

NORTHERN BEACHES
BASED ON
WARRINGAH DCP 2011

SITE AREA:696.7 SQM

PROPOSED ROOF COVERAGE

ROOF COVERAGE AREA:302.56 SQM

LANDSCAPED AREA

TOTAL LANDSCAPED AREA:317.10 SQM

EXCL. ALL HARD SURFACES,
MINIMUM DIMENSION OF 2M45.51%

MIN. REQUIRED BY COUNCIL:40 %

STORMWATER CALCULATION

HARD LANDSCAPE AREAS:356.03 SQM
(INCL. ROOF/DRIVEWAY/PATHS ETC)

SITE COVERAGE RATIO:51.1 %

MAX. ALLOWABLE SITE COVERAGE
PRIOR TO O.S.D. REQUIRED:40 %

PRIVATE OPEN SPACE

PRIVATE OPEN SPACE:214.16 SQM

MIN. REQUIRED BY COUNCIL:60 SQM
MINIMUM DIMENSION OF 5M

BUILDING ENVELOPE

PROVIDE 45 DEGREE PLANE
PROJECTED AT 5.0M HIGH ABOVE SIDE
BOUNDARY NATURAL GROUND LEVEL.

BUILDING HEIGHT RESTRICTION

MAXIMUM 8.5M RIDGE HEIGHT
MAXIMUM 7.2M CEILING HEIGHT
(F.F.L. MUST BE ACCURATE TO COMPLY)

MAXIMUM 1000 MM CUT
MAXIMUM 1000MM FILL

DEEP EDGE BEAM TO NATURAL GROUND
NO EXPOSED FILL PERMITTED

BUILDING ADJACENT SEWER

SEWER PEGOUT AND DETAILS REQUIRED

EXISTING TREES TO BE
LOPPED/REMOVED BY OWNER

TREE REMOVAL REQUIREMENTS:

SITE TO BE CLEARED BY OWNER OF ANY EXISTING
TREES AND/OR PRUNE TREES WHICH WILL EFFECT
THE BUILDING AREA PRIOR TO CONSTRUCTION

IT IS THE RESPONSIBILITY OF THE OWNER TO
OBTAIN SEPARATE COUNCIL APPROVAL IF REQUIRED

DEMOLITION REQUIREMENTS:

SITE TO BE CLEARED OF ALL EXISTING
STRUCTURES, LEVELLED AND ALL SERVICES
RELOCATED BY THE OWNER TO THE SATISFACTION
OF METRICON HOMES P/L.

SURVEYORS NOTES

A. THIS SURVEY IS SPECIFICALLY FOR CONTOUR
PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT
PROPERTY HAVE NOT BEEN INVESTIGATED AND THE
POSITION SHOWN IS APPROXIMATE ONLY.

B. AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY.

C. SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL
EVIDENCE APPARENT AT THE TIME OF SURVEY. THE
RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED
TO VERIFY THE EXISTENCE AND POSITION OF ALL
SERVICES PRIOR TO THE COMMENCEMENT OF ANY
CONSTRUCTION OR EXCAVATION.

D. CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY
ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES
TO BE RELIED ON FOR REDUCED LEVELS ON
PARTICULAR FEATURES.

NO. DIAMETER SPREAD HEIGHT

T1 0.1 2 4

T2 0.2 3 3

T3 0.1 2 3

T4 0.1 3 3

T5 0.2 3 5

T6 0.3 3 3

T7 0.3 4 4

T8 0.2 3 5

T9 0.1 2 3

T10 0.2 3 5

T11 0.1 2 4

T12 0.2 3 5

T13 0.1 3 4

T14 0.2 3 4

T15 0.3 5 5

T16 0.2 3 5

T17 0.3 3 6

DOOR SCHEDULE

NO. HEAD RL FLOOR RL

D1 95.96 93.87

WINDOW SCHEDULE

NO. HEAD RL SILL RL

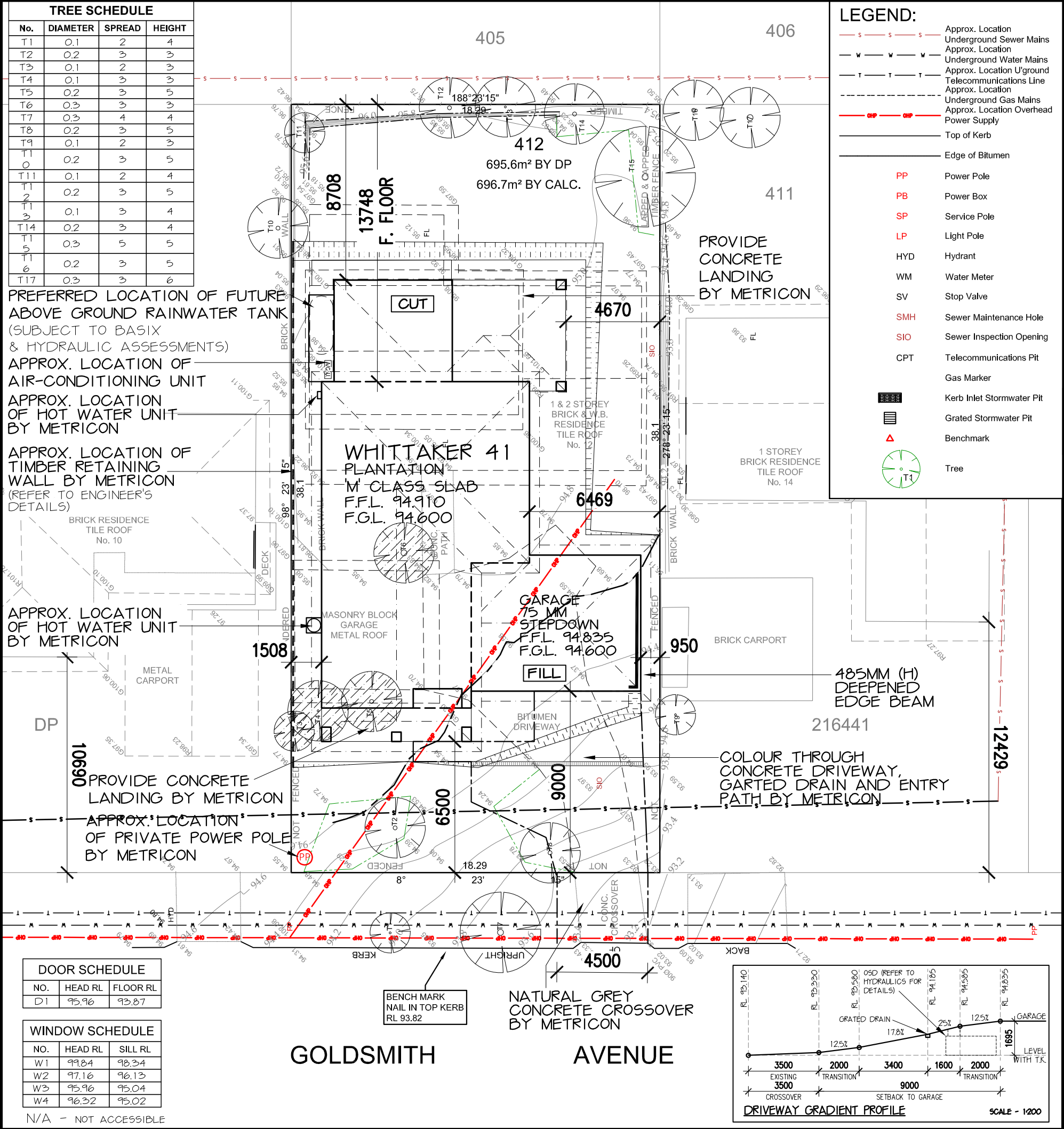
W1 99.84 98.34

W2 97.16 96.13

W3 95.96 95.04

W4 96.32 95.02

N/A - NOT ACCESSIBLE



LEGEND:

— s — s — s —

Approx. Location
Underground Sewer Mains

— w — w — w —

Approx. Location
Underground Water Mains

— t — t — t —

Approx. Location U'ground
Telecommunications Line

— — — — —

Approx. Location
Underground Gas Mains

— — — — —

Approx. Location Overhead
Power Supply

— — — — —

Top of Kerb

— — — — —

Edge of Bitumen

PP

Power Pole

PB

Power Box

SP

Service Pole

LP

Light Pole

HYD

Hydrant

WM

Water Meter

SV

Stop Valve

SMH

Sewer Maintenance Hole

SIO

Sewer Inspection Opening

CPT

Telecommunications Pit

Gas Marker

Kerb Inlet Stormwater Pit

Grated Stormwater Pit

Benchmark

Tree

NORTH

LOT NO:
412

DEPOSITED PLAN:
216441

COUNCIL / LGA:
NORTHERN BEACHES

SLAB CLASS:
M

WIND SPEED:
N1

MGA

EXCAVATION NOTES:
50MM (+/-) TOLERANCE TO NOMINATED RL'S

EXCAVATE APPROX. 550MM ON RL. 94.600
AND RETAIN FILL WITH DEEP EDGE BEAM

EXCAVATIONS ARE TO START A MINIMUM OF
1000MM FROM THE EDGE OF THE BUILDING
AND ARE TO BE BATTERED BACK TO SUIT

IT IS THE RESPONSIBILITY OF THE
OWNER TO PROVIDE A GRATED DRAIN
ACROSS GARAGE OPENINGS (IF REQUIRED)
DUE TO CONSTRUCTION OF DRIVEWAY

IMPORTANT NOTES:
SITE CUTS ARE SUBJECT TO COUNCIL APPROVAL
& NOT TO BE USED BY ANY OTHER CONTRACTORS
OTHER THAN METRICON HOMES PTY LTD

STORMWATER TO DRAIN TO
STREET VIA ON-SITE DETENTION
AND RAINWATER TANK(S)
REFER TO HYDRAULIC ENGINEER'S DETAILS

TEMPORARY SITE FENCING:
METRICON TO PROVIDE FENCING
TO ANY UNFENCED BOUNDARIES
(AS REQUIRED)

ALL WEATHER ACCESS:
METRICON TO SUPPLY UP TO 5M SUITABLE
ALL WEATHER ACCESS TO BUILDING
PLATFORM DURING CONSTRUCTION

SURVEY LEGEND

GULLY PIT

HYD HYDRANT

SIP SURFACE INLET PIT

SIO SEWER INSPECTION COVER

SMH SEWER MANHOLE

W/M WATER METER

E/L ELECTRICITY BOX

SMH STORMWATER MANHOLE

TELSTRA PIT

SEWER LINE

VEHICLE CROSSING

STOP VALVE

DEEP EDGE BEAM

GAS METER

LIGHT POLE

INVERT

TOP OF KERB

KERB OUTLET

INTRAX SURVEY DATE: 18.09.19

CONTOUR INTERVALS: 200MM

LEVELS TO: AHD

SITE PLAN

m

metricon

Build E. Level 4, 32 Lexington Dr, Baulkham Hills NSW 2163
P.O. Box 7510, Norwest Business Park NSW 2163
Tel: 02 8887 9000 Fax: 02 8079 5901
Contractor Licence No: 174 699
A.C.N. 005 108 752 www.metricon.com.au

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MR CHO

LOT 412 NO.12 GOLDSMITH AVENUE,
KILLARNEY HEIGHTS

JOB No: 704765

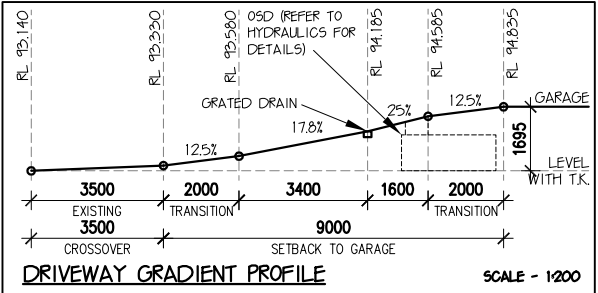
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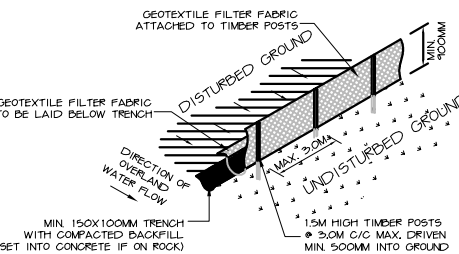
SHEET: 1 OF 11

UBD REF: SYD XX XX



SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED REGULARLY BY THE SITE MANAGER.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEP DAILY.
6. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) BETWEEN POST AT 3.0M CENTRES. FABRIC SHALL BE BURIED 150MM ALONG ITS LOWER EDGE.
7. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



SEDIMENT FENCE DETAIL
NOT TO SCALE

TEMPORARY SECURITY FENCING

TEMPORARY SECURITY FENCING TO THE PERIMETER OF BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO SITE.

