

DA DOCUMENTATION SCHEDULE

DWG NO.	SUBSET	TITLE	SCALE	REV.	DATE	STATUS
DA-000	COVER & SITE INFORMATION	COVER PAGE & DRAWING SCHEDULES	1:1	01	10/11/2024	DEVELOPMENT APPLICATION
DA-001	COVER & SITE INFORMATION	SITE PLAN	1:200	01	10/11/2024	DEVELOPMENT APPLICATION
DA-100	GENERAL ARRANGEMENT PLANS	GROUND FLOOR	1:100	01	10/11/2024	DEVELOPMENT APPLICATION
DA-101	GENERAL ARRANGEMENT PLANS	FIRST FLOOR	1:100	01	10/11/2024	DEVELOPMENT APPLICATION
DA-300	ELEVATIONS	SHEET 01	1:100	01	10/11/2024	DEVELOPMENT APPLICATION
DA-301	ELEVATIONS	SHEET 02	1:100	01	10/11/2024	DEVELOPMENT APPLICATION
DA-302	ELEVATIONS	SHEET 03	1:100	01	10/11/2024	DEVELOPMENT APPLICATION
DA-303	ELEVATIONS	SHEET 04	1:100	01	10/11/2024	DEVELOPMENT APPLICATION
DA-400	SECTIONS	SHEET 01	1:100	01	10/11/2024	DEVELOPMENT APPLICATION
DA-401	SECTIONS	SHEET 02	1:100	01	10/11/2024	DEVELOPMENT APPLICATION
DA-500	SITE STRATEGY PLANS	LANDSCAPE CONCEPT PLANS	1:200	01	10/11/2024	DEVELOPMENT APPLICATION
DA-501	SITE STRATEGY PLANS	SITE ANALYSIS PLANS	1:200	01	10/11/2024	DEVELOPMENT APPLICATION
DA-502	SITE STRATEGY PLANS	WASTE MANAGEMENT, EROSION & SEDIMENT CONTRO...	1:200	01	10/11/2024	DEVELOPMENT APPLICATION
DA-503	SITE STRATEGY PLANS	HARD & SOFT LANDSCAPE CALCULATIONS	1:200	01	10/11/2024	DEVELOPMENT APPLICATION
DA-800	POOL DETAILS	SHEET 01	1:100	01	10/11/2024	DEVELOPMENT APPLICATION
DA-900	SHADOW DIAGRAMS	SHADOW DIAGRAM 9am	1:250	01	10/11/2024	DEVELOPMENT APPLICATION
DA-901	SHADOW DIAGRAMS	SHADOW DIAGRAM 10AM	1:250	01	10/11/2024	DEVELOPMENT APPLICATION
DA-902	SHADOW DIAGRAMS	SHADOW DIAGRAM 11AM	1:250	01	10/11/2024	DEVELOPMENT APPLICATION
DA-903	SHADOW DIAGRAMS	SHADOW DIAGRAM 12pm	1:250	01	10/11/2024	DEVELOPMENT APPLICATION
DA-904	SHADOW DIAGRAMS	SHADOW DIAGRAM 1pm	1:250	01	10/11/2024	DEVELOPMENT APPLICATION
DA-905	SHADOW DIAGRAMS	SHADOW DIAGRAM 2pm	1:250	01	10/11/2024	DEVELOPMENT APPLICATION
DA-906	SHADOW DIAGRAMS	SHADOW DIAGRAM 3pm	1:250	01	10/11/2024	DEVELOPMENT APPLICATION

EXTERNAL FINISHES



1. Planter Boxes & Archways



2. Steel Windows & Doors - Dark Finish



3. Timber Pergola Structure



4. Exterior Paving



5. Rendered Walls - Light Paint Finish



6. Native Gardens & Permeable Pathways



7. Pool and Landscape Surrounds



8. Terracotta Roof Tiles

SCHEDULE OF BASIX COMMITMENTS

WATER COMMITMENTS

Landscape

The applicant must plant indigenous or low water use species of vegetation throughout 327.6 square metres of the site.

Fixtures

The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.
The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development.

The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.

Rainwater Tank

The applicant must install a rainwater tank of at least 3200 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rain runoff from at least 150 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).

The applicant must connect the rainwater tank to:
- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)
- a tap that is located within 10 metres of the swimming pool in the development.

Swimming Pool

The swimming pool must not have a volume greater than 34 kilolitres.

The swimming pool must have a pool cover.

The swimming pool must be outdoors.

SPA

The spa must not have a volume greater than 4 kilolitres.

The spa must have a spa cover.

THERMAL COMFORT COMMITMENTS

1. Timber framed dwelling(where applicable)
2. Waffle pod slab
3. Cavity brick with minimum R2.0 insulation ground floor external walls(excluding garage)
4. Minimum R2.5 insulation to brick veneer first floor external walls
5. Suspended slab between ground & first floor
6. R5.0 insulation to ceilings(excluding garage)
7. R2.0 insulation to the internal walls of bath1, laundry, store, bath 2 & bath 3
8. Sarking to underside of roof
9. Weatherseals to all external doors & windows
10. Light walls & medium roof colours
11. Floor tiling to all of ground floor
12. Insulation must be installed in accordance with NCC and relevant Australian Standards.
13. Recessed downlights have been included in the NatHERS rating(to be sealed LED & within 5% of SHGC 0.27
14. D24 2400 x 1200, D25 2400 x 7400 & D25 2400 x 1200 to have a U value less than or = to 3.10
15. W06, W07, W08, W16, W17, W21 & W22 to have a U value less than or = to 4.80 & within 5% of SHGC 0.59(louvers)
16. All other windows & glazed doors to have a U value less than or = to 4.10 & within 5% of SHGC 0.52
17. Skylight to be double glazed clear
18. Ceiling fans to guest bed, guest living, mpr, living, rumpus, master, bed 1, bed 2 & bed 3

ENERGY COMMITMENTS

Hot Water

The applicant must install the following hot water system, or a system with a higher energy rating;
- Gas Instantaneous with a performance of six stars

Cooling System

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area:
- 3-phase air-conditioning; Energy rating: EER 3.0-3.5
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 Bedroom:
- 3-phase air-conditioning; Energy rating: EER 3.0-3.5

Heating System

The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area:
- 3-phase air-conditioning; Energy rating: EER 3.0-3.5
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 Bedroom:
- 3-phase air-conditioning; Energy rating: EER 3.0-3.5

THERMAL PERFORMANCE & MATERIALS COMMITMENTS - CONSTRUCTION

Construction

Floor - concrete slab on ground, waffle pod slab
Floor - above habitable rooms or mezzanine, concrete suspended; frame: no frame
Garage floor - concrete slab on ground, waffle pod slab.
External wall: cavity brick; frame: no frame.
External wall: brick veneer; frame: timber - H2 treated softwood
Internal wall: plasterboard; frame: timber - H2 treated softwood
Internal wall: plasterboard; frame: timber - H2 treated softwood
Ceiling and roof - flat ceiling / pitched roof, framed - terracotta tiles , timber - H2 treated softwood.

ENERGY COMMITMENTS CONT.

Ventilation

The applicant must install the following exhaust systems in the development:
- At least 1 Bathroom: individual fan, open to facade ; Operation control: manual on / timer off
- Kitchen: individual fan, ducted to façade or roof; Operation control: manual on / timer off
- Laundry: Natural Ventilation Only, or no laundry ; Operation control: N/A

Artificial Lighting

The applicant must ensure that 80% of light fixtures are fitted with fluorescent, compact fluorescent or light emitting diode (LED) lamps.

Natural Lighting

The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.
The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.

Swimming Pool

The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): gas
The applicant must install the following pump for the swimming in the development, or a pump with a higher energy rating: Single speed with a performance of 7 stars.
The applicant must install a timer for the swimming pool pump in the development.

Spa

The applicant must install the following heating system for the spa in the development (or alternatively must not install any heating system for the swimming pool): gas
The applicant must install a timer for the spa pump in the development.

Alternative energy

The applicant must install a photovoltaic system as part of the development. This applicant must connect this system to the developments electrical system.

The photovoltaic system must consist of:

- Photovoltaic collectors with the with the capacity to generate at least 3.6 peak kilowatts of electricity, installed at an angle between 0 degrees and 25 degrees to the horizontal facing north.

Other

The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.
The applicant must install a fixed outdoor clothes drying line as part of the development.

THERMAL PERFORMANCE & MATERIALS COMMITMENTS - GLAZING

Glazing - Frame

Aluminium	167.6m2
Timber	0.0m2
uPVC	95.3m2
steel	0.0m2
composite	0.0m2

Glazing - Gazing

Single	0.0m2
Double	167.6m2
triple	0.0m2



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NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS

KEY:

- DENOTES EXISTING STRUCTURE TO BE RETAINED
- DENOTES PROPOSED NEW STRUCTURE
- DENOTES AREA OF SOFT LANDSCAPING
- DENOTES AREA OF SWIMMING POOL
- DENOTES EXISTING STRUCTURE TO BE DEMOLISHED

PROJECT:
NEW RESIDENTIAL DWELLING INCLUDING SWIMMING POOL AND ASSOCIATED LANDSCAPING

CLIENT:
DAN & DANIELLE DE GAIL

LOCATION:
24 BEACH ROAD, COLLARROY, NSW

PROJECT STAGE:
DEVELOPMENT APPLICATION

DRAWING TITLE:
COVER & SITE INFORMATION: COVER PAGE & DRAWING SCHEDULES

SCALE:
1:1 @ A3

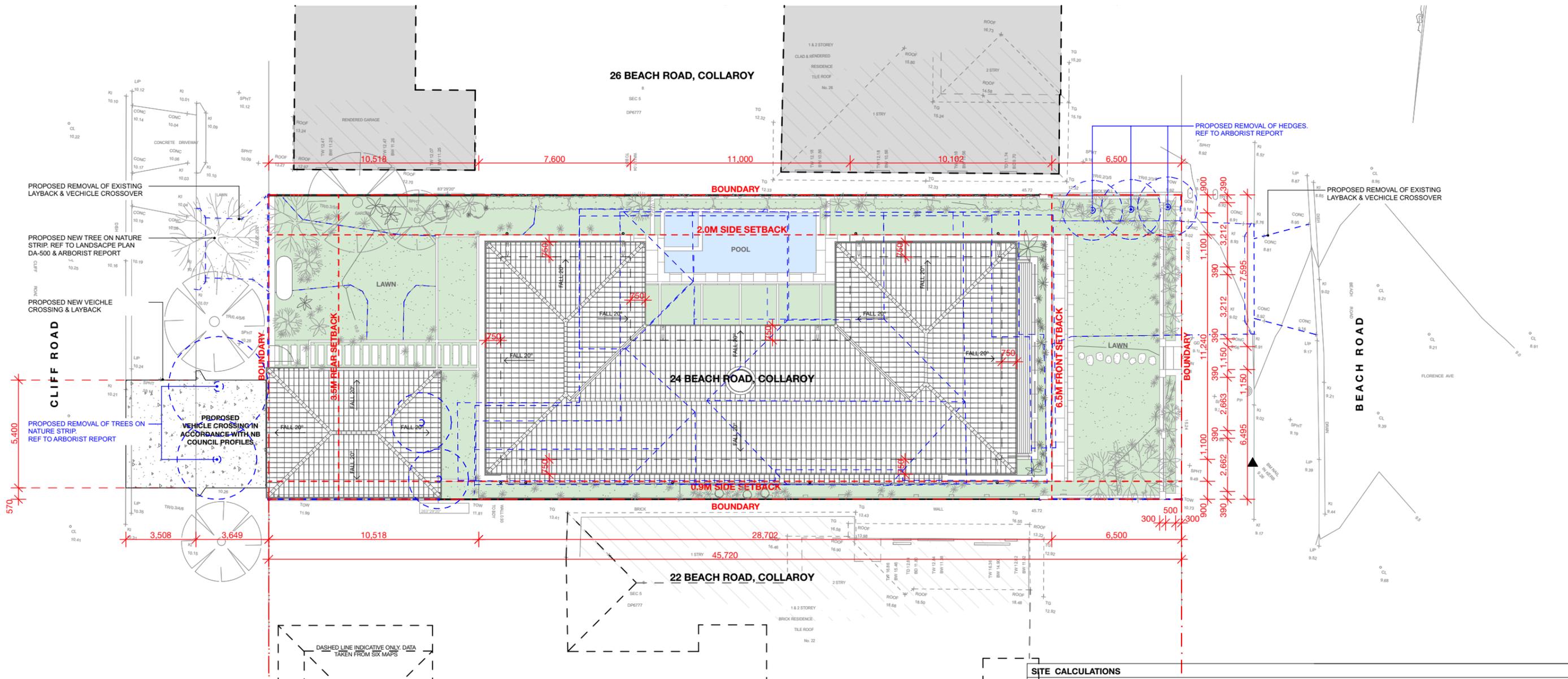
DATE OF ISSUE:
11/10/2024

DRAWING NO.
DA-000

REVISION:
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SITE PLAN A3 @1:200

SITE CALCULATIONS			
TOTAL SITE AREA	696.80m ²		
EXISTING	PROPOSED		
GROUND FLOOR - GROSS FLOOR AREA	~134.74m ²	GROUND FLOOR - GROSS FLOOR AREA	225.18m ²
FIRST FLOOR - GROSS FLOOR AREA	~224.74m ²	FIRST FLOOR - GROSS FLOOR AREA	173.35m ²
TOTAL - GROSS FLOOR AREA	~359.48m ²	TOTAL - GROSS FLOOR AREA	398.53m ²
GARAGE AND STORAGE - AREA	~114.0m ²	GARAGE AND STORAGE - AREA	55.21m ²
APPROX. ROOF - AREA	~278.17m ²	ROOF - AREA	320.11m ²
APPROX. DECK AND TERRACE - AREA	~92.93m ²	DECK AND TERRACE - AREA	103.08m ²
HARD SURFACE - AREA	504.62m ² /72.42%	HARD SURFACE - AREA	369.11m ² /52.97%
LANDSCAPED OPEN SPACE - AREA	160.51m ² /23.04%	LANDSCAPED OPEN SPACE - AREA	309.20m ² /44.37%
UNCALC. SOFT LANDSCAPE - AREA	31.67m ² /4.55%	UNCALC. SOFT LANDSCAPE - AREA	18.49m ² /2.66%
POOL - VOLUME	N/A	POOL & SPA - VOLUME	38m ³

Certificate No. 0011515368-01

Scan QR code or follow website link for rating details.

Assessor name: Scott Douglass
 Accreditation No.: 13/1547
 Property Address: 24 Beach Road, COLLAROY NSW 2097

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PROJECT:
NEW RESIDENTIAL DWELLING INCLUDING SWIMMING POOL AND ASSOCIATED LANDSCAPING

CLIENT:
DAN & DANIELLE DE GAIL

LOCATION:
24 BEACH ROAD, COLLAROY, NSW

PROJECT STAGE:
DEVELOPMENT APPLICATION

DRAWING TITLE:
COVER & SITE INFORMATION: SITE PLAN

SCALE:
1:200 @ A3

DATE OF ISSUE:
11/10/2024

DRAWING NO.:
DA-001

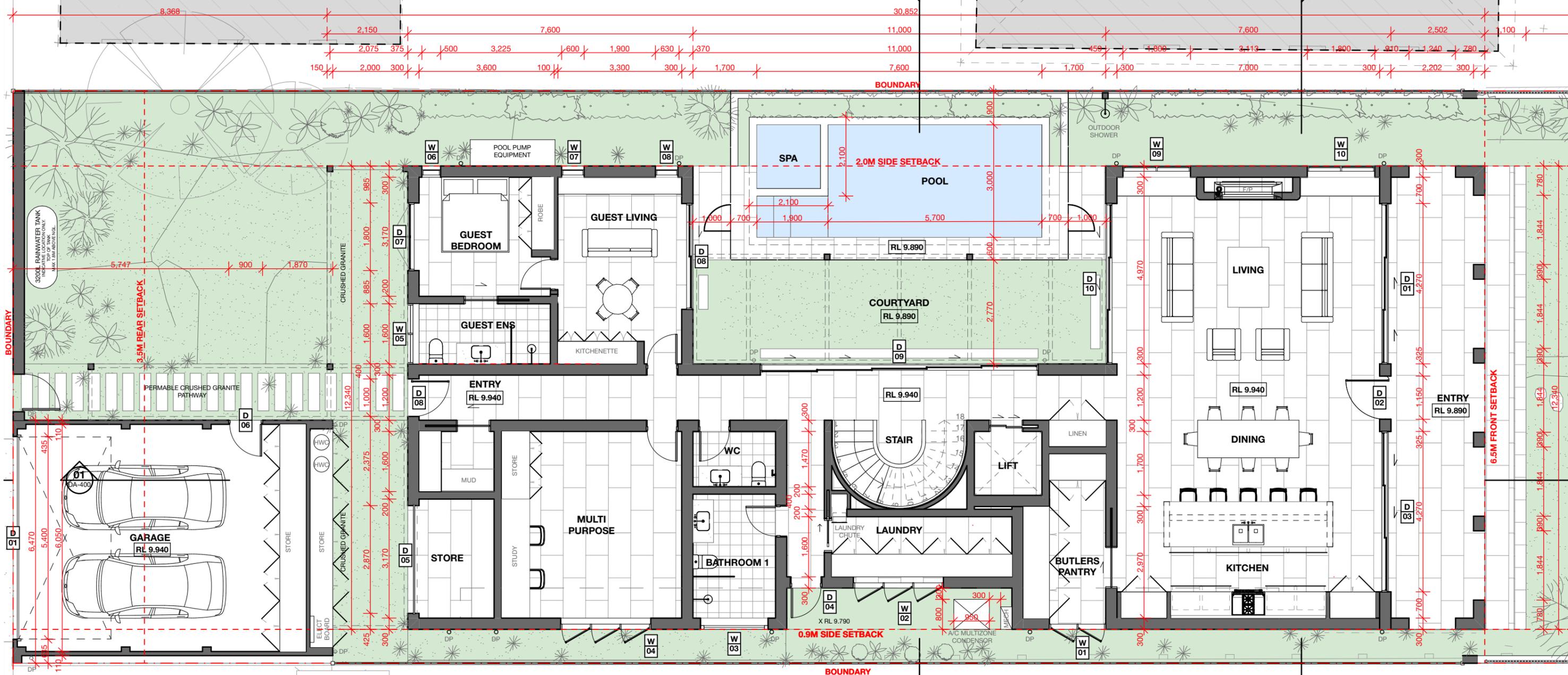
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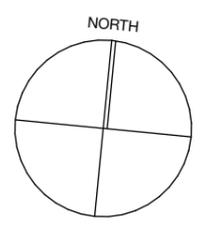
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26 BEACH ROAD, COLLAROY



