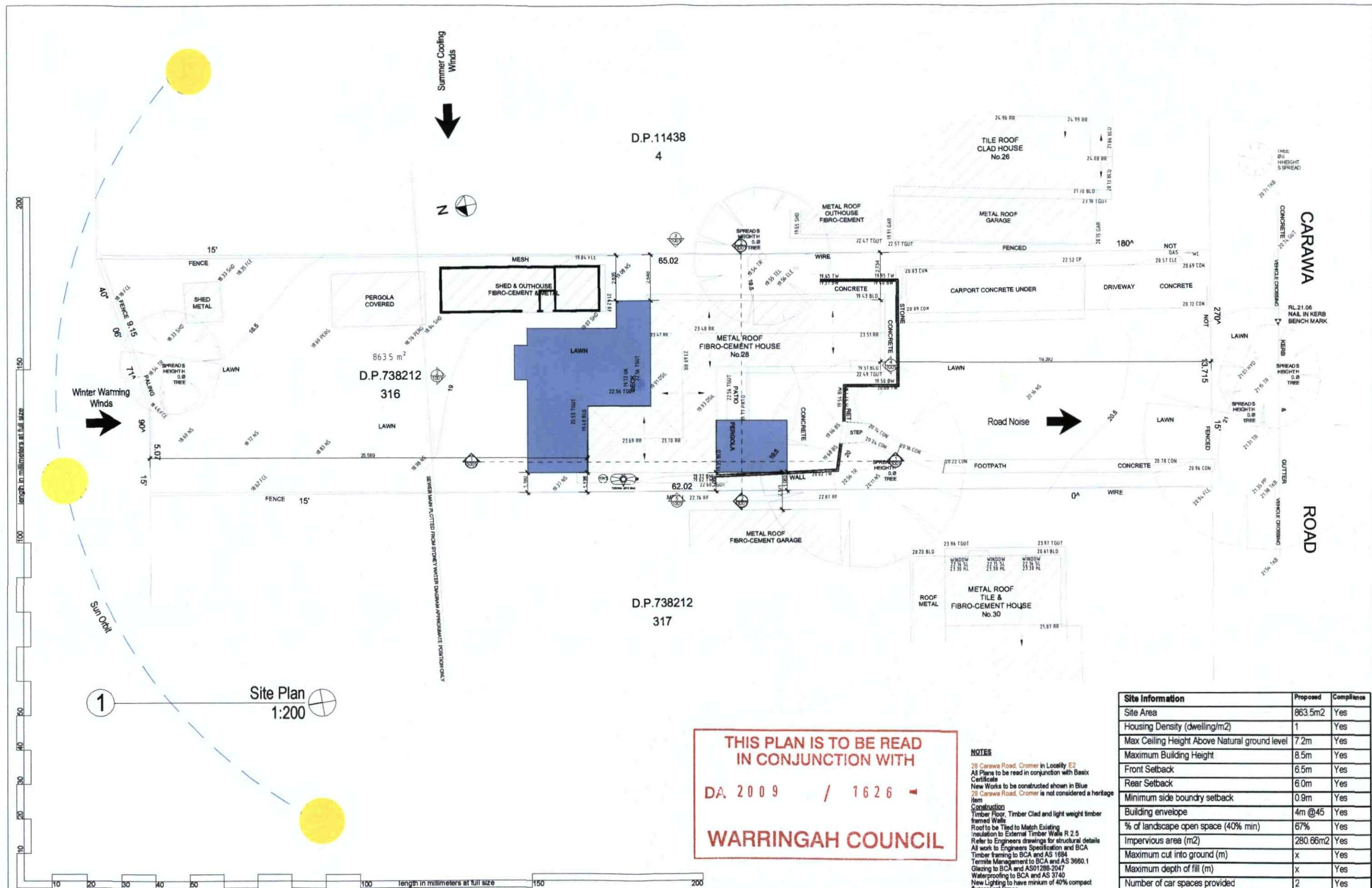




Site Information	Proposed	Compliance
Site Area	863.5m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural ground level	7.2m	Yes
Maximum Building Height	8.5m	Yes
Front Setback	6.5m	Yes
Rear Setback	6.0m	Yes
Minimum side boundary setback	0.9m	Yes
Building envelope	4m @45	Yes
% of landscape open space (40% min)	67%	Yes
Impervious area (m ²)	280.66m ²	Yes
Maximum cut into ground (m)	x	Yes
Maximum depth of fill (m)	x	Yes
Number of car spaces provided	2	Yes