CUT & FILL BATTERS

ALL GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC

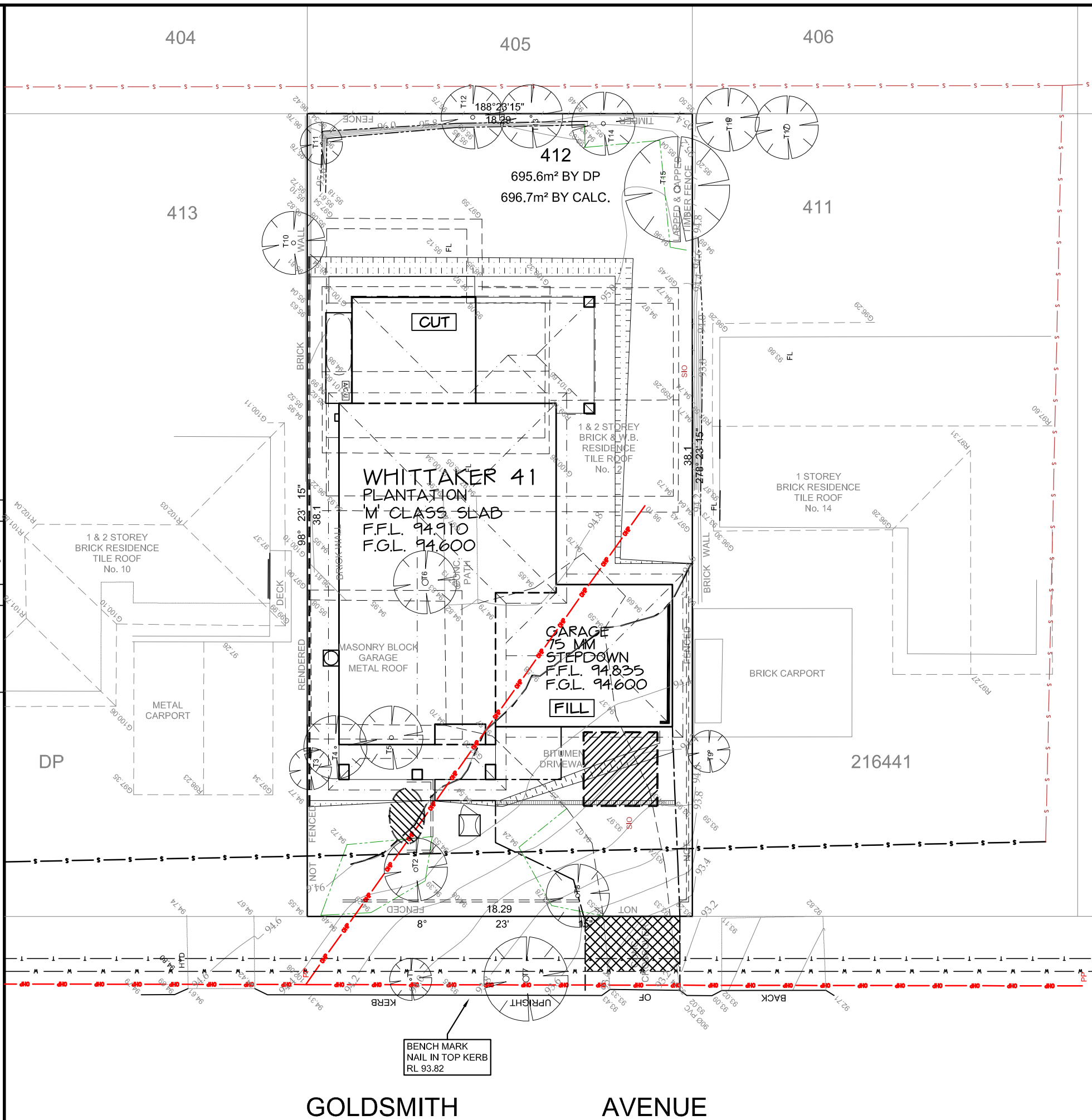
SEDIMENT FENCE

WASTE STORAGE AREA

MATERIAL STORAGE AREA

PORTABLE TOILET

ALL WEATHER ACCESS POSITION



	LOT NO: 412
	DEPOSITED PLAN: 216441
	COUNCIL / LGA: NORTHERN BEACHES
	SLAB CLASS: M
MGA	WIND SPEED: N1

EROSION & SEDIMENT CONTROL PLAN

CONSTRUCTION PLAN

TEMPORARY FENCING:
BUILDER TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTH. BYLAW)

ALL WEATHER ACCESS:
METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION

INTRAX SURVEY DATE: 18.09.19

CONTOUR INTERVALS: 200MM

LEVELS TO: AHD

m
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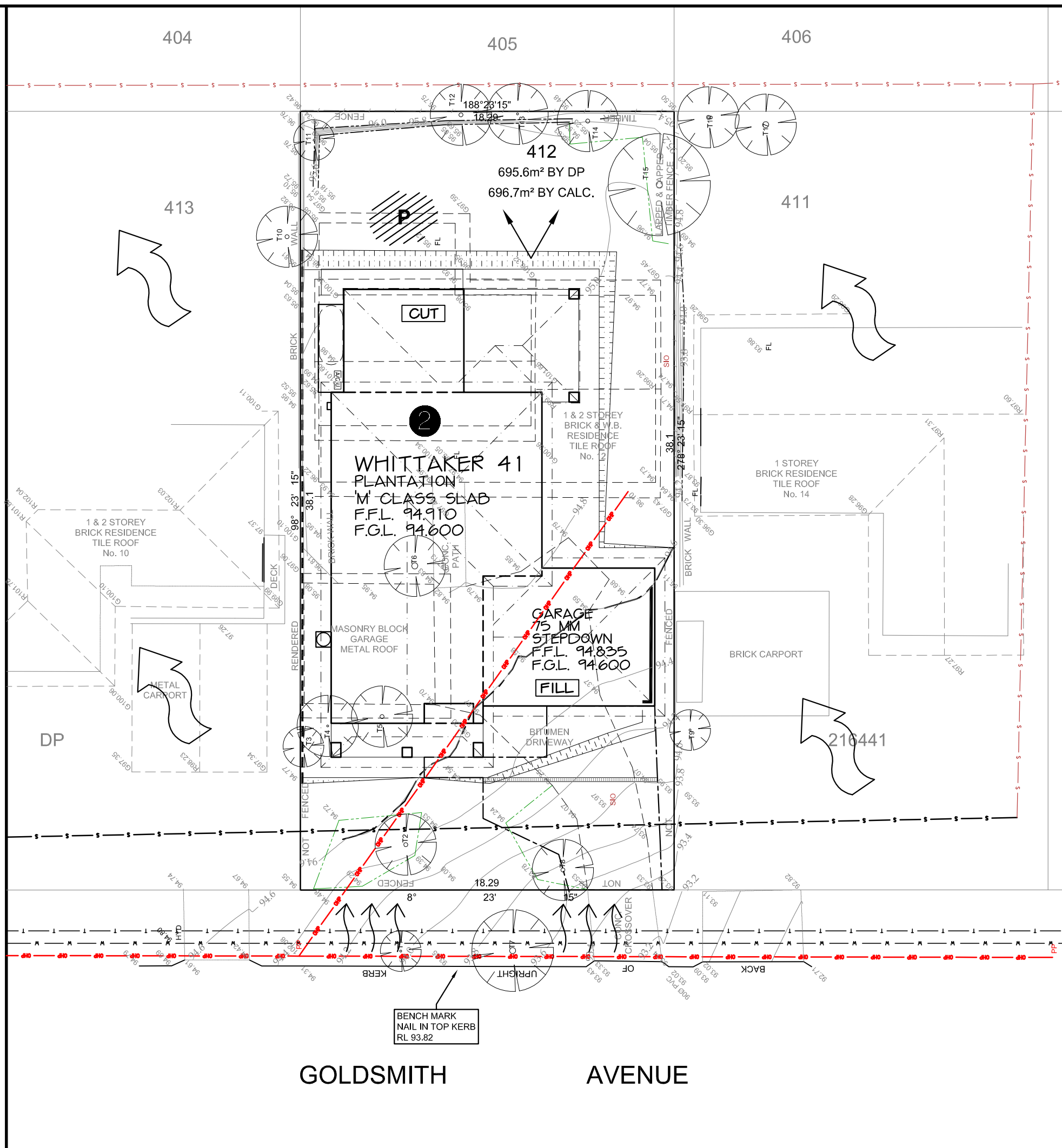
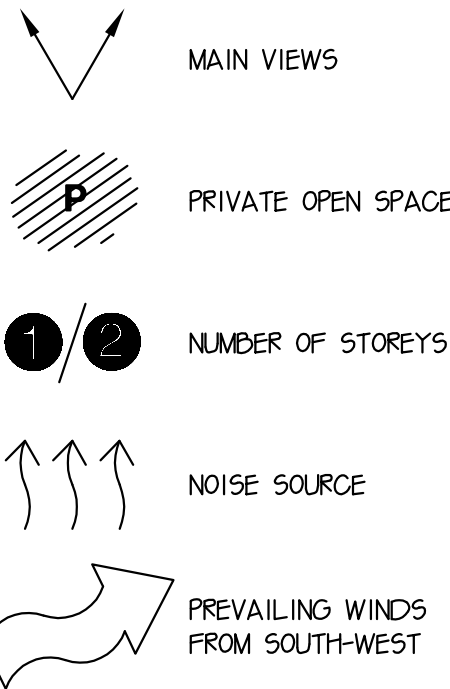
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KILLARNEY HEIGHTS