GROUND FLOOR A3 @1:100

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CLIENT:
 DAN & DANIELLE DE GAIL

LOCATION:
 24 BEACH ROAD, COLLAROY, NSW

PROJECT STAGE:
 DEVELOPMENT APPLICATION

DRAWING TITLE:
 GENERAL ARRANGEMENT PLANS: GROUND FLOOR

SCALE:
 1:100 @ A3

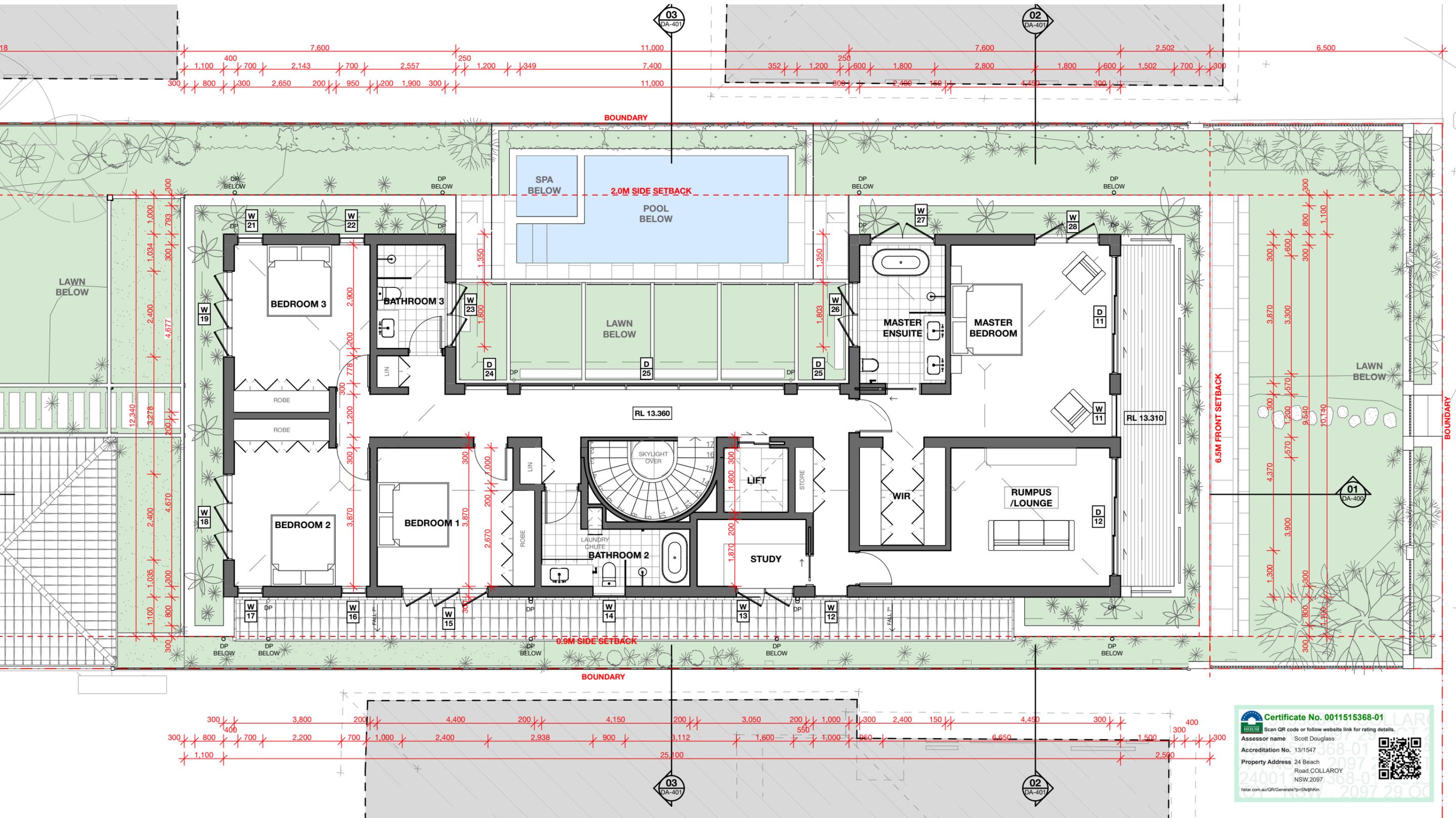
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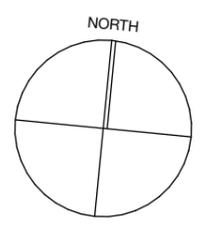
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FIRST FLOOR A3 @1:100

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 DAN & DANIELLE DE GAIL

LOCATION:
 24 BEACH ROAD, COLLAROY, NSW

PROJECT STAGE:
 DEVELOPMENT APPLICATION

DRAWING TITLE:
 GENERAL ARRANGEMENT PLANS: FIRST FLOOR

SCALE:
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DATE OF ISSUE:
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 DA-101

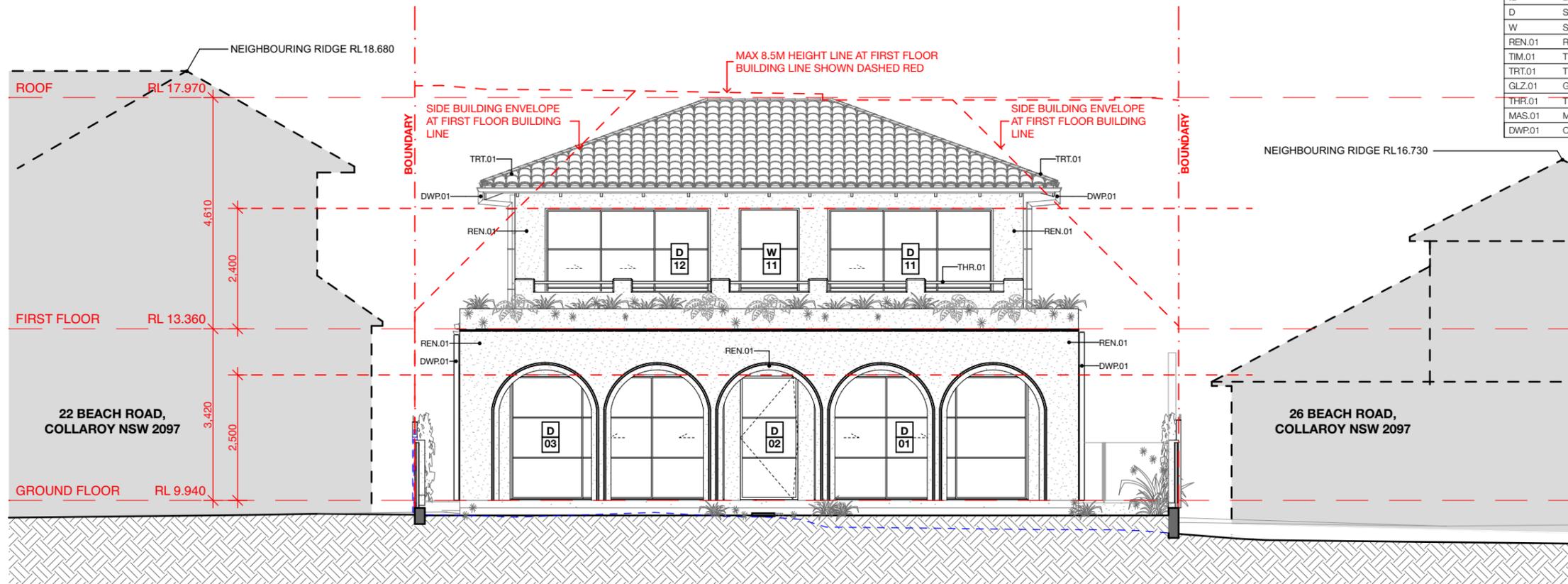
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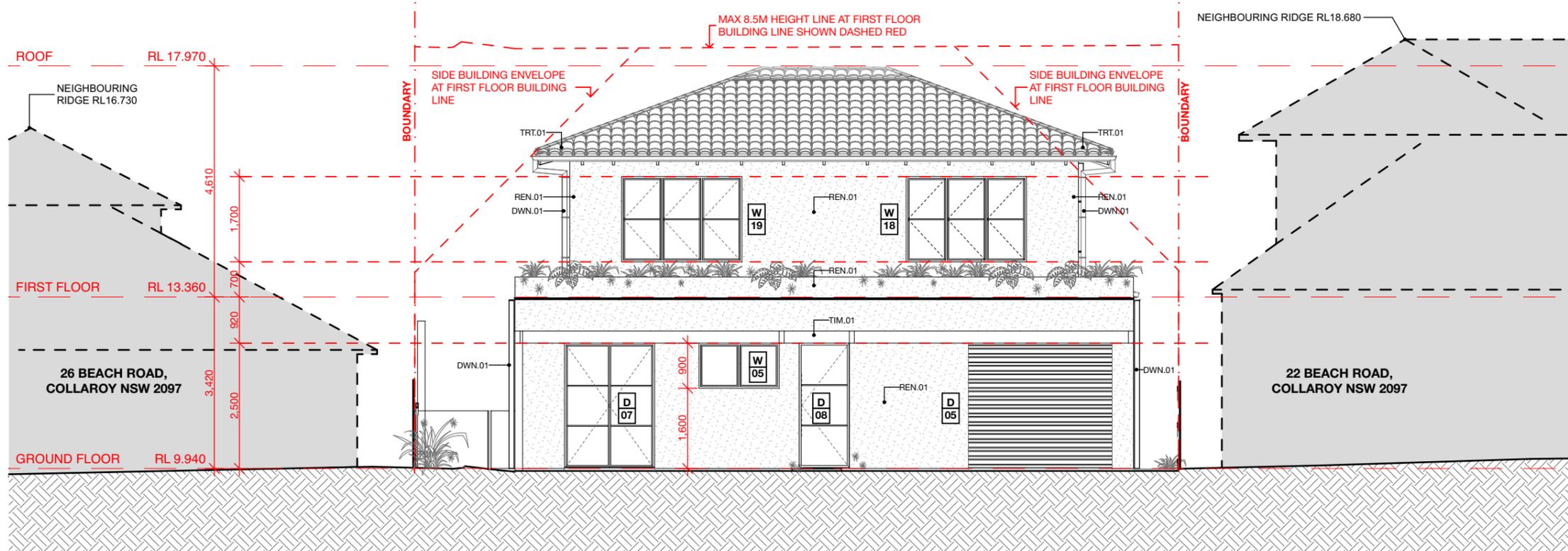
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MATERIALS SCHEDULE	
ID	DESCRIPTION
D	STEEL/ALUMINIUM FRAMED DOOR - DARK FINISH
W	STEEL/ALUMINIUM FRAMED WINDOWS - DARK FINISH
REN.01	RENDERED MASONRY - LIGHT PAINT FINISH
TIM.01	TIMBER POST AND BEAMS - NATURAL
TRT.01	TERRAZO ROOF TILES - NATURAL FINISH
GLZ.01	GLASS POOL BALUSTRADING
THR.01	TIMBER HANDRAIL - NATURAL FINISH
MAS.01	MASONRY - NATURAL FINISH
DWP.01	COPPER DOWNPIPES & GUTTERS - NATURAL FINISH



EAST ELEVATION A3 @1:100



WEST ELEVATION A3 @1:100

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DAN & DANIELLE DE GAIL

LOCATION:
24 BEACH ROAD,
COLLARROY, NSW

PROJECT STAGE:
DEVELOPMENT APPLICATION

DRAWING TITLE:
ELEVATIONS: SHEET 01

SCALE:
1:100 @ A3

DATE OF ISSUE:
11/10/2024

DRAWING NO.
DA-300

REVISION:
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Certificate No. 0011515368-01

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Accreditation No. 13/1547
Property Address: 24 Beach Road, COLLAROY NSW, 2097

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W	STEEL/ALUMINIUM FRAMED WINDOWS - DARK FINISH
REN.01	RENDERED MASONRY - LIGHT PAINT FINISH
TIM.01	TIMBER POST AND BEAMS - NATURAL
TRT.01	TERRAZO/TOPA ROOF TILES - NATURAL FINISH
GLZ.01	GLASS POOL BALUSTRADING
THR.01	TIMBER HANDRAIL - NATURAL FINISH
MAS.01	MASONRY - NATURAL FINISH
DWP.01	COPPER DOWPIPES & GUTTERS - NATURAL FINISH

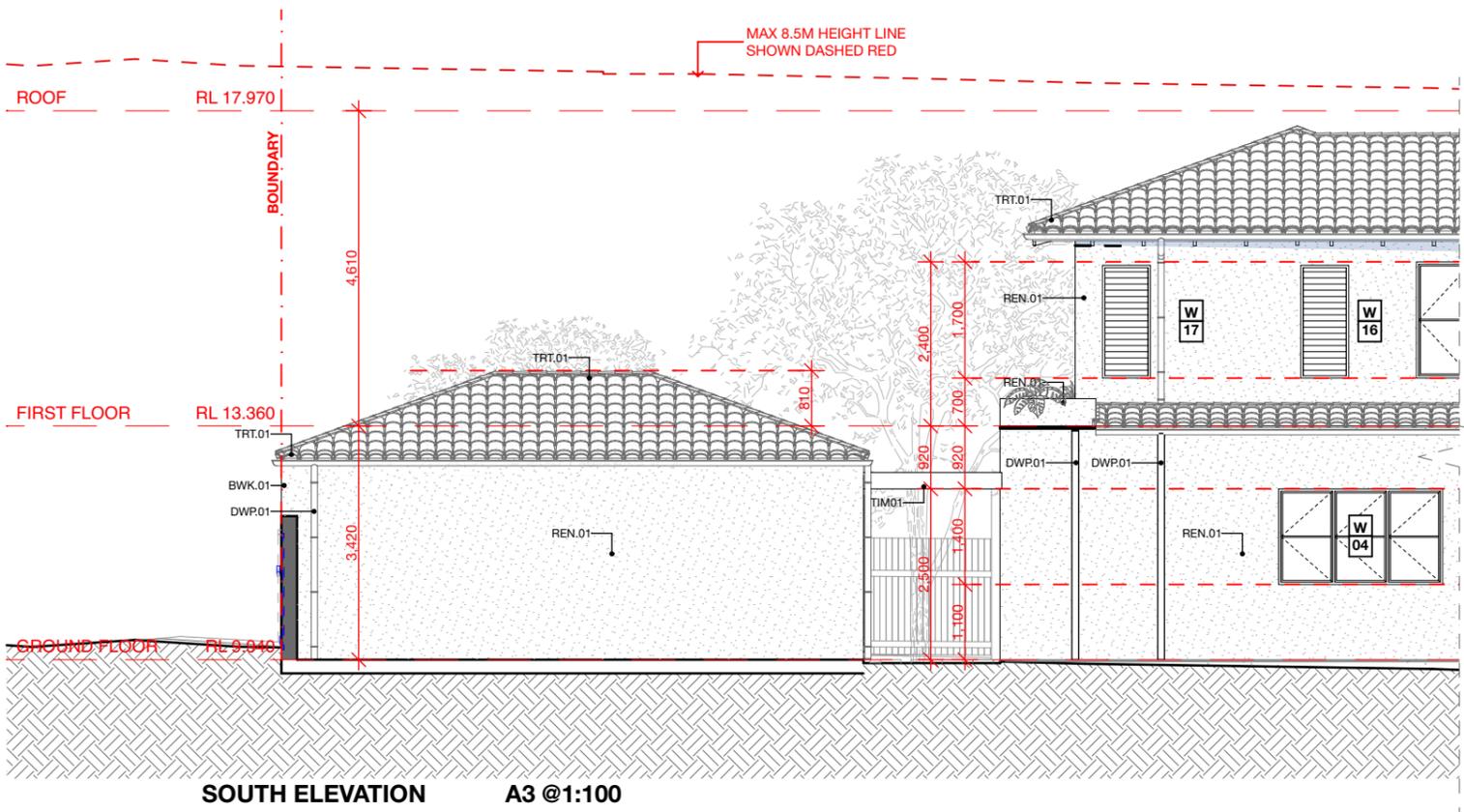
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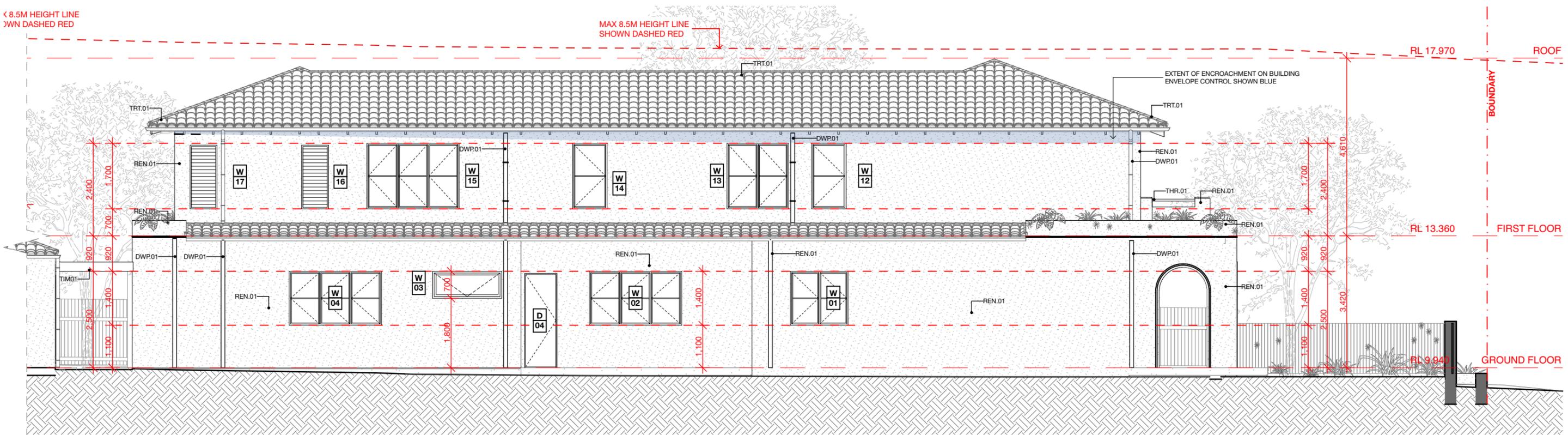
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SOUTH ELEVATION A3 @1:100



