

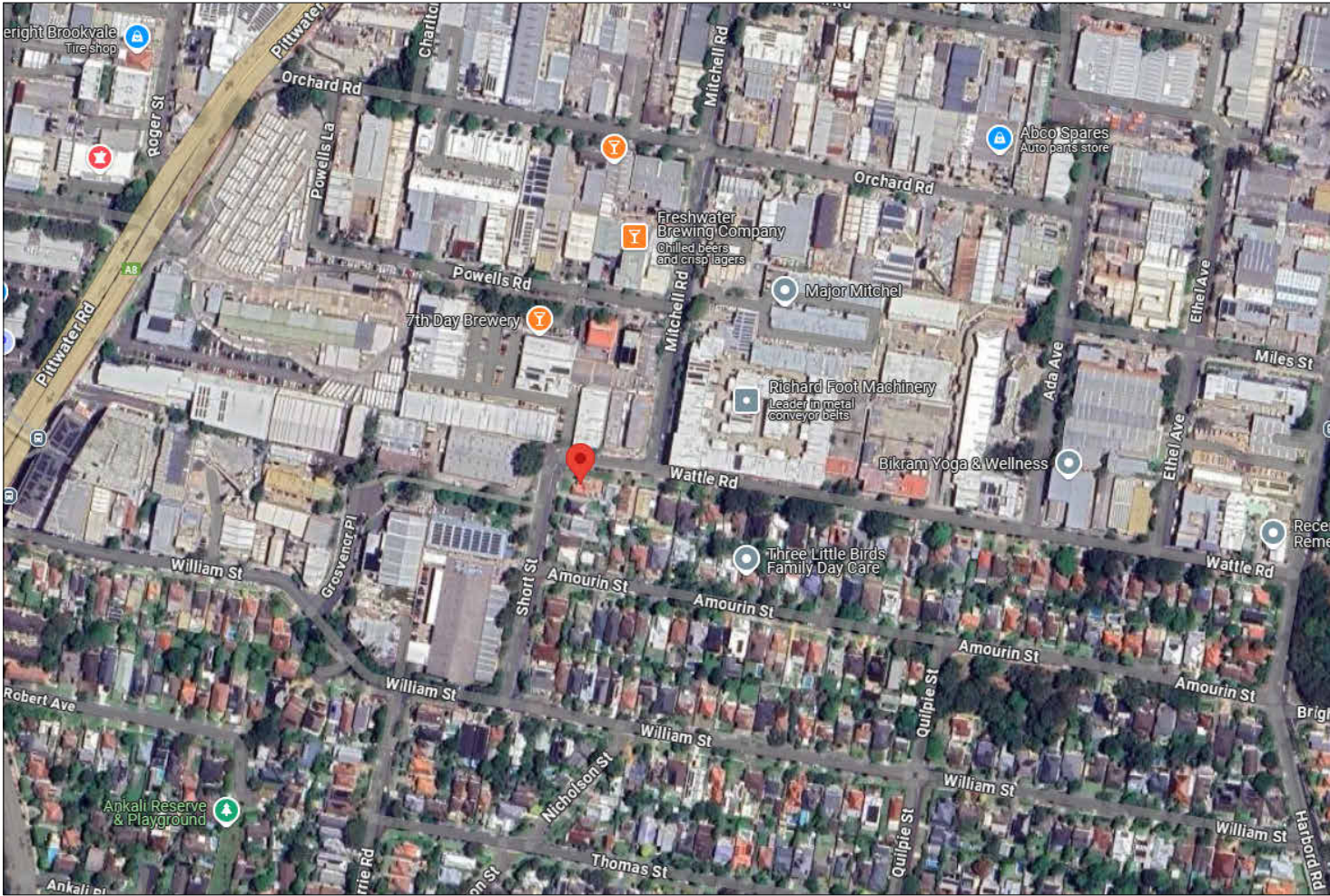
# WATTLE COURT SYDNEY NORTH

PROJECT: NEW DOUBLE STOREY DWELLING  
ADDRESS: 9 SHORT STREET  
NORTH MANLY NSW 2100

LOT #: 5  
DP #: 5511

DRAWING REGISTER			
SHEET	SHEET NAME	REVISION	DATE
A01	COVER SHEET	E	27/02/2025
A02	EXISTING SURVEY PLAN	E	27/02/2025
A03	SITE PLAN	E	27/02/2025
A04	AREAS PLAN	E	27/02/2025
A05	GROUND FLOOR PLAN	E	27/02/2025
A06	FIRST FLOOR PLAN	E	27/02/2025
A07	ELEVATIONS	E	27/02/2025
A08	ELEVATIONS	E	27/02/2025
A09	SECTIONS	E	27/02/2025
A10	DEMOLITION PLAN	E	27/02/2025
A11	EROSION, SEDIMENT & WASTE MANAGEMENT PLAN	E	27/02/2025
A12	3D VIEWS	E	27/02/2025
A13	BASIX COMMITMENT	E	27/02/2025
A14	DRIVEWAY DETAILS	E	27/02/2025
A15	CONCRETE SLAB PLAN	E	27/02/2025
A16	SHADOW DIAGRAM - 21st JUNE	E	27/02/2025
A17	SHADOW DIAGRAM - 21st DEC	E	27/02/2025
A18	ELEVATIONAL SHADOWS - 21st JUNE	E	27/02/2025
A19	WASTE MANAGEMENT	E	27/02/2025
A20	SITE ANALYSIS	E	27/02/2025


Total Sheets: 20



DRAWING REVISION SCHEDULE			
No.	AMENDMENTS	DATE	BY
A	PRELIMINARY - FIRST ISSUE	13/10/2023	DJH
B	PRELIMINARY - SECOND ISSUE	19/10/2023	DJH
C	FIRST ISSUE - CONCEPT STAGE	29/11/2023	DJH
D	FIRST ISSUE - DA SET	06/02/2025	DJH
E	ADDED SHADOW DIAGRAM FOR SUMMER; CHANGED SLIDING DOOR TO DINING; ADDED STONE CLADDING TO PORCH POST; ADJUSTED RAINWATER TANKS; ADDED SINK TO KITCHEN; ADDED 1700 HIGH WALL TO BBQ AREA ON ALFRESCO.	27/02/2025	DJH

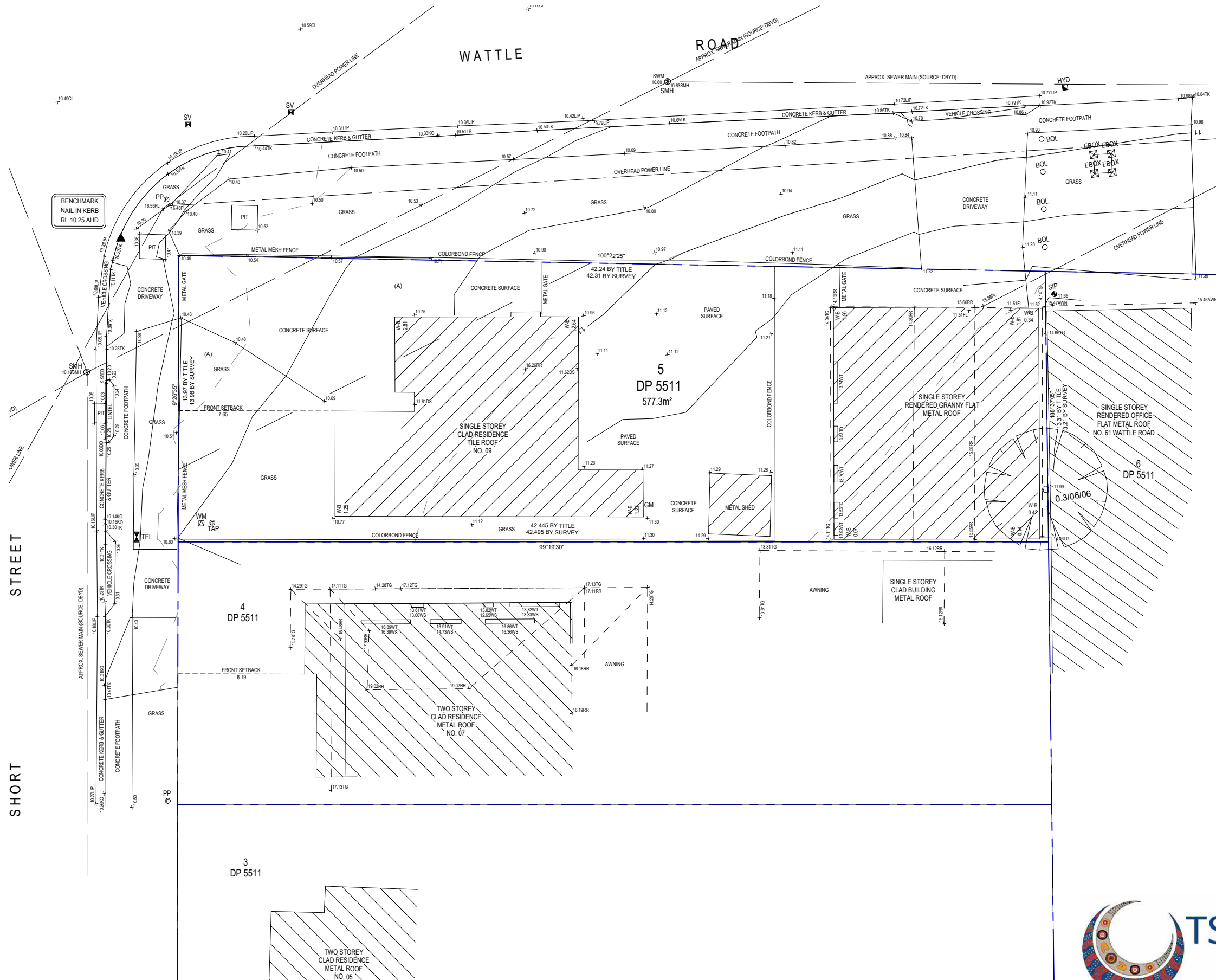
DA APPLICATION - NOT FOR CONSTRUCTION

© COPYRIGHT. THIS DRAWING REMAINS THE PROPERTY OF WATTLE COURT HOMES & IS PROVIDED FOR THE USE AS DESCRIBED & MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT FORM PART OF ANY CONTRACT

<div>WATTLE COURT</div> <div>HOMES BUILT FOR LIFE</div>	<div>CUSTOM DESIGN</div> <div>RESORT FACADE</div> <div>© COPYRIGHT EXCLUSIVE TO WATTLE COURT HOMES</div>	<div>DRAFTERS:</div> <div><div></div><div>PO BOX 6840 NORWEST NSW 2153 ABN 15 078 937 238 (02) 8883 4344 kjrdrfting@kjr.net.au</div></div>	<div>CLIENT: DOUBLE STOREY DWELLING</div> <div>ENTWISTLE &amp; GARDINER</div>	<div>PROJECT:</div> <div>9 SHORT STREET</div> <div>NORTH MANLY NSW 2100</div>	<div>SHEET SIZE:</div> <div>A3</div>	<div>SHEET No:</div> <div>A01</div>	<div>REVISION:</div> <div>E</div>	<div>IWE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.</div> <div>OWNER SIGNED: ..... DATE: .....</div> <div>OWNER SIGNED: ..... DATE: .....</div> <div>BUILDER SIGNED: ..... DATE: .....</div>
			<div>DRAWING TITLE:</div> <div>COVER SHEET</div>	<div>SCALE: 1 : 100</div>	<div>DATE:</div> <div>27/02/2025</div>	<div>JOB NO: NSN0043</div>	<div>APPLICATION:</div> <div>DA</div>	
					<div>DRAWN: DJH</div>	<div>GJGN229</div>		



DRAWING REVISION SCHEDULE			
No.	AMENDMENTS	DATE	BY
A	PRELIMINARY - FIRST ISSUE	13/10/2023	DJH
B	PRELIMINARY - SECOND ISSUE	19/10/2023	DJH
C	FIRST ISSUE - CONCEPT STAGE	29/11/2023	DJH
D	FIRST ISSUE - DA SET	06/02/2025	DJH
E	ADDED SHADOW DIAGRAM FOR SUMMER; CHANGED SLIDING DOOR TO DINING; ADDED STONE CLADDING TO PORCH POST; ADJUSTED RAINWATER TANKS; ADDED SINK TO KITCHEN; ADDED 1700 HIGH WALL TO BBQ AREA ON ALFRESCO.	27/02/2025	DJH



1 EXISTING SURVEY PLAN  
1 : 200

DA APPLICATION - NOT FOR CONSTRUCTION

0m 1m 2m 3m 4m 5m 10m  
SCALE BAR 1:200



TSS TOTAL SURVEYING  
SOLUTIONS

© COPYRIGHT. THIS DRAWING REMAINS THE PROPERTY OF WATTLE COURT HOMES & IS PROVIDED FOR THE USE AS DESCRIBED & MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT FORM PART OF ANY CONTRACT

WATTLE COURT  
HOMES BUILT FOR LIFE

CUSTOM DESIGN  
RESORT FACADE

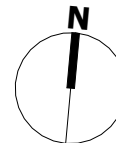
© COPYRIGHT EXCLUSIVE  
TO WATTLE COURT HOMES

DRAFTERS:  
**KJR**  
PO BOX 6840  
NORWEST NSW 2153  
ABN 15 078 937 238  
(02) 8883 4344  
kjr.drafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING  
ENTWISTLE & GARDINER  
DRAWING TITLE:  
EXISTING SURVEY PLAN

PROJECT:  
9 SHORT STREET  
NORTH MANLY NSW 2100  
SCALE: 1 : 200

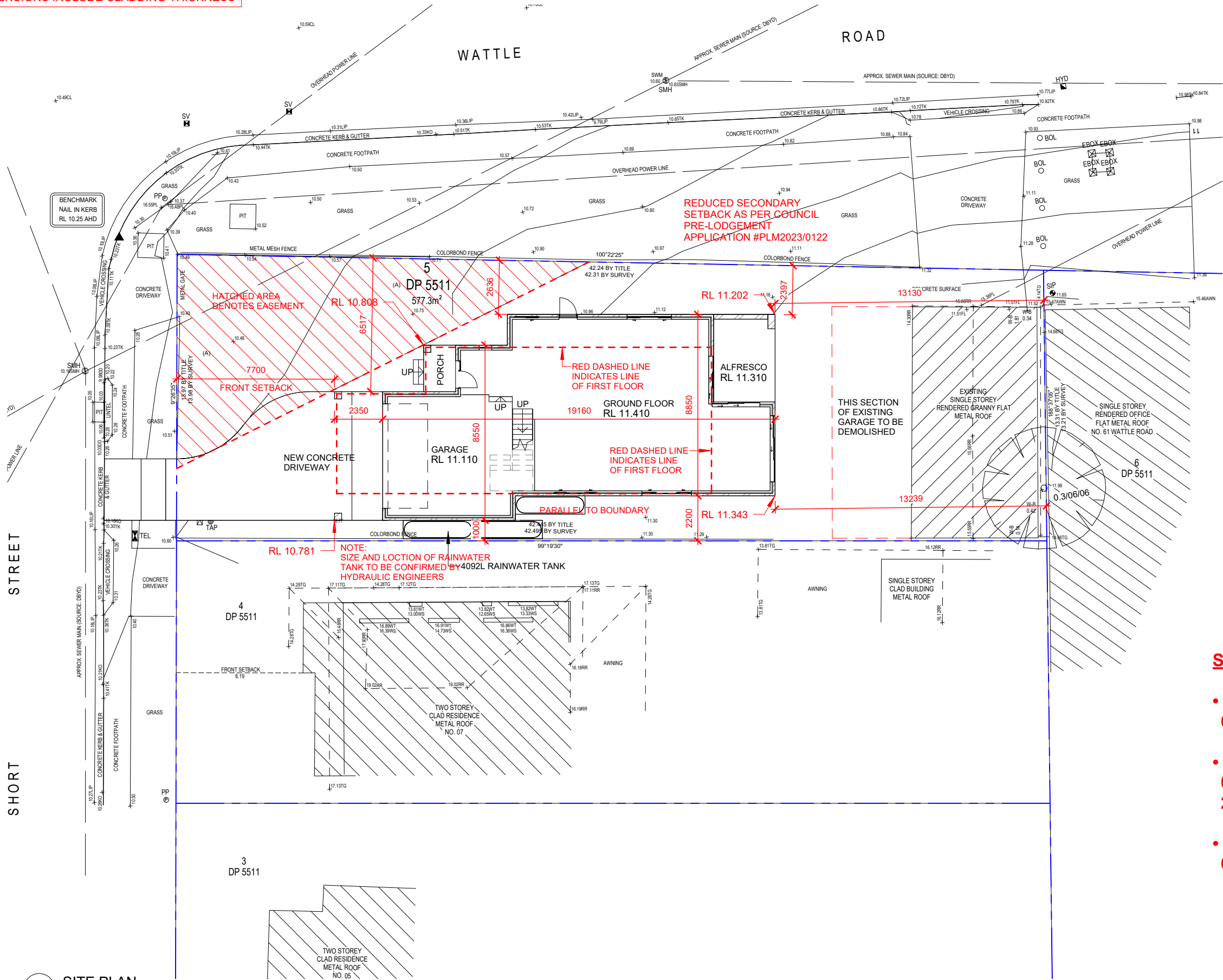
SHEET SIZE: A3  
SHEET No: A02  
REVISION: E  
DATE: 27/02/2025  
JOB NO: NSN0043  
DRAWN: DJH



IWE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY  
DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS  
REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN  
ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY  
FURTHER PLANS TO BE PREPARED.  
OWNER SIGNED: ..... DATE: .....  
OWNER SIGNED: ..... DATE: .....  
BUILDER SIGNED: ..... DATE: .....