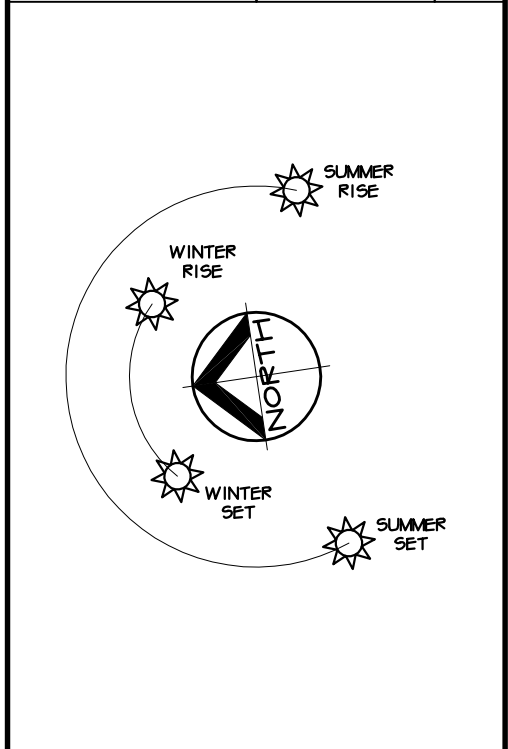
JOB No: 704765

DATE: 03.10.19	DRAWN: CADDRAFT/CYO
SCALE: 1:200	SHEET: 1A OF 11
UBD REF: 5YD XX XX	

LEGEND



	LOT NO:	412
	DEPOSITED PLAN:	216441
	COUNCIL / LGA:	NORTHERN BEACHES
	SLAB CLASS:	M
MGA	WIND SPEED:	N1



SITE ANALYSIS PLAN

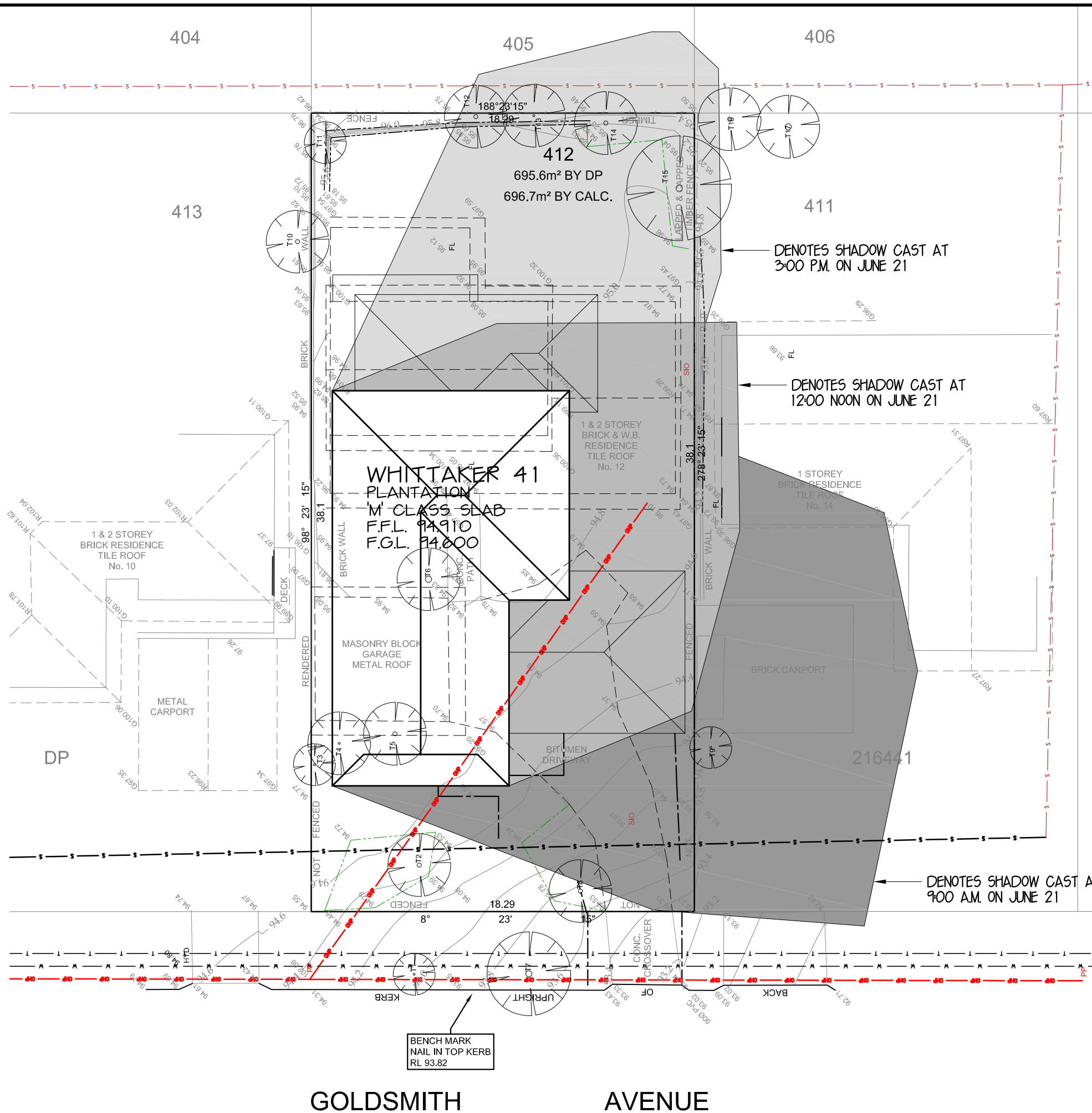
TEMPORARY FENCING: BUILDER TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTH. BYLAW)
ALL WEATHER ACCESS: METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION
INTRAX SURVEY DATE: 18.09.19
CONTOUR INTERVALS: 200MM
LEVELS TO: AHD

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JOB No: 704765	
DATE: 03.10.19	DRAWN: CADDRAFT/CYO
SCALE: 1:200	SHEET: 1B OF 11
UBD REF: SYD XX XX	



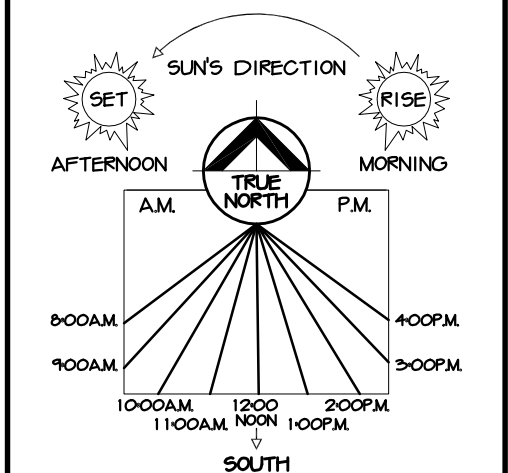
LOT NO:
412

DEPOSITED PLAN:
216441

COUNCIL / LGA:
NORTHERN BEACHES

SLAB CLASS:
M

WIND SPEED:
N1



NOTE: PICTORIAL REPRESENTATION ONLY. NOT TO BE USED AS TRUE NORTH POINT FOR THIS JOB

SHADOW LOCATION	TIME OF DAY
	9:00 A.M. JUNE 21
	12:00 NOON JUNE 21
	3:00 P.M. JUNE 21

TIME	SHADOW LENGTH RATIO (METRES)	ALTITUDE (DEGREES)	AZIMUTH (DEGREES)
8:00 AM	5.82	9.76	53.12
9:00 AM	2.91	18.96	42.59
10:00 AM	2.02	26.33	30.01
11:00 AM	1.66	31.14	15.3
12:00 PM	1.56	32.72	359.19
1:00 PM	1.68	30.8	343.16
2:00 PM	2.08	25.7	328.65
3:00 PM	3.06	18.11	316.28
4:00 PM	6.48	8.77	305.94

INTRAX SURVEY DATE: 18.09.19
CONTOUR INTERVALS: 200MM
LEVELS TO: AHD
SHADOW DIAGRAM @ JUNE 21

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JOB No: 704765

DATE: 03.10.19

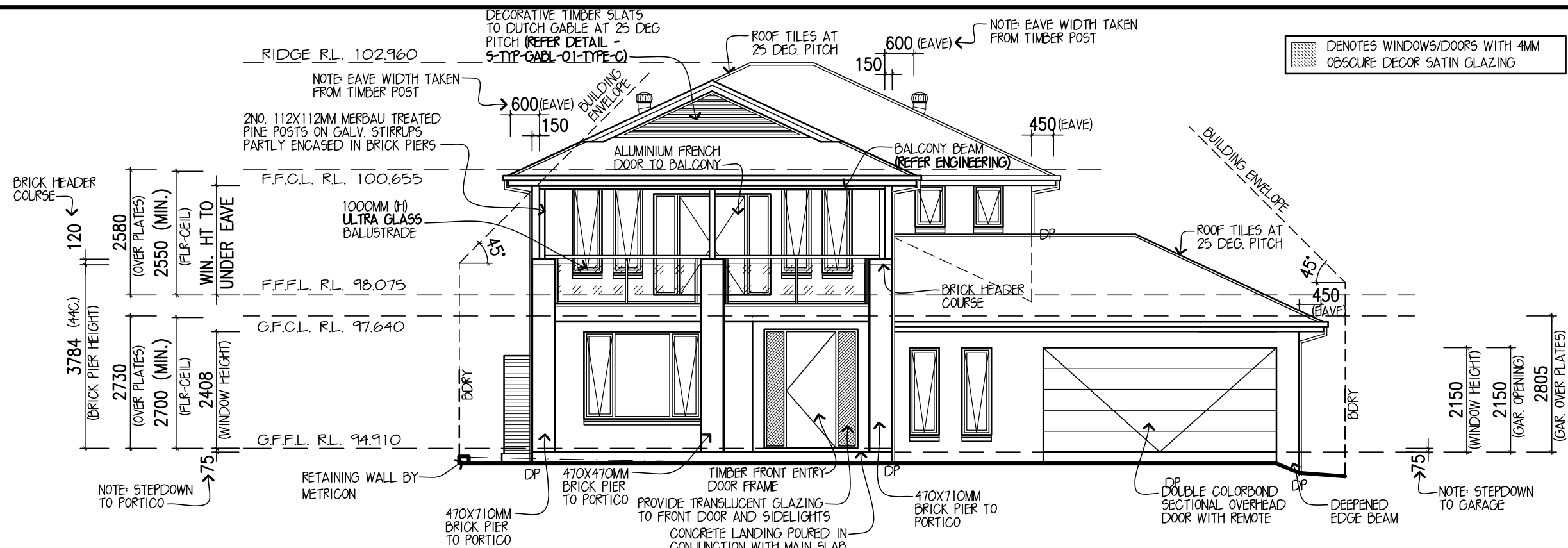
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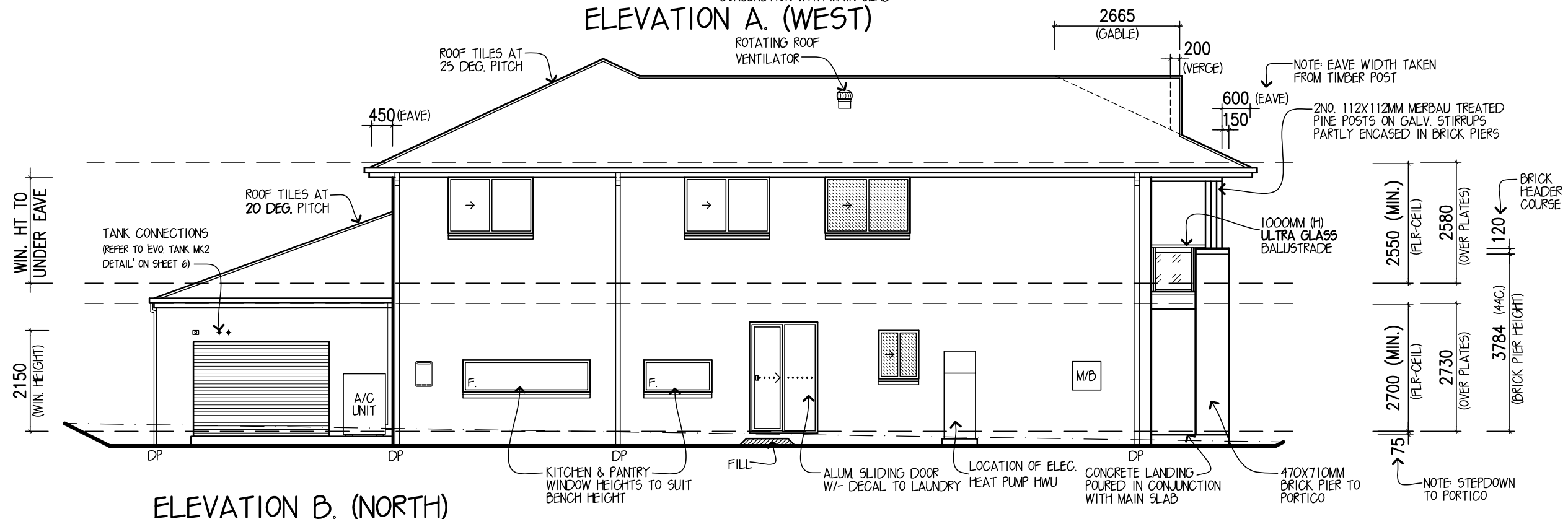
DRAWN: CADDRAFT/CYO

SHEET: 1C OF 11

PROVIDE SELECTED FACE BRICKWORK
TO ALL ELEVATIONS
(UNLESS NOTED OTHERWISE)



ELEVATION A. (WEST)

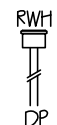


ELEVATION B. (NORTH)

SYMBOL LEGEND



RECESSED
ELECTRICITY
METER BOX

DOWNPIPE W/-
RAINWATER HEAD

ROTATING ROOF VENTILATOR

ARTICULATION JOINT
WHERE ARTICULATION
JOINTS ARE NOT SHOWN
REFER TO STRUCTURAL
ENGINEER'S DETAILS

DESIGN: WHITTAKER 41

FACADE: **PLANTATION** CEILING: 27, R

GARAGE: DOUBLE LOCATION: F

DESIGNER



OWNER: MR CHO
LOT 412 NO.12 GOLDSMITH AVENUE,
KILLARNEY HEIGHTS

JOB No: 704765	DATE: 02.10.2019
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FC DATE: DD.MM.YYYY MST VER: 29.09.2017