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Email: gregg@rapidplans.com.au

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Client:
Steven & Sally Hill

Project Name
CARAWA
CARAWA, Cromer
2099

LOT 316 D.P.738212
Drawing Title:
Site Plans - Site Plan
Site Plan

Scale: as noted
Status: **PRELIMINARY**
Project No:
RP1009HIL

Date: Custom 1
Checked By:
Drawing No:
1002



Denotes New Works



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NOTES

28 Carawa Road, Cromer in Locality E2
All Plans to be read in conjunction with Basic
Certificate
New Works to be constructed shown in Blue
28 Carawa Road, Cromer is not considered a heritage
item

Construction
Timber Floor, Timber Clad and light weight timber
framed Walls
Roof to be Tied to Match Existing
Insulation to External Timber Walls R 2.5
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

THIS PLAN IS TO BE READ
IN CONJUNCTION WITH
DA. 2009 / 1626
WARRINGAH COUNCIL

Site Information	Proposed	Compliance
Site Area	863.5m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural ground level	7.2m	Yes
Maximum Building Height	8.5m	Yes
Front Setback	6.5m	Yes
Rear Setback	6.0m	Yes
Minimum side boundary setback	0.9m	Yes
Building envelope	4m @45	Yes
% of landscape open space (40% min)	67%	Yes
Impervious area (m ²)	280.66m ²	Yes
Maximum cut into ground (m)	x	Yes
Maximum depth of fill (m)	x	Yes
Number of car spaces provided	2	Yes

NOT FOR CONSTRUCTION

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dimensions and verify all errors and omissions to the
Architect. Do not scale the drawings. Drawings shall
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by the Architect for construction.

Client
Steven & Sally Hill
Project Name
CARAWA
28 Carawa Road Cromer
2086

DP738212 Lot 316

Drawing Title
**Floor Plans - Roof
Roof Plan**

Scale: as noted

Status: PRELIMINARY

Project No:

RP1009HIL

Plot Date:

Date:

Checked By:

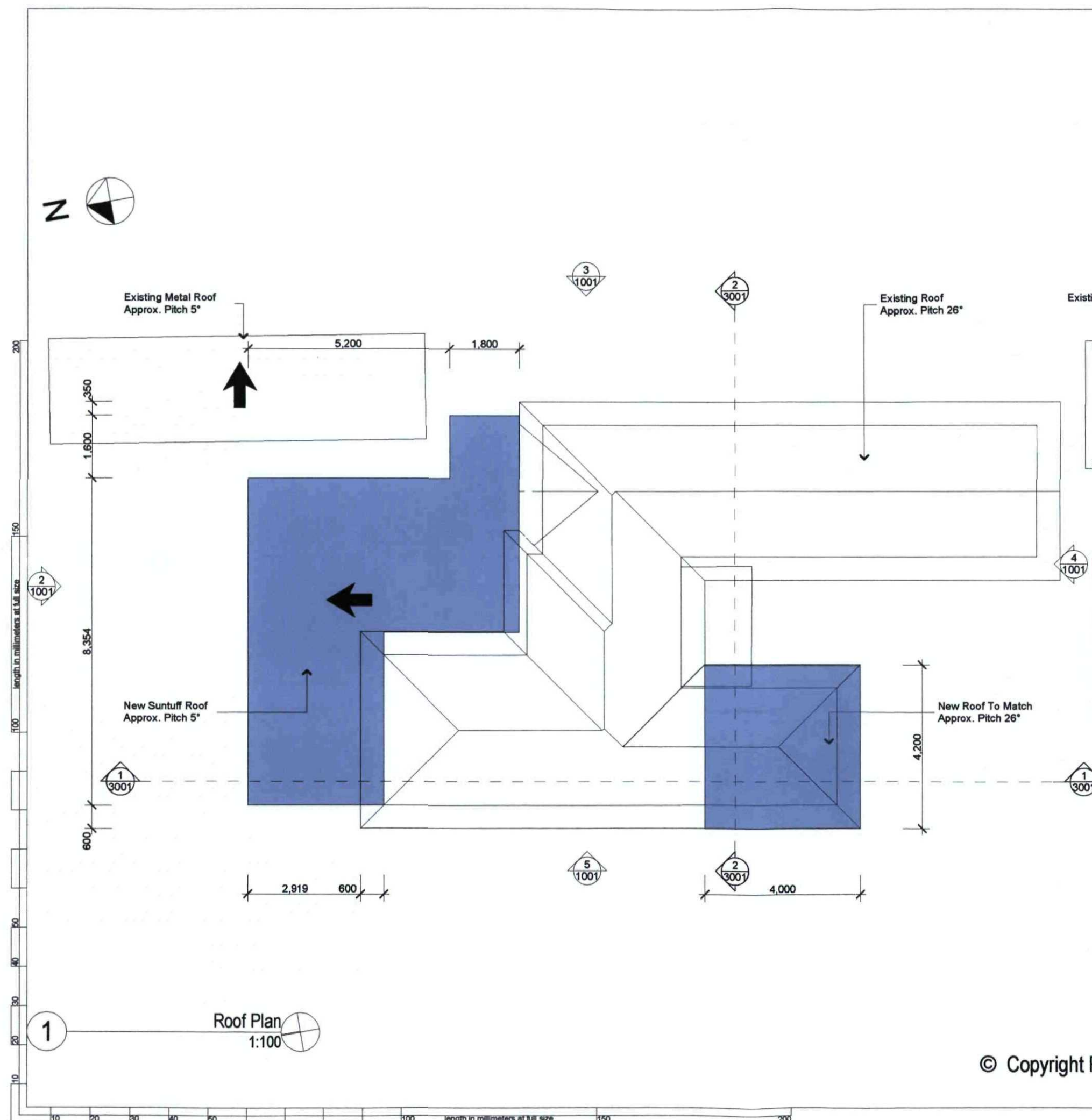
Drawing No:

2002

9/11/2009