DIMENSIONS INCLUDE CLADDING THICKNESS

DRAWING REVISION SCHEDULE			
No.	AMENDMENTS	DATE	BY
A	PRELIMINARY - FIRST ISSUE	13/10/2023	DJH
B	PRELIMINARY - SECOND ISSUE	19/10/2023	DJH
C	FIRST ISSUE - CONCEPT STAGE	29/11/2023	DJH
D	FIRST ISSUE - DA SET	06/02/2025	DJH
E	ADDED SHADOW DIAGRAM FOR SUMMER; CHANGED SLIDING DOOR TO DINING; ADDED STONE CLADDING TO PORCH POST; ADJUSTED RAINWATER TANKS; ADDED SINK TO KITCHEN; ADDED 1700 HIGH WALL TO BBQ AREA ON ALFRESCO.	27/02/2025	DJH



GROSS FLOOR AREAS (GFA)	
GROSS FLOOR AREA	207 m <sup>2</sup>
GRANNY FLAT	69 m <sup>2</sup>
GARAGE	35 m <sup>2</sup>
TOTAL GFA:	311 m <sup>2</sup>

SITE AREA	FSR
577.3 m <sup>2</sup>	0.54

**SETBACK NOTES:**

- FRONT SETBACK IS TO BE AT LEAST: 6.5m
- SIDE SETBACK IS TO BE AT LEAST: 0.9m TO ONE SIDE 2.0m TO THE OTHER SIDE
- REAR SETBACK IS TO BE AT LEAST: 6.0m

1 SITE PLAN  
1 : 200

DA APPLICATION - NOT FOR CONSTRUCTION

0m 1m 2m 3m 4m 5m 10m  
SCALE BAR 1:200

© COPYRIGHT. THIS DRAWING REMAINS THE PROPERTY OF WATTLE COURT HOMES & IS PROVIDED FOR THE USE AS DESCRIBED & MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT FORM PART OF ANY CONTRACT

**WATTLE COURT**  
HOMES BUILT FOR LIFE

**CUSTOM DESIGN**  
RESORT FACADE

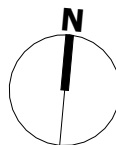
© COPYRIGHT EXCLUSIVE  
TO WATTLE COURT HOMES

DRAFTERS:  
**KJR**  
PO BOX 6840  
NORWEST NSW 2153  
ABN 15 078 937 238  
(02) 8883 4344  
kjrdrfting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING  
**ENTWISTLE & GARDINER**  
DRAWING TITLE:  
**SITE PLAN**

PROJECT:  
**9 SHORT STREET  
NORTH MANLY NSW 2100**  
SCALE: 1 : 200

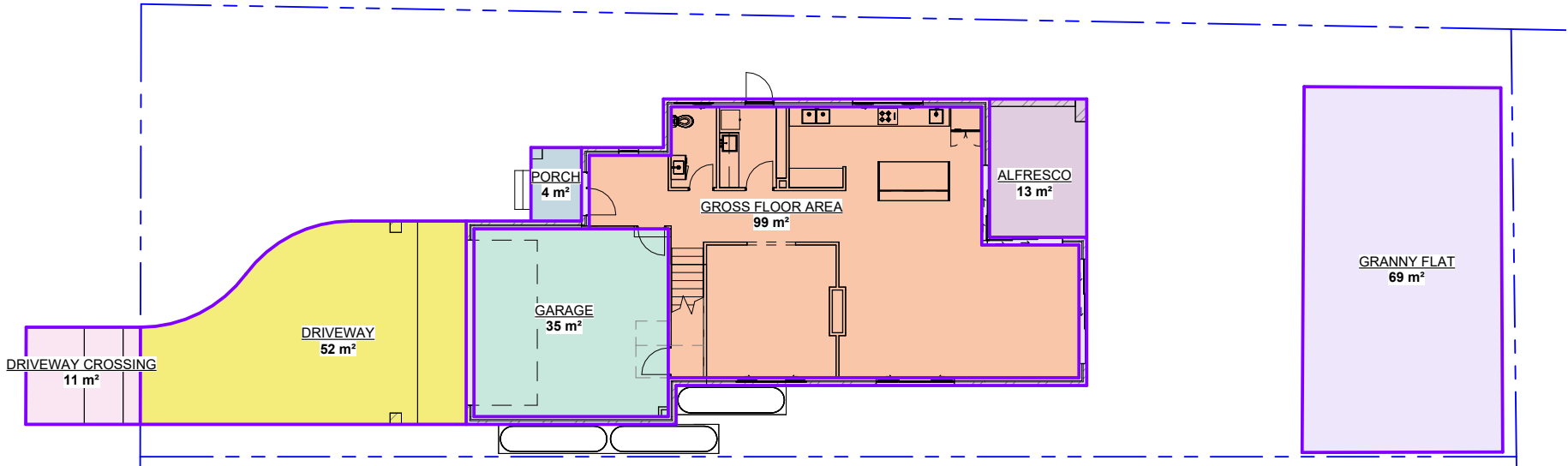
SHEET SIZE: **A3** SHEET No: **A03** REVISION: **E**  
DATE: **27/02/2025**  
JOB NO: **NSN0043** APPLICATION: **DA**  
DRAWN: **DJH** GJGN229



IWE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY  
DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS  
REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN  
ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY  
FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: ..... DATE: .....  
OWNER SIGNED: ..... DATE: .....  
BUILDER SIGNED: ..... DATE: .....

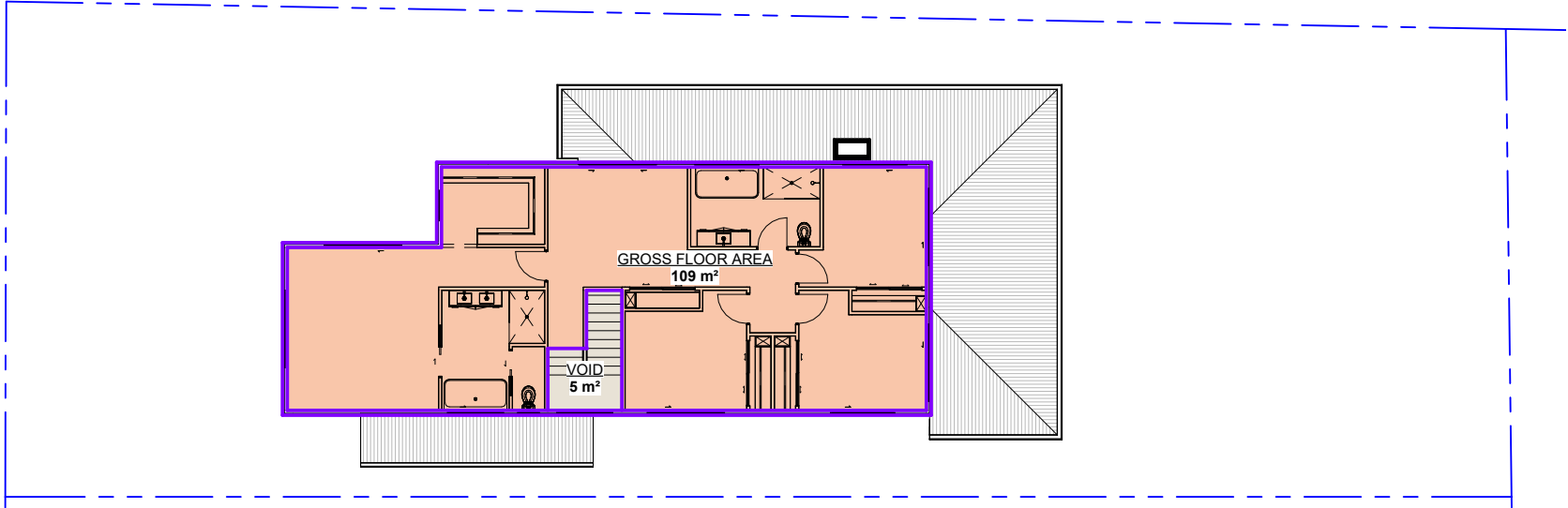
DRAWING REVISION SCHEDULE			
No.	AMENDMENTS	DATE	BY
A	PRELIMINARY - FIRST ISSUE	13/10/2023	DJH
B	PRELIMINARY - SECOND ISSUE	19/10/2023	DJH
C	FIRST ISSUE - CONCEPT STAGE	29/11/2023	DJH
D	FIRST ISSUE - DA SET	06/02/2025	DJH
E	ADDED SHADOW DIAGRAM FOR SUMMER; CHANGED SLIDING DOOR TO DINING; ADDED STONE CLADDING TO PORCH POST; ADJUSTED RAINWATER TANKS; ADDED SINK TO KITCHEN; ADDED 1700 HIGH WALL TO BBQ AREA ON ALFRESCO.	27/02/2025	DJH



FLOOR SPACE COLOURS

- ALFRESCO
- DRIVEWAY
- DRIVEWAY CROSSING
- EXTERNAL WALLS
- GARAGE
- GRANNY FLAT
- GROSS FLOOR AREA
- PORCH
- VOID

1 PROPOSED GROUND FLOOR AREAS  
1 : 200



PROPOSED FLOOR SPACES		
AREA NAME	AREA	%

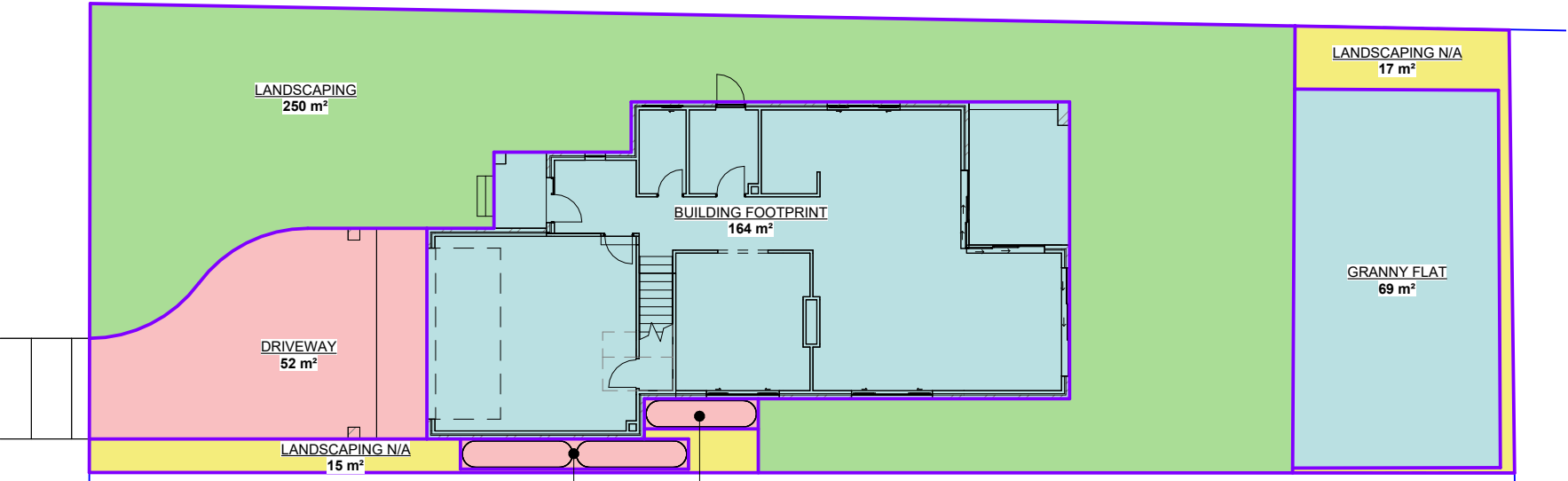
GROUND FLOOR		
ALFRESCO	13 m²	4%
EXTERNAL WALLS	14 m²	4%
GARAGE	35 m²	10%
GRANNY FLAT	69 m²	20%
GROSS FLOOR AREA	99 m²	28%
PORCH	4 m²	1%

FIRST FLOOR		
EXTERNAL WALLS	7 m²	2%
GROSS FLOOR AREA	109 m²	31%
VOID	5 m²	1%
TOTAL AREAS	354 m²	100%

GROSS FLOOR AREAS (GFA)	
GROSS FLOOR AREA	207 m²
GRANNY FLAT	69 m²
GARAGE	35 m²
TOTAL GFA:	311 m²

SITE AREA	FSR
577.3 m²	0.54

2 PROPOSED FIRST FLOOR AREAS  
1 : 200



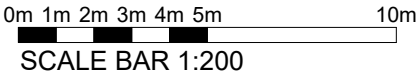
SITE COVERAGE COLOURS

- BUILDING FOOTPRINT
- HARD SURFACES
- LANDSCAPING - REAR
- LANDSCAPING N/A
- OPEN LANDSCAPE

PROPOSED LANDSCAPE AREAS		
AREA NAME	AREA	%
BUILDING FOOTPRINT	233 m²	40%
HARD SURFACES	62 m²	11%
LANDSCAPING N/A	32 m²	6%
OPEN LANDSCAPE	250 m²	43%
TOTAL:	576 m²	100%

3 PROPOSED LANDSCAPE AREAS PLAN  
1 : 200

DA APPLICATION - NOT FOR CONSTRUCTION



© COPYRIGHT. THIS DRAWING REMAINS THE PROPERTY OF WATTLE COURT HOMES & IS PROVIDED FOR THE USE AS DESCRIBED & MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT FORM PART OF ANY CONTRACT

WATTLE COURT

HOMES BUILT FOR LIFE

CUSTOM DESIGN

RESORT FACADE

© COPYRIGHT EXCLUSIVE TO WATTLE COURT HOMES

DRAFTERS:

KJR

DRAFTING

PO BOX 6840  
NORWEST NSW 2153  
ABN 15 078 937 238  
(02) 8883 4344  
kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING

ENTWISTLE & GARDINER

DRAWING TITLE:

AREAS PLAN

PROJECT:

9 SHORT STREET

NORTH MANLY NSW 2100

SCALE: 1 : 200

SHEET SIZE: A3

SHEET No: A04

REVISION: E

DATE: 27/02/2025

JOB NO: NSN0043

DRAWN: DJH

APPLICATION: DA

GJGN229

N

Owner Signed: \_\_\_\_\_ DATE: \_\_\_\_\_

Owner Signed: \_\_\_\_\_ DATE: \_\_\_\_\_

Builder Signed: \_\_\_\_\_ DATE: \_\_\_\_\_

IWE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.



REFER TO SPECIFICATION FOR COLOUR SELECTION, FINAL LAYOUT & FINISHES OF BATHROOM AND LAUNDRY

DIMENSIONS ARE TO FRAME SIZE ONLY UNLESS NOTED OTHERWISE

#### STAIRS

PROVIDE A HANDRAIL ALONG THE FULL LENGTH OF THE FLIGHT AND A SLIP RESISTANT FINISH TO THE EDGE OF THE NOSINGS TO COMPLY WITH NCC VOLUME 2 - H5P1

**BARRIERS AND HANDRAILS**  
NCC HOUSING PROVISIONS 11.3.4  
NO HORIZONTAL ELEMENTS TO FACILITATE CLIMBING BETWEEN 150mm TO 760mm WHERE IT IS POSSIBLE TO FALL MORE THAN 4 METRES.

#### SMOKE ALARMS

INSTALL AN INTERCONNECTED / HARDWIRED SMOKE ALARM IN ACCORDANCE WITH AS3786 AND NCC VOLUME 2 - H3D6

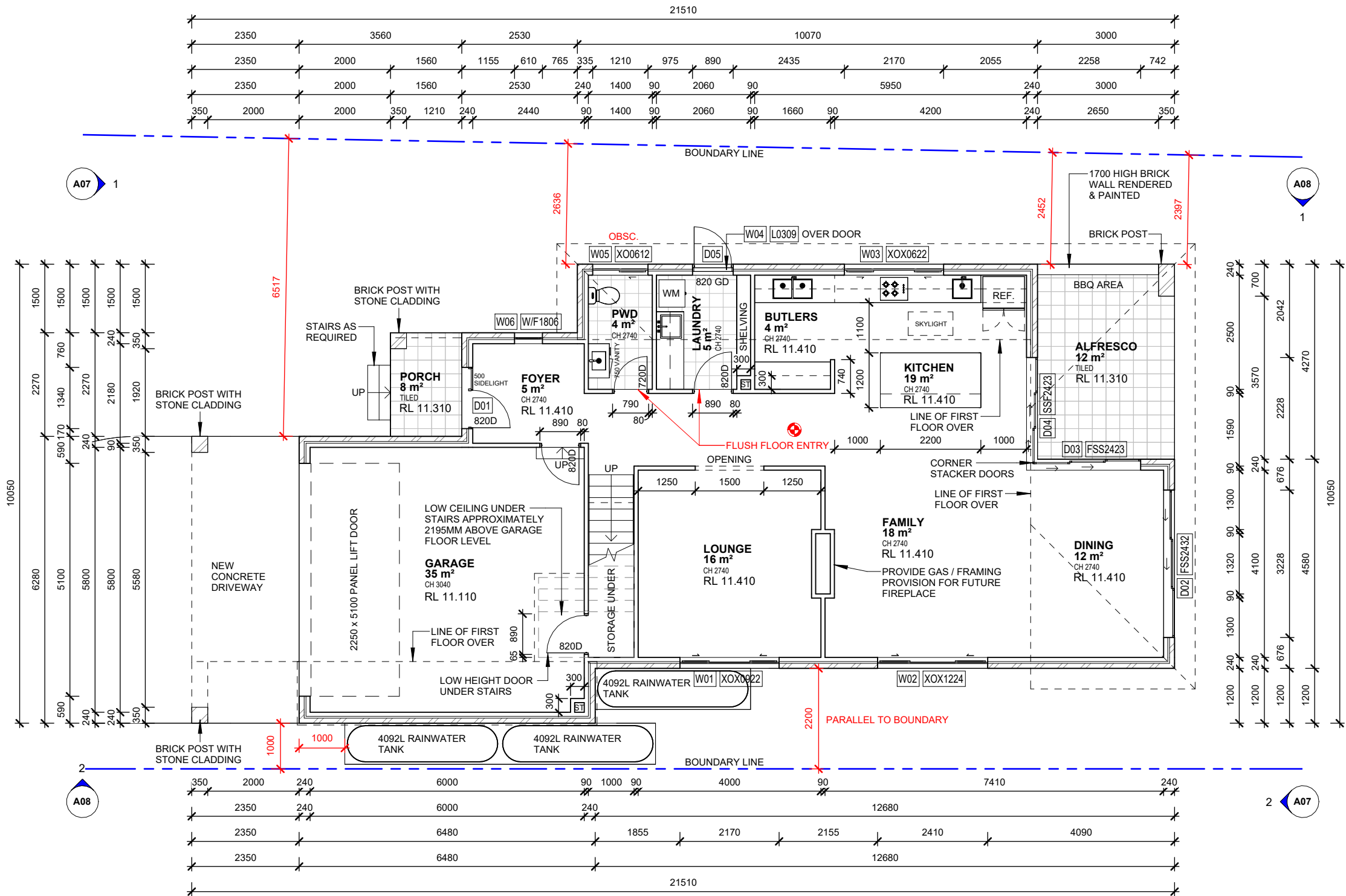


#### STAIRS - GF TO FF

FLOOR TO FLOOR = 3040 mm  
No. OF RISERS = 17  
RISER HEIGHT = 178.8 mm  
TREAD DEPTH = 250 mm

#### DRAWING REVISION SCHEDULE

No.	AMENDMENTS	DATE	BY
A	PRELIMINARY - FIRST ISSUE	13/10/2023	DJH
B	PRELIMINARY - SECOND ISSUE	19/10/2023	DJH
C	FIRST ISSUE - CONCEPT STAGE	29/11/2023	DJH
D	FIRST ISSUE - DA SET	06/02/2025	DJH
E	ADDED SHADOW DIAGRAM FOR SUMMER; CHANGED SLIDING DOOR TO DINING; ADDED STONE CLADDING TO PORCH POST; ADJUSTED RAINWATER TANKS; ADDED SINK TO KITCHEN; ADDED 1700 HIGH WALL TO BBQ AREA ON ALFRESCO.	27/02/2025	DJH



1 GROUND FLOOR  
1 : 100

DA APPLICATION - NOT FOR CONSTRUCTION

0m 1m 2m 3m 4m 5m 10m  
SCALE BAR 1:100

DOOR SCHEDULE		
MARK	WIDTH	HEAD
D01	820	2400
D02	3228	2400
D03	2328	2400
D04	2328	2400
D05	820	2100

Grand Total: 5

WINDOW SCHEDULE				
MARK	WIDTH	HEIGHT	SILL	HEAD
W01	2170	860	1540	2400
W02	2410	1200	1200	2400
W03	2170	600	950	1550
W04	890	300	2100	2400
W05	1210	600	1800	2400
W06	610	1800	600	2400
W07	850	1800	300	2100
W08	2170	860	1240	2100
W09	2170	1800	300	2100
W10	1570	860	1240	2100
W11	610	600	1500	2100
W12	1570	1200	900	2100
W13	2170	860	1240	2100
W14	1810	600	1500	2100
W15	2170	860	1240	2100
W16	2170	860	1240	2100
W17	1810	600	1500	2100
W18	1810	600	1500	2100
W19	2170	1200	900	2100

Grand Total: 19

#### GROSS FLOOR AREAS (GFA)

GROSS FLOOR AREA	207 m²
GRANNY FLAT	69 m²
GARAGE	35 m²
TOTAL GFA:	311 m²

#### SITE AREA

577.3 m²	FSR 0.54
----------	-------------

#### PROPOSED FLOOR SPACES

AREA NAME	AREA	%
-----------	------	---

#### GROUND FLOOR

ALFRESCO	13 m²	4%
EXTERNAL WALLS	14 m²	4%
GARAGE	35 m²	10%
GRANNY FLAT	69 m²	20%
GROSS FLOOR AREA	99 m²	28%
PORCH	4 m²	1%

#### FIRST FLOOR

EXTERNAL WALLS	7 m²	2%
GROSS FLOOR AREA	109 m²	31%
VOID	5 m²	1%
TOTAL AREAS	354 m²	100%

**WATTLE COURT**  
HOMES BUILT FOR LIFE

**CUSTOM DESIGN**  
RESORT FACADE

© COPYRIGHT EXCLUSIVE  
TO WATTLE COURT HOMES

DRAFTERS:

**KJR**  
DRAFTING  
PO BOX 6840  
NORWEST NSW 2153  
ABN 15 078 937 238  
(02) 8883 4344  
kjr.drafting@kjr.net.au

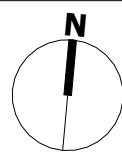
CLIENT: DOUBLE STOREY DWELLING  
**ENTWISTLE & GARDINER**

DRAWING TITLE:  
**GROUND FLOOR PLAN**

PROJECT:  
**9 SHORT STREET  
NORTH MANLY NSW 2100**

SCALE: 1 : 100

SHEET SIZE: **A3** SHEET No: **A05** REVISION: **E**  
DATE: **27/02/2025**  
JOB NO: **NSN0043** APPLICATION: **DA**  
DRAWN: **DJH** GJGN229



I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY  
DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS  
REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN  
ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY  
FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: ..... DATE: .....  
OWNER SIGNED: ..... DATE: .....  
BUILDER SIGNED: ..... DATE: .....