SCALE: 1:100 ON A3 SHEET	REVISION: E
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DRAWN: CAD01	CHECK: JF9	SHEET: 4 of 11
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ELEVATIONS

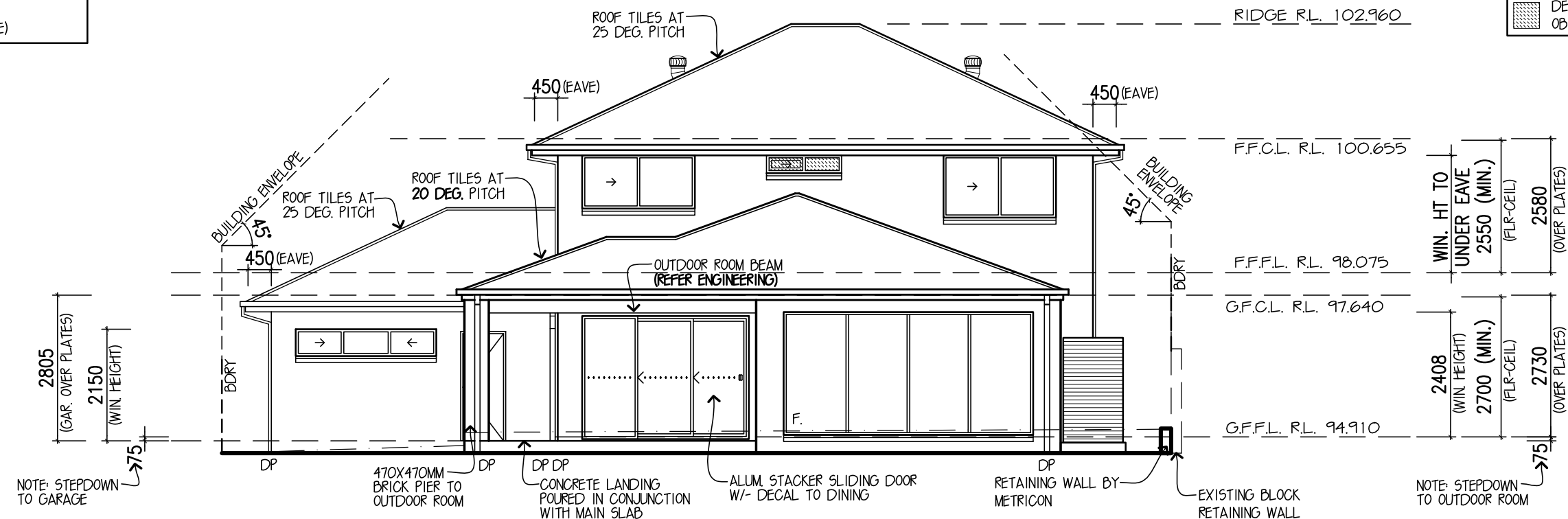
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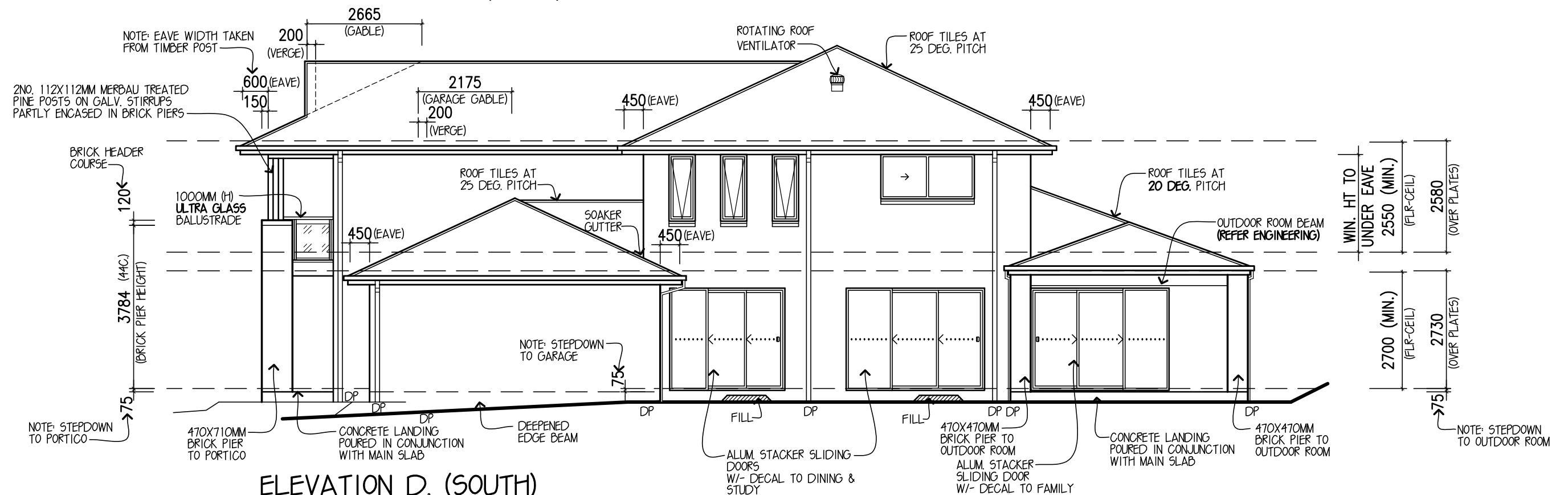
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PROVIDE **SELECTED FACE BRICKWORK**
TO ALL ELEVATIONS
(UNLESS NOTED OTHERWISE)

■ DENOTES WINDOWS/DOORS WITH 4MM
OBSCURE DECOR SATIN GLAZING



ELEVATION C. (EAST)



ELEVATION D. (SOUTH)

SYMBOL LEGEND

	RECESSED ELECTRICITY METER BOX		ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS
	DOWNPIPE W/- RAINWATER HEAD		
	ROTATING ROOF VENTILATOR		

DESIGN: **WHITTAKER 41**

FACADE: **PLANTATION** CEILING: 27, R

GARAGE: **DOUBLE** LOCATION: F

ELEVATIONS

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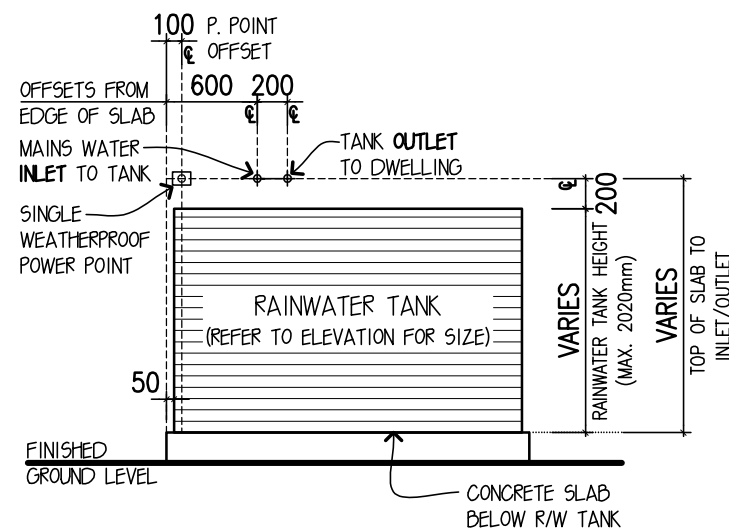
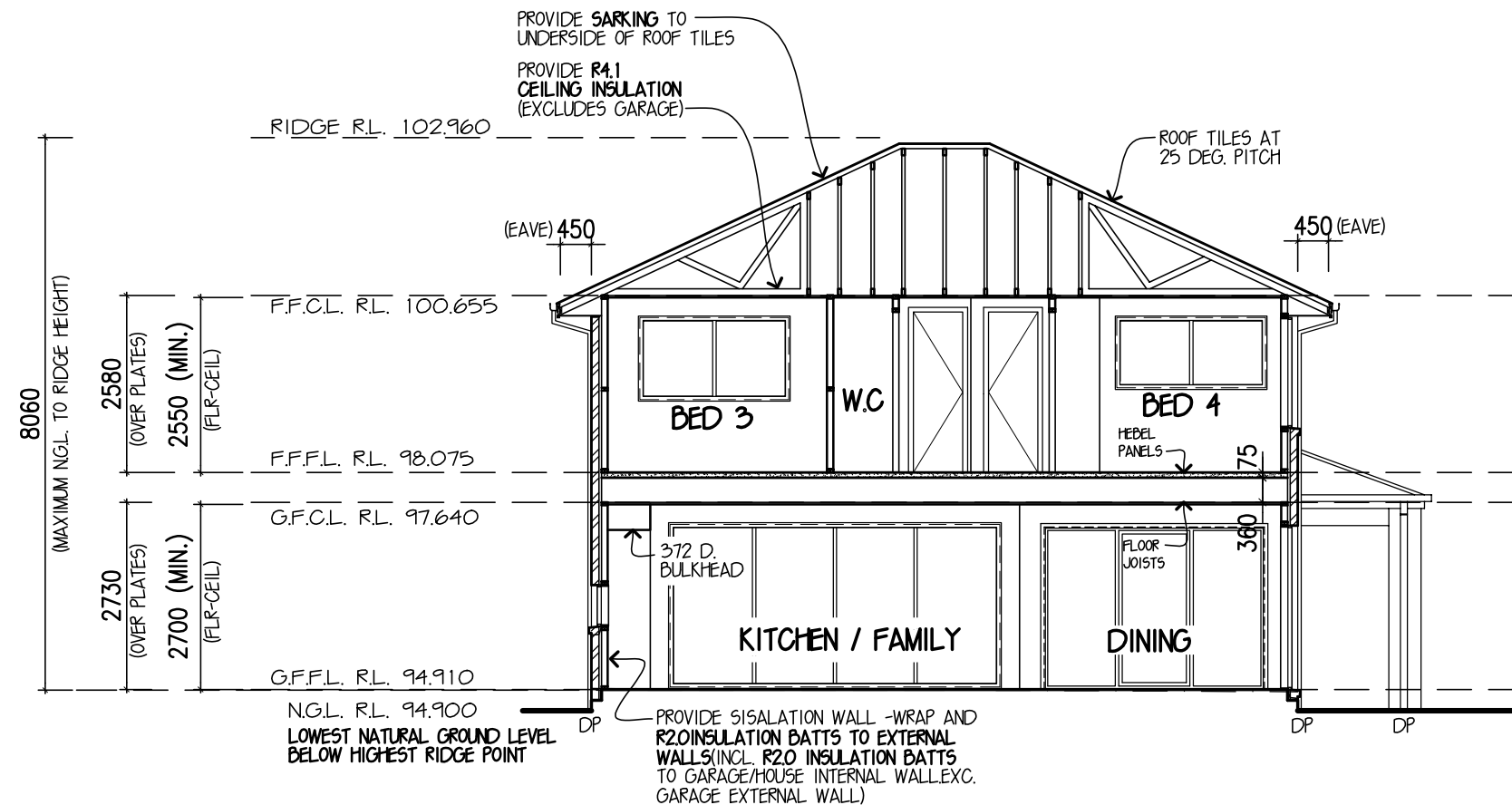
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LOT 412 NO.12 GOLDSMITH AVENUE,
KILLARNEY HEIGHTS

JOB No: **704765** DATE: **02.10.2019**

FC DATE: **DD.MM.YYYY** MST VER: **29.09.2017**

SCALE: **1:100 ON A3 SHEET** REVISION: **E**

DRAWN: **CAD01** CHECK: **JF9** SHEET: **5 of 11**



ROUGH-IN POSITIONING
(NOT TO SCALE)

'EVOLUTION' MK2 TANK DETAIL
(NOT SUITABLE FOR TANKS EXCEEDING 2020MM HIGH)