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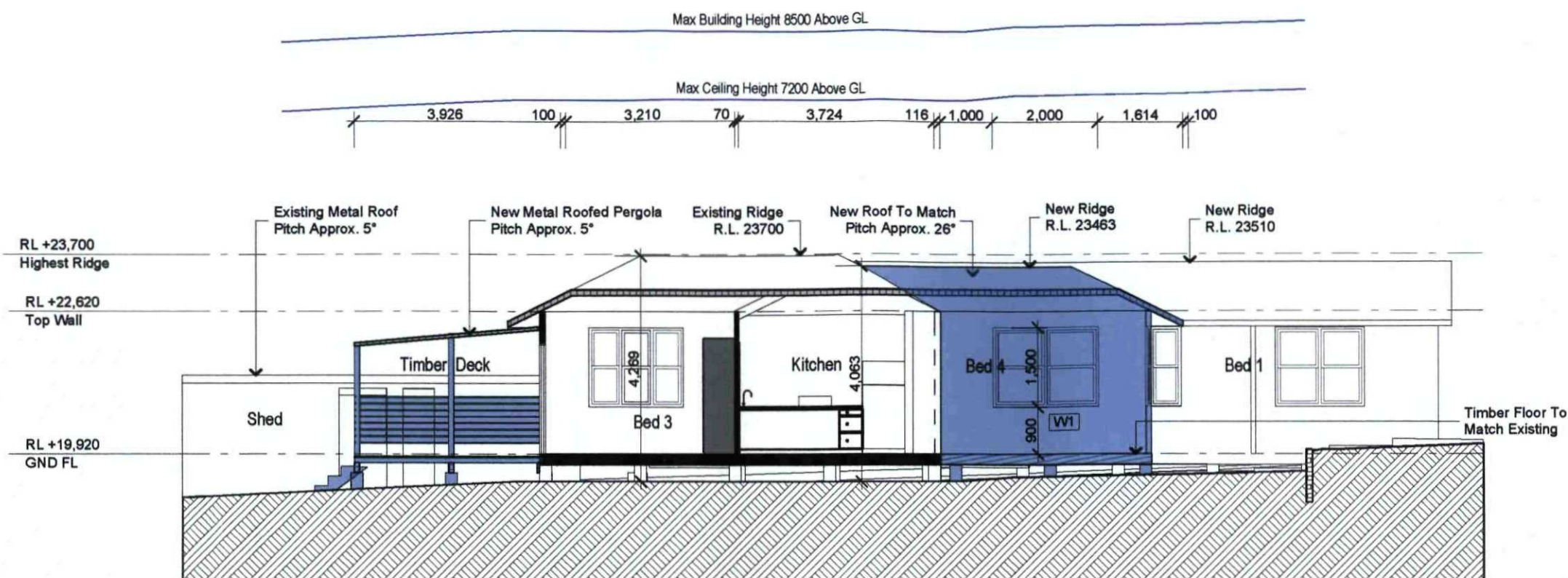