REFER TO SPECIFICATION FOR COLOUR SELECTION, FINAL LAYOUT & FINISHES OF BATHROOM AND LAUNDRY

DIMENSIONS ARE TO FRAME SIZE ONLY UNLESS NOTED OTHERWISE

#### STAIRS

PROVIDE A HANDRAIL ALONG THE FULL LENGTH OF THE FLIGHT AND A SLIP RESISTANT FINISH TO THE EDGE OF THE NOSINGS TO COMPLY WITH NCC VOLUME 2 - H5P1

**BARRIERS AND HANDRAILS**  
NCC HOUSING PROVISIONS 11.3.4  
NO HORIZONTAL ELEMENTS TO FACILITATE CLIMBING BETWEEN 150mm TO 760mm WHERE IT IS POSSIBLE TO FALL MORE THAN 4 METRES.

#### SMOKE ALARMS

INSTALL AN INTERCONNECTED / HARDWIRED SMOKE ALARM IN ACCORDANCE WITH AS3786 AND NCC VOLUME 2 - H3D6



#### STAIRS - GF TO FF

FLOOR TO FLOOR = 3040 mm  
No. OF RISERS = 17  
RISER HEIGHT = 178.8 mm  
TREAD DEPTH = 250 mm

#### DRAWING REVISION SCHEDULE

No.	AMENDMENTS	DATE	BY
A	PRELIMINARY - FIRST ISSUE	13/10/2023	DJH
B	PRELIMINARY - SECOND ISSUE	19/10/2023	DJH
C	FIRST ISSUE - CONCEPT STAGE	29/11/2023	DJH
D	FIRST ISSUE - DA SET	06/02/2025	DJH
E	ADDED SHADOW DIAGRAM FOR SUMMER; CHANGED SLIDING DOOR TO DINING; ADDED STONE CLADDING TO PORCH POST; ADJUSTED RAINWATER TANKS; ADDED SINK TO KITCHEN; ADDED 1700 HIGH WALL TO BBQ AREA ON ALFRESCO.	27/02/2025	DJH

#### DOOR SCHEDULE

MARK	WIDTH	HEAD
D01	820	2400
D02	3228	2400
D03	2328	2400
D04	2328	2400
D05	820	2100

Grand Total: 5

#### WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	SILL	HEAD
W01	2170	860	1540	2400
W02	2410	1200	1200	2400
W03	2170	600	950	1550
W04	890	300	2100	2400
W05	1210	600	1800	2400
W06	610	1800	600	2400
W07	850	1800	300	2100
W08	2170	860	1240	2100
W09	2170	1800	300	2100
W10	1570	860	1240	2100
W11	610	600	1500	2100
W12	1570	1200	900	2100
W13	2170	860	1240	2100
W14	1810	600	1500	2100
W15	2170	860	1240	2100
W16	2170	860	1240	2100
W17	1810	600	1500	2100
W18	1810	600	1500	2100
W19	2170	1200	900	2100

Grand Total: 19

#### GROSS FLOOR AREAS (GFA)

GROSS FLOOR AREA	207 m <sup>2</sup>
GRANNY FLAT	69 m <sup>2</sup>
GARAGE	35 m <sup>2</sup>
TOTAL GFA:	311 m <sup>2</sup>

#### SITE AREA

577.3 m<sup>2</sup>

#### FSR

0.54

#### PROPOSED FLOOR SPACES

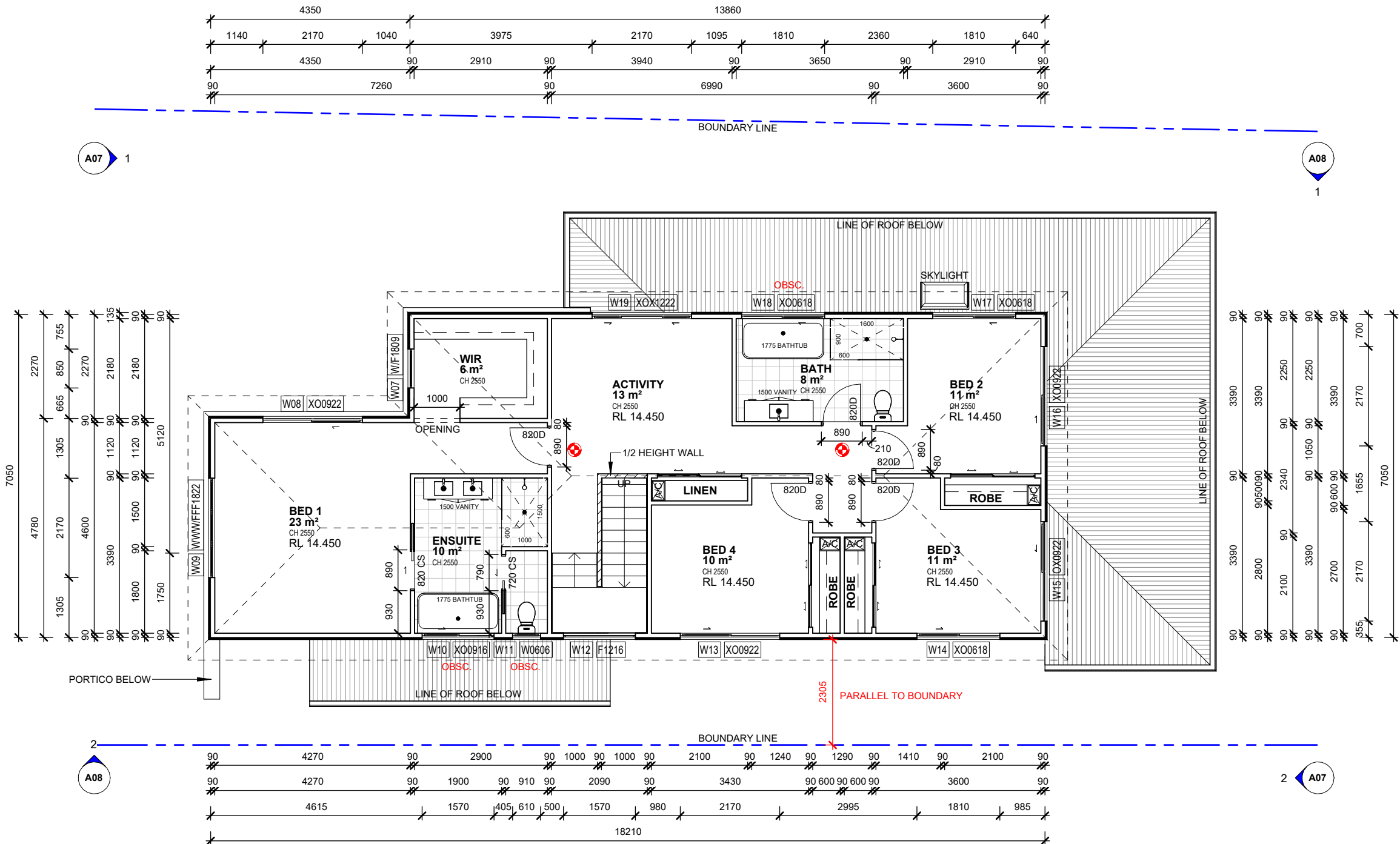
AREA NAME	AREA	%
-----------	------	---

#### GROUND FLOOR

ALFRESCO	13 m <sup>2</sup>	4%
EXTERNAL WALLS	14 m <sup>2</sup>	4%
GARAGE	35 m <sup>2</sup>	10%
GRANNY FLAT	69 m <sup>2</sup>	20%
GROSS FLOOR AREA	99 m <sup>2</sup>	28%
PORCH	4 m <sup>2</sup>	1%

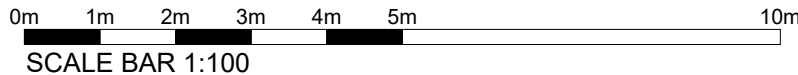
#### FIRST FLOOR

EXTERNAL WALLS	7 m <sup>2</sup>	2%
GROSS FLOOR AREA	109 m <sup>2</sup>	31%
VOID	5 m <sup>2</sup>	1%
TOTAL AREAS	354 m <sup>2</sup>	100%



1 FIRST FLOOR  
1 : 100

DA APPLICATION - NOT FOR CONSTRUCTION



**CUSTOM DESIGN**  
RESORT FACADE

© COPYRIGHT EXCLUSIVE  
TO WATTLE COURT HOMES

DRAFTERS:

**KJR**  
DRAFTING  
PO BOX 6840  
NORWEST NSW 2153  
ABN 15 078 937 238  
(02) 8883 4344  
kjrdrafting@kjr.net.au

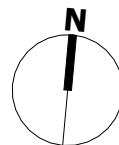
CLIENT: DOUBLE STOREY DWELLING  
ENTWISTLE & GARDINER

DRAWING TITLE:  
FIRST FLOOR PLAN

PROJECT:  
9 SHORT STREET  
NORTH MANLY NSW 2100

SCALE: 1 : 100

SHEET SIZE: **A3** SHEET No: **A06** REVISION: **E**  
DATE: 27/02/2025  
JOB NO: NSN0043 APPLICATION: DA  
DRAWN: DJH GJGN229



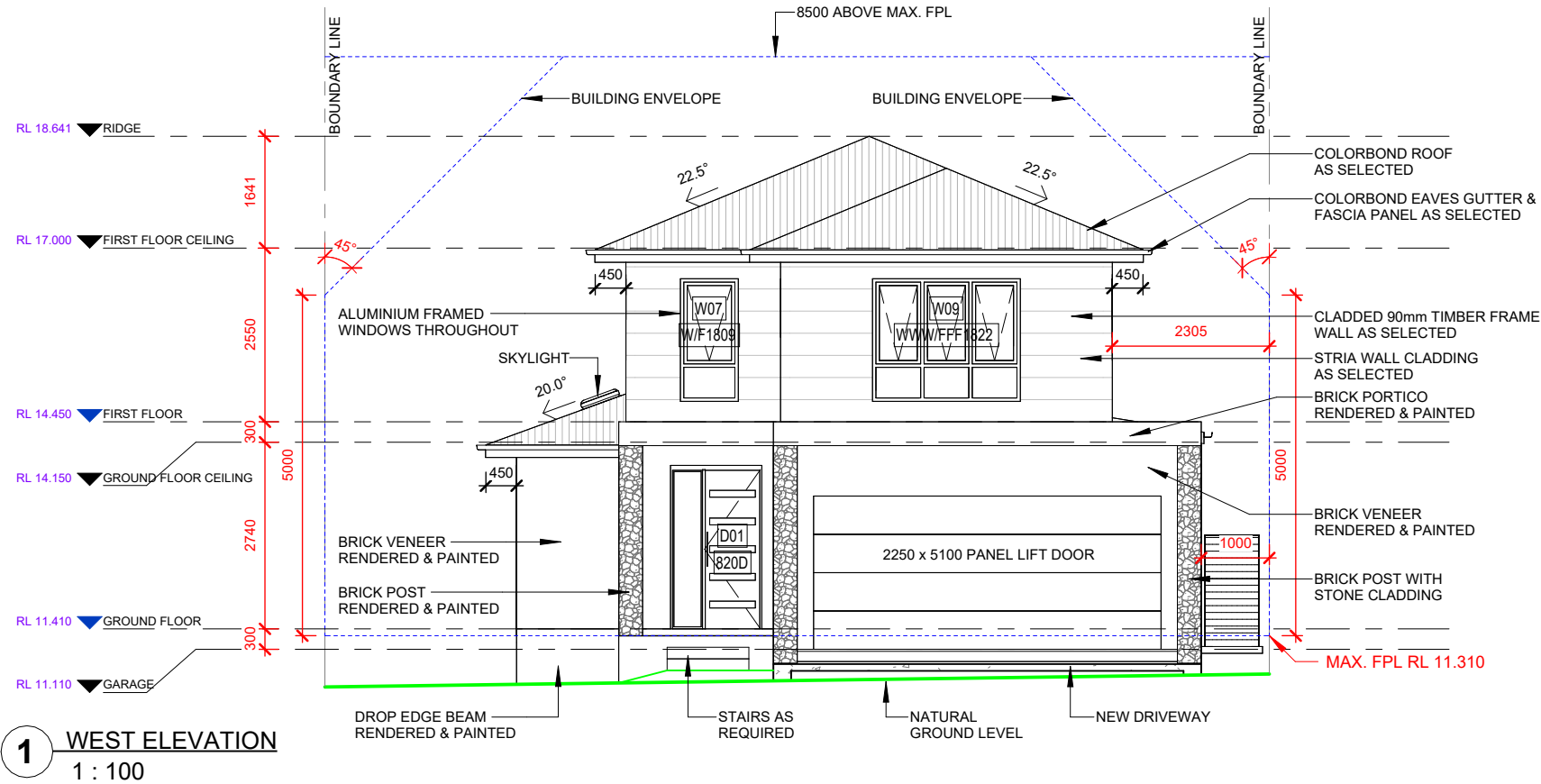
I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY  
DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS  
REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN  
ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY  
FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: ..... DATE: .....  
OWNER SIGNED: ..... DATE: .....  
BUILDER SIGNED: ..... DATE: .....

**WATTLE COURT**  
HOMES BUILT FOR LIFE

REFER TO SPECIFICATION FOR COLOUR  
SELECTION, FINAL LAYOUT & FINISHES  
OF BATHROOM AND LAUNDRY

DRAWING REVISION SCHEDULE			
No.	AMENDMENTS	DATE	BY
A	PRELIMINARY - FIRST ISSUE	13/10/2023	DJH
B	PRELIMINARY - SECOND ISSUE	19/10/2023	DJH
C	FIRST ISSUE - CONCEPT STAGE	29/11/2023	DJH
D	FIRST ISSUE - DA SET	06/02/2025	DJH
E	ADDED SHADOW DIAGRAM FOR SUMMER; CHANGED SLIDING DOOR TO DINING; ADDED STONE CLADDING TO PORCH POST; ADJUSTED RAINWATER TANKS; ADDED SINK TO KITCHEN; ADDED 1700 HIGH WALL TO BBQ AREA ON ALFRESCO.	27/02/2025	DJH

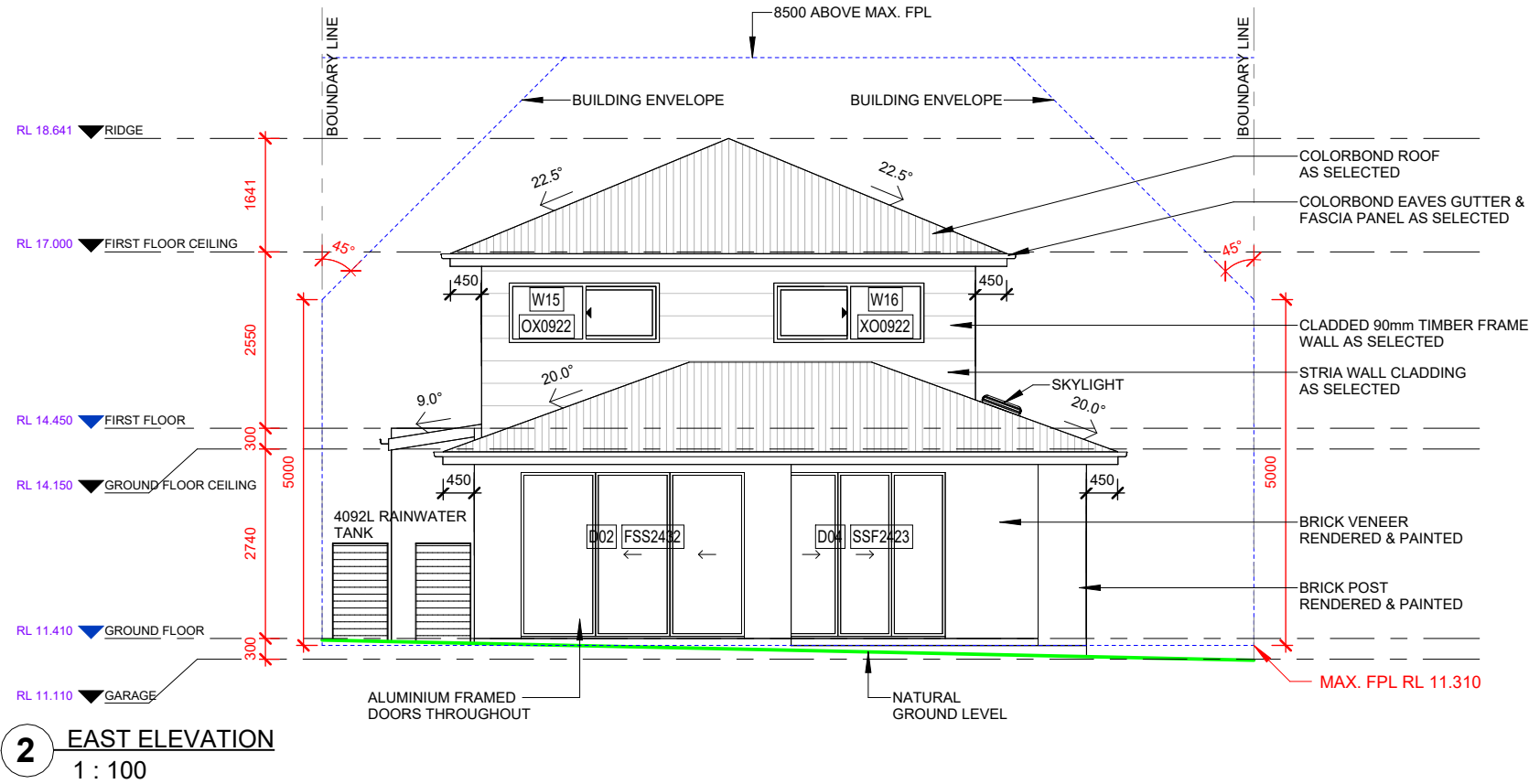


DOOR SCHEDULE		
MARK	WIDTH	HEAD
D01	820	2400
D02	3228	2400
D03	2328	2400
D04	2328	2400
D05	820	2100

Grand Total: 5

WINDOW SCHEDULE				
MARK	WIDTH	HEIGHT	SILL	HEAD
W01	2170	860	1540	2400
W02	2410	1200	1200	2400
W03	2170	600	950	1550
W04	890	300	2100	2400
W05	1210	600	1800	2400
W06	610	1800	600	2400
W07	850	1800	300	2100
W08	2170	860	1240	2100
W09	2170	1800	300	2100
W10	1570	860	1240	2100
W11	610	600	1500	2100
W12	1570	1200	900	2100
W13	2170	860	1240	2100
W14	1810	600	1500	2100
W15	2170	860	1240	2100
W16	2170	860	1240	2100
W17	1810	600	1500	2100
W18	1810	600	1500	2100
W19	2170	1200	900	2100

Grand Total: 19



#### WALL & ROOF CLADDING.

WALL AND ROOF CLADDING TO BE COMPLIANT WITH THE REQUIREMENTS OF NCC VOLUME 2 - H1D7 PARTICULARLY WITH RESPECT TO THE REFERENCING ACCEPTABLE CONSTRUCTION PRACTICE AS DETAILED IN THE NCC FOR PRODUCT MATERIALS AND INSTALLATION.