SOUTH ELEVATION CONT. A3 @1:100

KEY:

	DENOTES EXISTING STRUCTURE TO BE RETAINED
	DENOTES PROPOSED NEW STRUCTURE
	DENOTES AREA OF SOFT LANDSCAPING
	DENOTES AREA OF SWIMMING POOL
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PROJECT:
 NEW RESIDENTIAL DWELLING INCLUDING SWIMMING POOL AND ASSOCIATED LANDSCAPING

CLIENT:
 DAN & DANIELLE DE GAIL

LOCATION:
 24 BEACH ROAD, COLLARROY, NSW

PROJECT STAGE:
 DEVELOPMENT APPLICATION

DRAWING TITLE:
 ELEVATIONS: SHEET 02

SCALE:
 1:100 @ A3

DATE OF ISSUE:
 11/10/2024

DRAWING NO.:
 DA-301

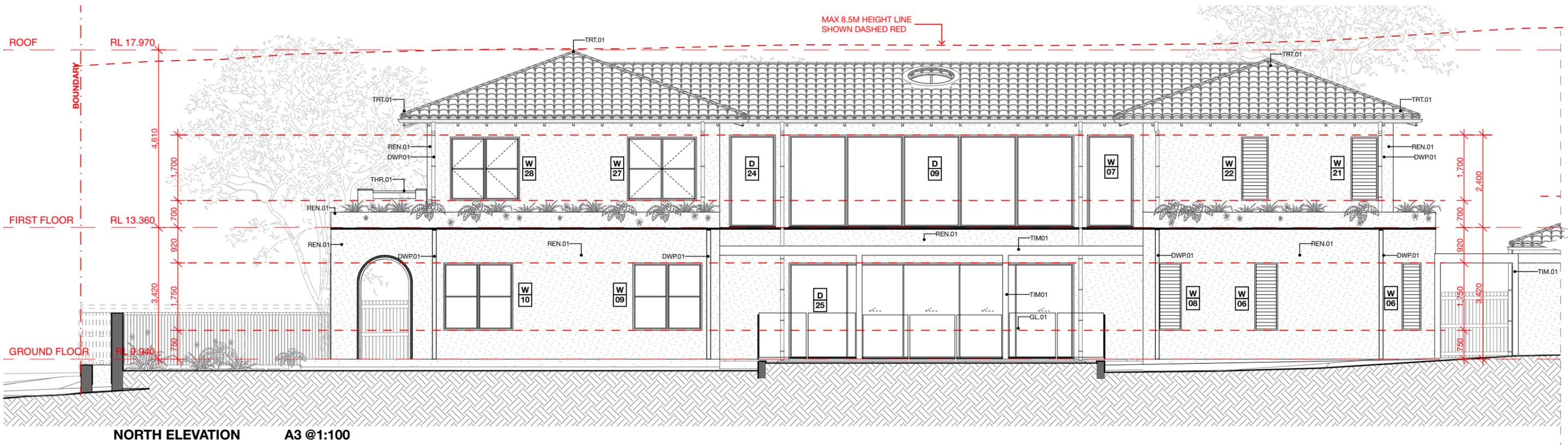
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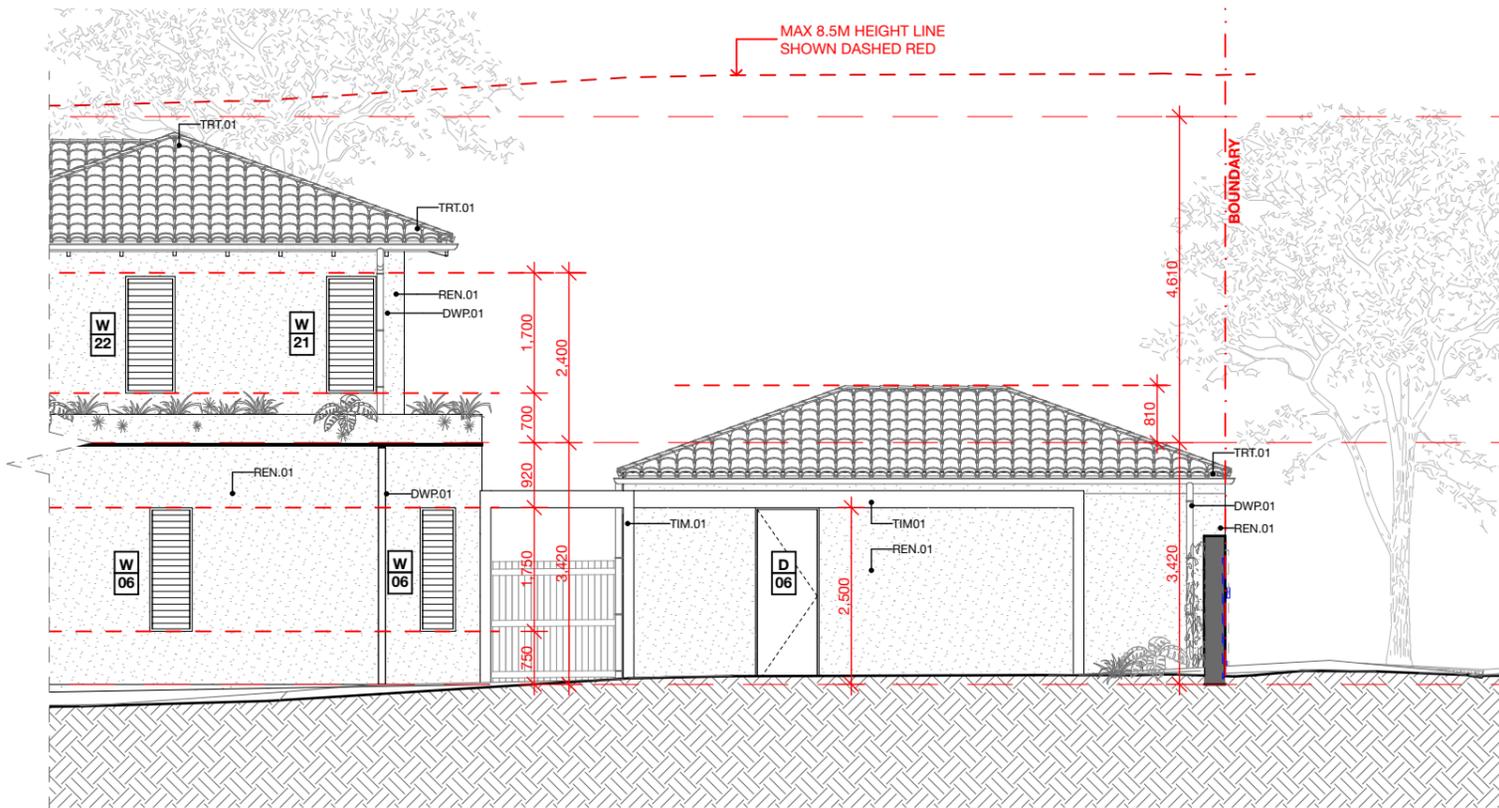
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NORTH ELEVATION A3 @1:100



NORTH ELEVATION CONT. A3 @1:100

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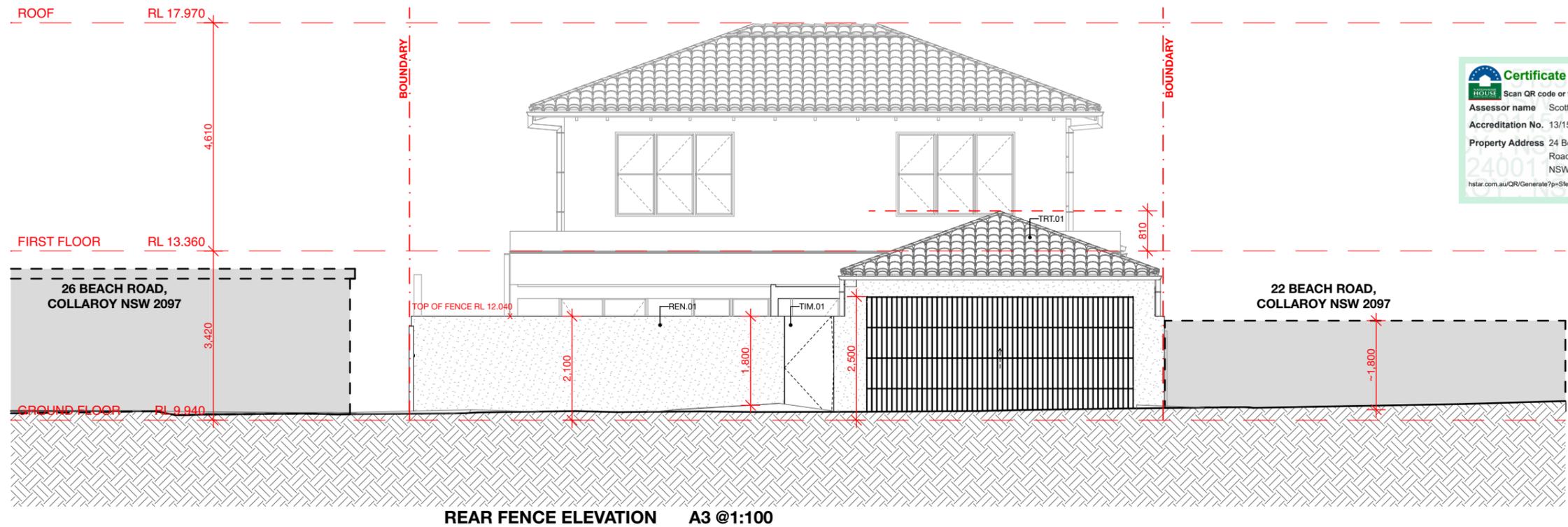
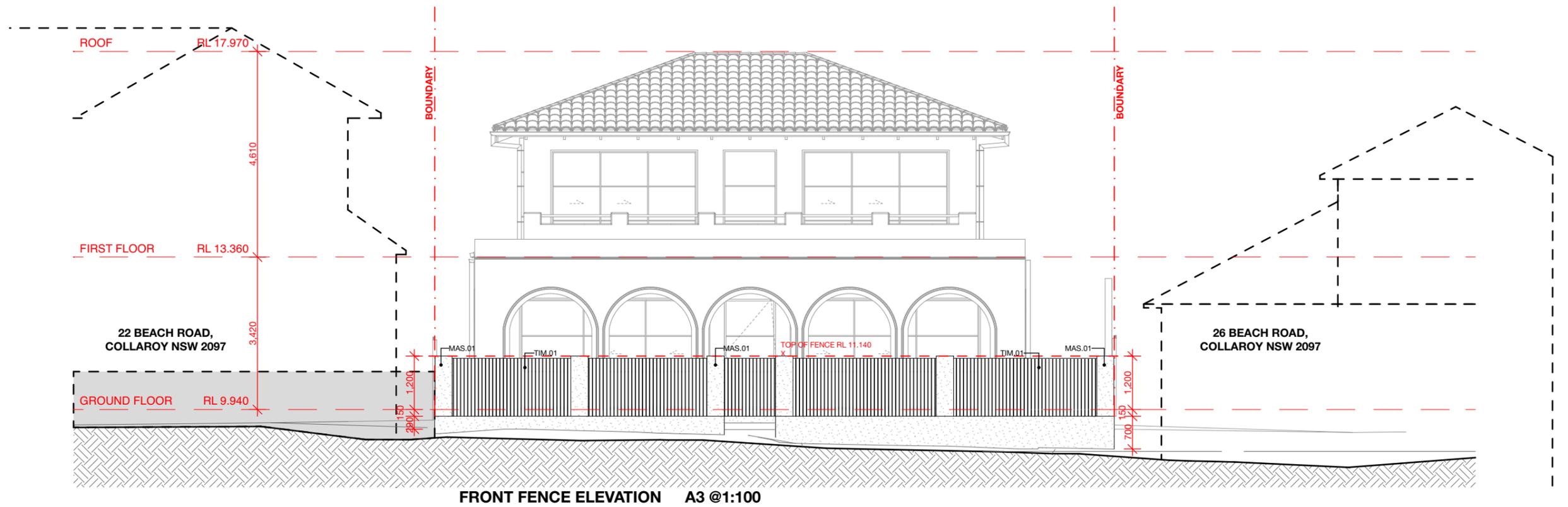
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MATERIALS SCHEDULE	
ID	DESCRIPTION
D	STEEL/ALUMINIUM FRAMED DOOR - DARK FINISH
W	STEEL/ALUMINIUM FRAMED WINDOWS - DARK FINISH
REN.01	RENDERED MASONRY - LIGHT PAINT FINISH
TIM.01	TIMBER POST AND BEAMS - NATURAL
TRT.01	TERRACTORA ROOF TILES - NATURAL FINISH
GLZ.01	GLASS POOL BALUSTRADING
THR.01	TIMBER HANDRAIL - NATURAL FINISH
MAS.01	MASONRY - NATURAL FINISH
DWP.01	COPPER DOWPIPES & GUTTERS - NATURAL FINISH

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		<p>CLIENT: DAN & DANIELLE DE GAIL</p>	<p>DRAWING TITLE: ELEVATIONS: SHEET 03</p>	<p>DRAWING NO.: DA-302</p>	
		<p>LOCATION: 24 BEACH ROAD, COLLARROY, NSW</p>	<p>SCALE: 1:100 @ A3</p>	<p>REVISION: 01</p>	



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Accreditation No. 13/1547

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- KEY:**
- DENOTES EXISTING STRUCTURE TO BE RETAINED
 - DENOTES PROPOSED NEW STRUCTURE
 - DENOTES AREA OF SOFT LANDSCAPING
 - DENOTES AREA OF SWIMMING POOL
 - DENOTES EXISTING STRUCTURE TO BE DEMOLISHED