DESIGN: WHITTAKER 41

FACADE: PLANTATION CEILING: 27, R

GARAGE: DOUBLE LOCATION: F

SECTION

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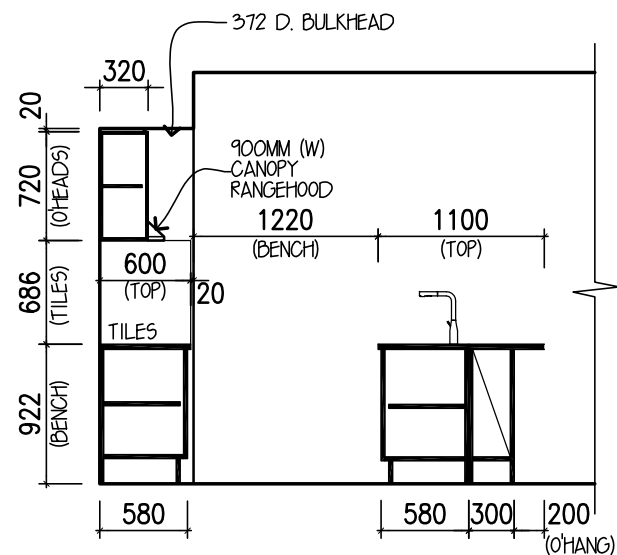
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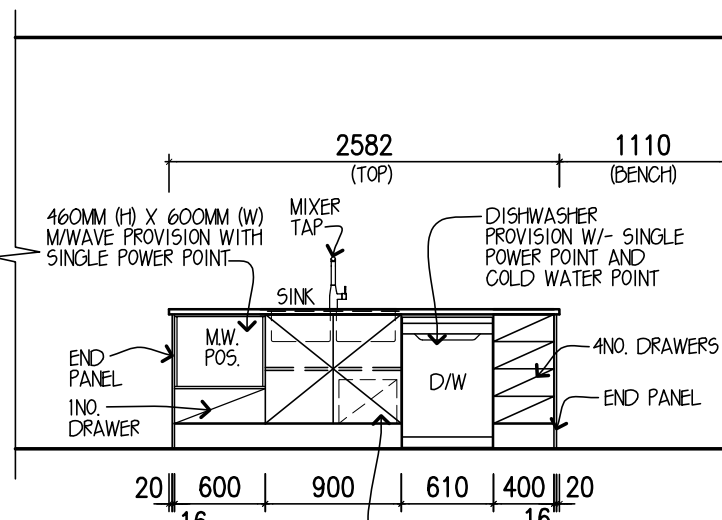
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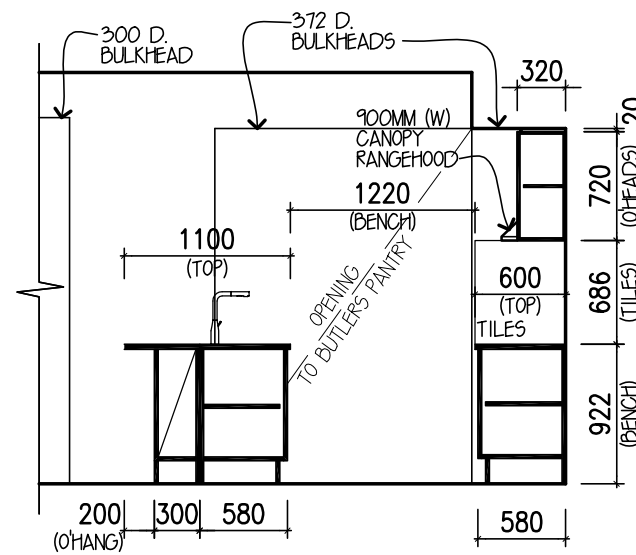
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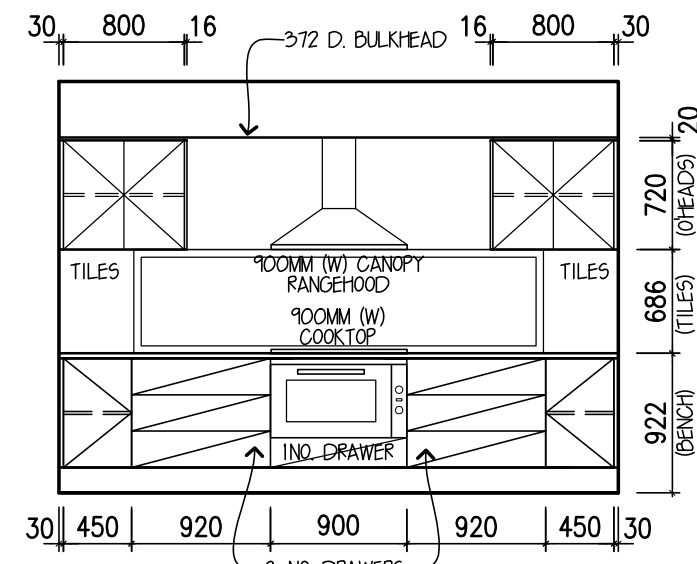
ELEVATION A
KITCHEN



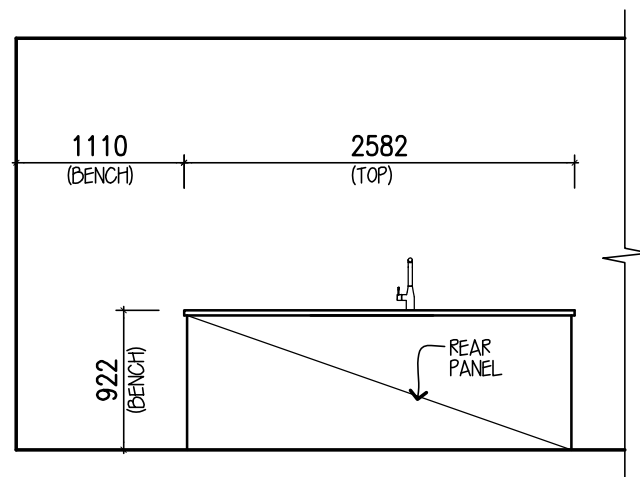
ELEVATION B



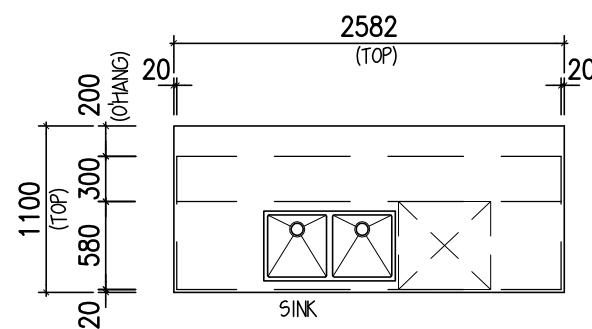
ELEVATION C



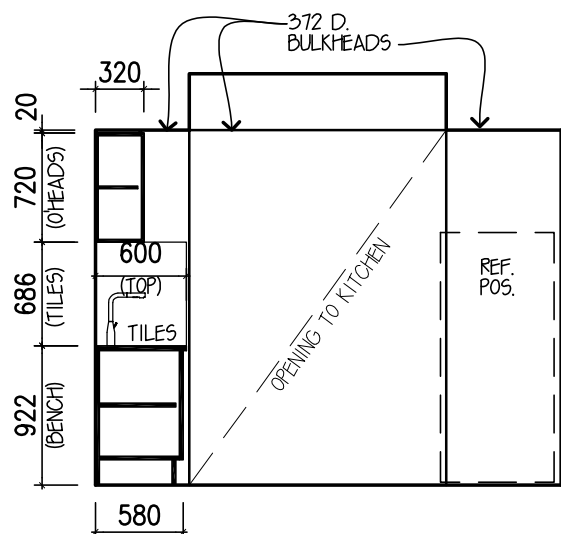
ELEVATION D



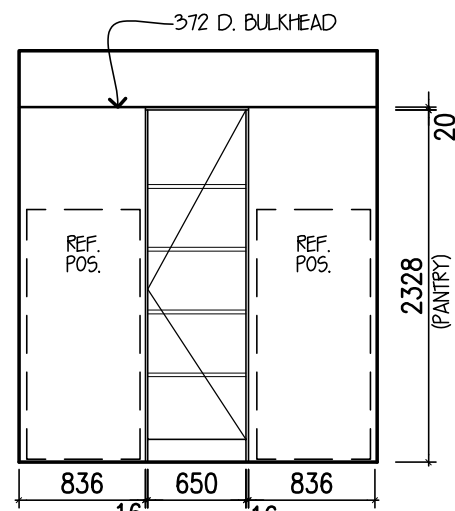
ELEVATION D
KITCHEN (ISLAND BENCH)



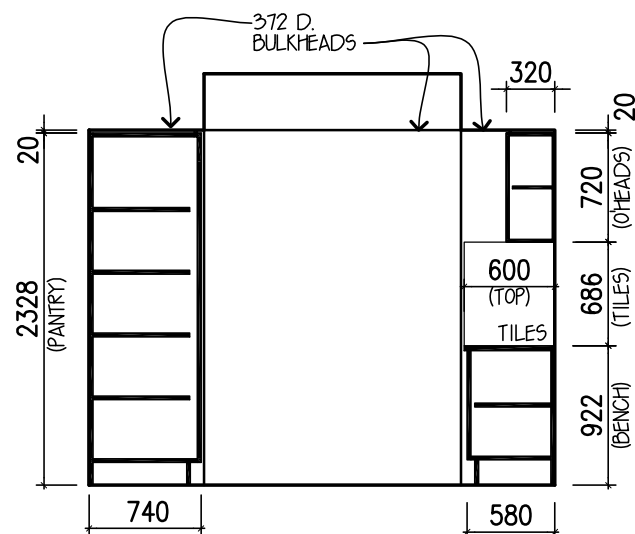
KITCHEN ISLAND
BENCH DETAIL



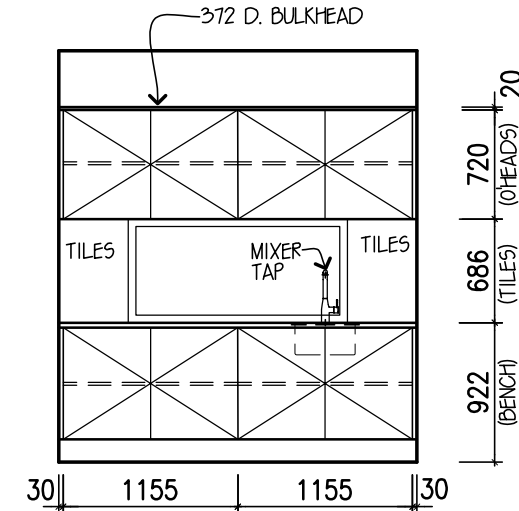
ELEVATION A
BUTLER'S PANTRY



ELEVATION B



ELEVATION C



ELEVATION D

DESIGN: WHITTAKER 41

FACADE: PLANTATION CEILING: 27, R

GARAGE: DOUBLE LOCATION: F

INTERNALS

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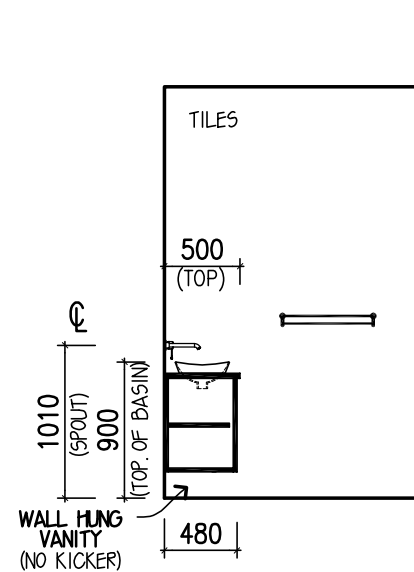
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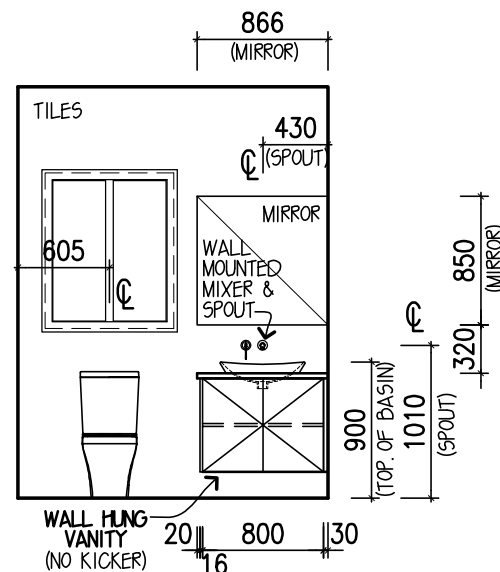
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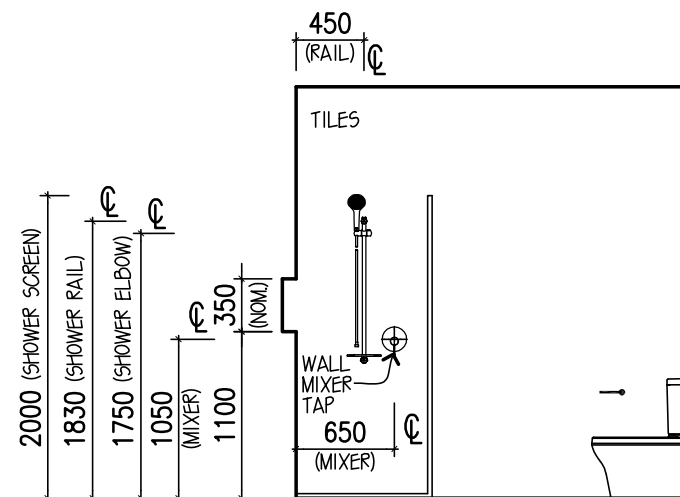
DRAWN: **CAD01** CHECK: **JF9** SHEET: **7 of 11**