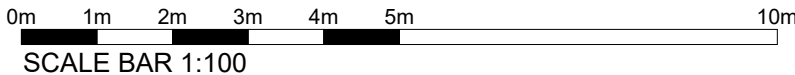
**IMPORTANT NOTE:**  
ANY PROPOSED PRODUCT CHANGES AFTER APPROVAL OF THE CC OR CDC IS TO BE IMMEDIATELY NOTIFIED TO THE PCA FOR CONCURRENCE.

#### BALUSTRADES - NCC VOLUME 1 - D3D20

NO HORIZONTAL ELEMENTS TO FACILITATE CLIMBING BETWEEN 150mm TO 760mm WHERE FLOOR TO FLOOR LEVEL BELOW IS MORE THAN 4 METRES.

**WINDOWS**  
PROVIDE 1.7m SILL HEIGHT OR CHILD SAFE LOCKS / SCREENS TO COMPLY WITH NCC VOLUME 1 - D3D29

DA APPLICATION - NOT FOR CONSTRUCTION



© COPYRIGHT. THIS DRAWING REMAINS THE PROPERTY OF WATTLE COURT HOMES & IS PROVIDED FOR THE USE AS DESCRIBED & MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT FORM PART OF ANY CONTRACT

**WATTLE COURT**  
HOMES BUILT FOR LIFE

**CUSTOM DESIGN**  
RESORT FACADE

© COPYRIGHT EXCLUSIVE  
TO WATTLE COURT HOMES

DRAFTERS:

**KJR**  
DRAFTING  
PO BOX 6840  
NORTH WEST NSW 2153  
ABN 15 078 937 238  
(02) 8883 4344  
kjr.drafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING  
**ENTWISTLE & GARDINER**

DRAWING TITLE:  
**ELEVATIONS**

PROJECT:  
**9 SHORT STREET  
NORTH MANLY NSW 2100**

SCALE: 1 : 100

SHEET SIZE: **A3** SHEET No: **A07** REVISION: **E**  
DATE: **27/02/2025**  
JOB NO: **NSN0043** APPLICATION: **DA**  
DRAWN: **DJH** GJGN229

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY  
DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS  
REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN  
ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY  
FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: ..... DATE: .....  
OWNER SIGNED: ..... DATE: .....  
BUILDER SIGNED: ..... DATE: .....

REFER TO SPECIFICATION FOR COLOUR  
SELECTION, FINAL LAYOUT & FINISHES  
OF BATHROOM AND LAUNDRY

DRAWING REVISION SCHEDULE			
No.	AMENDMENTS	DATE	BY
A	PRELIMINARY - FIRST ISSUE	13/10/2023	DJH
B	PRELIMINARY - SECOND ISSUE	19/10/2023	DJH
C	FIRST ISSUE - CONCEPT STAGE	29/11/2023	DJH
D	FIRST ISSUE - DA SET	06/02/2025	DJH
E	ADDED SHADOW DIAGRAM FOR SUMMER; CHANGED SLIDING DOOR TO DINING; ADDED STONE CLADDING TO PORCH POST; ADJUSTED RAINWATER TANKS; ADDED SINK TO KITCHEN; ADDED 1700 HIGH WALL TO BBQ AREA ON ALFRESCO.	27/02/2025	DJH

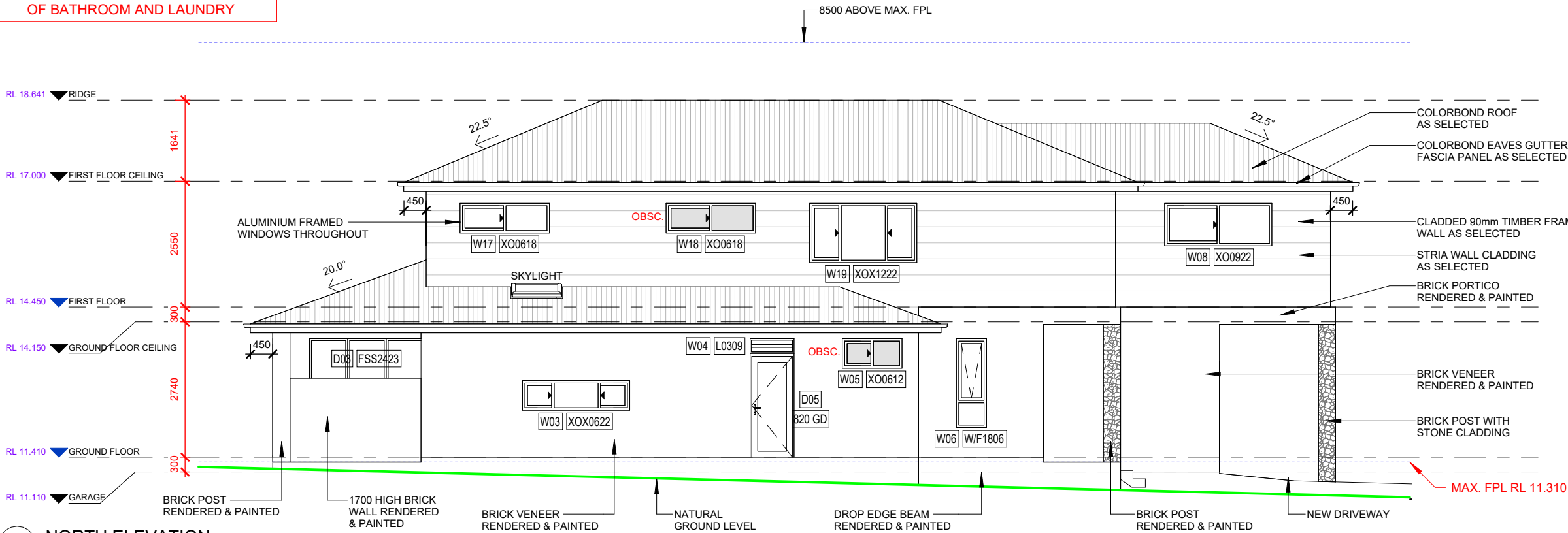
DOOR SCHEDULE		
MARK	WIDTH	HEAD
D01	820	2400
D02	3228	2400
D03	2328	2400
D04	2328	2400
D05	820	2100

Grand Total: 5

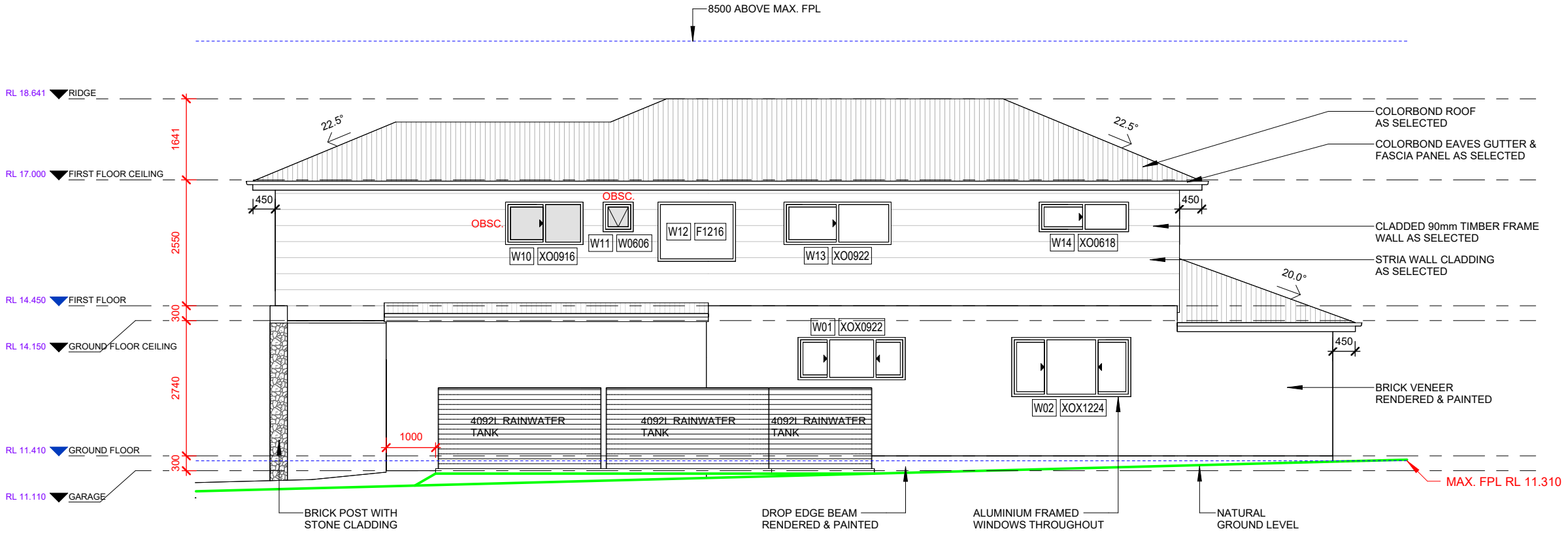
WINDOW SCHEDULE				
MARK	WIDTH	HEIGHT	SILL	HEAD
W01	2170	860	1540	2400
W02	2410	1200	1200	2400
W03	2170	600	950	1550
W04	890	300	2100	2400
W05	1210	600	1800	2400
W06	610	1800	600	2400
W07	850	1800	300	2100
W08	2170	860	1240	2100
W09	2170	1800	300	2100
W10	1570	860	1240	2100
W11	610	600	1500	2100
W12	1570	1200	900	2100
W13	2170	860	1240	2100
W14	1810	600	1500	2100
W15	2170	860	1240	2100
W16	2170	860	1240	2100
W17	1810	600	1500	2100
W18	1810	600	1500	2100
W19	2170	1200	900	2100

Grand Total: 19

1 NORTH ELEVATION  
1 : 100



2 SOUTH ELEVATION  
1 : 100



**WALL & ROOF CLADDING.**

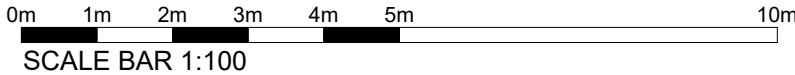
WALL AND ROOF CLADDING TO BE COMPLIANT WITH THE REQUIREMENTS OF NCC VOLUME 2 - H1D7 PARTICULARLY WITH RESPECT TO THE REFERENCING ACCEPTABLE CONSTRUCTION PRACTICE AS DETAILED IN THE NCC FOR PRODUCT MATERIALS AND INSTALLATION.

**IMPORTANT NOTE:**  
ANY PROPOSED PRODUCT CHANGES AFTER APPROVAL OF THE CC OR CDC IS TO BE IMMEDIATELY NOTIFIED TO THE PCA FOR CONCURRENCE.

**BALUSTRADES - NCC VOLUME 1 - D3D20**

NO HORIZONTAL ELEMENTS TO FACILITATE CLIMBING BETWEEN 150mm TO 760mm WHERE FLOOR TO FLOOR LEVEL BELOW IS MORE THAN 4 METRES.

**WINDOWS**  
PROVIDE 1.7m SILL HEIGHT OR CHILD SAFE LOCKS / SCREENS TO COMPLY WITH NCC VOLUME 1 - D3D29



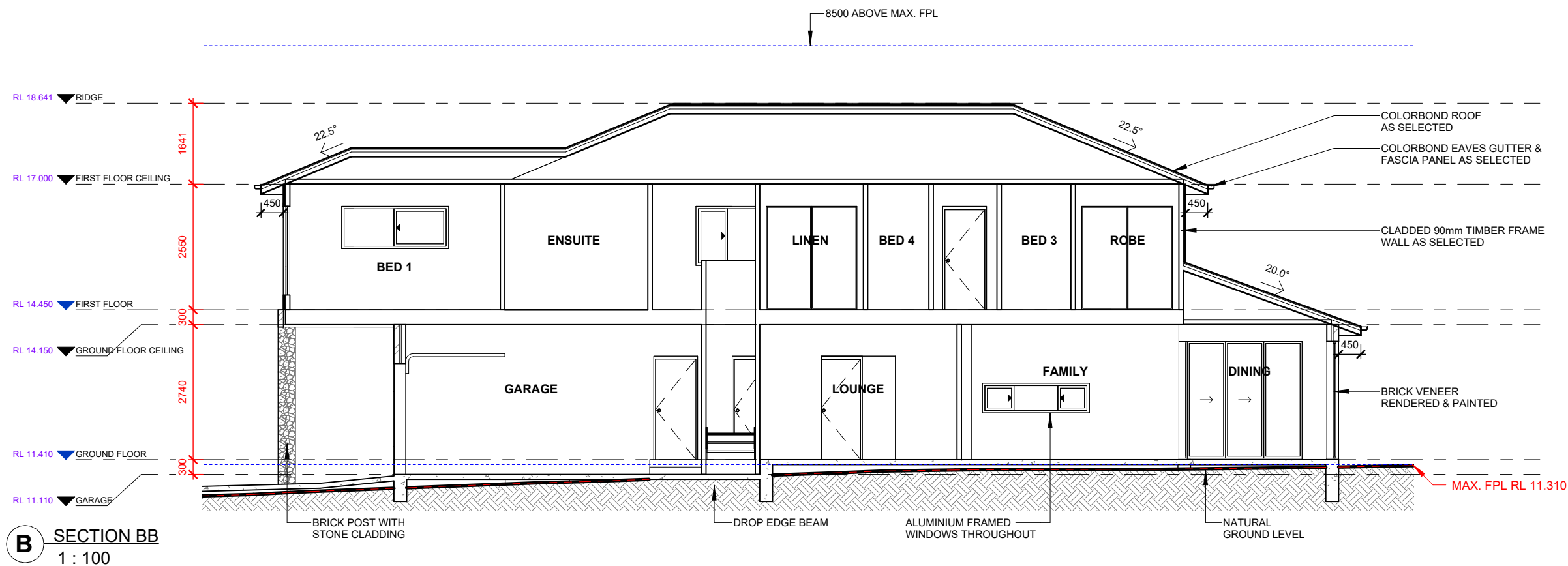
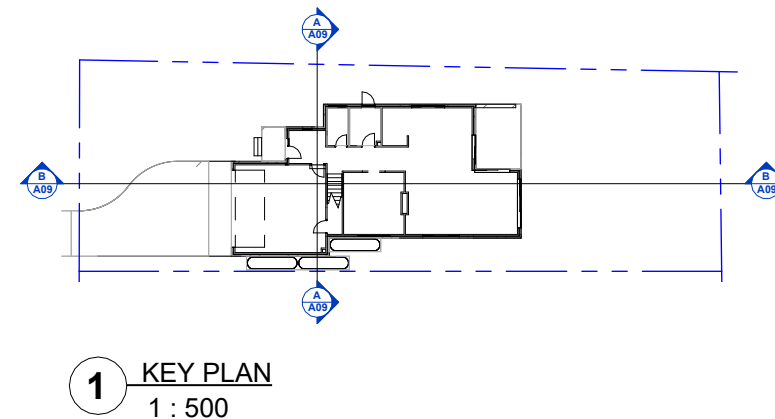
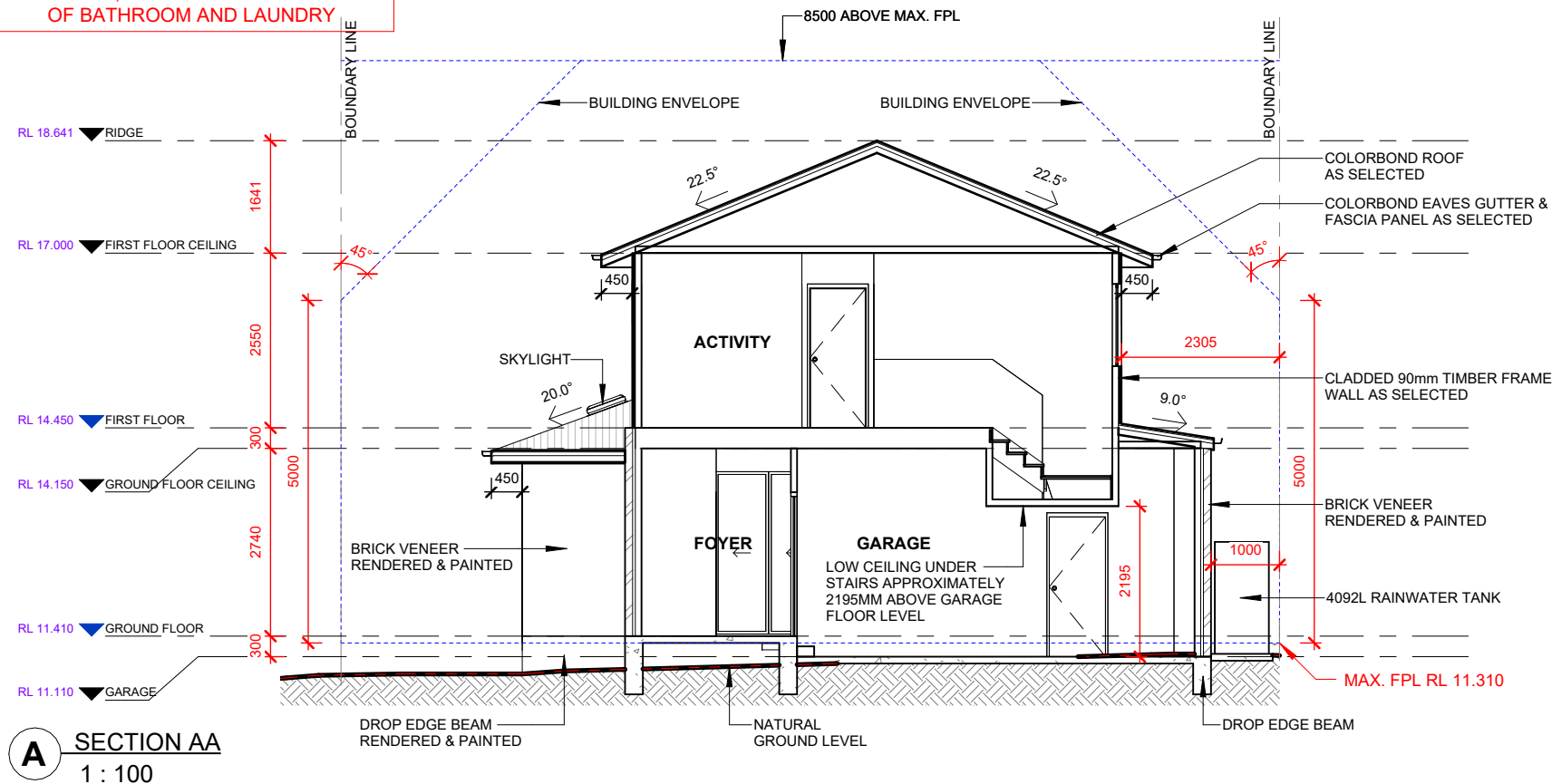
DA APPLICATION - NOT FOR CONSTRUCTION