PROJECT:
 NEW RESIDENTIAL DWELLING INCLUDING SWIMMING POOL AND ASSOCIATED LANDSCAPING

CLIENT:
 DAN & DANIELLE DE GAIL

LOCATION:
 24 BEACH ROAD,
 COLLAROY, NSW

PROJECT STAGE:
 DEVELOPMENT APPLICATION

DRAWING TITLE:
 ELEVATIONS: SHEET 04

SCALE:
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DATE OF ISSUE:
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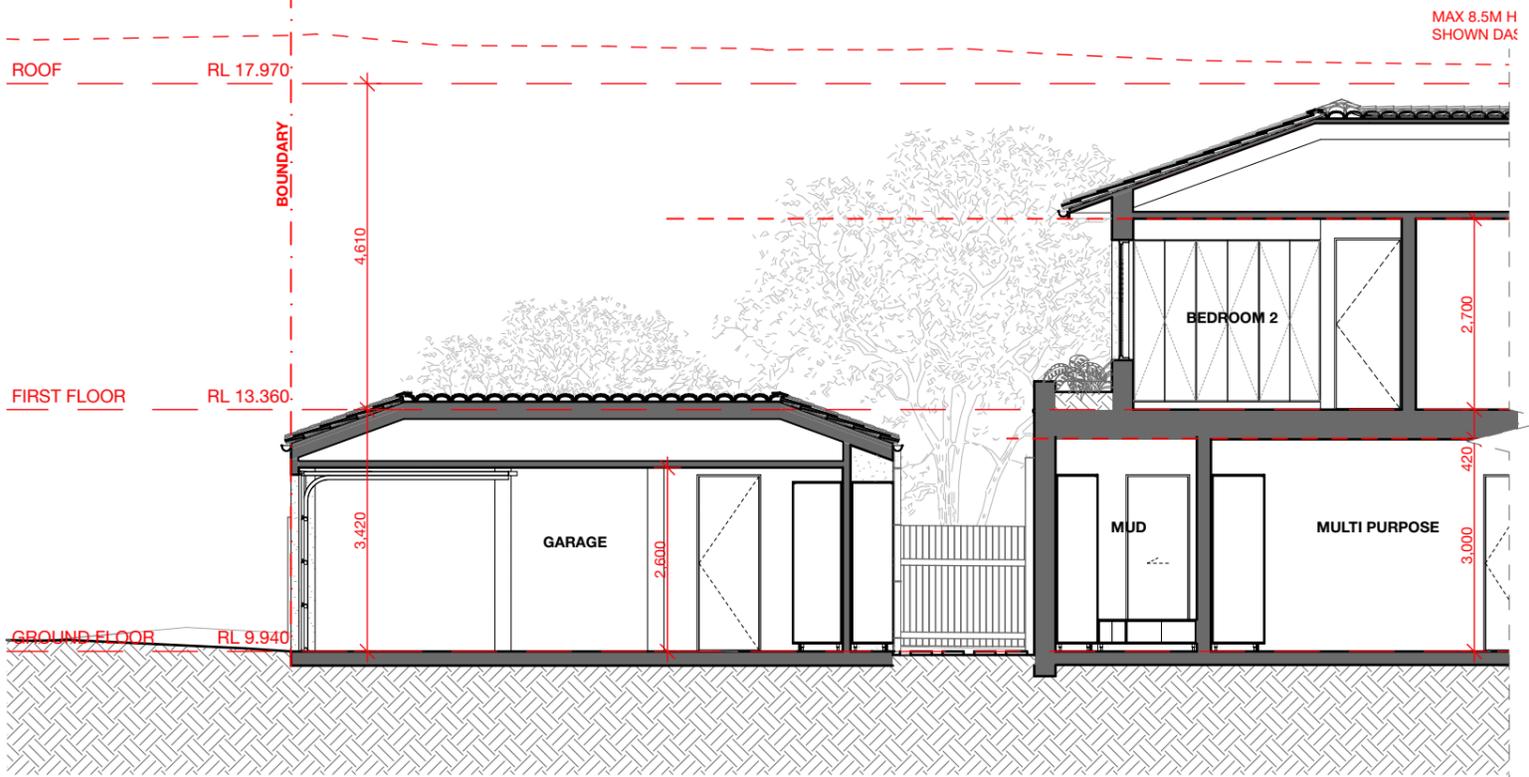
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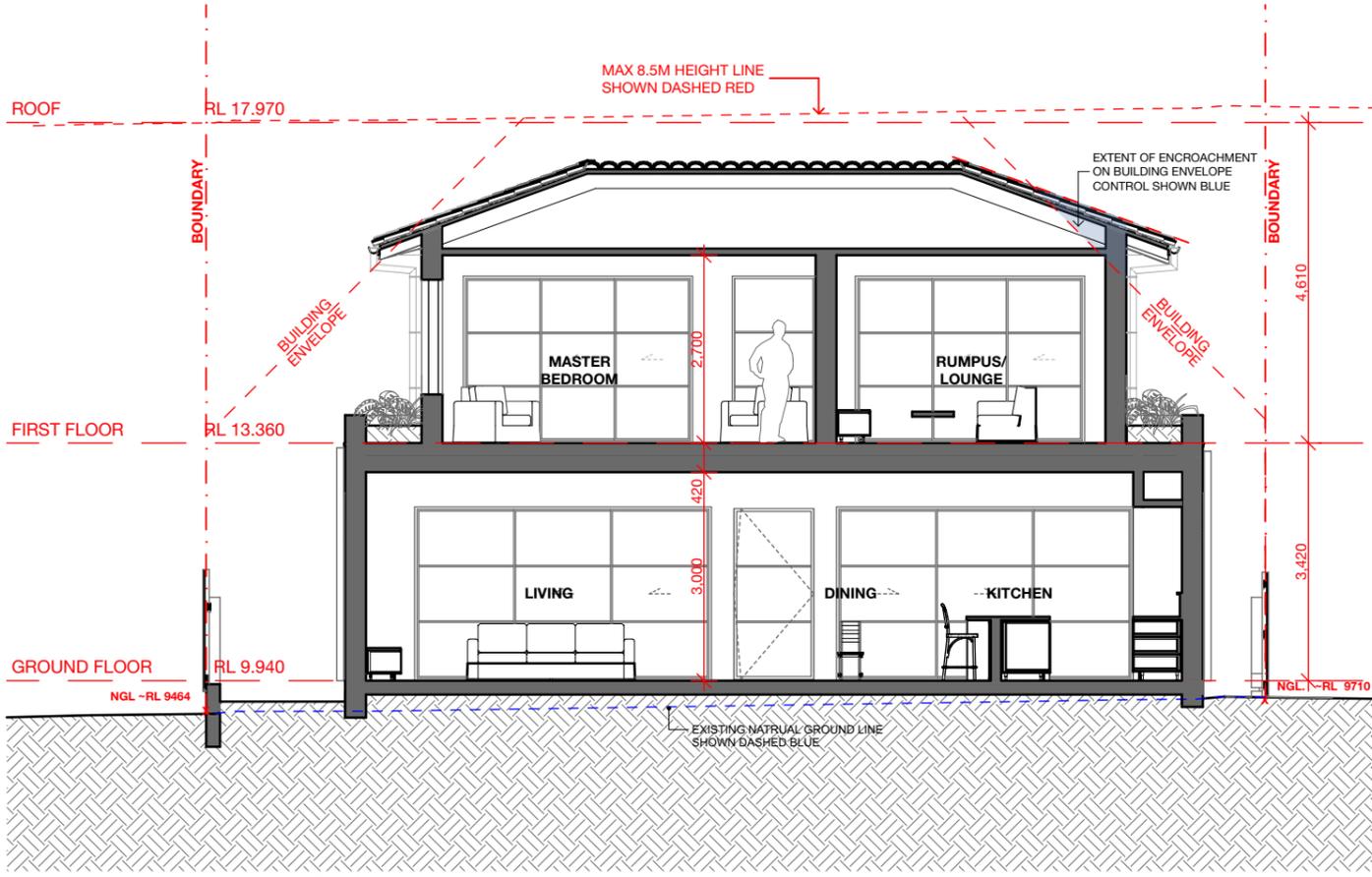



SECTION A A3 @1:100

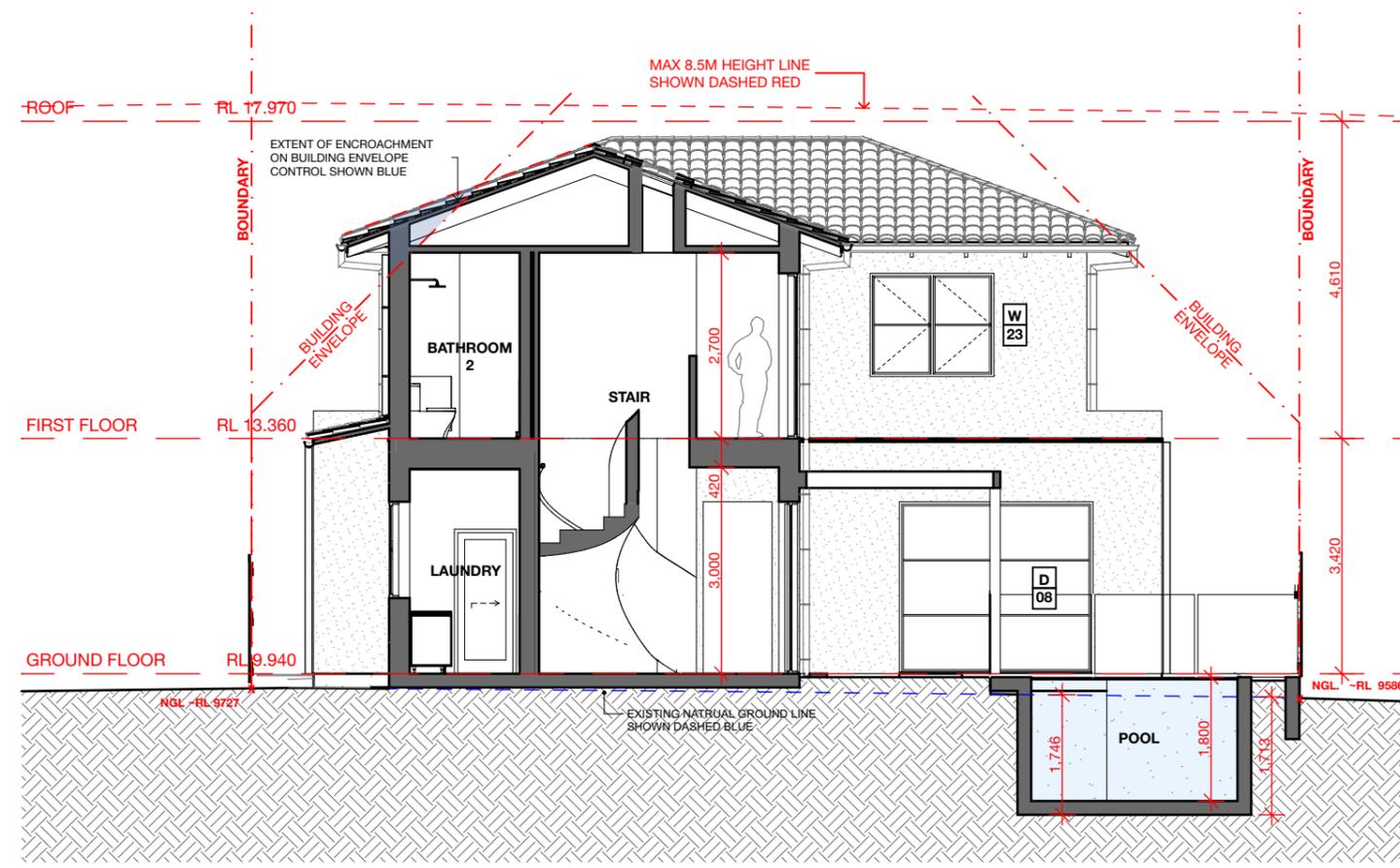


SECTION A CONT. A3 @1:100

<p>KEY:</p> <ul style="list-style-type: none"> DENOTES EXISTING STRUCTURE TO BE RETAINED DENOTES PROPOSED NEW STRUCTURE DENOTES AREA OF SOFT LANDSCAPING DENOTES AREA OF SWIMMING POOL DENOTES EXISTING STRUCTURE TO BE DEMOLISHED <p><small>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY NOTE: DO NOT SCALE OFF THIS DRAWING NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE N.C.C. 2019 NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS</small></p>	<p>PROJECT: NEW RESIDENTIAL DWELLING INCLUDING SWIMMING POOL AND ASSOCIATED LANDSCAPING</p> <p>CLIENT: DAN & DANIELLE DE GAIL</p> <p>LOCATION: 24 BEACH ROAD, COLLAROY, NSW</p>	<p>PROJECT STAGE: DEVELOPMENT APPLICATION</p> <p>DRAWING TITLE: SECTIONS: SHEET 01</p> <p>SCALE: 1:100 @ A3</p>	<p>DATE OF ISSUE: 11/10/2024</p> <p>DRAWING NO.: DA-400</p> <p>REVISION: 01</p>	<p style="text-align: center; font-size: 24px; font-weight: bold; letter-spacing: 0.5em;">r a m a</p> <p style="font-size: 8px; text-align: center;"> nominated architect Thomas Martin nsw reg. #10383 6 / 20 AVALON PARADE, AVALON BEACH, NSW 2107 www.ramarchitects.com e. info@ramarchitects.com ABN 612 713 425 <small>COPYRIGHT OF RAMA ARCHITECTS PTY. LTD. THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING</small> </p>
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SECTION B A3 @1:100



SECTION C A3 @1:100

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REPLACEMENT CALLISTEMON TO BE PLANTED ON LOT. REF. TO ARBORIST REPORT.

REPLACEMENT CALLISTEMON TO BE PLANTED ON NATURE STRIP. REF. TO ARBORIST REPORT.

LAWN / LANDSCAPE IN PLACE OF DEMOLISHED EXISTING DRIVEWAY

26 BEACH ROAD, COLLARROY

LANSCAPE PLAN A3 @1:200

ID	DESCRIPTION
	PROPOSED FEATURE TREE
	PROPOSED SCREENING PLANTS
	PROPOSED SHRUBS
	PROPOSED ACCENTS
	PROPOSED GRASSES AND GROUNDS COVERS
	PROPOSED LANDSCAPED AREA
	PROPOSED POOL AREA

ID	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
CC	2	CALLISTEMON CITRINUS	CRIMSON BOTTLEBRUSH	100L
BI	2	BANKSIA INTEGRIFOLIA	COASTAL BANKSIA	100L
AS	2	ACACEA SUAVEOLENS	SWEET SCENTED WATTLE	100L
XS	3	XANTHORRHOEA SPP.	GRASS TREE	60L
SCREENING PLANTS				
LL	16	LEPTOSPERMUM LAEVIGATU	COASTAL TEE TREE	500MM
CL	12	CALLISTEMON LINEARIS	NARROW LEAVED BOTTLEBRUSH	500MM
SHRUBS AND ACCENTS				
WF	22	WESTRINGIA FRUTICOSA	COASTAL ROSEMARY	300MM
DP	8	DORYANTHES PALMERI	GYMEA LILLY	300MM
GL	10	GREVILLEA LINEARIFOLIA	WHITE SPIDER FLOWER	300MM
GRASSES/GROUND COVERS				
LO	10	LOMANDRA LONGIFOLIA	SPINY HEAD MAT	150MM
VH	24	VIOLA HEDERACEA	NATIVE VIOLET	140MM
CA	22	CARPOBROTUS	PIGFACE	150MM
DR	20	DICHONDRA REPENS	KIDNEY WEEDS	100MM

*REF TO ARBORIST REPORT

LANDSCAPE CONSTRUCTION NOTES

TREE PROTECTION

All trees nominated to be retained are to be protected throughout the duration of the demolition and construction periods. All tree protection enclosures must be established prior to commencement of demolition works and shall comprise a fence enclosure around the TPZ of the tree. The project Arborist must be present to supervise any excavation, trenching or tunneling within the PZ of any retained trees if required. Keep the area within the enclosure free of construction material and debris. Do not place bulk materials and harmful materials under or near trees. Do not place spoil from excavations against tree trunks. Prevent wind-blown materials such as cement from harming trees and plants. Do not cut tree roots exceeding 50mm diameter. Where it is necessary to cut tree roots, use hand saw, cut cleanly, do not rip with machinery and such that the cutting does not unduly disturb the remaining root system. If damage does occur to a tree, the project Arborist is to attend prior to repairing damage and during repair work. If a tree is damaged and repair work is considered impractical, or is attempted and fails, give notice and obtain instructions.

SUBSOIL

Excavate to bring the subsoil to a minimum of 300mm below finished design levels, to allow for infilling with topsoil mix. Break up the soil to a further depth of 100mm. Remove all building rubble, waste oil, cement and other material harmful to plant growth from planting beds prior to placement of topsoil. Cultivate to a minimum depth of 100mm over areas to be planted or grassed. Do not disturb services or tree roots; if necessary, cultivate these areas by hand. During cultivation, thoroughly mix in materials required to be incorporated into the subsoil. Remove stones exceeding 25mm, clods of earth exceeding 50mm, and weeds, rubbish or other deleterious material brought to the surface during cultivation. Trim the surface to the required design levels after cultivation. Confirm that the planting beds are free draining. If not install sub-soil drainage lines and connect to stormwater system. Apply additives after ripping or cultivation and incorporate into the upper 100mm layer of the subsoil.