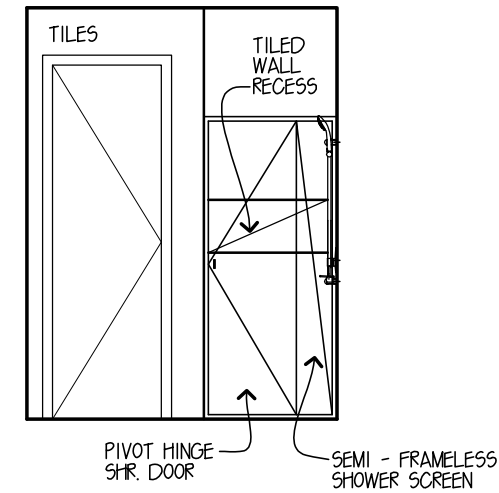
ELEVATION A
POWDER



ELEVATION D



ELEVATION C



ELEVATION B

BATHROOM ACCESSORIES LEGEND	
TOILET RING (700MM ABOVE FFL)	SGL TOWEL RAIL (600)
SGL ROBE HOOK (1700MM ABOVE FFL)	SGL TOWEL RAIL (760)
SOAP HOLDER (1200MM ABOVE FFL)	SGL TOWEL RAIL (900)
TOWEL RING (1200MM ABOVE FFL)	DBL TOWEL RAIL (760)
	DBL TOWEL RAIL (900)
	ALL TOWEL RAILS (1200MM ABOVE FFL)

NOTE: ADDITIONAL BLOCKING PROVIDED INSIDE WALL BEHIND ACCESSORIES (REFER TO O-TYP-BLOC-01)

BATHROOM ACCESSORIES NOTES:

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DESIGN: WHITTAKER 41

FACADE: PLANTATION CEILING: 27, R

GARAGE: DOUBLE LOCATION: F

INTERNALS

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DESIGNER **m** metricon

BY METRICON

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P.O. Box 7510, Norwest Business Park NSW 2153
Tel: 02 8887 9000 Fax: 02 8079 5901
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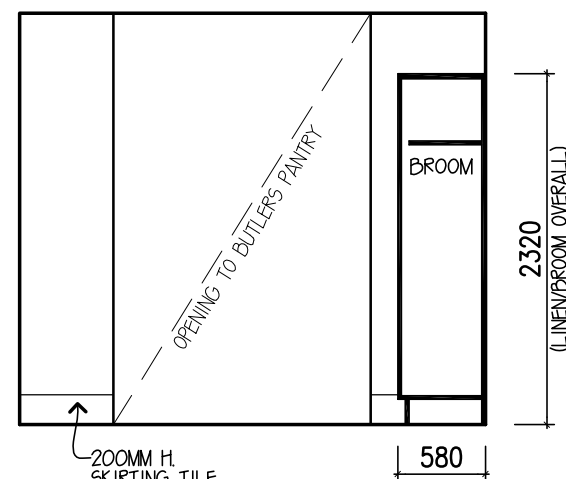
OWNER: MR CHO
LOT 412 NO.12 GOLDSMITH AVENUE,
KILLARNEY HEIGHTS

JOB No: 704765 DATE: 02.10.2019

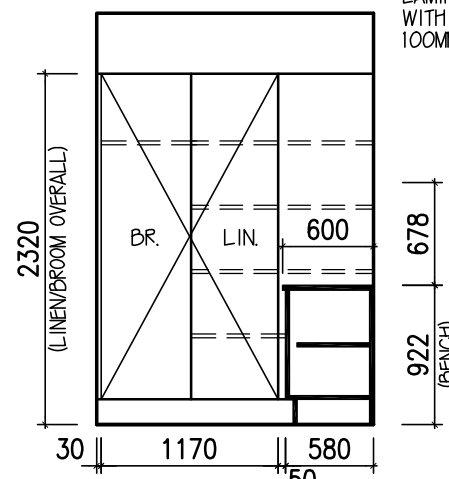
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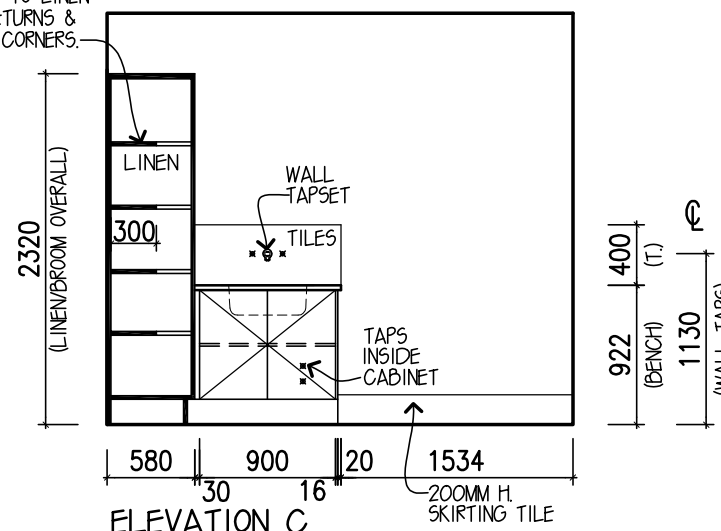
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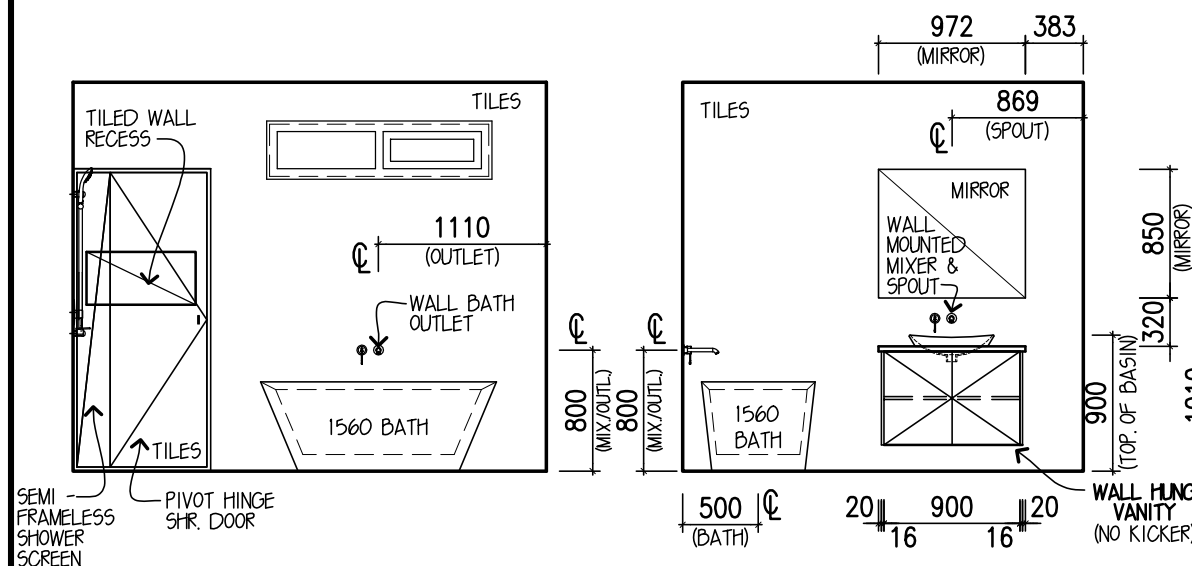
ELEVATION A
LAUNDRY