<b>WATTLE COURT</b> HOMES BUILT FOR LIFE		<b>CUSTOM DESIGN</b> RESORT FACADE  © COPYRIGHT EXCLUSIVE TO WATTLE COURT HOMES	DRAFTERS: <b>KJR</b> PO BOX 6840 NORWEST NSW 2153 ABN 15 078 937 238 (02) 8883 4344 kjrdrfting@kjr.net.au	CLIENT: DOUBLE STOREY DWELLING <b>ENTWISTLE &amp; GARDINER</b>  DRAWING TITLE: <b>ELEVATIONS</b>	PROJECT: <b>9 SHORT STREET NORTH MANLY NSW 2100</b>  SCALE: 1 : 100	SHEET SIZE: <b>A3</b> SHEET No: <b>A08</b> REVISION: <b>E</b> DATE: <b>27/02/2025</b> JOB NO: NSN0043 APPLICATION: DA DRAWN: DJH GJGN229	IWE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.  OWNER SIGNED: ..... DATE: ..... OWNER SIGNED: ..... DATE: ..... BUILDER SIGNED: ..... DATE: .....
---	--	---	---	--	--	---	---

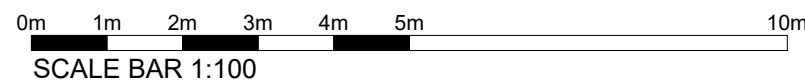


REFER TO SPECIFICATION FOR COLOUR  
SELECTION, FINAL LAYOUT & FINISHES  
OF BATHROOM AND LAUNDRY

DRAWING REVISION SCHEDULE			
No.	AMENDMENTS	DATE	BY
A	PRELIMINARY - FIRST ISSUE	13/10/2023	DJH
B	PRELIMINARY - SECOND ISSUE	19/10/2023	DJH
C	FIRST ISSUE - CONCEPT STAGE	29/11/2023	DJH
D	FIRST ISSUE - DA SET	06/02/2025	DJH
E	ADDED SHADOW DIAGRAM FOR SUMMER; CHANGED SLIDING DOOR TO DINING; ADDED STONE CLADDING TO PORCH POST; ADJUSTED RAINWATER TANKS; ADDED SINK TO KITCHEN; ADDED 1700 HIGH WALL TO BBQ AREA ON ALFRESCO.	27/02/2025	DJH



DA APPLICATION - NOT FOR CONSTRUCTION



© COPYRIGHT. THIS DRAWING REMAINS THE PROPERTY OF WATTLE COURT HOMES & IS PROVIDED FOR THE USE AS DESCRIBED & MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT FORM PART OF ANY CONTRACT

**WATTLE COURT**  
HOMES BUILT FOR LIFE

**CUSTOM DESIGN**  
RESORT FACADE

© COPYRIGHT EXCLUSIVE  
TO WATTLE COURT HOMES

DRAFTERS:  
**KJR**  
DRAFTING  
PO BOX 6840  
NORWEST NSW 2153  
ABN 15 078 937 238  
(02) 8883 4344  
kjrdrfting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING  
**ENTWISTLE & GARDINER**  
DRAWING TITLE:  
**SECTIONS**

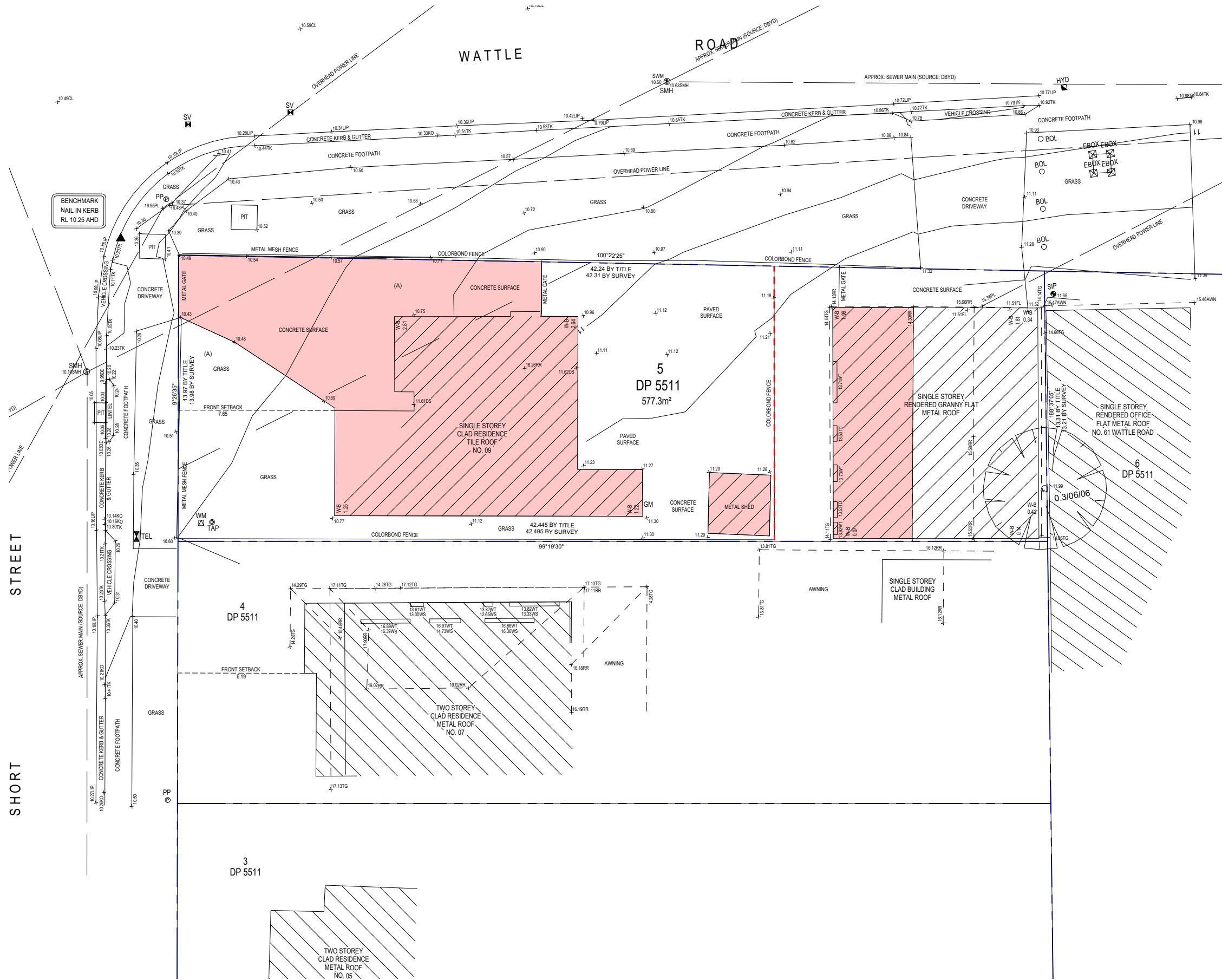
PROJECT:  
**9 SHORT STREET  
NORTH MANLY NSW 2100**  
SCALE: As indicated

SHEET SIZE: **A3** SHEET No: **A09** REVISION: **E**  
DATE: **27/02/2025**  
JOB NO: **NSN0043** APPLICATION: **DA**  
DRAWN: **DJH** GJGN229

IWE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY  
DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS  
REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN  
ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY  
FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: ..... DATE: .....  
OWNER SIGNED: ..... DATE: .....  
BUILDER SIGNED: ..... DATE: .....

DRAWING REVISION SCHEDULE			
No.	AMENDMENTS	DATE	BY
A	PRELIMINARY - FIRST ISSUE	13/10/2023	DJH
B	PRELIMINARY - SECOND ISSUE	19/10/2023	DJH
C	FIRST ISSUE - CONCEPT STAGE	29/11/2023	DJH
D	FIRST ISSUE - DA SET	06/02/2025	DJH
E	ADDED SHADOW DIAGRAM FOR SUMMER; CHANGED SLIDING DOOR TO DINING; ADDED STONE CLADDING TO PORCH POST; ADJUSTED RAINWATER TANKS; ADDED SINK TO KITCHEN; ADDED 1700 HIGH WALL TO BBQ AREA ON ALFRESCO.	27/02/2025	DJH



**NOTE: ALL DEMOLITION WORKS ARE SHOWN IN RED**

**1** DEMOLITION PLAN  
1 : 200

**DA APPLICATION - NOT FOR CONSTRUCTION**

0m 1m 2m 3m 4m 5m 10m  
**SCALE BAR 1:200**

**WATTLE COURT**  
HOMES BUILT FOR LIFE

**CUSTOM DESIGN**  
RESORT FACADE

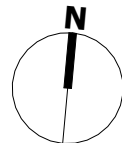
© COPYRIGHT EXCLUSIVE  
TO WATTLE COURT HOMES

DRAFTERS:  
**KJR**  
PO BOX 6840  
NORWEST NSW 2153  
ABN 15 078 937 238  
(02) 8883 4344  
kjrdrfting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING  
**ENTWISTLE & GARDINER**  
DRAWING TITLE:  
**DEMOLITION PLAN**

PROJECT:  
**9 SHORT STREET  
NORTH MANLY NSW 2100**  
SCALE: 1 : 200

SHEET SIZE: **A3** SHEET No: **A10** REVISION: **E**  
DATE: **27/02/2025**  
JOB NO: **NSN0043** APPLICATION: **DA**  
DRAWN: **DJH** GJGN229



IWE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY  
DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS  
REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN  
ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY  
FURTHER PLANS TO BE PREPARED.  
OWNER SIGNED: ..... DATE: .....  
OWNER SIGNED: ..... DATE: .....  
BUILDER SIGNED: ..... DATE: .....





DRAWING REVISION SCHEDULE			
No.	AMENDMENTS	DATE	BY
A	PRELIMINARY - FIRST ISSUE	13/10/2023	DJH
B	PRELIMINARY - SECOND ISSUE	19/10/2023	DJH
C	FIRST ISSUE - CONCEPT STAGE	29/11/2023	DJH
D	FIRST ISSUE - DA SET	06/02/2025	DJH
E	ADDED SHADOW DIAGRAM FOR SUMMER; CHANGED SLIDING DOOR TO DINING; ADDED STONE CLADDING TO PORCH POST; ADJUSTED RAINWATER TANKS; ADDED SINK TO KITCHEN; ADDED 1700 HIGH WALL TO BBQ AREA ON ALFRESCO.	27/02/2025	DJH



DA APPLICATION - NOT FOR CONSTRUCTION

WATTLE COURT

HOMES BUILT FOR LIFE

CUSTOM DESIGN

RESORT FACADE

© COPYRIGHT EXCLUSIVE TO WATTLE COURT HOMES

DRAFTERS:

KJR

DRAFTING

PO BOX 6840  
NORWEST NSW 2153  
ABN 15 078 937 238  
(02) 8883 4344  
kjrdrfting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING  
ENTWISTLE & GARDINER

DRAWING TITLE:  
3D VIEWS

PROJECT:

9 SHORT STREET  
NORTH MANLY NSW 2100

SCALE:

SHEET SIZE: A3

SHEET No: A12

REVISION: E

DATE: 27/02/2025

JOB NO: NSN0043

DRAWN: DJH

APPLICATION: DA

GJGN229

IWE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: ..... DATE: .....

OWNER SIGNED: ..... DATE: .....

BUILDER SIGNED: ..... DATE: .....

BASIX®Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 1782451S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary  
Date of issue: Thursday, 06 February 2025  
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



When submitting this BASIX certificate with a development application or complying development certificate application, it must be accompanied by NatHERS certificate 0011695236.

Project summary		
Project name	9 Short Street	
Street address	9 SHORT Street NORTH MANLY 2100	
Local Government Area	Northern Beaches Council	
Plan type and plan number	Deposited Plan DP5511	
Lot no.	5	
Section no.	-	
Project type	dwelling house (detached)	
No. of bedrooms	4	
Project score		
Water	✔ 49	Target 40
Thermal Performance	✔ Pass	Target Pass
Energy	✔ 72	Target 72
Materials	✔ -15	Target n/a

Certificate Prepared by	
Name / Company Name:	CHAPMAN ENVIRONMENTAL SERVICES PTY LTD
ABN (if applicable):	58601921108

Description of project

Project address	
Project name	9 Short Street
Street address	9 SHORT Street NORTH MANLY 2100
Local Government Area	Northern Beaches Council
Plan type and plan number	Deposited Plan DP5511
Lot no.	5
Section no.	-
Project type	
Project type	dwelling house (detached)
No. of bedrooms	4
Site details	
Site area (m²)	577
Roof area (m²)	203
Conditioned floor area (m²)	191.8
Unconditioned floor area (m²)	19.0
Total area of garden and lawn (m²)	257
Roof area of the existing dwelling (m²)	0

Assessor details and thermal loads		
NatHERS assessor number	20920	
NatHERS certificate number	0011695236	
Climate zone	56	
Area adjusted cooling load (MJ/ m²·year)	16	
Area adjusted heating load (MJ/ m²·year)	14	
Project score		
Water	✔ 49	Target 40
Thermal Performance	✔ Pass	Target Pass
Energy	✔ 72	Target 72
Materials	✔ -15	Target n/a

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✔	✔
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✔	✔
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✔	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✔	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✔	✔	✔
The applicant must configure the rainwater tank to collect rain runoff from at least 203 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✔	✔
The applicant must connect the rainwater tank to:			
• all toilets in the development		✔	✔
• the cold water tap that supplies each clothes washer in the development		✔	✔
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✔	✔

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
Assessor details and thermal loads			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✔	✔	✔
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	✔	✔	✔

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Construction			
The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below.	✔	✔	✔
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✔

Construction	Area - m²	Insulation
floor - concrete slab on ground, conventional slab.	100.8	none
floor - suspended floor above open subfloor, particle board; frame: timber - H2 treated softwood.	14.3	fibre-glass batts or roll
floor - above habitable rooms or mezzanine, particle board; frame: timber - H2 treated softwood..	100.7	fibre-glass batts or roll
floor - suspended floor above garage, particle board; frame: timber - H2 treated softwood.	28	fibre-glass batts or roll
garage floor - concrete slab on ground.	35.9	none
external wall: brick veneer; frame: timber - H2 treated softwood.	78.7	fibre-glass batts or roll+ foil/sarking
external wall: framed (fibre cement sheet or boards); frame: timber - H2 treated softwood.	105.1	fibre-glass batts or roll+ foil/sarking
external garage wall: brick veneer; frame: timber - H2 treated softwood.	39.9	none
internal wall: plasterboard; frame: timber - H2 treated softwood.	44.4	fibre-glass batts or roll
internal wall: plasterboard; frame: timber - H2 treated softwood.	111.8	none
ceiling and roof - flat ceiling / pitched roof, framed - metal roof, timber - H2 treated softwood.	203	ceiling: fibre-glass batts or roll; roof: foil backed blanket.

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Glazing			
The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications listed in the table.	✔	✔	✔

Frames	Maximum area - m2
aluminium	52.1
timber	0
uPVC	0
steel	0
composite	0

Glazing	Maximum area - m2
single	52.1
double	0
triple	0

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	✔	✔	✔
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: EER 3.0 - 3.5		✔	✔
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: EER 3.0 - 3.5		✔	✔
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: EER 3.0 - 3.5		✔	✔
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: EER 3.0 - 3.5		✔	✔
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a		✔	✔
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✔	✔
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✔	✔
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✔	✔
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✔	✔	✔

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	✔	✔	✔
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✔	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✔	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✔ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✔ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✔ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

DRAWING REVISION SCHEDULE			
No.	AMENDMENTS	DATE	BY
A	PRELIMINARY - FIRST ISSUE	13/10/2023	DJH
B	PRELIMINARY - SECOND ISSUE	19/10/2023	DJH
C	FIRST ISSUE - CONCEPT STAGE	29/11/2023	DJH
D	FIRST ISSUE - DA SET	06/02/2025	DJH
E	ADDED SHADOW DIAGRAM FOR SUMMER; CHANGED SLIDING DOOR TO DINING; ADDED STONE CLADDING TO PORCH POST; ADJUSTED RAINWATER TANKS; ADDED SINK TO KITCHEN; ADDED 1700 HIGH WALL TO BBQ AREA ON ALFRESCO.	27/02/2025	DJH

DA APPLICATION - NOT FOR CONSTRUCTION

WATTLE COURT

HOMES BUILT FOR LIFE

CUSTOM DESIGN

RESORT FACADE

© COPYRIGHT EXCLUSIVE TO WATTLE COURT HOMES

DRAFTERS:

PO BOX 6840  
NORWEST NSW 2153  
ABN 15 078 937 238  
(02) 8883 4344  
kjrdrfting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING

ENTWISTLE & GARDINER

DRAWING TITLE: BASIX COMMITMENT

PROJECT: 9 SHORT STREET

NORTH MANLY NSW 2100

SCALE:

SHEET SIZE: A3

SHEET No: A13

REVISION: E

DATE: 27/02/2025

JOB NO: NSN0043

DRAWN: DJH

APPLICATION: DA

GJGN229

IWE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.