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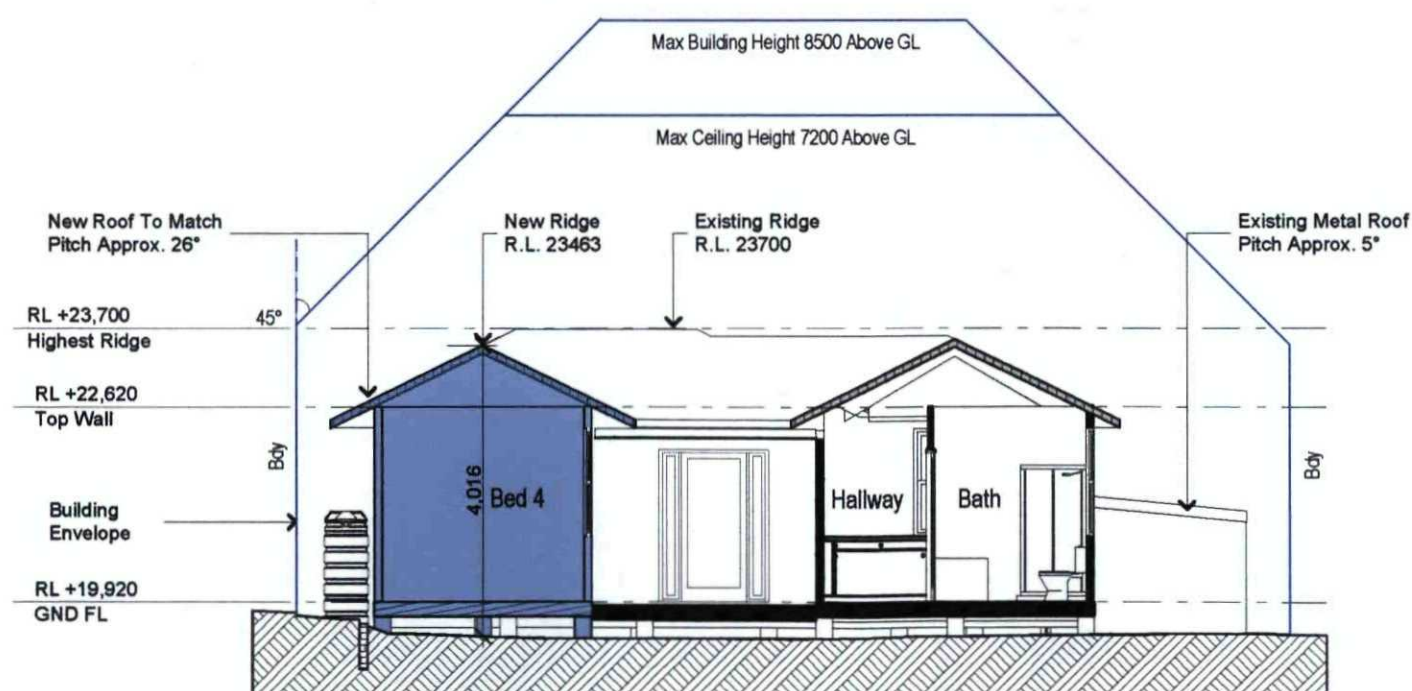
28 Carawa Road, Cromer in Locality E2
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Blue
28 Carawa Road, Cromer is not considered a heritage item