TOPSOIL

Where possible use site topsoil and compost mixed at a rate of 4 soil : 1 compost, thoroughly mixed before placement. If imported soil is required soil shall be same or similar to Australian Native Landscapes Premium garden mix or similar for garden bed areas or Turf Underlay mix for turf areas. Spread topsoil on the prepared subsoil and grade evenly, making the necessary allowances so that required finished levels and contours are achieved after light compaction. Compact lightly and uniformly in 150mm layers. Avoid differential subsidence and excess compaction and produce a finished topsoil surface which is ready for planting. Spread topsoil to the following typical depths:
Planting beds: 300mm
Grass areas: 100mm

PLANTING

trees: excavate a plant hole to twice the diameter of the root ball and at least 100mm deeper than the root ball, break up the base of the hole to a further depth of 100mm, and loosen the compacted sides of the hole.
shrubs/ground covers: excavate a hole big enough for the plant plus 100mm all round, provide plants which have large healthy root systems, with no evidence of root curl, restriction or damage, are vigorous, well established, free from disease and pests, of good form consistent with the species or variety; and are hardened off, not soft or forced, and suitable for planting in the natural climatic conditions prevailing at the site. Trees: provide trees which, unless required to be multi-stemmed, have a single leading shoot. trees should be staked as specified. Label at least one plant of each species or variety in a batch using a durable, readable tag, do not plant in unsuitable weather conditions such as extreme heat, cold, wind or rain. In other than sandy soils, suspend excavation when the soil is wet, or during frost periods. when the hold is of the correct size, remove the plant from the container with minimum disturbance to the root ball, ensure that the root ball is moist and place in the final position, in the hole and plumb, with the top soil level of the plant root ball level with the finished surface of the surrounding soil, or 75mm below paving level to allow placement of mulch. backfill with topsoil mixture. lightly tamp and water to eliminate air pockets.

ensure that topsoil is not placed over the top of the rootball, so that the plant stem is the same height as in the container. Thoroughly water plants before planting and immediately after planting. In planting beds and individual plantings, place slow release fertiliser pellets around plants at the time of planting at the rate recommended by the manufacturer.

MULCHING

All garden bed areas are to be mulched to 75mm depth with same or similar to Forest Blend. Provide mulch/gravel which is free of deleterious and extraneous matter such as stones, soil, weeds and sticks. Place mulch/gravel clear of plant stems, and rake to an even surface flush with the surrounding finished levels.

FERTILISER

Fertiliser is to be slow release fertiliser equivalent to "Osmocote" and is to be applied at manufacturer's specified rates.

DRAINAGE

Ensure adequate drainage to all garden beds, gravel and lawn areas. Install 100mm agricultural pipe with sock as required in garden beds and behind all retaining walls. Agricultural pipes to drain to junction pits and connect to stormwater system. Ensure paved areas are free draining. Install pits if required. (Refer to Hydraulic Engineering).

RETAINING WALLS

Retaining walls to be constructed as per Engineer's details.

CONCRETE WORKS

All paths, steps, slabs and footings shall be to Engineer's specification. Materials and construction to AS3600 and AS3610. Supply and install ready mixed concrete to AS1379 with selected aggregate. Ensure all appropriate PVC conduits for garden lighting and irrigation systems are placed before concrete and paving installation.

MAINTENANCE

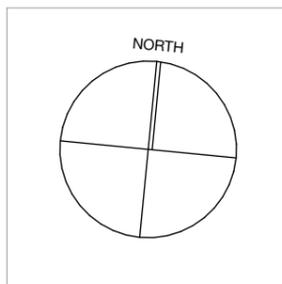
Throughout the planting establishment period (minimum 12 weeks), carry out maintenance work including watering, mowing, weeding, rubbish removal, fertilising, pest and disease control, reseeding, returfing, staking and tying, replanting, cultivating, pruning, hedges clipping, aerating, reinstatement of mulch, renovating, top dressing and keeping the site neat and tidy. Continue to replace failed, damaged or stolen plants.

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	DENOTES PROPOSED NEW STRUCTURE
	DENOTES AREA OF SOFT LANDSCAPING
	DENOTES AREA OF SWIMMING POOL
	DENOTES EXISTING STRUCTURE TO BE DEMOLISHED

PROJECT:
NEW RESIDENTIAL DWELLING INCLUDING SWIMMING POOL AND ASSOCIATED LANDSCAPING

CLIENT:
DAN & DANIELLE DE GAIL

LOCATION:
24 BEACH ROAD, COLLARROY, NSW

PROJECT STAGE:
DEVELOPMENT APPLICATION

DRAWING TITLE:
SITE STRATEGY PLANS: LANDSCAPE CONCEPT PLANS

SCALE:
1:200 @ A3

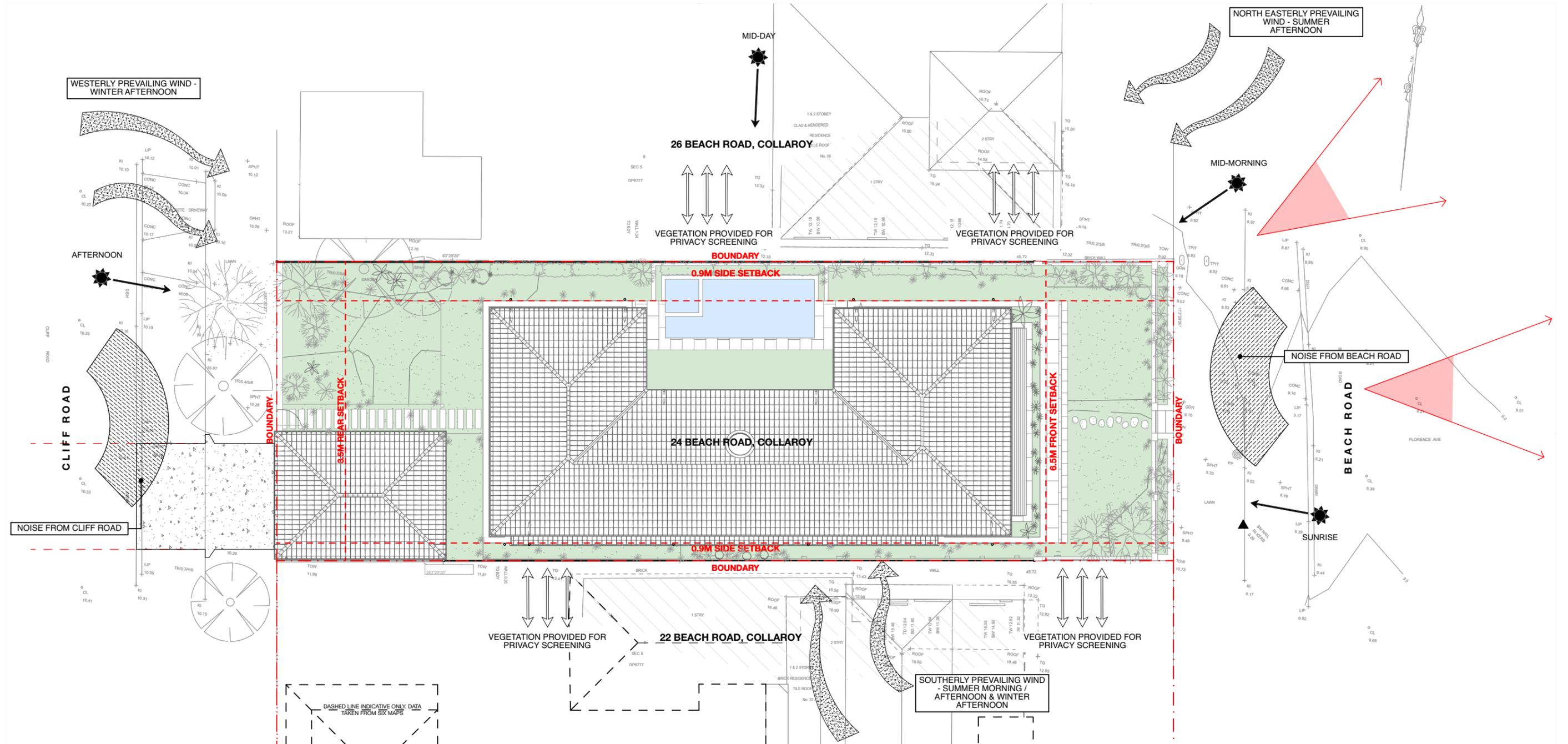
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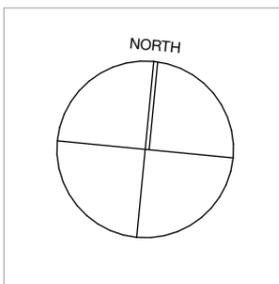
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SITE ANALYSIS PLAN A3 @1:200

SITE ANALYSIS LEGEND	
ID	DESCRIPTION
	PRIVACY VIEW
	SUN DIRECTION / SOLAR ACCESS
	DIRECTION OF DESIRABLE VIEWS
	DIRECTION OF PREVAILING WINDS
	NOISE SOURCE

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LOCATION:
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PROJECT STAGE:
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DRAWING TITLE:
 SITE STRATEGY PLANS: SITE ANALYSIS PLANS

SCALE:
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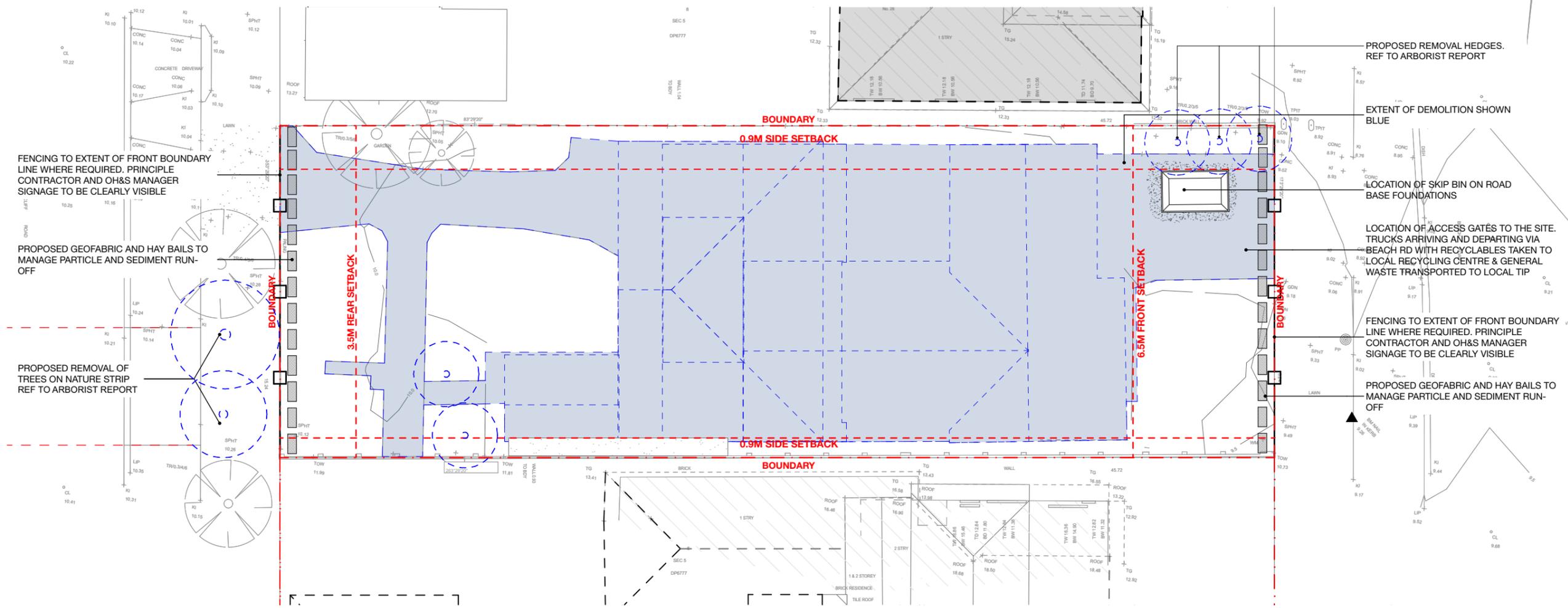
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SEDIMENT CONTROL & EROSION PLAN A3 @1:200

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ID	DESCRIPTION
1	HAY BAIL AND GEOFABRIC
2	SKIP BIN ON ROAD BASE FOUNDATIONS
3	SECURE SITE FENCING
4	EXTENT OF DEMOLITION
5	EXTENT OF EXCAVATION

KEY:	DESCRIPTION
	DENOTES EXISTING STRUCTURE TO BE RETAINED
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CLIENT: DAN & DANIELLE DE GAIL
LOCATION: 24 BEACH ROAD, COLLARROY, NSW

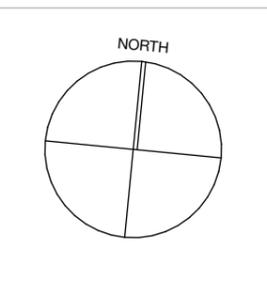
PROJECT STAGE: DEVELOPMENT APPLICATION
DRAWING TITLE: SITE STRATEGY PLANS: WASTE MANAGEMENT, EROSION & SEDIMENT CONTROL PLAN
SCALE: 1:200 @ A3

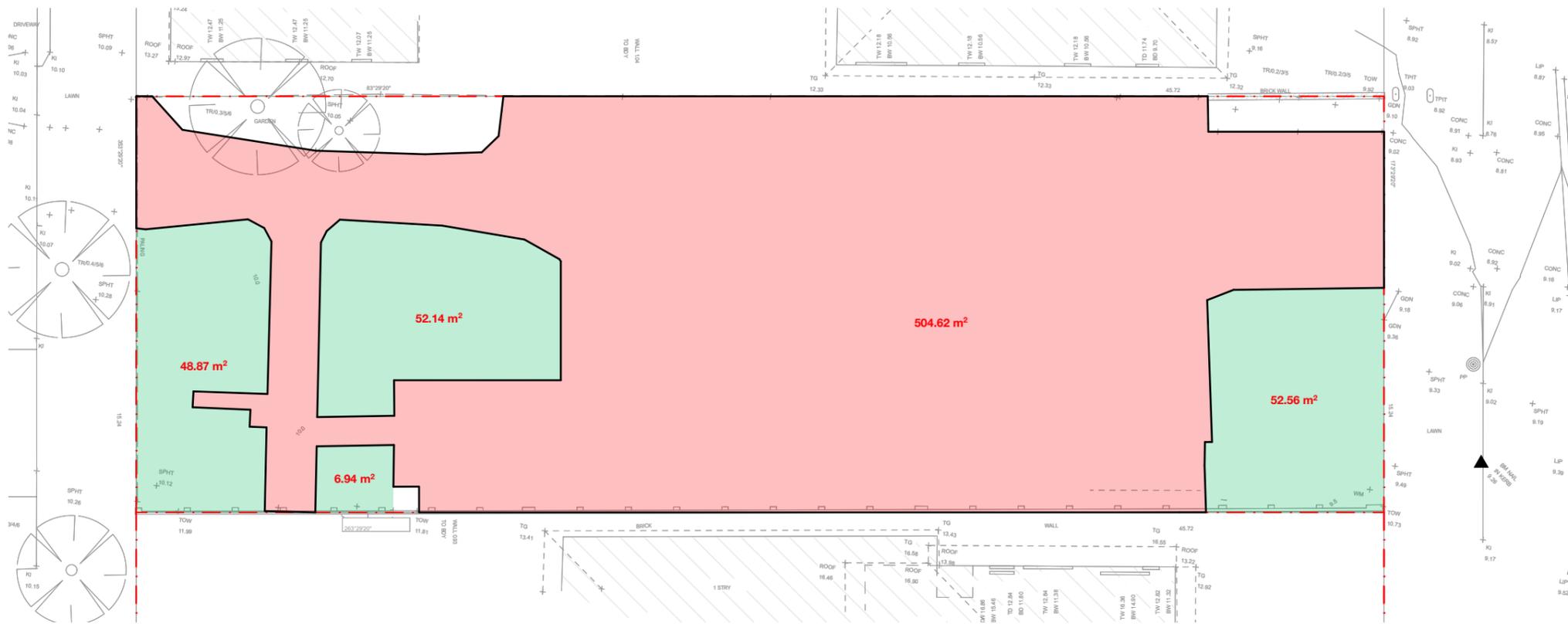
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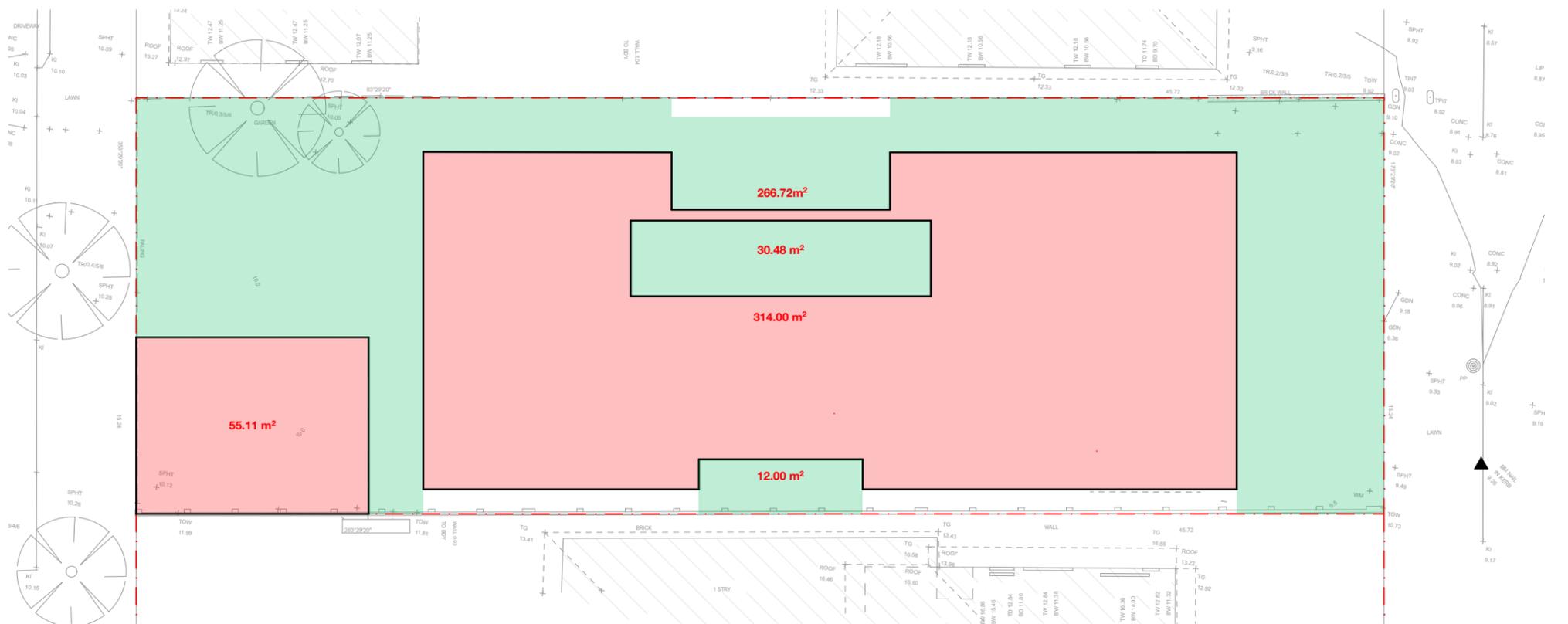