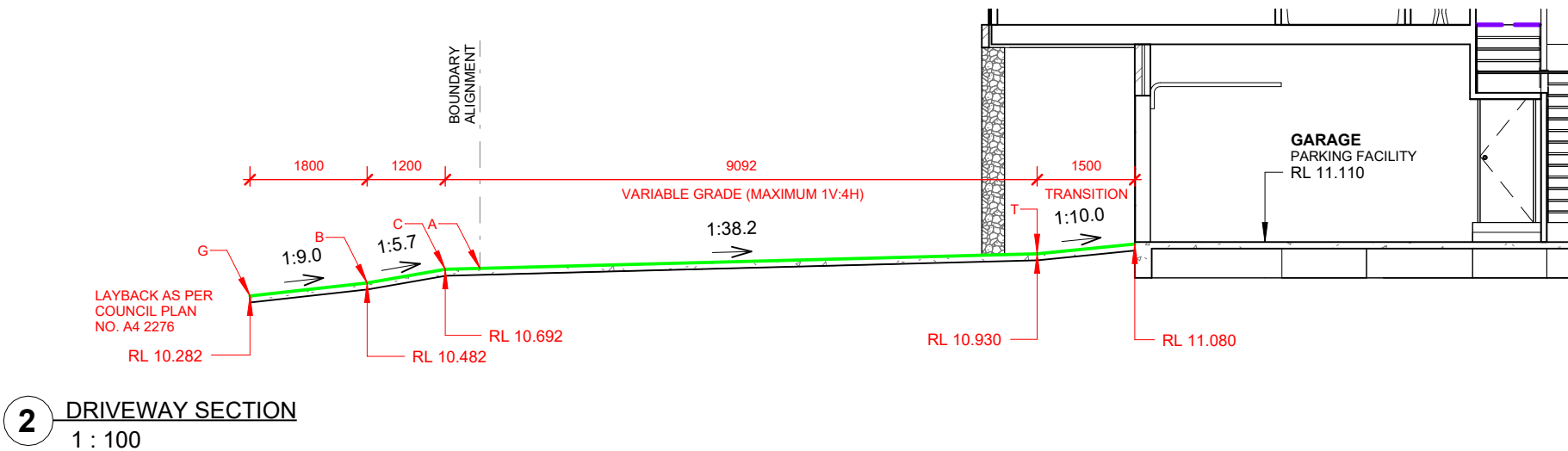
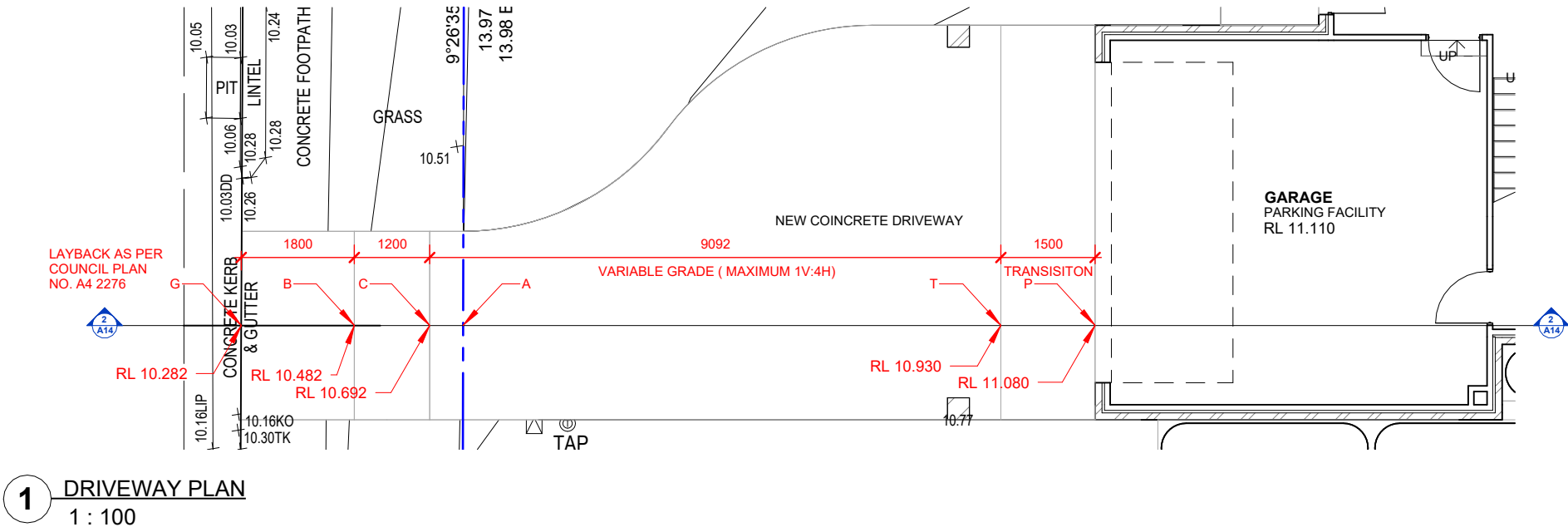
OWNER SIGNED: ..... DATE: .....

OWNER SIGNED: ..... DATE: .....

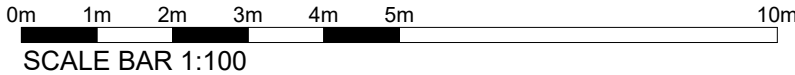
BUILDER SIGNED: ..... DATE: .....



DRAWING REVISION SCHEDULE			
No.	AMENDMENTS	DATE	BY
A	PRELIMINARY - FIRST ISSUE	13/10/2023	DJH
B	PRELIMINARY - SECOND ISSUE	19/10/2023	DJH
C	FIRST ISSUE - CONCEPT STAGE	29/11/2023	DJH
D	FIRST ISSUE - DA SET	06/02/2025	DJH
E	ADDED SHADOW DIAGRAM FOR SUMMER; CHANGED SLIDING DOOR TO DINING; ADDED STONE CLADDING TO PORCH POST; ADJUSTED RAINWATER TANKS; ADDED SINK TO KITCHEN; ADDED 1700 HIGH WALL TO BBQ AREA ON ALFRESCO.	27/02/2025	DJH



DA APPLICATION - NOT FOR CONSTRUCTION



© COPYRIGHT. THIS DRAWING REMAINS THE PROPERTY OF WATTLE COURT HOMES & IS PROVIDED FOR THE USE AS DESCRIBED & MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT FORM PART OF ANY CONTRACT

**WATTLE COURT**  
HOMES BUILT FOR LIFE

**CUSTOM DESIGN**  
RESORT FACADE

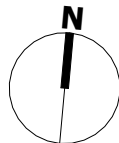
© COPYRIGHT EXCLUSIVE  
TO WATTLE COURT HOMES

DRAFTERS:  
**KJR**  
PO BOX 6840  
NORWEST NSW 2153  
ABN 15 078 937 238  
(02) 8883 4344  
kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING  
**ENTWISTLE & GARDINER**  
DRAWING TITLE:  
**DRIVEWAY DETAILS**

PROJECT:  
**9 SHORT STREET  
NORTH MANLY NSW 2100**  
SCALE: 1 : 100

SHEET SIZE: **A3** SHEET No: **A14** REVISION: **E**  
DATE: **27/02/2025**  
JOB NO: **NSN0043** APPLICATION: **DA**  
DRAWN: **DJH** GJGN229

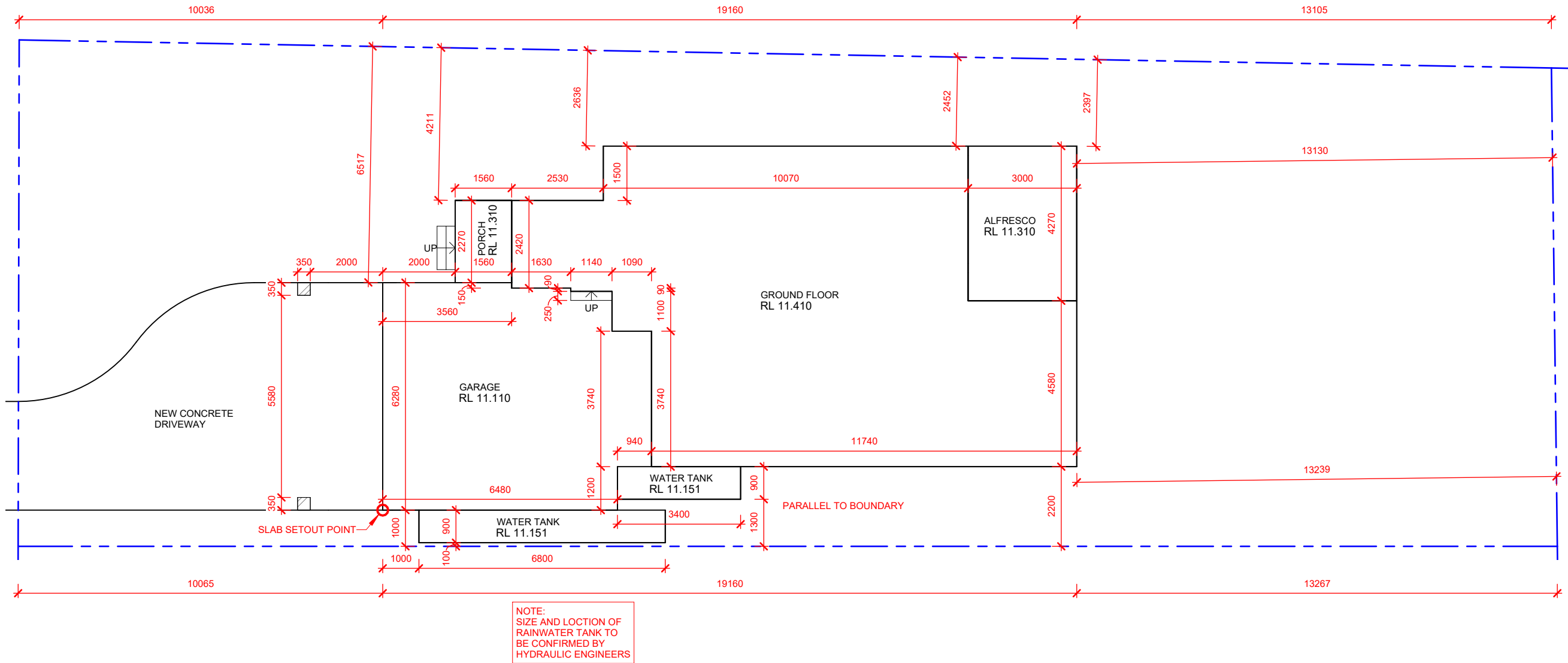


I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY  
DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS  
REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN  
ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY  
FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: ..... DATE: .....  
OWNER SIGNED: ..... DATE: .....  
BUILDER SIGNED: ..... DATE: .....

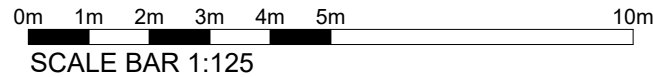


DRAWING REVISION Schedule			
No.	AMENDMENTS	DATE	BY
A	PRELIMINARY - FIRST ISSUE	13/10/2023	DJH
B	PRELIMINARY - SECOND ISSUE	19/10/2023	DJH
C	FIRST ISSUE - CONCEPT STAGE	29/11/2023	DJH
D	FIRST ISSUE - DA SET	06/02/2025	DJH
E	ADDED SHADOW DIAGRAM FOR SUMMER; CHANGED SLIDING DOOR TO DINING; ADDED STONE CLADDING TO PORCH POST; ADJUSTED RAINWATER TANKS; ADDED SINK TO KITCHEN; ADDED 1700 HIGH WALL TO BBQ AREA ON ALFRESCO.	27/02/2025	DJH



1 CONCRETE SLAB PLAN  
1 : 125

DA APPLICATION - NOT FOR CONSTRUCTION



SCALE BAR 1:125

© COPYRIGHT. THIS DRAWING REMAINS THE PROPERTY OF WATTLE COURT HOMES & IS PROVIDED FOR THE USE AS DESCRIBED & MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT FORM PART OF ANY CONTRACT

**WATTLE COURT**  
HOMES BUILT FOR LIFE

**CUSTOM DESIGN**  
RESORT FACADE

© COPYRIGHT EXCLUSIVE  
TO WATTLE COURT HOMES

DRAFTERS:

**KJR**  
DRAFTING  
PO BOX 6840  
NORWEST NSW 2153  
ABN 15 078 937 238  
(02) 8883 4344  
kjrdrafting@kjr.net.au

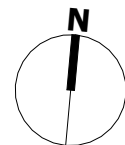
CLIENT: DOUBLE STOREY DWELLING  
**ENTWISTLE & GARDINER**

DRAWING TITLE:  
**CONCRETE SLAB PLAN**

PROJECT:  
**9 SHORT STREET  
NORTH MANLY NSW 2100**

SCALE: 1 : 125

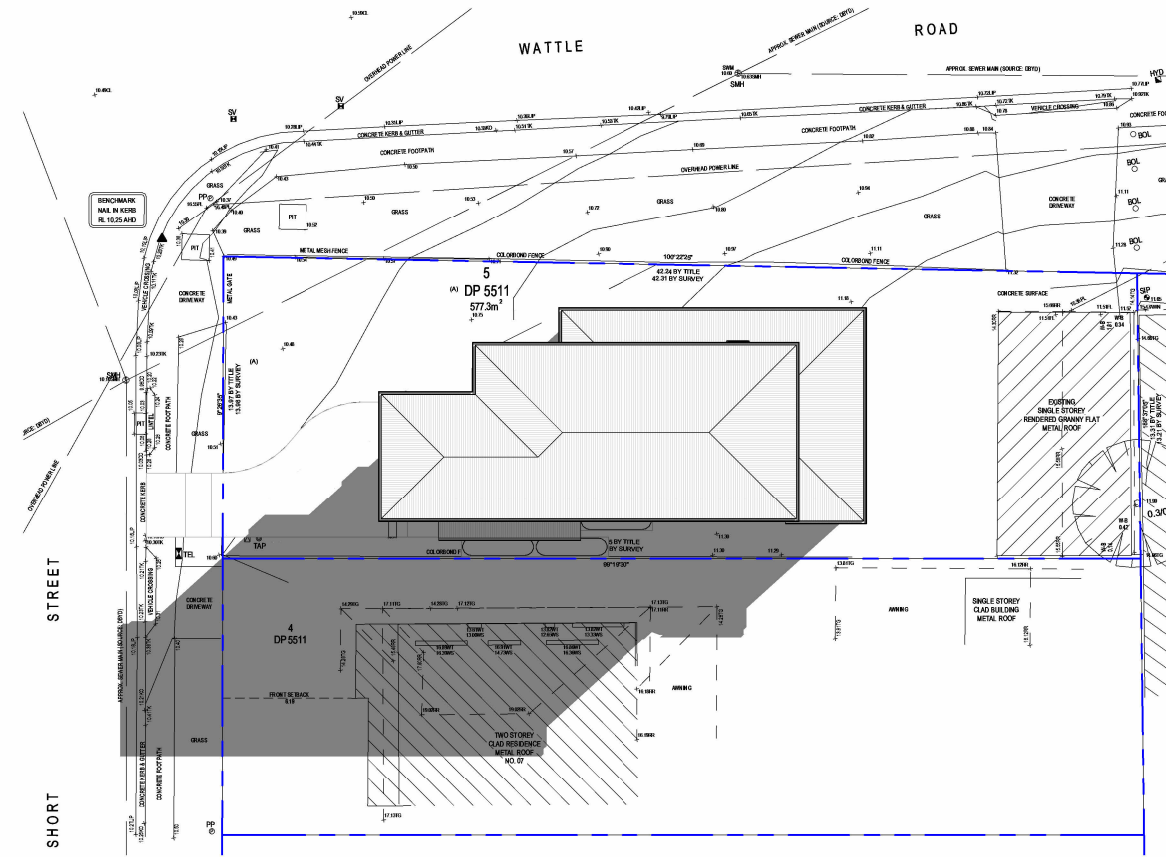
SHEET SIZE:	SHEET No:	REVISION:
<b>A3</b>	<b>A15</b>	<b>E</b>
DATE:	<b>27/02/2025</b>	
JOB NO: NSN0043	APPLICATION: <b>DA</b>	
DRAWN: DJH	GJGN229	



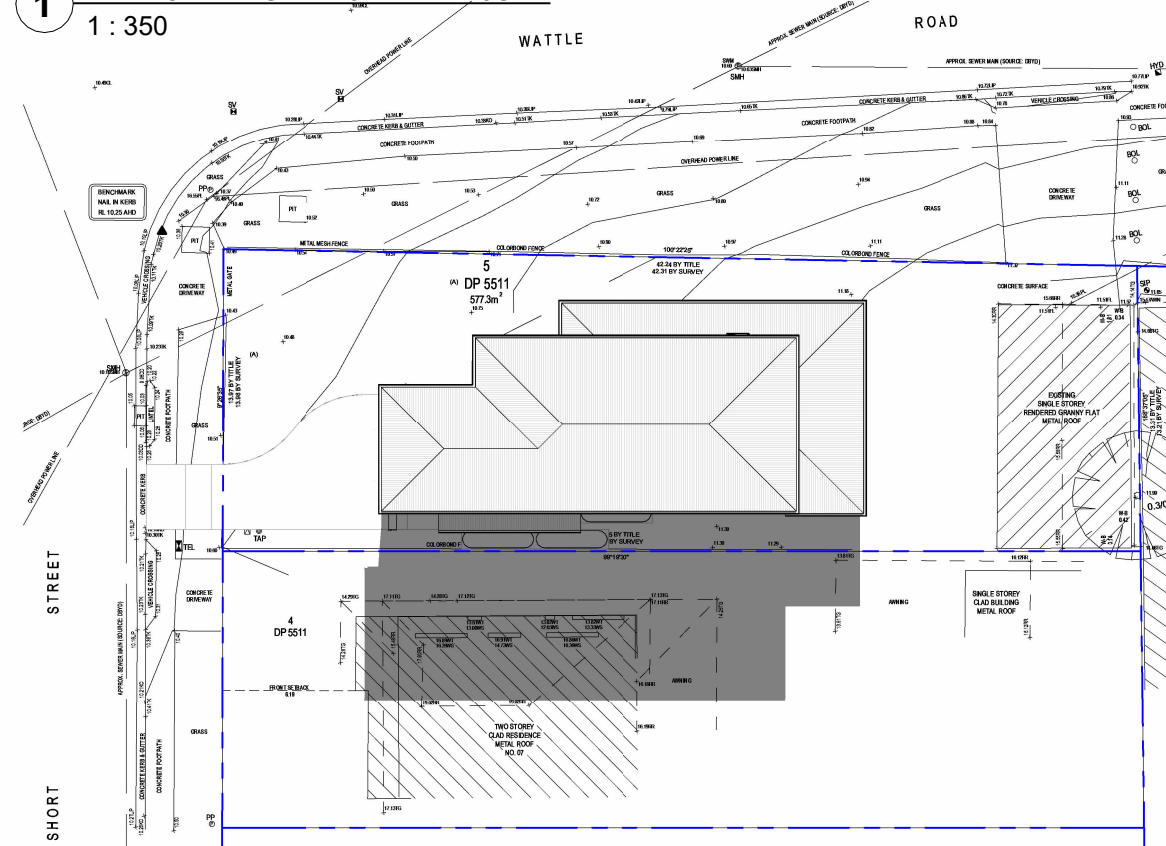
I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY  
DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS  
REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN  
ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY  
FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: ..... DATE: .....  
OWNER SIGNED: ..... DATE: .....  
BUILDER SIGNED: ..... DATE: .....

