF THE SECONDARY DWELLING =60SQM
MINIMUM REQUIRED LANDSCAPED AREA = 60% = 504SQM
PROPOSED LANDSCAPED AREA =509.4 SQM INCLUDING IMPERVIOUS AREAS LESS THAN 1M WIDE
THEREFORE THE PROPOSAL COMPLIES WITH PDCP

AREA CALCULATIONS SCHEDULE

NAME	LEVEL	COUNT	TOTAL
CONC.	GROUND FLOOR	1	24.8 m²
CONC.: 1			24.8 m²
CONC.DRIVEWAY	Not Placed	1	0.0 m²
CONC.DRIVEWAY: 1			0.0 m²
DECK	GROUND FLOOR	3	94.3 m²
DECK: 3			94.3 m²
FSR	Not Placed	2	0.0 m²
FSR	GROUND FLOOR	2	175.1 m²
FSR: 4			175.1 m²
LANDSCAPE	Not Placed	5	0.0 m²
LANDSCAPE	GROUND FLOOR	5	473.6 m²
LANDSCAPE: 10			473.6 m²
NEW CONC.AREA	Not Placed	1	0.0 m²
NEW CONC.AREA: 1			0.0 m²
NEW LANDSCAPE	GROUND FLOOR	1	17.0 m²
NEW LANDSCAPE: 1			17.0 m²
PATH	Not Placed	3	0.0 m²
PATH	GROUND FLOOR	1	9.1 m²
PATH: 4			9.1 m²
PATH LESS THAN 1M	Not Placed	1	0.0 m²
PATH LESS THAN 1M	GROUND FLOOR	4	32.6 m²
PATH LESS THAN 1M: 5			32.6 m²
STEPS	GROUND FLOOR	1	8.2 m²
STEPS: 1			8.2 m²

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GENERAL NOTES
. All dimensions are to be confirmed on site by the builder/subcontractor, any incongruencies must be reported to the Designer before commencement of any work.
. No Survey has been made on the boundaries, all bearings, distances and areas have been taken from the contour survey plan. A Survey must be carried out to confirm the exact boundary locations.
. No construction work shall commence until a site survey confirming the site boundaries has been completed. The contractor is to ensure that the boundary setbacks are confirmed and used, the boundary setbacks take precedence over all other dimensions. The Survey work must be performed by a registered Surveyor.
. In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the designer before proceeding further with any work.
. All construction, control joints and expansion joints in the wall, floors, other locations shall be in strict accordance with the Structural Engineering details. No joints or breaks other than specified, are allowed without written permission from the Engineer.
. Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.
. All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer.
. All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

drawn	date	issue	description
LS	05/08/24	A	ISSUE FOR DA
LS	30/08/24	B	ISSUE FOR DA
LS	06/09/24	C	ISSUE FOR DA
LS	27/09/24	D	ISSUE FOR DA
LS	07/11/24	E	ISSUE FOR DA
LS	10/01/25	F	ISSUE FOR DA
LS	05/03/25	G	ISSUE FOR RFI
LS	18/03/25	H	ISSUE FOR RFI

project
PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 4 WOLLOMBI ROAD BILGOLA PLATEAU NSW 2107 LOT 217 DP16902

client
WADE ORTH



true north



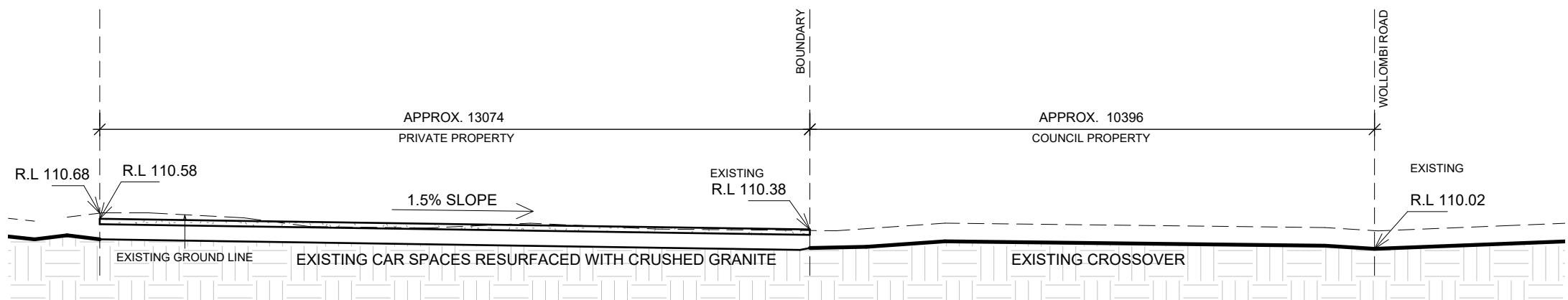
drawing
AREA CALCULATIONS

project no	date	sheet no.	scale @ A3	issue	checked
24-47	05/08/24	A 6	1 : 200	H	?



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1 SECTION B-B
1 : 100

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project

PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 4 WOLLOMBI ROAD BILGOLA PLATEAU NSW 2107 LOT 217 DP16902

client

WADE ORTH




Bungalow Homes

true north

drawing

DRIVEWAY SECTION

project no	date	sheet no.	scale @ A3	issue	checked
24-47	05/08/24	A 7	1 : 100	H	?



ACCREDITED BUILDING DESIGNER

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