EXISTING SOFT VS HARD SURFACE AREA A3 @1:200

SOFT AND HARD LANDSCAPE LEGEND	
ID	DESCRIPTION
	PROPOSED LANDSCAPED OPEN SPACE
	PROPOSED HARD SURFACE AREA

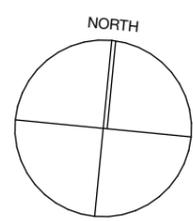
PROPOSED LANDSCAPE CALCULATIONS	
TOTAL SITE	696.8m ²
HARD SURFACE	504.62m ² or 72.42%
LANDSCAPED OPEN SPACE	160.51m ² or 23.04%
UNCALC. SOFT LANDSCAPE	31.67m ² or 4.54%



PROPOSED SOFT VS HARD SURFACE AREA A3 @1:200

PROPOSED LANDSCAPE CALCULATIONS	
TOTAL SITE	696.8m ²
HARD SURFACE	369.11m ² or 52.97%
LANDSCAPED OPEN SPACE	309.20m ² or 44.37%
UNCALC. SOFT LANDSCAPE	18.49m ² or 2.66%

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CLIENT:
 DAN & DANIELLE DE GAIL

LOCATION:
 24 BEACH ROAD, COLLARROY, NSW

PROJECT STAGE:
 DEVELOPMENT APPLICATION

DRAWING TITLE:
 SITE STRATEGY PLANS: HARD & SOFT LANDSCAPE CALCULATIONS

SCALE:
 1:200 @ A3

DATE OF ISSUE:
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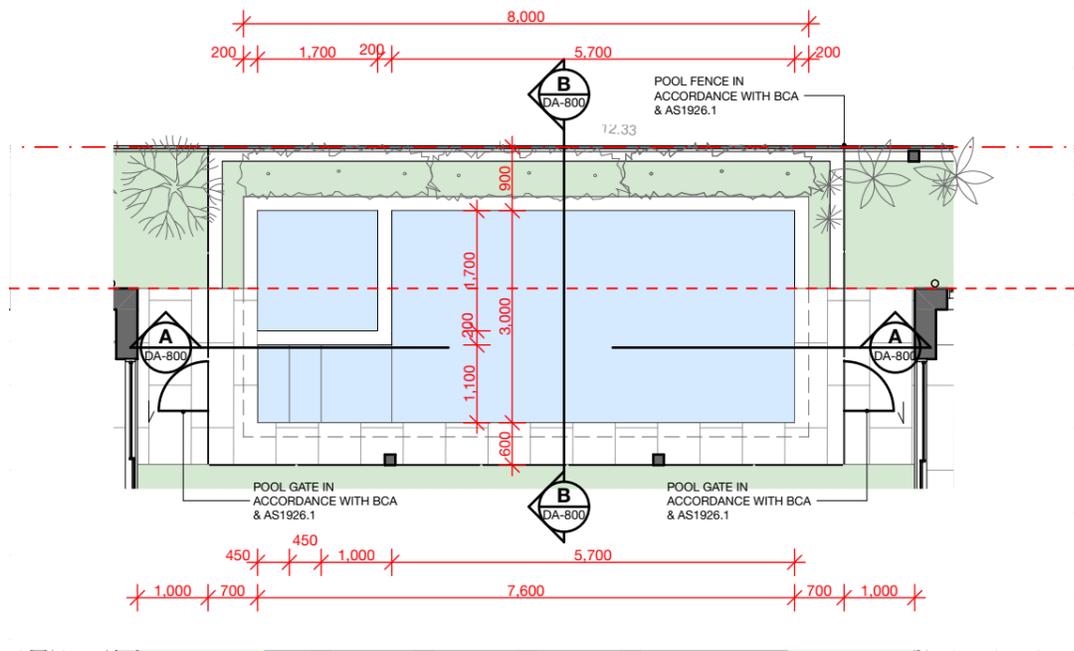
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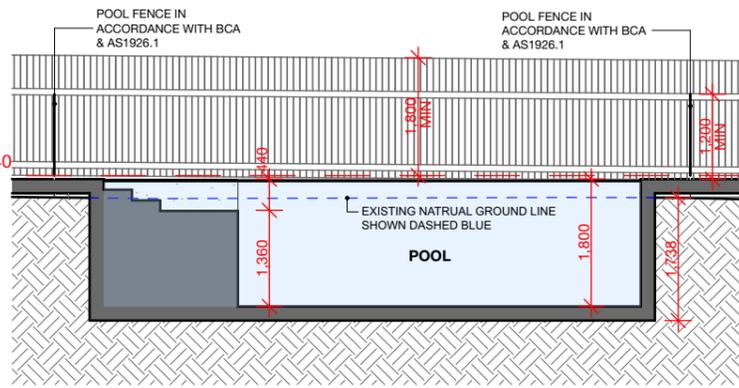
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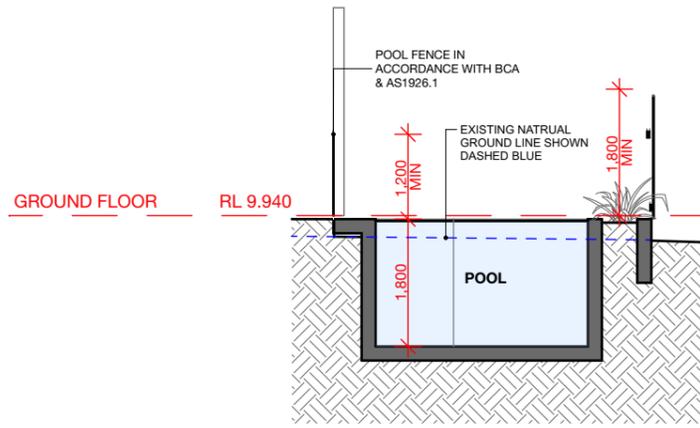
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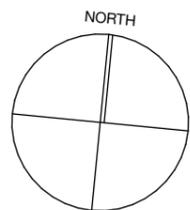
POOL PLAN A3 @1:100



POOL SECTION A A3 @1:100



POOL SECTION B A3 @1:100



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 NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS

- KEY:**
- DENOTES EXISTING STRUCTURE TO BE RETAINED
 - DENOTES PROPOSED NEW STRUCTURE
 - DENOTES AREA OF SOFT LANDSCAPING
 - DENOTES AREA OF SWIMMING POOL
 - DENOTES EXISTING STRUCTURE TO BE DEMOLISHED

PROJECT:
 NEW RESIDENTIAL DWELLING INCLUDING SWIMMING POOL AND ASSOCIATED LANDSCAPING

CLIENT:
 DAN & DANIELLE DE GAIL

LOCATION:
 24 BEACH ROAD,
 COLLAROY, NSW

PROJECT STAGE:
 DEVELOPMENT APPLICATION

DRAWING TITLE:
 POOL DETAILS: SHEET 01

SCALE:
 1:100 @ A3

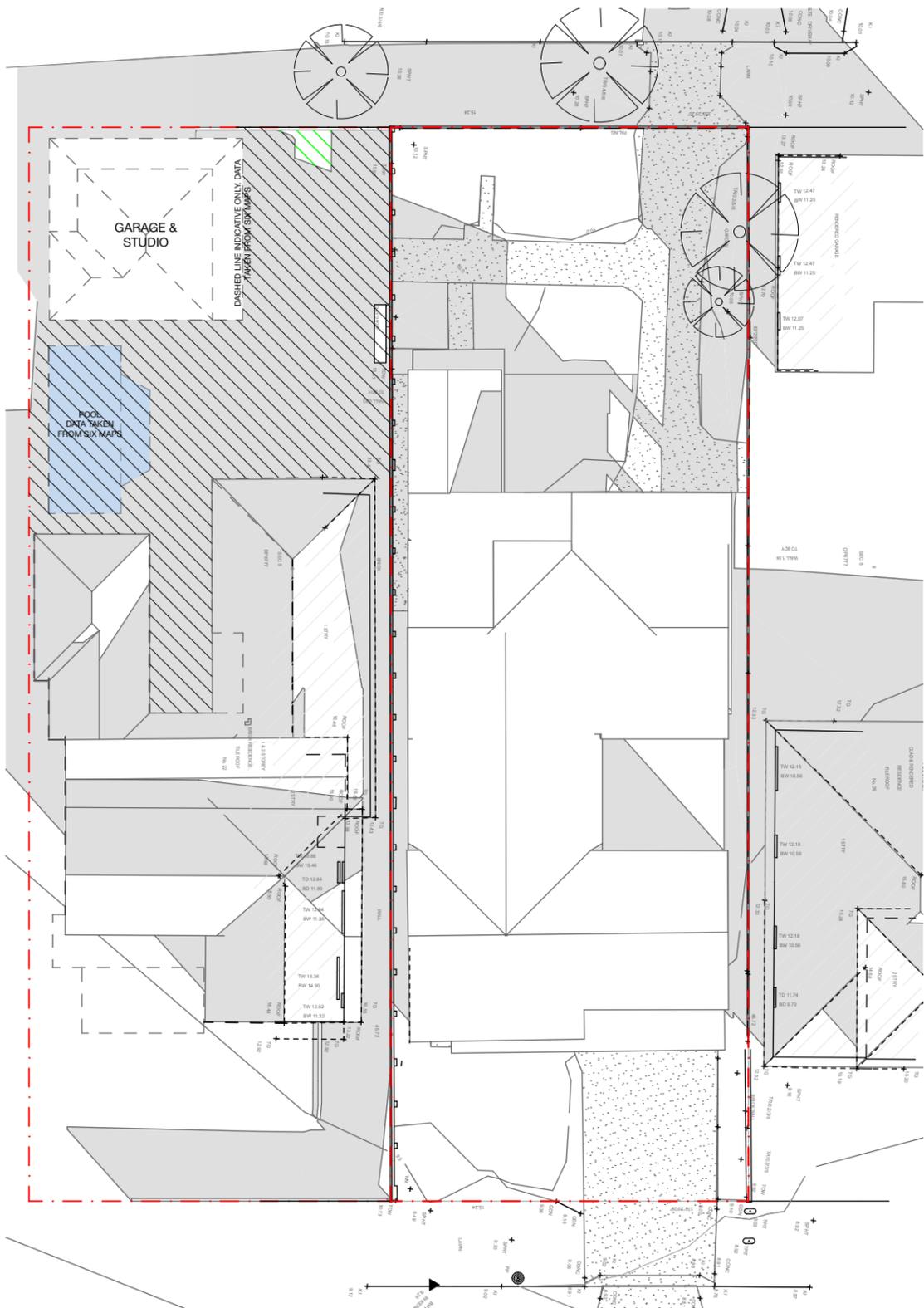
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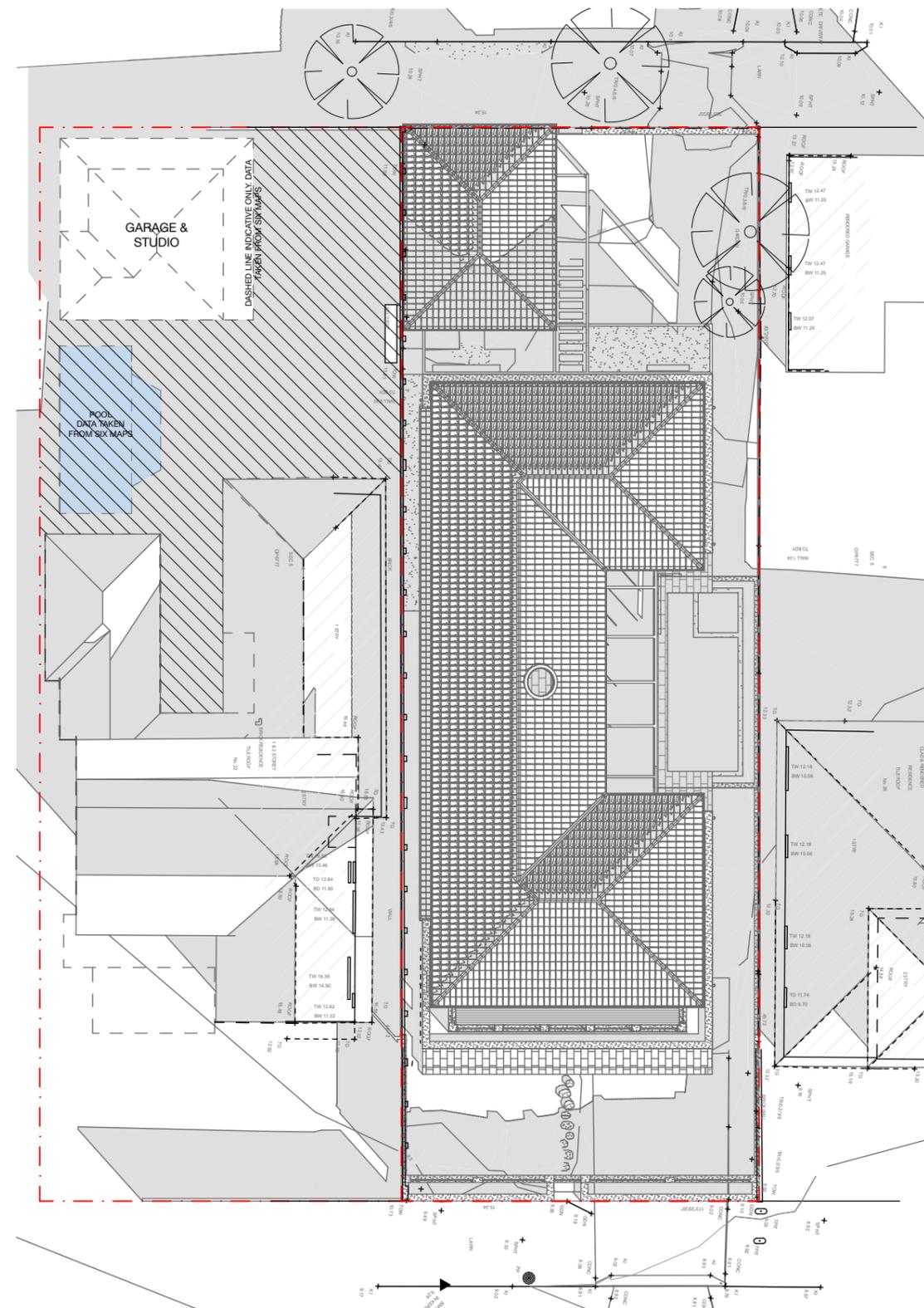
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EXISTING SHADOWS - JUNE 21 AT 9AM A3 @1:250

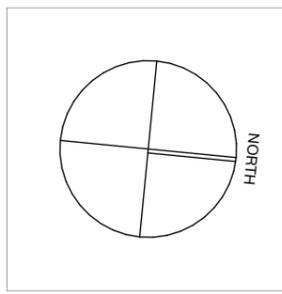


PROPOSED SHADOWS - JUNE 21 AT 9AM A3 @1:250

SHADOW LEGEND	
ID	DESCRIPTION
[Solid Grey Box]	SHADOW
[Diagonal Hatching Box]	NEIGHBOURING OPEN SPACE IN SHADOW
[Green Diagonal Hatching Box]	NEIGHBOURING OPEN SPACE UNAFFECTED

NOTE: SHADOWS FROM EXISTING TREES NOT SHOWN

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 NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS

KEY:	
[Solid Black Box]	DENOTES EXISTING STRUCTURE TO BE RETAINED
[Solid Grey Box]	DENOTES PROPOSED NEW STRUCTURE
[Green Diagonal Hatching Box]	DENOTES AREA OF SOFT LANDSCAPING
[Blue Diagonal Hatching Box]	DENOTES AREA OF SWIMMING POOL
[Dashed Blue Box]	DENOTES EXISTING STRUCTURE TO BE DEMOLISHED