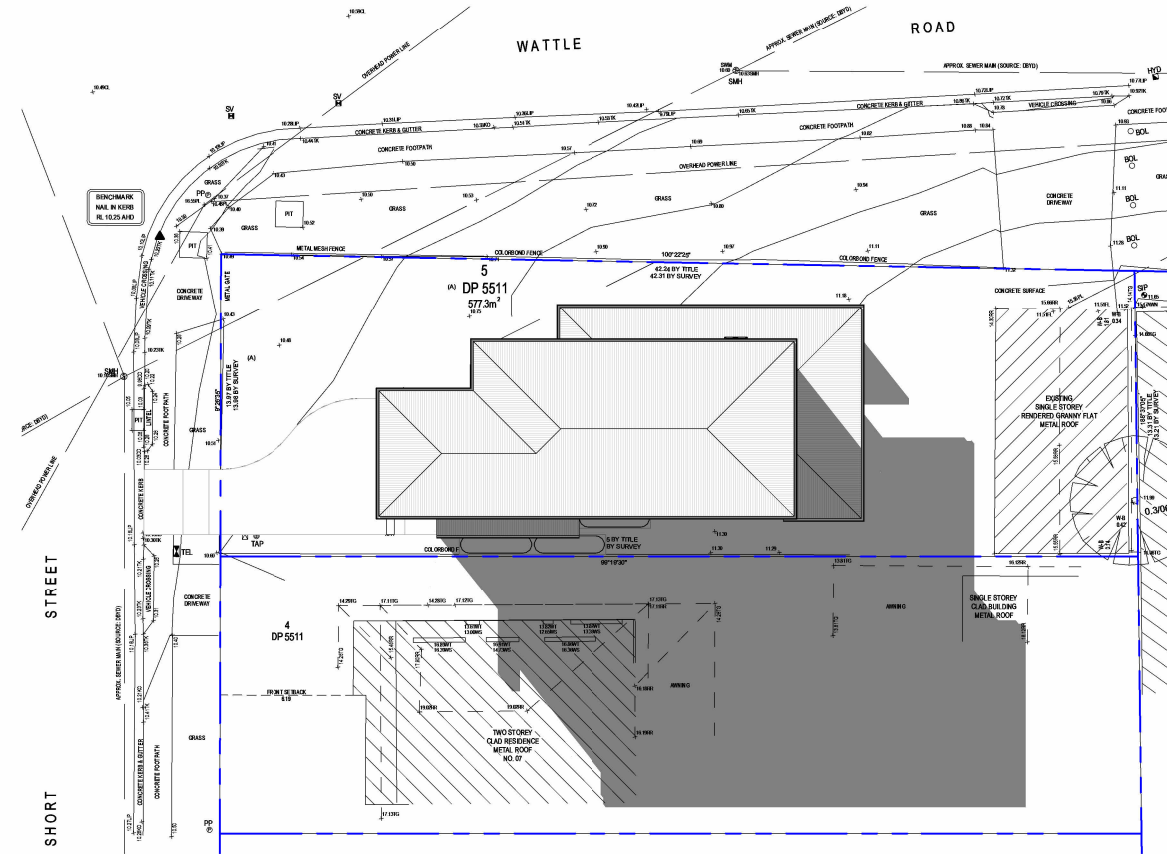
DRAWING REVISION SCHEDULE			
No.	AMENDMENTS	DATE	BY
A	PRELIMINARY - FIRST ISSUE	13/10/2023	DJH
B	PRELIMINARY - SECOND ISSUE	19/10/2023	DJH
C	FIRST ISSUE - CONCEPT STAGE	29/11/2023	DJH
D	FIRST ISSUE - DA SET	06/02/2025	DJH
E	ADDED SHADOW DIAGRAM FOR SUMMER; CHANGED SLIDING DOOR TO DINING; ADDED STONE CLADDING TO PORCH POST; ADJUSTED RAINWATER TANKS; ADDED SINK TO KITCHEN; ADDED 1700 HIGH WALL TO BBQ AREA ON ALFRESCO.	27/02/2025	DJH



1 SHADOW DIAGRAM 9am - 21st JUNE  
1 : 350



2 SHADOW DIAGRAM 12pm - 21st JUNE  
1 : 350



3 SHADOW DIAGRAM 3pm - 21st JUNE  
1 : 350

DA APPLICATION - NOT FOR CONSTRUCTION

0m 2m 4m 6m 8m 10m 20m  
SCALE BAR 1:350

## SHADOW DIAGRAMS FOR 21ST JUNE

© COPYRIGHT. THIS DRAWING REMAINS THE PROPERTY OF WATTLE COURT HOMES & IS PROVIDED FOR THE USE AS DESCRIBED & MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT FORM PART OF ANY CONTRACT

**WATTLE COURT**  
HOMES BUILT FOR LIFE

**CUSTOM DESIGN**  
RESORT FACADE

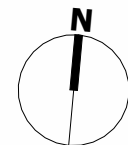
© COPYRIGHT EXCLUSIVE  
TO WATTLE COURT HOMES

DRAFTERS:  
**KJR**  
PO BOX 6840  
NORWEST NSW 2153  
ABN 15 078 937 238  
(02) 8883 4344  
kjr.drafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING  
ENTWISTLE & GARDINER  
DRAWING TITLE:  
SHADOW DIAGRAM - 21st JUNE

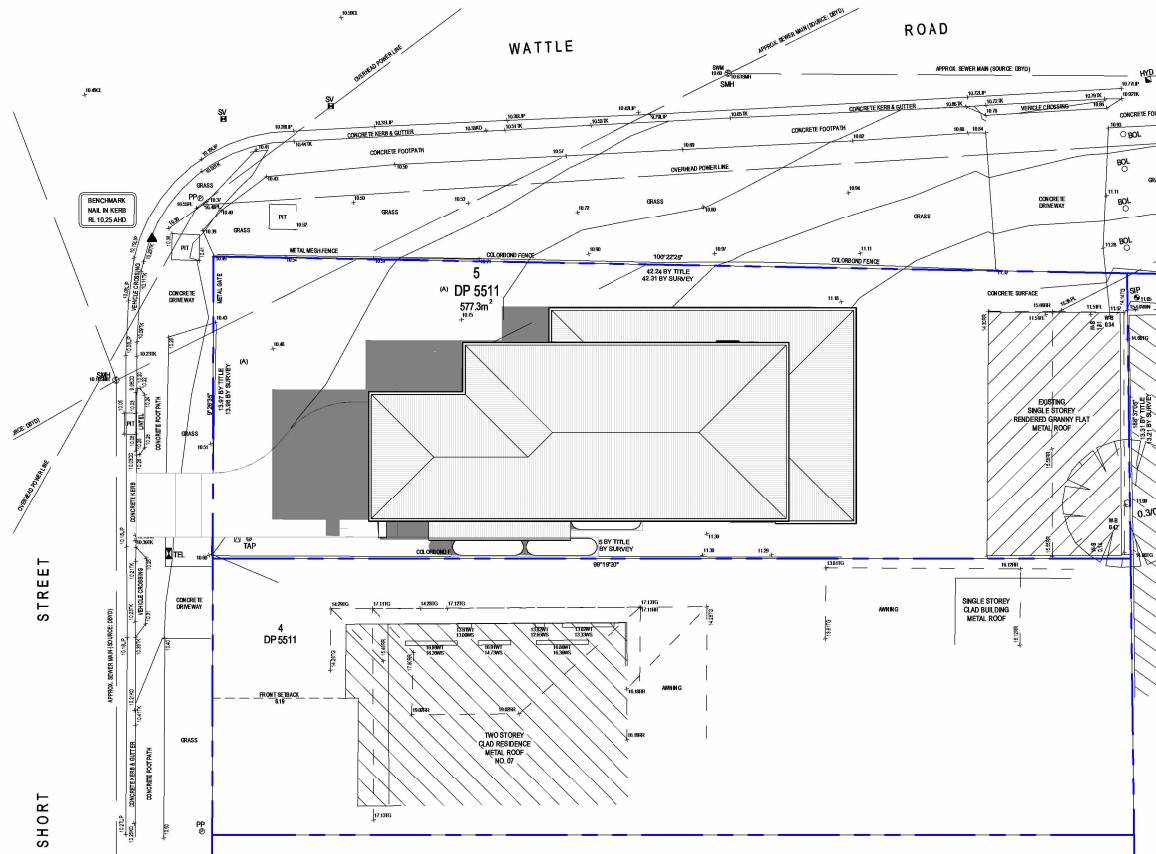
PROJECT:  
9 SHORT STREET  
NORTH MANLY NSW 2100  
SCALE: 1 : 350

SHEET SIZE: A3 A16  
REVISION: E  
DATE: 27/02/2025  
JOB NO: NSN0043  
DRAWN: DJH  
APPLICATION: DA  
GJGN229

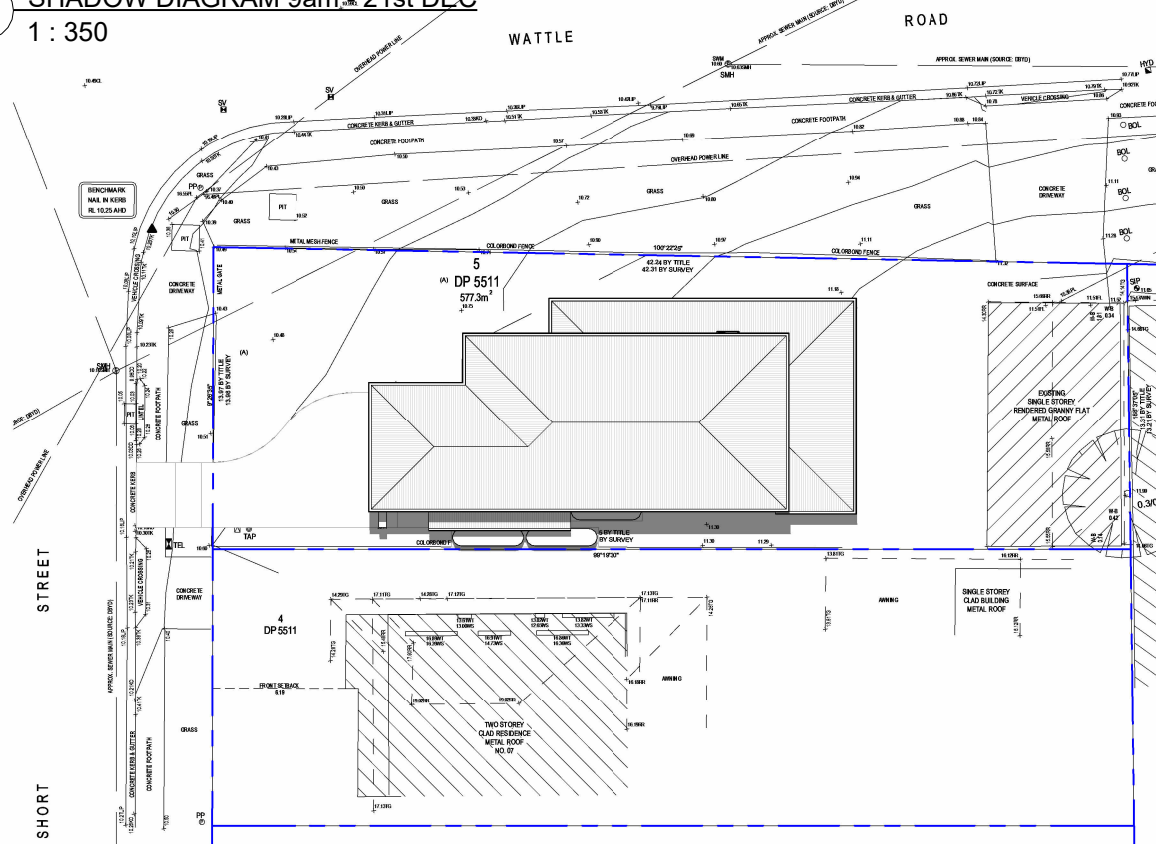


I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY  
DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS  
REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN  
ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY  
FURTHER PLANS TO BE PREPARED.  
OWNER SIGNED: ..... DATE: .....  
OWNER SIGNED: ..... DATE: .....  
BUILDER SIGNED: ..... DATE: .....

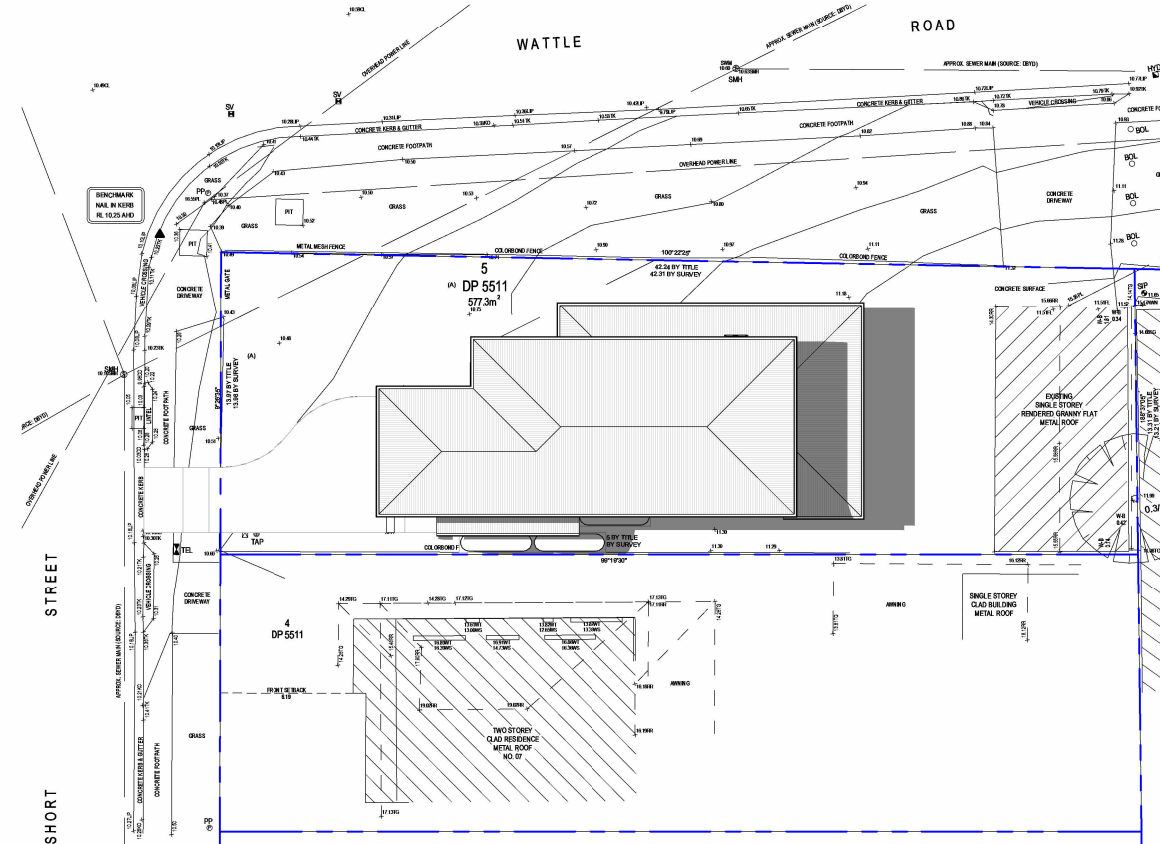
DRAWING REVISION SCHEDULE			
No.	AMENDMENTS	DATE	BY
A	PRELIMINARY - FIRST ISSUE	13/10/2023	DJH
B	PRELIMINARY - SECOND ISSUE	19/10/2023	DJH
C	FIRST ISSUE - CONCEPT STAGE	29/11/2023	DJH
D	FIRST ISSUE - DA SET	06/02/2025	DJH
E	ADDED SHADOW DIAGRAM FOR SUMMER; CHANGED SLIDING DOOR TO DINING; ADDED STONE CLADDING TO PORCH POST; ADJUSTED RAINWATER TANKS; ADDED SINK TO KITCHEN; ADDED 1700 HIGH WALL TO BBQ AREA ON ALFRESCO.	27/02/2025	DJH



1 SHADOW DIAGRAM 9am on 21st DEC  
1 : 350



2 SHADOW DIAGRAM 12pm - 21st DEC  
1 : 350



3 SHADOW DIAGRAM 3pm - 21st DEC  
1 : 350

DA APPLICATION - NOT FOR CONSTRUCTION

0m 2m 4m 6m 8m 10m 20m  
SCALE BAR 1:350

## SHADOW DIAGRAMS FOR 21ST DECEMBER

© COPYRIGHT. THIS DRAWING REMAINS THE PROPERTY OF WATTLE COURT HOMES & IS PROVIDED FOR THE USE AS DESCRIBED & MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT FORM PART OF ANY CONTRACT

**WATTLE COURT**  
HOMES BUILT FOR LIFE

**CUSTOM DESIGN**  
RESORT FACADE

© COPYRIGHT EXCLUSIVE  
TO WATTLE COURT HOMES

DRAFTERS:  
**KJR**  
PO BOX 6840  
NORWEST NSW 2153  
ABN 15 078 937 238  
(02) 8883 4344  
kjr.drafting@kjr.net.au

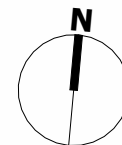
CLIENT: DOUBLE STOREY DWELLING  
ENTWISTLE & GARDINER

DRAWING TITLE:  
SHADOW DIAGRAM - 21st DEC

PROJECT:  
9 SHORT STREET  
NORTH MANLY NSW 2100

SCALE: 1 : 350

SHEET SIZE: A3  
SHEET No: A17  
REVISION: E  
DATE: 27/02/2025  
JOB NO: NSN0043  
DRAWN: DJH  
APPLICATION: DA  
GJGN229

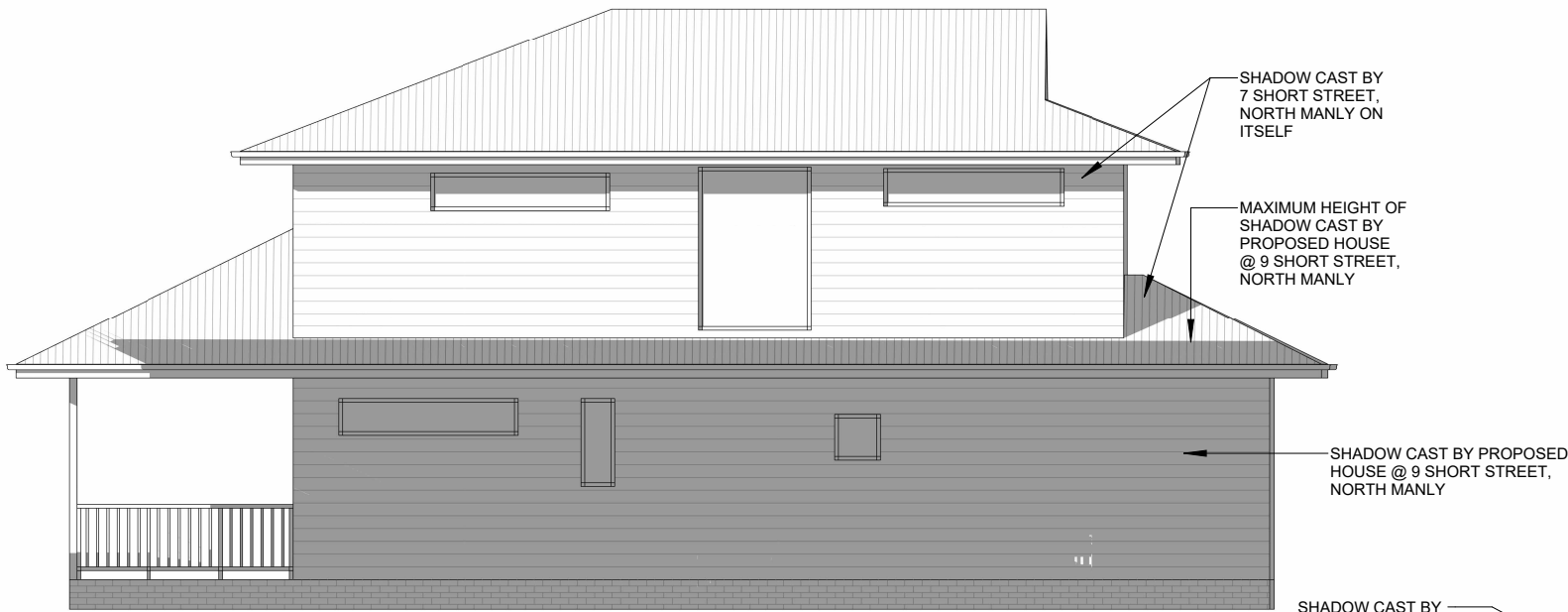


I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY  
DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS  
REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN  
ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY  
FURTHER PLANS TO BE PREPARED.