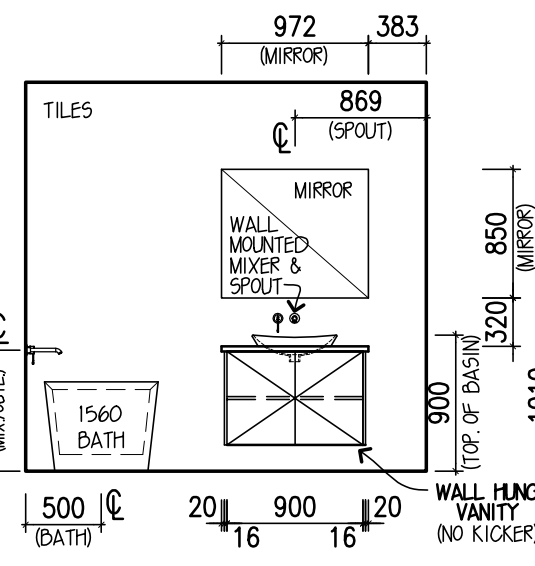
ELEVATION B



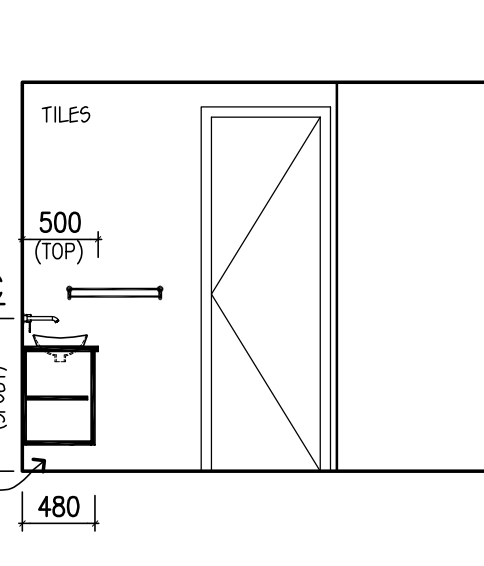
ELEVATION C



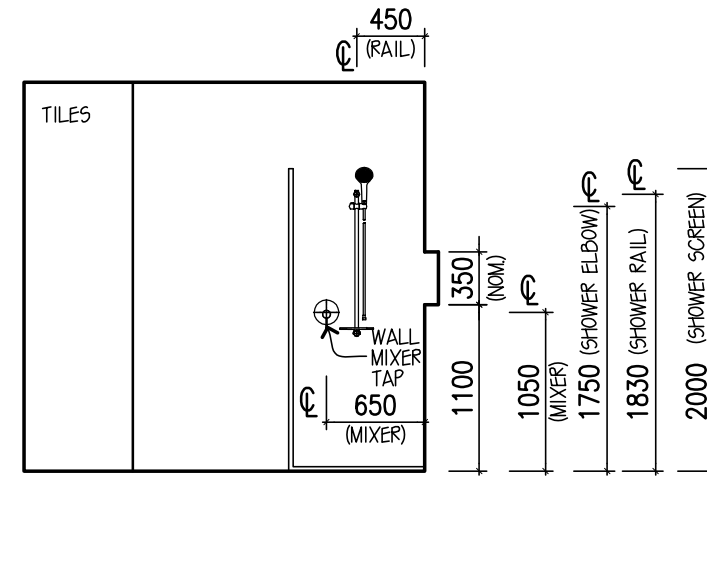
ELEVATION A
BATH



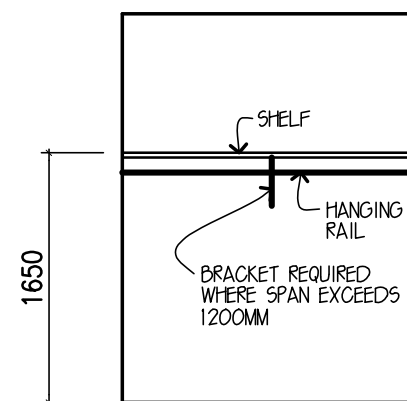
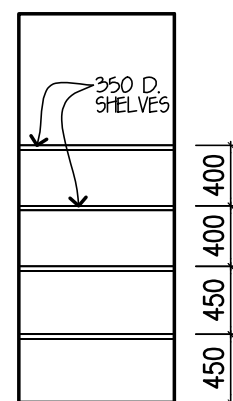
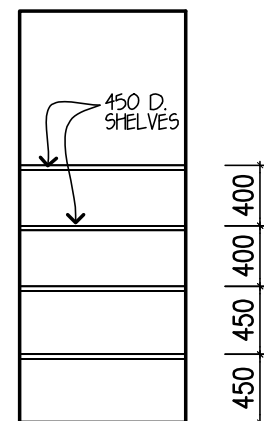
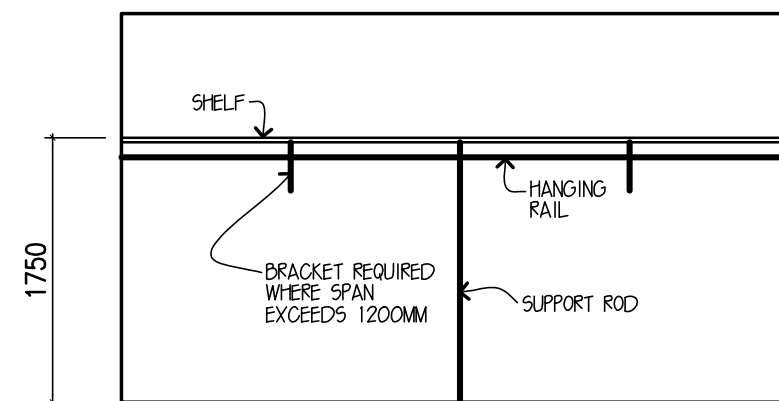
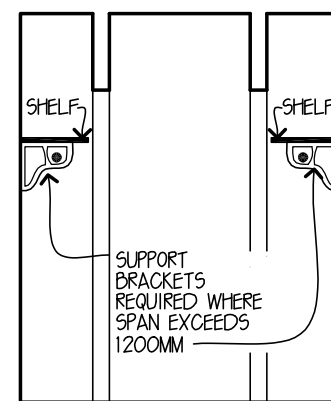
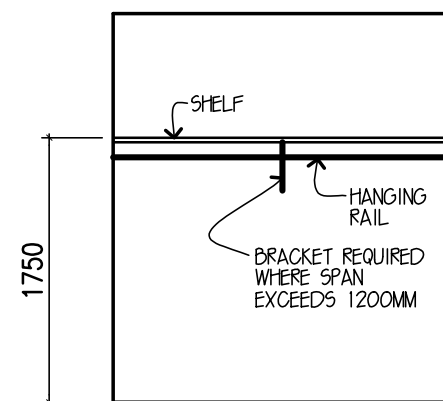
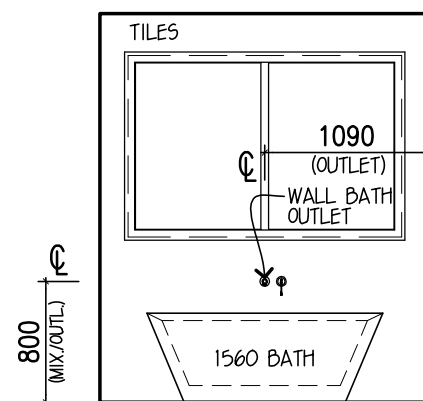
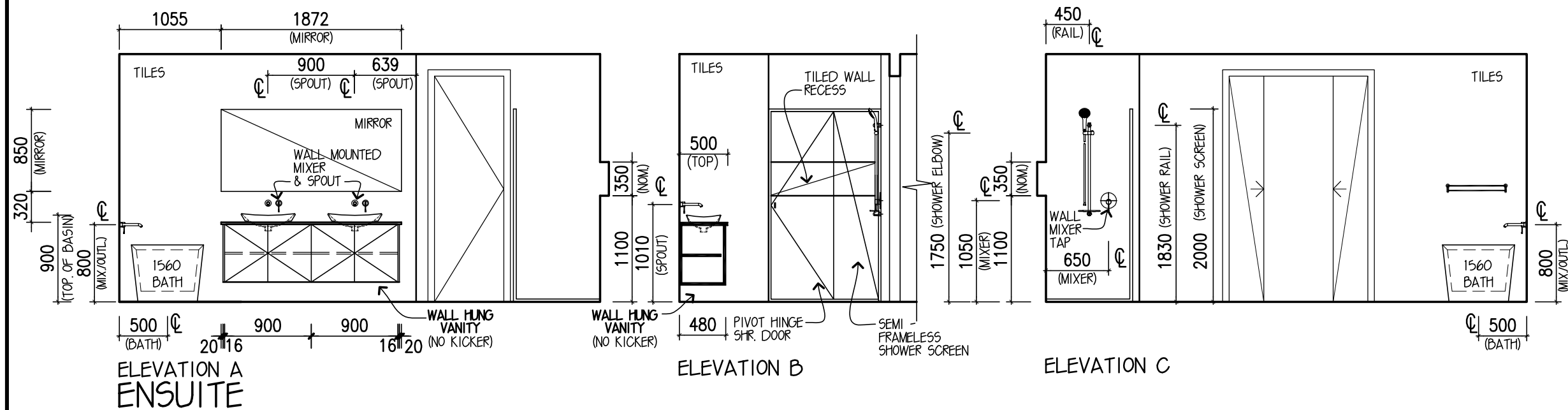
ELEVATION B



ELEVATION C



ELEVATION D



BATHROOM ACCESSORIES LEGEND	
TOILET RING (700MM ABOVE FFL)	SGL TOWEL RAIL (600)
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NOTE: ADDITIONAL BLOCKING PROVIDED INSIDE WALL BEHIND ACCESSORIES (REFER TO O-TYP-BLOC-01)

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DESIGN: **WHITTAKER 41**
 FACADE: **PLANTATION** CEILING: **27, R**
 GARAGE: **DOUBLE** LOCATION: **F**

INTERNALS

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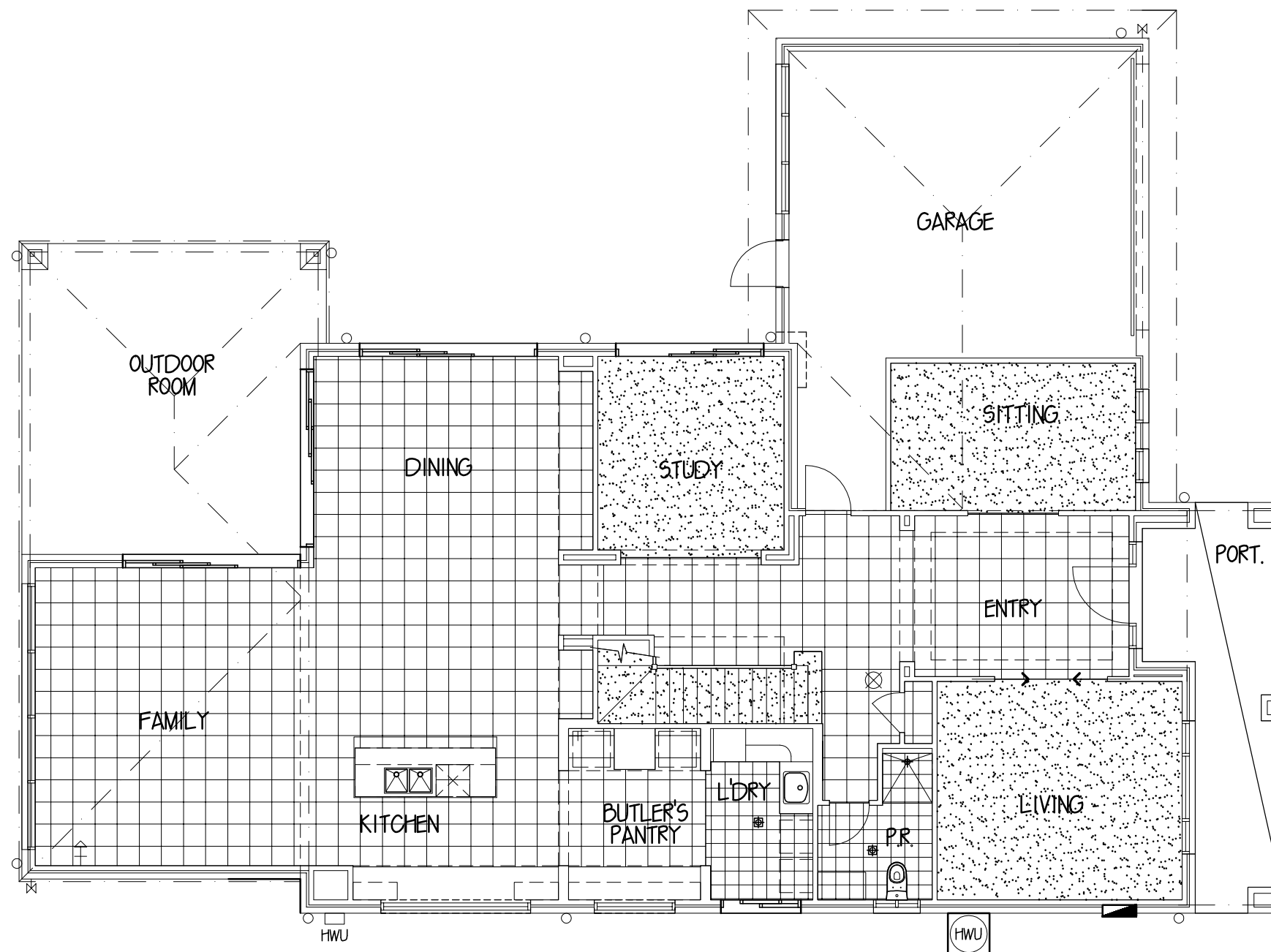
DESIGNER **m**
metricon

BY METRICON

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SCALE: 1:50 ON A3 SHEET	REVISION: E
DRAWN: CAD01	CHECK: JF9
	SHEET: 9 of 11