PROJECT:
 NEW RESIDENTIAL DWELLING INCLUDING SWIMMING POOL AND ASSOCIATED LANDSCAPING

CLIENT:
 DAN & DANIELLE DE GAIL

LOCATION:
 24 BEACH ROAD, COLLARROY, NSW

PROJECT STAGE:
 DEVELOPMENT APPLICATION

DRAWING TITLE:
 SHADOW DIAGRAMS: SHADOW DIAGRAM 9am

SCALE:
 1:250 @ A3

DATE OF ISSUE:
 11/10/2024

DRAWING NO.
 DA-900

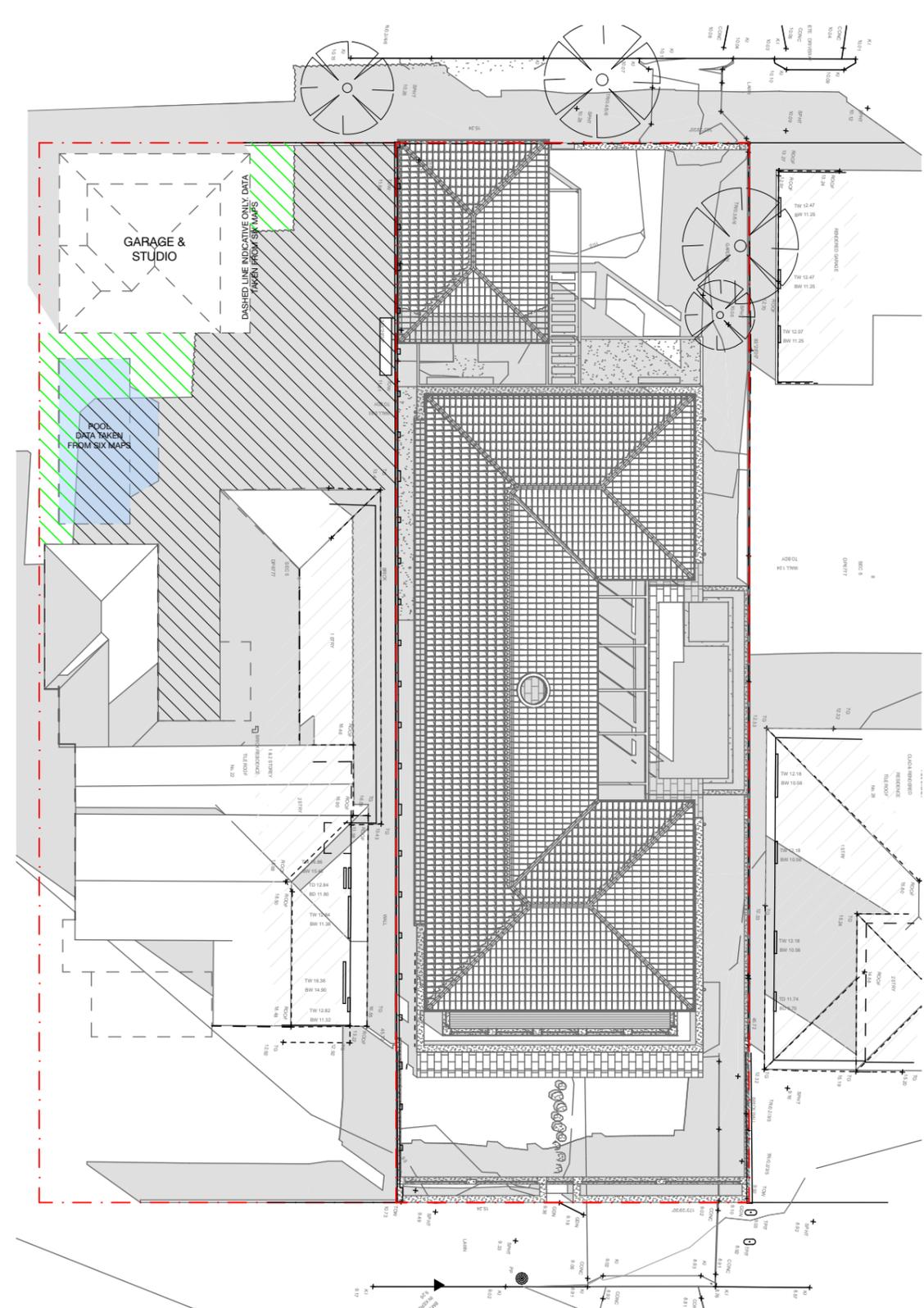
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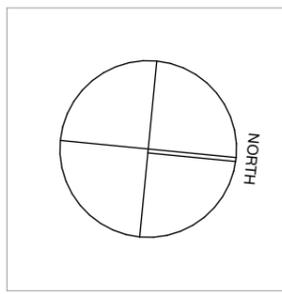


PROPOSED SHADOWS - JUNE 21 AT 10AM A3 @1:250

SHADOW LEGEND	
ID	DESCRIPTION
[Solid Grey Box]	SHADOW
[Diagonal Hatching Box]	NEIGHBOURING OPEN SPACE IN SHADOW
[Green Diagonal Hatching Box]	NEIGHBOURING OPEN SPACE UNAFFECTED

NOTE: SHADOWS FROM EXISTING TREES NOT SHOWN

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KEY:

[Solid Black Box]	DENOTES EXISTING STRUCTURE TO BE RETAINED
[Solid Grey Box]	DENOTES PROPOSED NEW STRUCTURE
[Green Diagonal Hatching Box]	DENOTES AREA OF SOFT LANDSCAPING
[Blue Diagonal Hatching Box]	DENOTES AREA OF SWIMMING POOL
[Dashed Line]	DENOTES EXISTING STRUCTURE TO BE DEMOLISHED

PROJECT:
 NEW RESIDENTIAL DWELLING INCLUDING SWIMMING POOL AND ASSOCIATED LANDSCAPING

CLIENT:
 DAN & DANIELLE DE GAIL

LOCATION:
 24 BEACH ROAD, COLLARROY, NSW

PROJECT STAGE:
 DEVELOPMENT APPLICATION

DRAWING TITLE:
 SHADOW DIAGRAMS: SHADOW DIAGRAM 10AM

SCALE:
 1:250 @ A3

DATE OF ISSUE:
 11/10/2024

DRAWING NO.
 DA-901

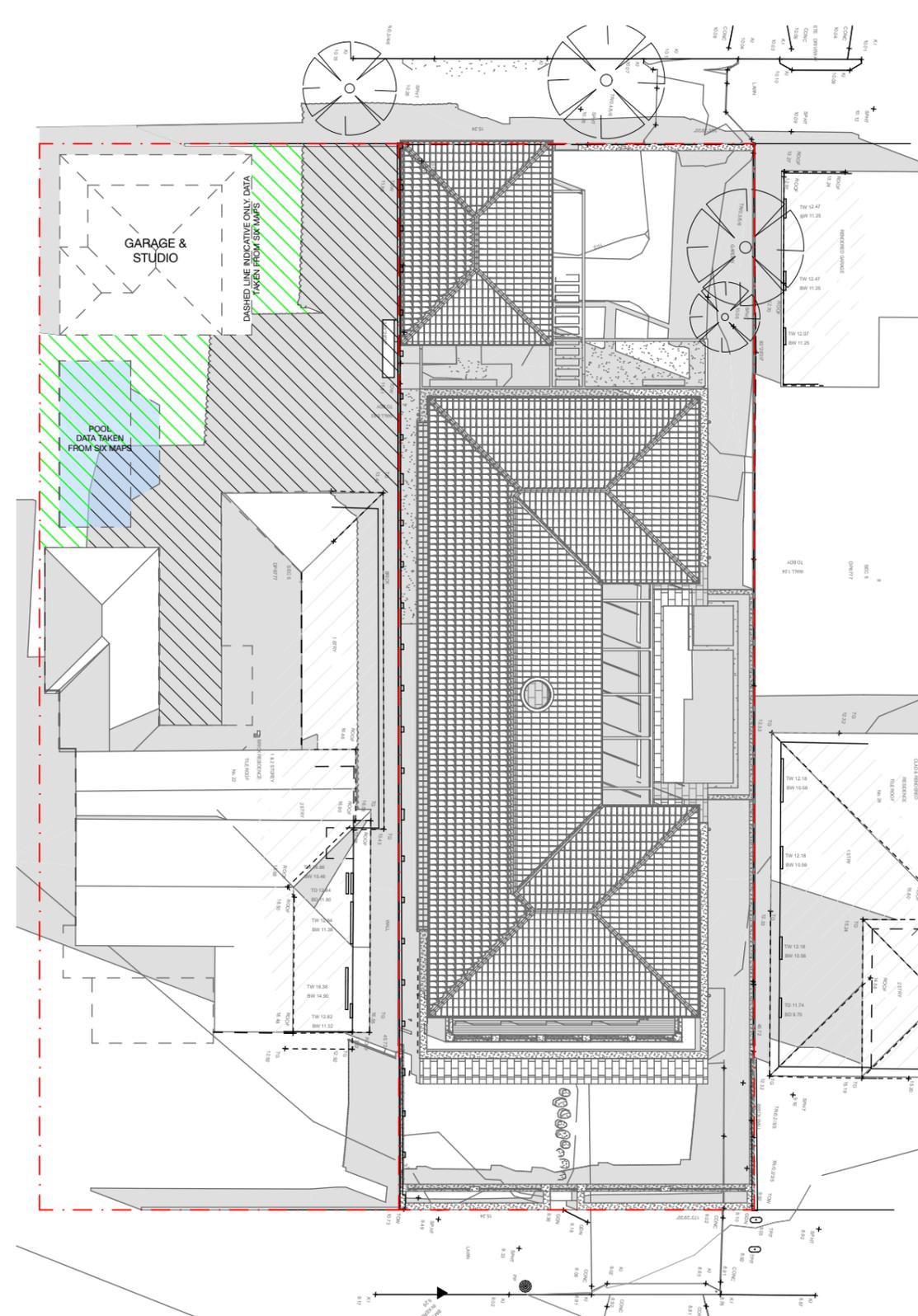
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EXISTING SHADOWS - JUNE 21 AT 11AM A3 @1:250

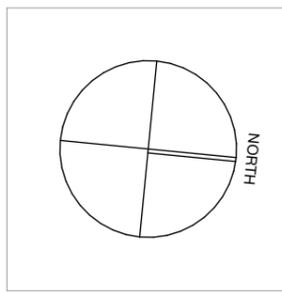


PROPOSED SHADOWS - JUNE 21 AT 11AM A3 @1:250

SHADOW LEGEND	
ID	DESCRIPTION
[Solid Grey Box]	SHADOW
[Diagonal Hatched Box]	NEIGHBOURING OPEN SPACE IN SHADOW
[Green Hatched Box]	NEIGHBOURING OPEN SPACE UNAFFECTED

NOTE: SHADOWS FROM EXISTING TREES NOT SHOWN

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 NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS

KEY:

[Solid Black Box]	DENOTES EXISTING STRUCTURE TO BE RETAINED
[Diagonal Hatched Box]	DENOTES PROPOSED NEW STRUCTURE
[Green Hatched Box]	DENOTES AREA OF SOFT LANDSCAPING
[Blue Hatched Box]	DENOTES AREA OF SWIMMING POOL
[Dashed Line]	DENOTES EXISTING STRUCTURE TO BE DEMOLISHED

PROJECT:
 NEW RESIDENTIAL DWELLING INCLUDING SWIMMING POOL AND ASSOCIATED LANDSCAPING

CLIENT:
 DAN & DANIELLE DE GAIL

LOCATION:
 24 BEACH ROAD, COLLARROY, NSW

PROJECT STAGE:
 DEVELOPMENT APPLICATION

DRAWING TITLE:
 SHADOW DIAGRAMS: SHADOW DIAGRAM 11AM

SCALE:
 1:250 @ A3

DATE OF ISSUE:
 11/10/2024

DRAWING NO.
 DA-902

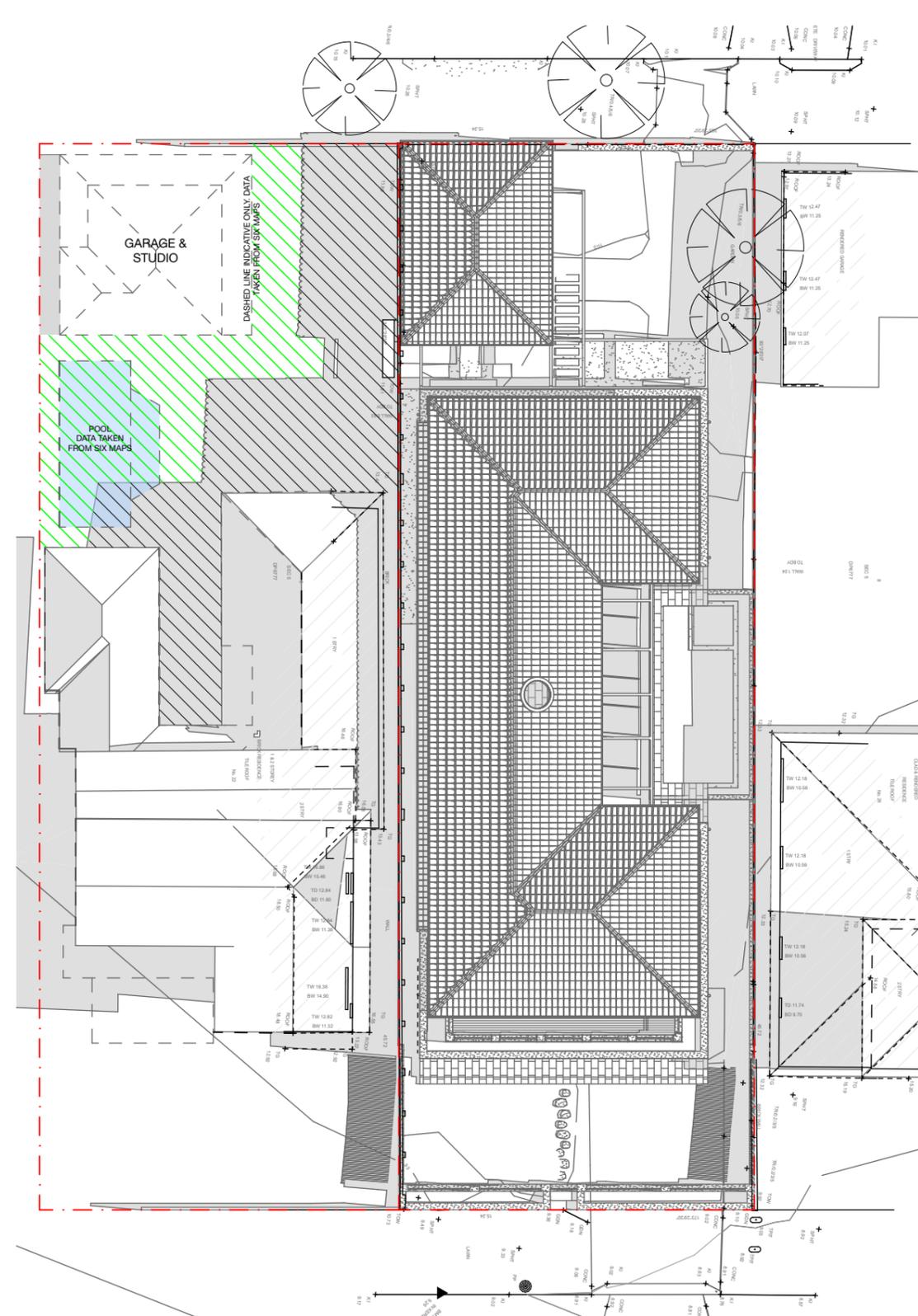
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EXISTING SHADOWS - JUNE 21 AT 12PM A3 @1:250

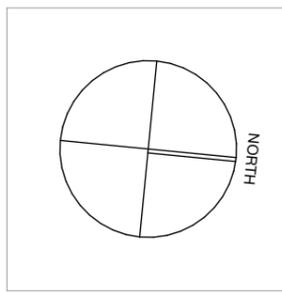


PROPOSED SHADOWS - JUNE 21 AT 12PM A3 @1:250

SHADOW LEGEND	
ID	DESCRIPTION
[Solid Grey Box]	SHADOW
[Diagonal Hatching Box]	NEIGHBOURING OPEN SPACE IN SHADOW
[Green Diagonal Hatching Box]	NEIGHBOURING OPEN SPACE UNAFFECTED

NOTE: SHADOWS FROM EXISTING TREES NOT SHOWN

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 NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS

KEY:

[Solid Black Box]	DENOTES EXISTING STRUCTURE TO BE RETAINED
[Solid Grey Box]	DENOTES PROPOSED NEW STRUCTURE
[Green Diagonal Hatching Box]	DENOTES AREA OF SOFT LANDSCAPING
[Blue Diagonal Hatching Box]	DENOTES AREA OF SWIMMING POOL
[Dashed Line]	DENOTES EXISTING STRUCTURE TO BE DEMOLISHED