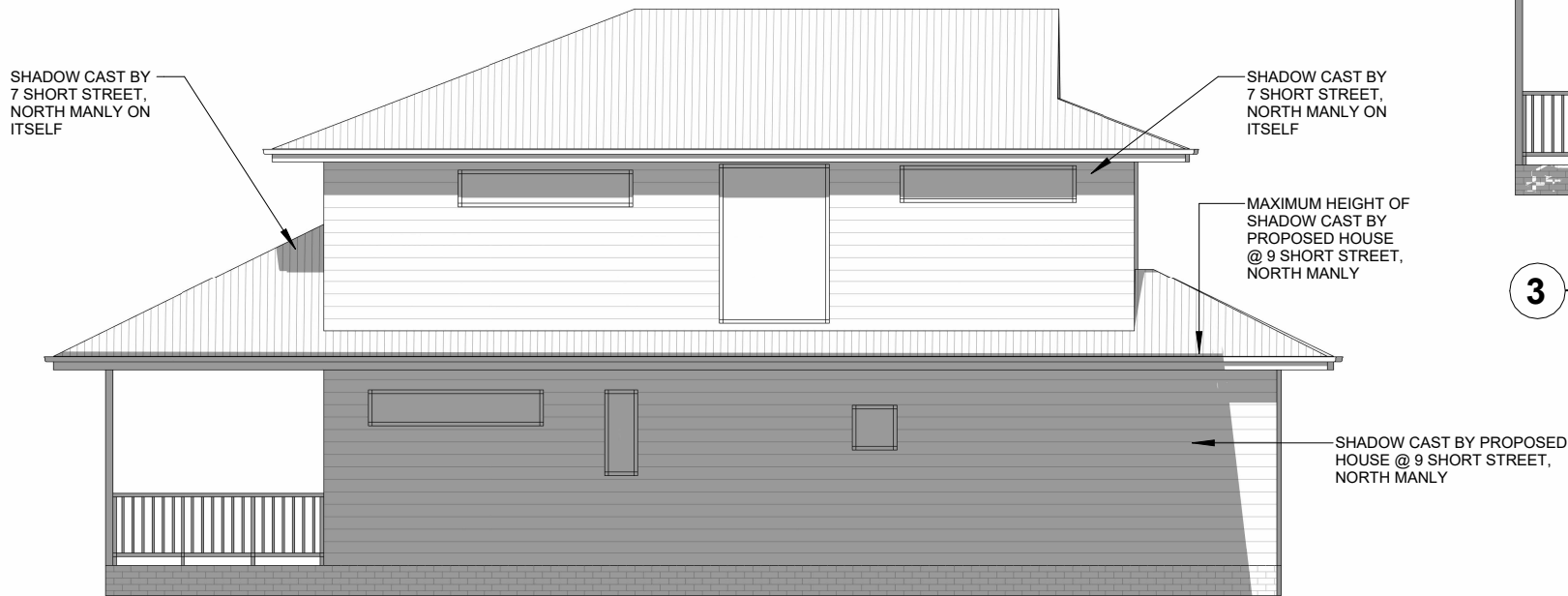
OWNER SIGNED: ..... DATE: .....  
OWNER SIGNED: ..... DATE: .....  
BUILDER SIGNED: ..... DATE: .....



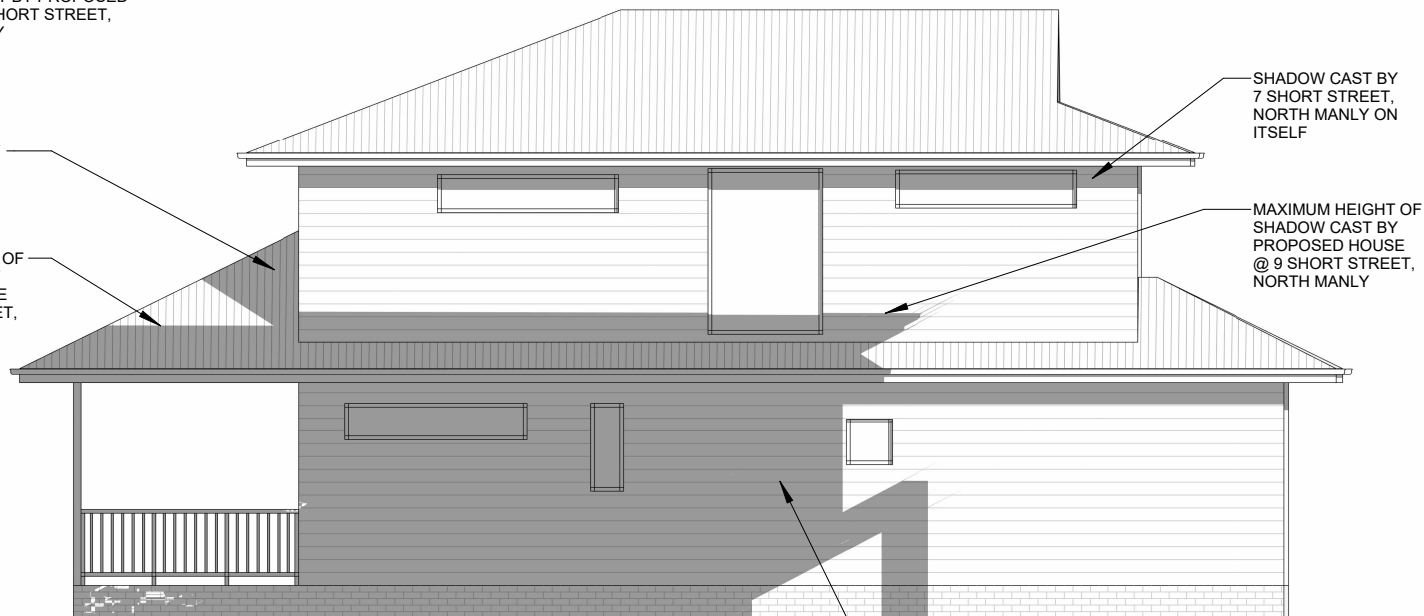
DRAWING REVISION SCHEDULE			
No.	AMENDMENTS	DATE	BY
A	PRELIMINARY - FIRST ISSUE	13/10/2023	DJH
B	PRELIMINARY - SECOND ISSUE	19/10/2023	DJH
C	FIRST ISSUE - CONCEPT STAGE	29/11/2023	DJH
D	FIRST ISSUE - DA SET	06/02/2025	DJH
E	ADDED SHADOW DIAGRAM FOR SUMMER; CHANGED SLIDING DOOR TO DINING; ADDED STONE CLADDING TO PORCH POST; ADJUSTED RAINWATER TANKS; ADDED SINK TO KITCHEN; ADDED 1700 HIGH WALL TO BBQ AREA ON ALFRESCO.	27/02/2025	DJH



1 7 SHORT STREET SIDE ELEVATION - 9AM 21st JUNE



2 7 SHORT STREET SIDE ELEVATION - 12PM 21st JUNE



3 7 SHORT STREET SIDE ELEVATION - 3PM 21st JUNE

DA APPLICATION - NOT FOR CONSTRUCTION

SHADOW DIAGRAMS  
FOR 21ST JUNE

© COPYRIGHT. THIS DRAWING REMAINS THE PROPERTY OF WATTLE COURT HOMES & IS PROVIDED FOR THE USE AS DESCRIBED & MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT FORM PART OF ANY CONTRACT

<div>WATTLE COURT</div> <div>HOMES BUILT FOR LIFE</div>	<div>CUSTOM DESIGN</div> <div>RESORT FACADE</div> <div>© COPYRIGHT EXCLUSIVE TO WATTLE COURT HOMES</div>	<div>DRAFTERS:</div> <div><div><div><div></div></div><div>KJR</div><div>DRAFTING</div></div><div>PO BOX 6840 NORWEST NSW 2153 ABN 15 078 937 238 (02) 8883 4344 kjrdrafting@kjr.net.au</div></div>	<div>CLIENT: DOUBLE STOREY DWELLING</div> <div>ENTWISTLE &amp; GARDINER</div>	<div>PROJECT:</div> <div>9 SHORT STREET</div> <div>NORTH MANLY NSW 2100</div>	<div>SHEET SIZE:</div> <div>A3</div>	<div>SHEET No:</div> <div>A18</div>	<div>REVISION:</div> <div>E</div>	<div>IWE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.</div> <div>OWNER SIGNED: ..... DATE: .....</div> <div>OWNER SIGNED: ..... DATE: .....</div> <div>BUILDER SIGNED: ..... DATE: .....</div>
			<div>DRAWING TITLE:</div> <div>ELEVATIONAL SHADOWS - 21st JUNE - 7 SHORT STREET</div>	<div>SCALE:</div>	<div>DATE:</div> <div>27/02/2025</div>	<div>APPLICATION:</div> <div>DA</div>		
					<div>JOB NO:</div> <div>NSN0043</div>			
					<div>DRAWN:</div> <div>DJH</div>	<div>GJGN229</div>		

WASTE MANAGEMENT PLAN FOR PROPOSED 2 STOREY DWELLING AT:  
9 SHORT STREET, NORTH MANLY NSW 2100

DRAWING REVISION SCHEDULE			
No.	AMENDMENTS	DATE	BY
A	PRELIMINARY - FIRST ISSUE	13/10/2023	DJH
B	PRELIMINARY - SECOND ISSUE	19/10/2023	DJH
C	FIRST ISSUE - CONCEPT STAGE	29/11/2023	DJH
D	FIRST ISSUE - DA SET	06/02/2025	DJH
E	ADDED SHADOW DIAGRAM FOR SUMMER; CHANGED SLIDING DOOR TO DINING; ADDED STONE CLADDING TO PORCH POST; ADJUSTED RAINWATER TANKS; ADDED SINK TO KITCHEN; ADDED 1700 HIGH WALL TO BBQ AREA ON ALFRESCO.	27/02/2025	DJH

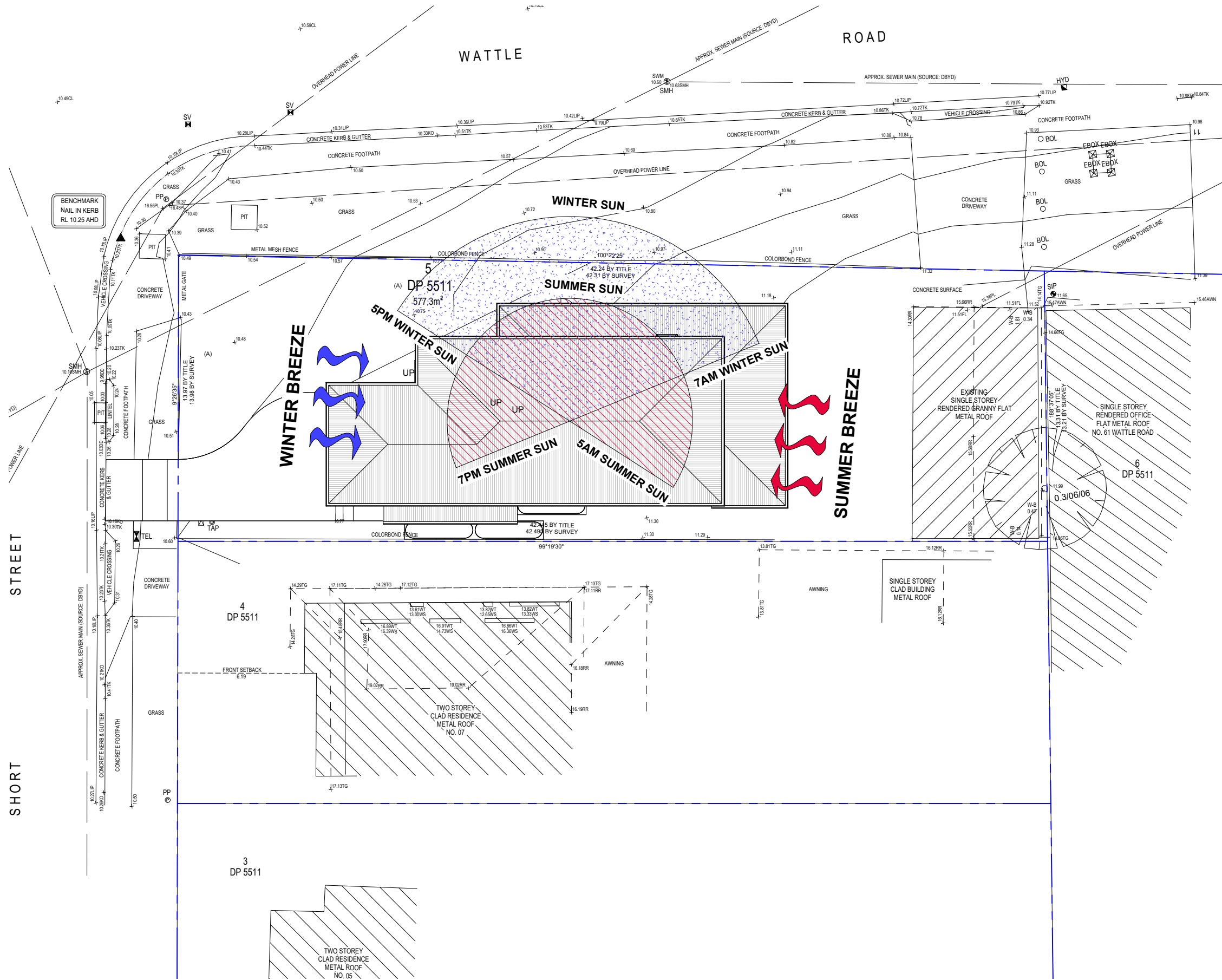
DEMOLITION PHASE				
MATERIALS ON-SITE		DESTINATION		
		Reuse & Recycling		Disposal
Type of materials	Estimated volume (m3)	On-Site Specify proposed reuse or on-site recycling method	Offsite Specify contractor and recycling outlet	Specify contractor or landfill site
Green waste	2	Chip and compost for landscaping and new gardens	-	Nil to landfill
Bricks	5		Waste Management centre for recycling	Nil to landfill
Concrete	20		Waste Management centre for recycling	Nil to landfill
Timber	10	Used for formwork and studwork, site shed or temporary fence	Long lengths of good quality timber to Timber Recycling Company. Lengths less than 1 meter to Waste Management centre for recycling	Nil to landfill
Plasterboard	10		Waste Management centre	Taken to landfill
Roof tiles	8		Good tiles to Waste Management centre for recycling; sell to second hand building supplies	Nil to landfill
Metals	2		Waste Management centre for recycling	Nil to landfill
Asbestos	5		Cart to licensed asbestos tip	Taken to landfill

CONSTRUCTION PHASE				
MATERIALS ON-SITE		DESTINATION		
		Reuse & Recycling		Disposal
Type of materials	Estimated volume (m3)	On-Site Specify proposed reuse or on-site recycling method	Offsite Specify contractor and recycling outlet	Specify contractor or landfill site
Excavation Material	5	Re-use for backfill under slab. Remove top soil and stockpile for use in landscaping	-	
Green waste	Nil			
Bricks	10		Excess bricks returned to supplier	Nil to landfill
Concrete	2		Excess concrete returned to supplier	Nil to landfill
Timber	2		Excess timber returned to supplier	Nil to landfill
Plasterboard	0.5		Excess plasterboard returned to supplier	Nil to landfill
Roof colorbond	0.5		Excess colorbond roof returned to supplier	Nil to landfill
Metals	0.1		Waste Management centre for recycling	Nil to landfill

USE OF PREMISES			
Type of Waste to be Generated	Expected volume per week (m3)	On-Site Specify proposed reuse or on-site recycling method	Destination
Food, general domestic waste	0.4	Bins located on site	Disposal via council rubbish removal
Paper, Cardboard	0.1	Bins located on site	Disposal via council recycling collection
Glass, Bottles	0.1	Bins located on site	Disposal via council recycling collection

DA APPLICATION - NOT FOR CONSTRUCTION

DRAWING REVISION SCHEDULE			
No.	AMENDMENTS	DATE	BY
A	PRELIMINARY - FIRST ISSUE	13/10/2023	DJH
B	PRELIMINARY - SECOND ISSUE	19/10/2023	DJH
C	FIRST ISSUE - CONCEPT STAGE	29/11/2023	DJH
D	FIRST ISSUE - DA SET	06/02/2025	DJH
E	ADDED SHADOW DIAGRAM FOR SUMMER; CHANGED SLIDING DOOR TO DINING; ADDED STONE CLADDING TO PORCH POST; ADJUSTED RAINWATER TANKS; ADDED SINK TO KITCHEN; ADDED 1700 HIGH WALL TO BBQ AREA ON ALFRESCO.	27/02/2025	DJH



1 SITE ANALYSIS PLAN  
1 : 200

DA APPLICATION - NOT FOR CONSTRUCTION

0m 1m 2m 3m 4m 5m 10m  
SCALE BAR 1:200

© COPYRIGHT. THIS DRAWING REMAINS THE PROPERTY OF WATTLE COURT HOMES & IS PROVIDED FOR THE USE AS DESCRIBED & MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT FORM PART OF ANY CONTRACT

**WATTLE COURT**  
HOMES BUILT FOR LIFE

**CUSTOM DESIGN**  
RESORT FACADE

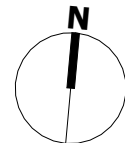
© COPYRIGHT EXCLUSIVE  
TO WATTLE COURT HOMES

DRAFTERS:  
**KJR**  
PO BOX 6840  
NORWEST NSW 2153  
ABN 15 078 937 238  
(02) 8883 4344  
kjrdrfting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING  
**ENTWISTLE & GARDINER**  
DRAWING TITLE:  
**SITE ANALYSIS**

PROJECT:  
**9 SHORT STREET  
NORTH MANLY NSW 2100**  
SCALE: 1 : 200

SHEET SIZE:	SHEET No:	REVISION:
<b>A3</b>	<b>A20</b>	<b>E</b>
DATE: 27/02/2025		
JOB NO: NSN0043	APPLICATION: DA	
DRAWN: DJH	GJGN229	



IWE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY  
DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS  
REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN  
ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY  
FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: ..... DATE: .....

OWNER SIGNED: ..... DATE: .....

BUILDER SIGNED: ..... DATE: .....