Construction

Timber Floor, Timber Clad and light weight timber framed Walls
Roof to be Tied to Match Existing
Insulation to External Timber Walls R 2.5
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps



1
Section 1
1:100



2
Section 2
1:100

THIS PLAN IS TO BE READ
IN CONJUNCTION WITH
DA 2009 / 1626 -
WARRINGAH COUNCIL



Site Information	Proposed	Compliance
Site Area	863.5m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural ground level	7.2m	Yes
Maximum Building Height	8.5m	Yes
Front Setback	6.5m	Yes
Rear Setback	6.0m	Yes
Minimum side boundary setback	0.9m	Yes
Building envelope	4m @45°	Yes
% of landscape open space (40% min)	67%	Yes
Impervious area (m ²)	280.66m ²	Yes
Maximum cut into ground (m)	X	Yes
Maximum depth of fill (m)	X	Yes
Number of car spaces provided	2	Yes

NOT FOR CONSTRUCTION

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Client
Steven & Sally Hill
Project Name
CARAWA
28 Carawa Road Cromer
2086

DP738212 Lot 316

Drawing Title
Sections - Sections
Section 1, Section 2

Scale: as noted

Date

Status: PRELIMINARY

Checked By

Project No

Drawing No

RP1009HIL

3001

Plot Date

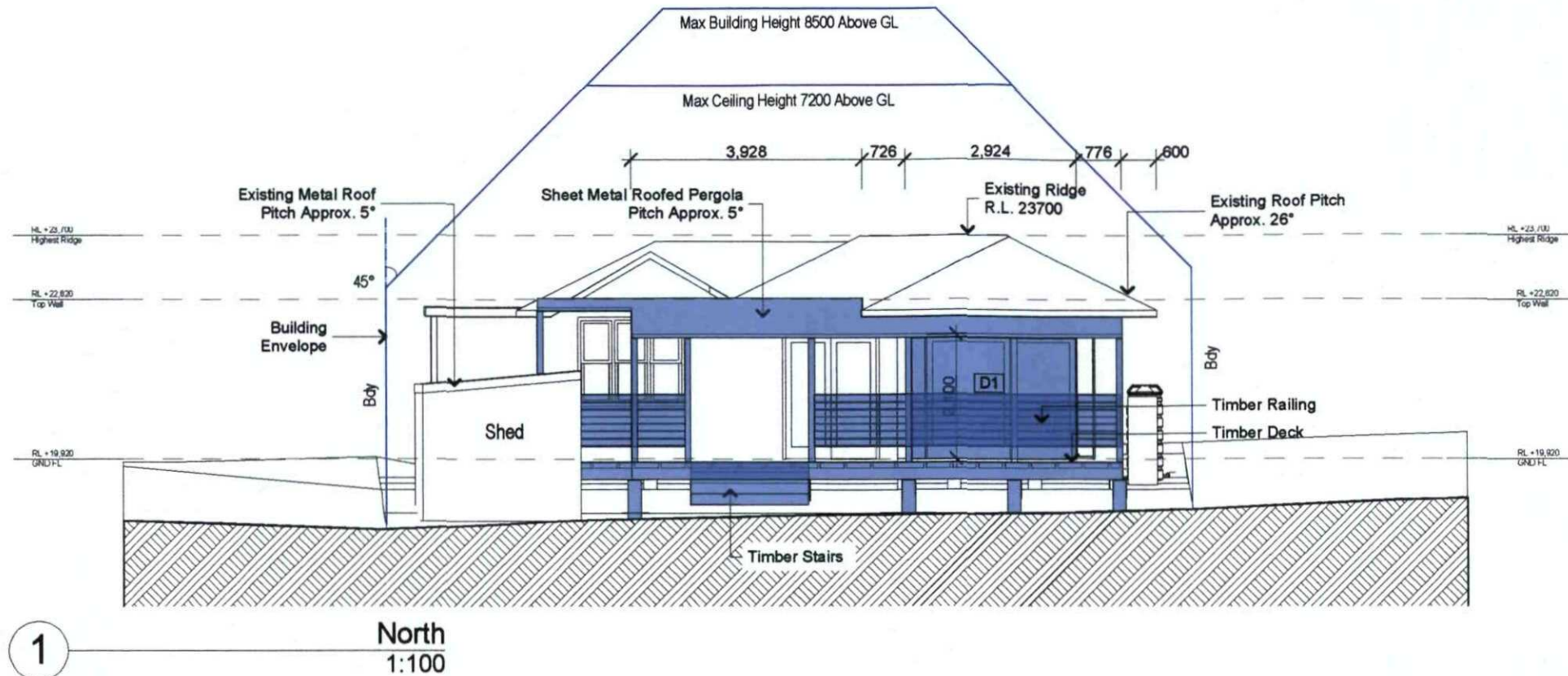
9/11/2009

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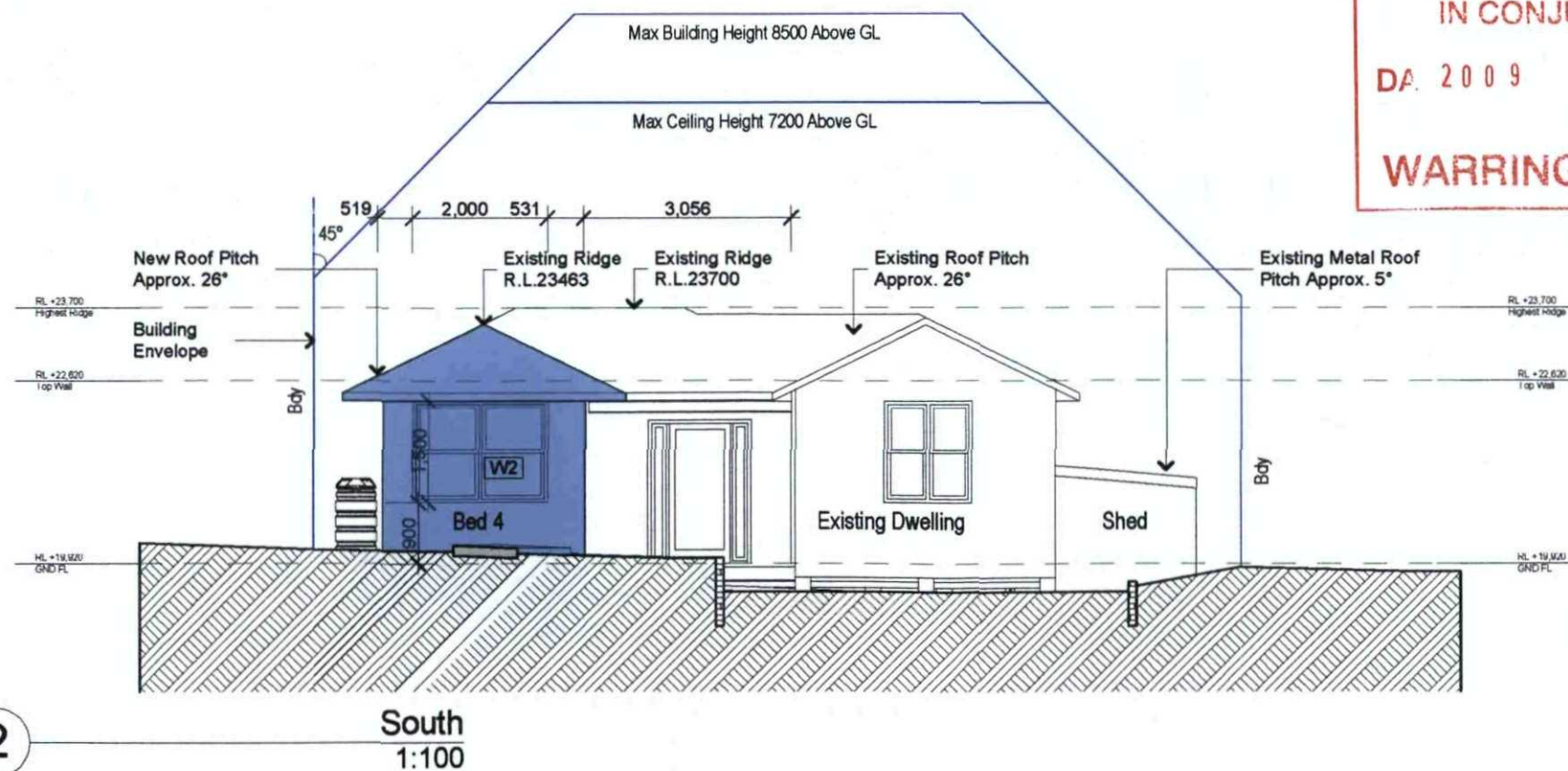
28 Carawa Road, Cromer in Locality E2
All Plans to be read in conjunction with Basic
Certificate
New Works to be constructed shown in Blue
28 Carawa Road, Cromer is not considered a heritage
item