FLOOR COVERINGS LEGEND



WET AREA FLOOR TILING
TOTAL AREA: 8.64 SQM



TIMBER FLOOR AREAS
TOTAL AREA: **** SQM



CARPET FLOOR AREAS (INCL. STAIRCASE)
TOTAL AREA: 45.5 SQM



TILED FLOOR AREAS
TOTAL AREA: 102.87 SQM

DESIGN: WHITTAKER 41

FACADE: PLANTATION CEILING: 27, R

GARAGE: DOUBLE LOCATION: F

GROUND FLOOR FLOOR COVERINGS

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DESIGNER



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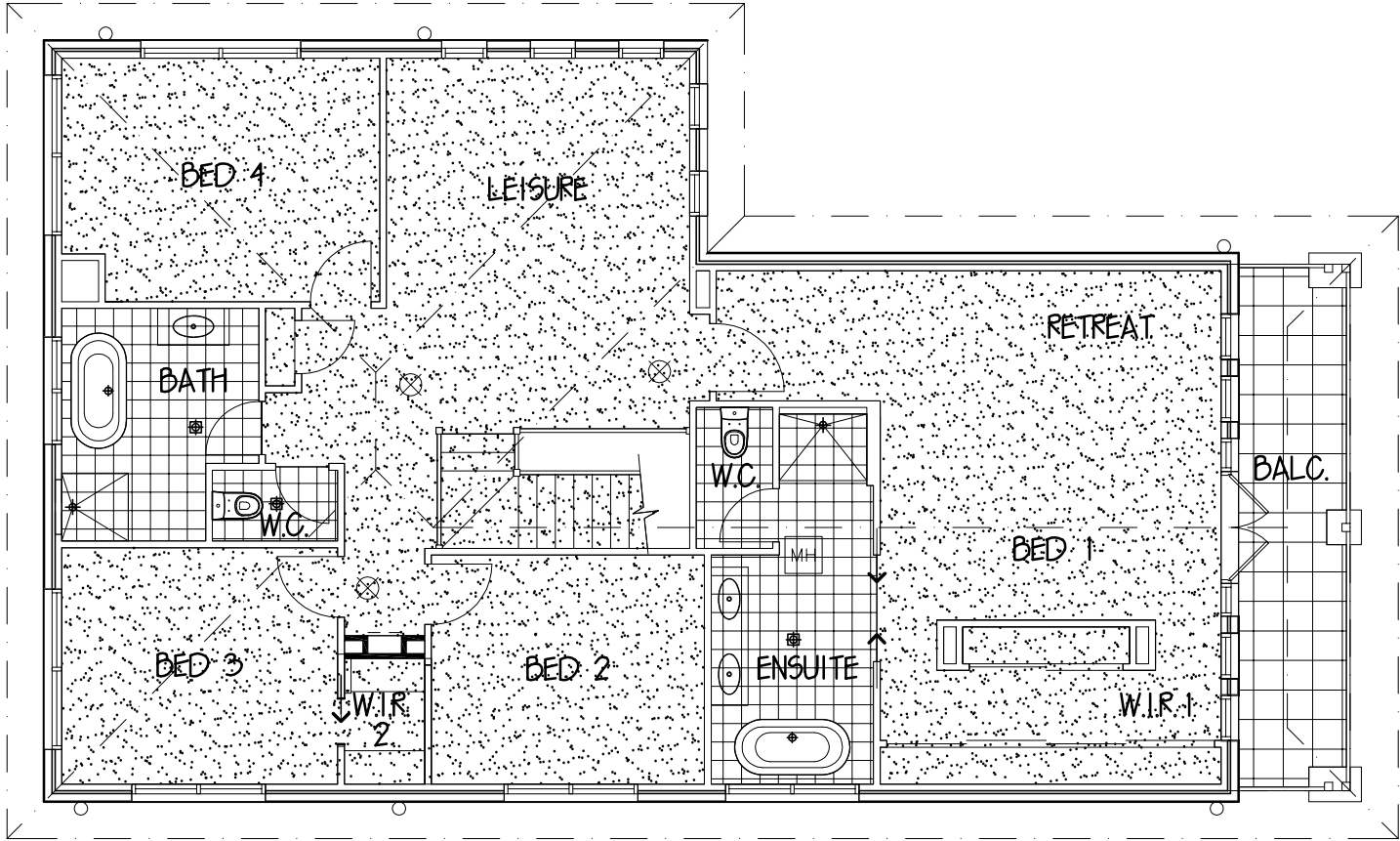
OWNER: MR CHO
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JOB No: 704765 DATE: 02.10.2019

FC DATE: DD.MM.YYYY MST VER: 29.09.2017

SCALE: 1:100 ON A3 SHEET REVISION: E

DRAWN: CAD01 CHECK: JF9 SHEET: 10 of 11



FLOOR COVERINGS LEGEND

WET AREA FLOOR TILING
TOTAL AREA: 19.57 SQM

TIMBER FLOOR AREAS
TOTAL AREA: **** SQM

CARPET FLOOR AREAS
TOTAL AREA: 102.43 SQM

TILED FLOOR AREAS
TOTAL AREA: 9.86 SQM

DESIGN: WHITTAKER 41
FACADE: PLANTATION CEILING: 27, R
GARAGE: DOUBLE LOCATION: F

FIRST FLOOR
FLOOR COVERINGS

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DESIGNER



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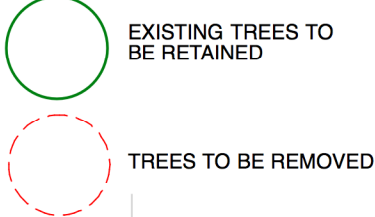
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SCALE: 1:100 ON A3 SHEET REVISION: E

DRAWN: CAD01 CHECK: JF9 SHEET: 11 of 11



LANDSCAPED AREA:
Total Landscaped Area : 317.10 Sqm
Excl. All Hard Surfaces : 45.51 %
Min. Dimension of 2m
Min Required By Council : 40 %

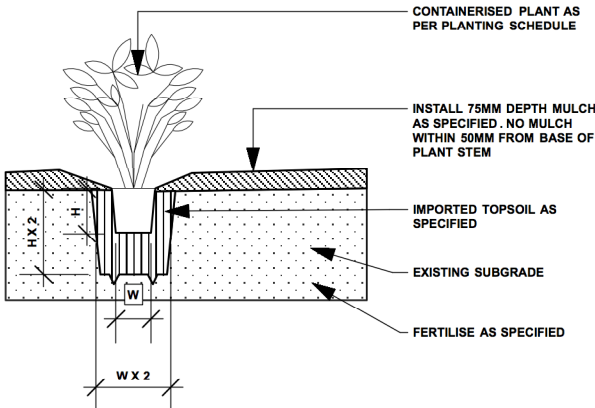
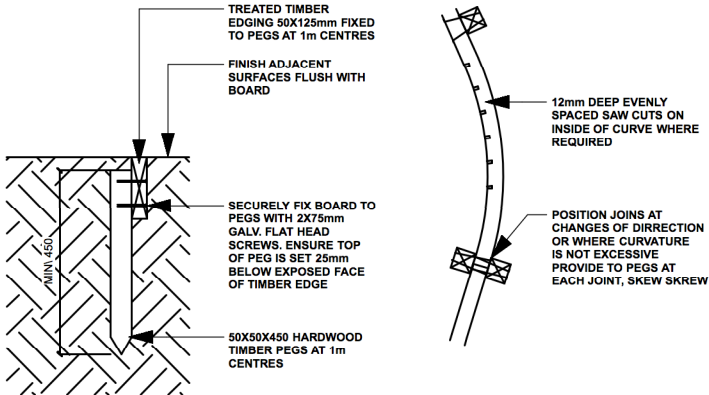
LEGEND



MAINTENANCE SCHEDULE

MONTH	MOWING EDGING BLOWING	FERTILISING	CHECK IRRIGATION	HAND WEED REMOVAL	PRUNING CLIPPING	WEED SPRAY	WATERING IRRIGATION	PLANT REPLACEMENT
DEC	W	M	M	W	M	M	D	M
JAN	W	M	M	W	M	M	D	M
FEB	W	M	M	W	M	M	D	M
MAR	F	M	M	F	M	M	D	M
APR	F	M	M	F	M	M	D	M
MAY	F	M	M	F	M	M	2ND DAY	M
JUN	M	M	M	M	M	M	2ND DAY	M
JUL	M	M	M	M	M	M	2ND DAY	M
AUG	M	M	M	M	M	M	2ND DAY	M
SEP	M	M	M	M	M	M	D	M
OCT	F	M	M	F	M	M	D	M
NOV	F	M	M	F	M	M	D	M
W-	W-WEEKLY		F-FORTNIGHT		M-MONTHLY		2ND-DAY - EVERY SECOND DAY	

NOTE:
ALL TIMBER TO BE
PRESERVATIVE
TREATED PRIOR TO
INSTALLATION



TREATED PINE TIMBER EDGE
NTSual Size

INDIVIDUAL PLANTING
NTSual Size



Lagerstroemia indica
Lagerstroemia



Tristaniopsis laurina luscious
Watergum



Gardenia augusta 'Florida'
Gardenia



Syzygium Australe-resilience
Lilly Pilly

PLANT SCHEDULE

ID	Qty	Common Name	Botanical Name	Scheduled Size	Mature Height	Mature Spread
Trees						
Lag-in	1	Crepe Myrtle	Lagerstroemia indica	45L	8m	3m
TLaur-lus	1	Kanooka, Water Gum	Tristaniopsis laurina 'luscious'	45L	8 - 10m	3.5 - 6m
Shrubs						
bux-mi'ja'	24	Japanese Box	Buxus microphylla 'japonica'	300mm	0.5 - 1.2m	0.5m
Gar-aug-fl	21	Gardenia	Gardenia augusta 'Florida'	200mm	1m	1m
Mur-pan	7	Orange Jessamine	Murraya paniculata	200mm	1.5 - 3m	3.5 - 6m
syz-au're'	5	Lilly Pilly	Syzygium australe 'Resilience'	200mm	1 - 2.5m	1.5m
Grasses						
Dia-cae	19	Blue Flax-lily	Dianella caerulea	150mm	0.4m	0.6m
lom-ta	23	Fine-leaved mat rush	Lomandra 'Tanika'	150mm	0.5m	0.6m

Total 101

A 21/01/20 ISSUE FOR APPROVAL
ISSUE DATE COMMENT

AMENDMENTS

GENERAL NOTES
All work to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Authorities Regulations and all other relevant Authorities concerned.
All structural work and site drainage to be subject to Engineer's details or certification where required by Council. This shall include r.c. slabs and footings, r.c. and steel beams & columns, wind bracing to AS 1170 and AS4055, anchor rods or bolts, tie downs, fixings etc., driveway slabs and drainage to Council's satisfaction. All timbers to be in accordance with SAA Timber Structure Code AS1720 and SAA Timber Framing Code AS 1884. All work to be carried out in a professional and workman- shiplike manner according to the plans and specification.
NOTE:
Do not scale off the drawings unless otherwise stated and use figured dimensions in preference.
All dimensions are to be checked and verified on site before the commencement of any work, all dimensions and levels are subject to final survey and set-out.
No responsibility will be accepted by Sitedesign for any variations in design, builder's method of construction or materials used, deviation from specification without permission or accepted work practices resulting in inferior construction. Locate and protect all services prior to construction.
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SYDNEY NORTH STUDIO
PO Box 265
SEAFORTH NSW 2092
0417685846
g 1300 22 44 55
info@sdstudios.com.au
www.sdstudios.com.au

Project METRICON - MR CHO RESIDENCE
Address LOT 412 NO. 12 GOLDSMITH AVENUE, KILLARNEY HEIGHTS Client MR CHO
Drawing Title DA LANDSCAPE PLAN Scale 1:250@A3
Drawing No. 704765

Page
L-01 A

ROOF TILE



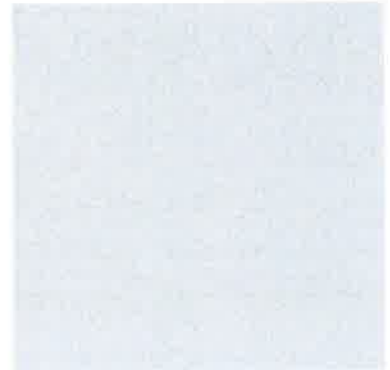
BRISTILE PRESTIGE RADIUM

GUTTER / FASCIA



COLORBOND NIGHTSKY

EAVES / LINING



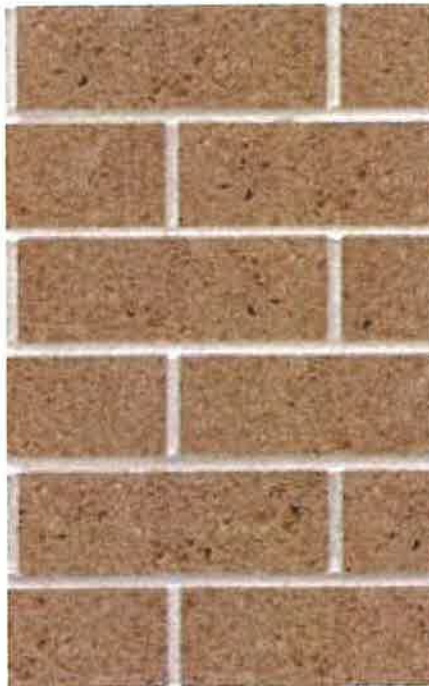
DULUX WHITE ON WHITE

ALUMINIUM FRAMES



BLACK

BRICKS



AUSTRAL EVERYDAY LIFE
ENGAGE

ENTRY DOOR



CABOTS CHARCOAL

GARAGE



TIMBAGRAIN™

Classic Cedar™

Amc