PROJECT:
 NEW RESIDENTIAL DWELLING INCLUDING SWIMMING POOL AND ASSOCIATED LANDSCAPING

CLIENT:
 DAN & DANIELLE DE GAIL

LOCATION:
 24 BEACH ROAD, COLLARROY, NSW

PROJECT STAGE:
 DEVELOPMENT APPLICATION

DRAWING TITLE:
 SHADOW DIAGRAMS: SHADOW DIAGRAM 12pm

SCALE:
 1:250 @ A3

DATE OF ISSUE:
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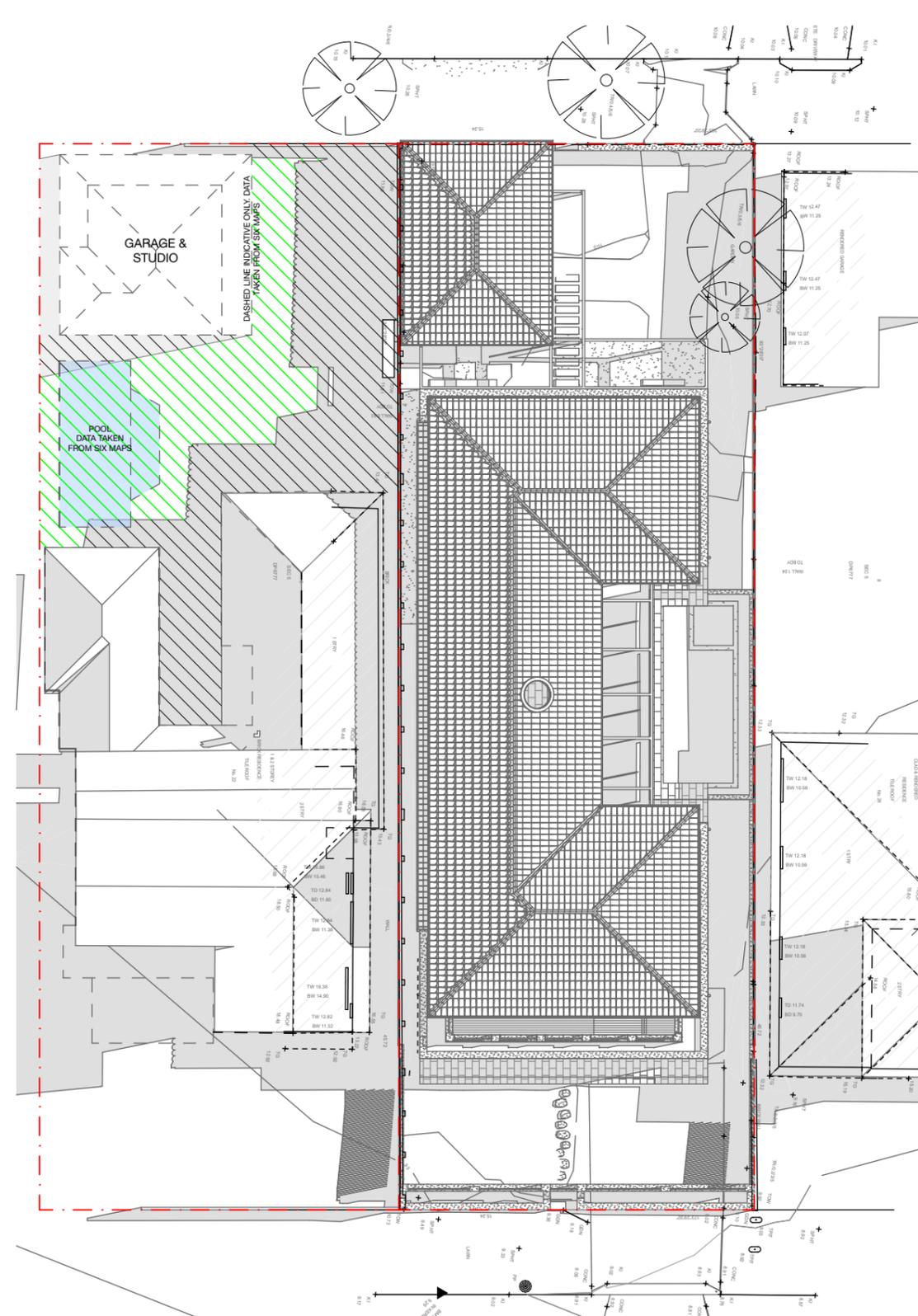
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EXISTING SHADOWS - JUNE 21 AT 1PM A3 @1:250

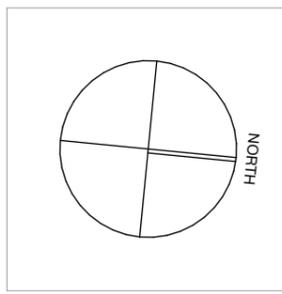


PROPOSED SHADOWS - JUNE 21 AT 1PM A3 @1:250

SHADOW LEGEND	
ID	DESCRIPTION
[Solid Grey Box]	SHADOW
[Diagonal Hatching Box]	NEIGHBOURING OPEN SPACE IN SHADOW
[Green Diagonal Hatching Box]	NEIGHBOURING OPEN SPACE UNAFFECTED

NOTE: SHADOWS FROM EXISTING TREES NOT SHOWN

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KEY:

[Solid Black Box]	DENOTES EXISTING STRUCTURE TO BE RETAINED
[Solid Grey Box]	DENOTES PROPOSED NEW STRUCTURE
[Green Diagonal Hatching Box]	DENOTES AREA OF SOFT LANDSCAPING
[Blue Diagonal Hatching Box]	DENOTES AREA OF SWIMMING POOL
[Dashed Line]	DENOTES EXISTING STRUCTURE TO BE DEMOLISHED

PROJECT:
 NEW RESIDENTIAL DWELLING INCLUDING SWIMMING POOL AND ASSOCIATED LANDSCAPING

CLIENT:
 DAN & DANIELLE DE GAIL

LOCATION:
 24 BEACH ROAD, COLLARROY, NSW

PROJECT STAGE:
 DEVELOPMENT APPLICATION

DRAWING TITLE:
 SHADOW DIAGRAMS: SHADOW DIAGRAM 1pm

SCALE:
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DATE OF ISSUE:
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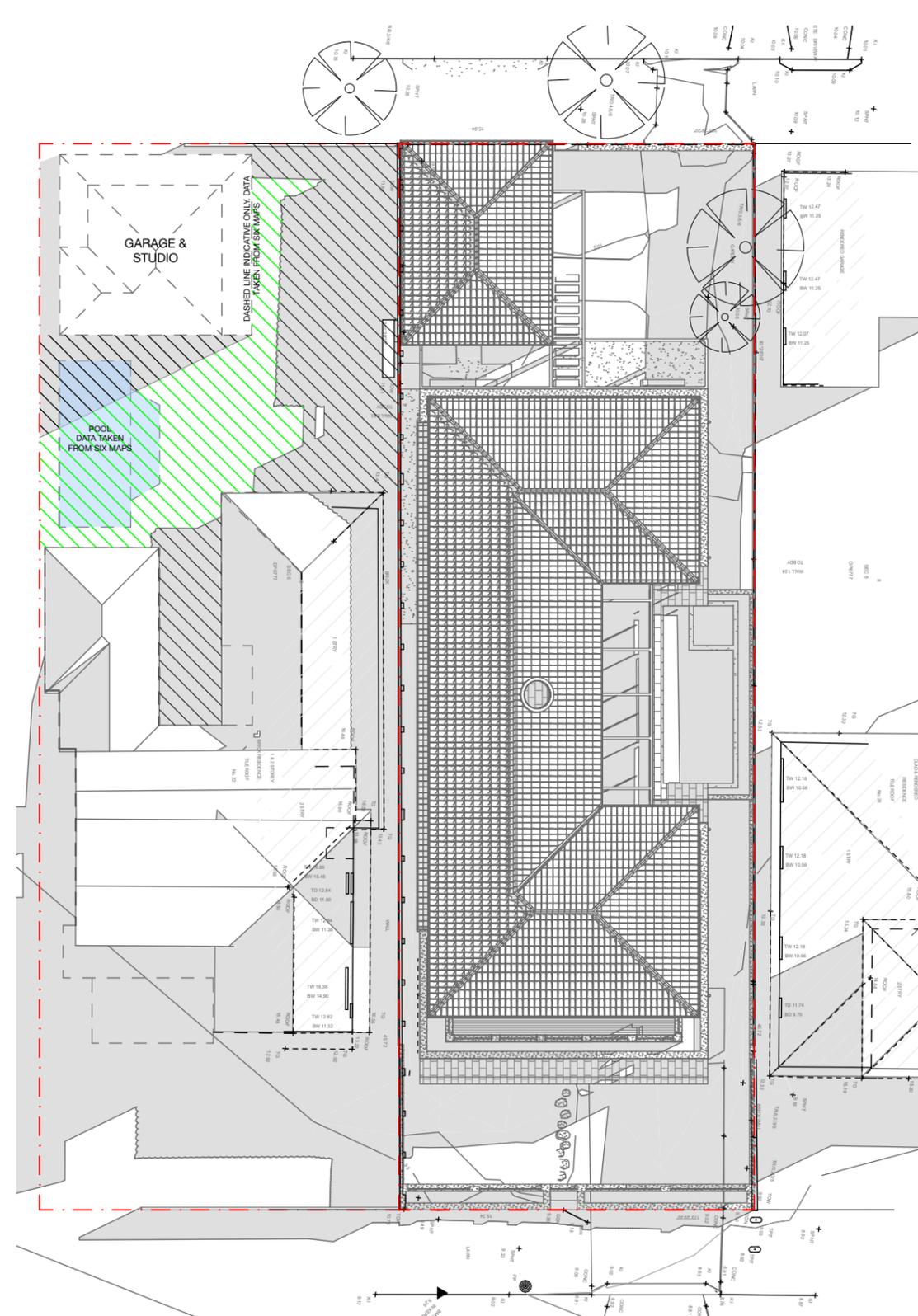
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EXISTING SHADOWS - JUNE 21 AT 2PM A3 @1:250

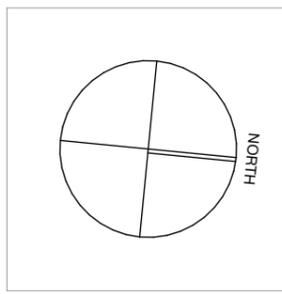


PROPOSED SHADOWS - JUNE 21 AT 2PM A3 @1:250

SHADOW LEGEND	
ID	DESCRIPTION
[Solid Grey Box]	SHADOW
[Diagonal Line Box]	NEIGHBOURING OPEN SPACE IN SHADOW
[Green Hatched Box]	NEIGHBOURING OPEN SPACE UNAFFECTED

NOTE: SHADOWS FROM EXISTING TREES NOT SHOWN

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KEY:	
[Solid Black Box]	DENOTES EXISTING STRUCTURE TO BE RETAINED
[Solid Grey Box]	DENOTES PROPOSED NEW STRUCTURE
[Green Hatched Box]	DENOTES AREA OF SOFT LANDSCAPING
[Blue Hatched Box]	DENOTES AREA OF SWIMMING POOL
[Dashed Line Box]	DENOTES EXISTING STRUCTURE TO BE DEMOLISHED

PROJECT:
 NEW RESIDENTIAL DWELLING INCLUDING SWIMMING POOL AND ASSOCIATED LANDSCAPING

CLIENT:
 DAN & DANIELLE DE GAIL

LOCATION:
 24 BEACH ROAD, COLLARROY, NSW

PROJECT STAGE:
 DEVELOPMENT APPLICATION

DRAWING TITLE:
 SHADOW DIAGRAMS: SHADOW DIAGRAM 2pm

SCALE:
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DATE OF ISSUE:
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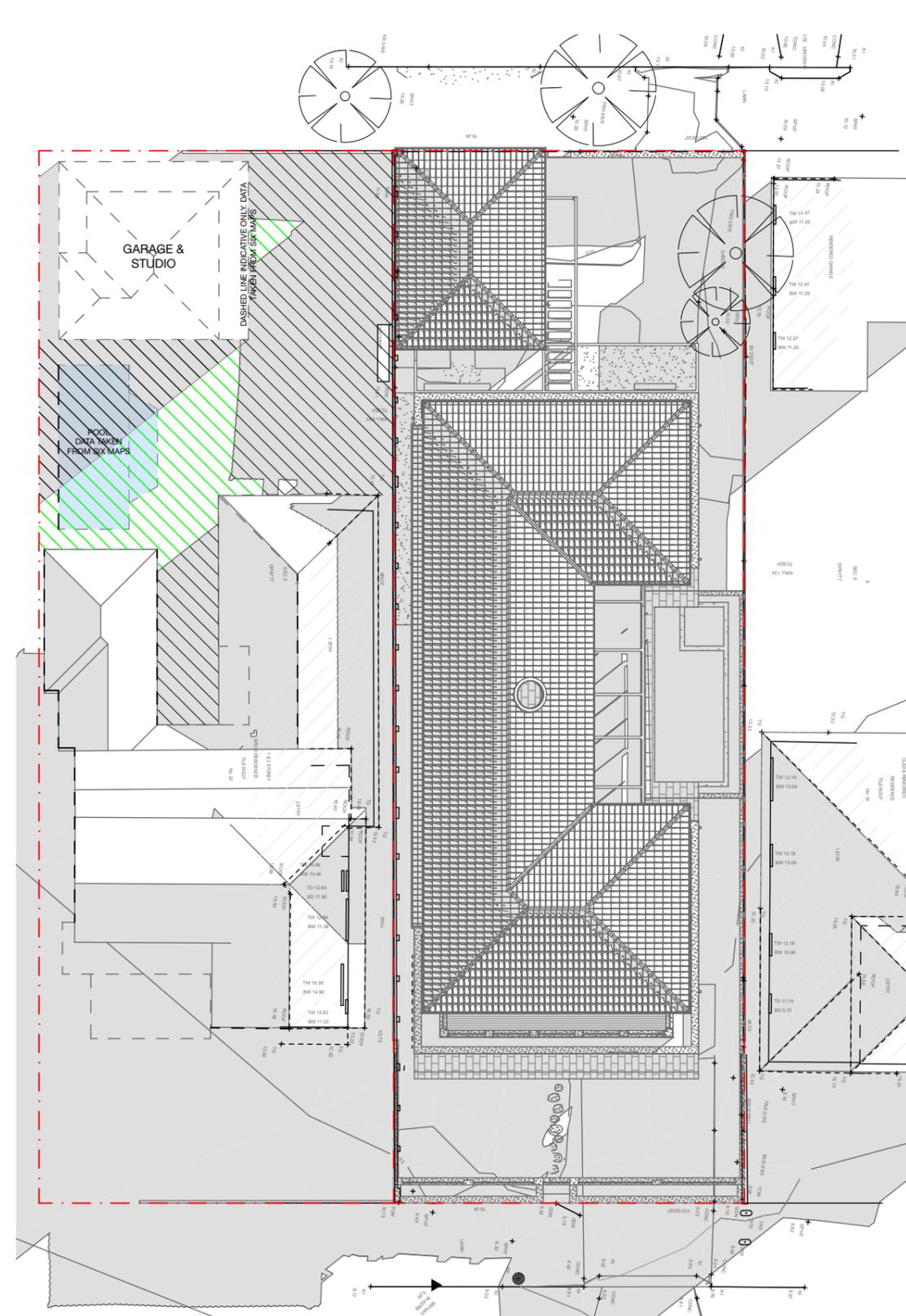
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EXISTING SHADOWS - JUNE 21 AT 3PM A3 @1:250

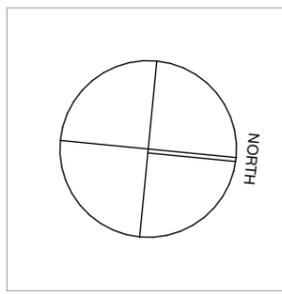


PROPOSED SHADOWS - JUNE 21 AT 3PM A3 @1:250

SHADOW LEGEND	
ID	DESCRIPTION
[Solid Grey Box]	SHADOW
[Diagonal Hatching Box]	NEIGHBOURING OPEN SPACE IN SHADOW
[Green Diagonal Hatching Box]	NEIGHBOURING OPEN SPACE UNAFFECTED

NOTE: SHADOWS FROM EXISTING TREES NOT SHOWN

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 Accreditation No. 13/1547
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KEY:	
[Solid Black Box]	DENOTES EXISTING STRUCTURE TO BE RETAINED
[Solid Grey Box]	DENOTES PROPOSED NEW STRUCTURE
[Green Diagonal Hatching Box]	DENOTES AREA OF SOFT LANDSCAPING
[Blue Diagonal Hatching Box]	DENOTES AREA OF SWIMMING POOL
[Dashed Line]	DENOTES EXISTING STRUCTURE TO BE DEMOLISHED

PROJECT:
 NEW RESIDENTIAL DWELLING INCLUDING SWIMMING POOL AND ASSOCIATED LANDSCAPING

CLIENT:
 DAN & DANIELLE DE GAIL

LOCATION:
 24 BEACH ROAD, COLLARROY, NSW

PROJECT STAGE:
 DEVELOPMENT APPLICATION

DRAWING TITLE:
 SHADOW DIAGRAMS: SHADOW DIAGRAM 3pm

SCALE:
 1:250 @ A3

DATE OF ISSUE:
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