Construction

Timber Floor: Timber Clad and light weight timber
framed Walls
Roof to be Tied to Match Existing
Insulation to External Timber Walls R 2.5
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps



THIS PLAN IS TO BE READ
IN CONJUNCTION WITH
DA 2009 / 1626
WARRINGAH COUNCIL



Site Information	Proposed	Compliance
Site Area	863.5m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural ground level	7.2m	Yes
Maximum Building Height	8.5m	Yes
Front Setback	6.5m	Yes
Rear Setback	6.0m	Yes
Minimum side boundary setback	0.9m	Yes
Building envelope	4m @45°	Yes
% of landscape open space (40% min)	67%	Yes
Impervious area (m ²)	280.66m ²	Yes
Maximum cut into ground (m)	x	Yes
Maximum depth of fill (m)	x	Yes
Number of car spaces provided	2	Yes

**NOT FOR
CONSTRUCTION**

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Architect. Do not scale the drawings. Drawings shall
not be used for construction purposes until issued
by the Architect for construction.

Client
Steven & Sally Hill
Project Name
CARAWA
28 Carawa Road Cromer
2086

DP738212 Lot 316

Drawing Title
Elevations - Elevations 1
North, South

Scale as noted

Status PRELIMINARY

Project No

RP1009HIL

Plot Date

Checked By

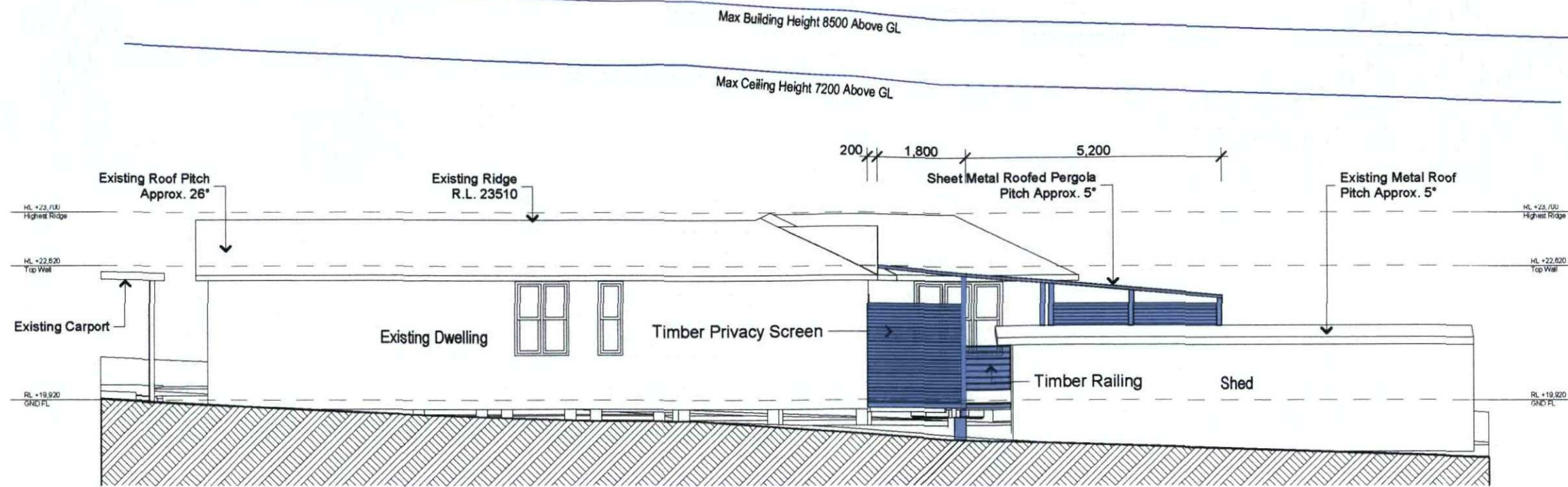
Drawing No

4001

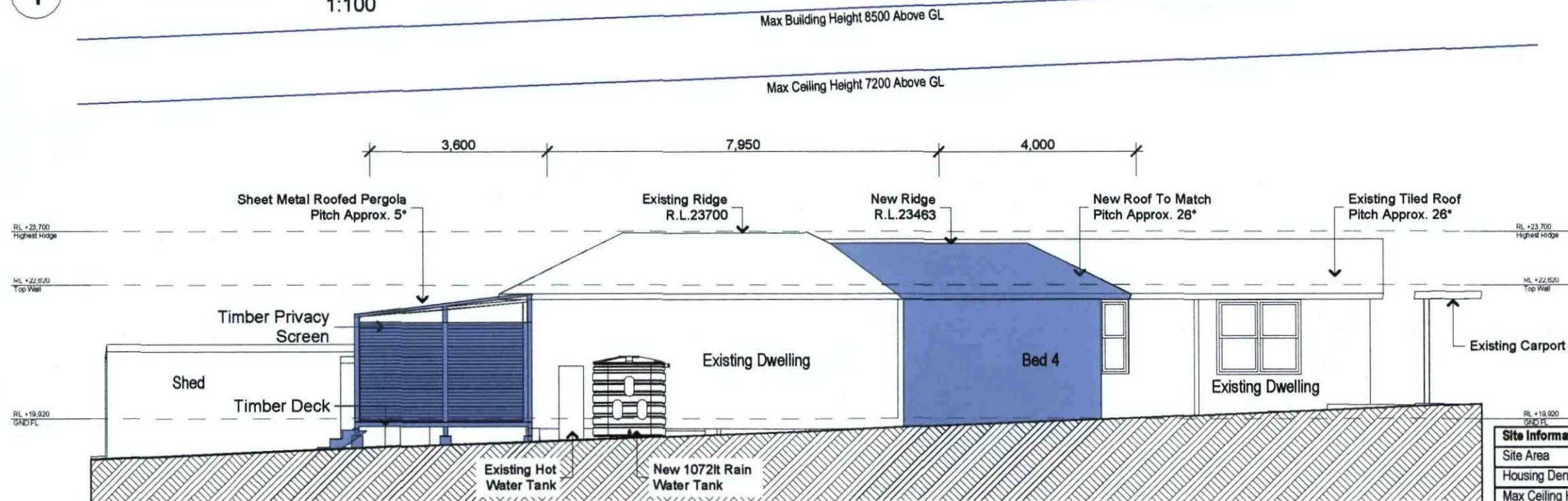
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1
East
1:100



2
West
1:100

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WARRINGAH COUNCIL

NOTES

28 Carawa Road, Cramer in Locality E2
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Blue
28 Carawa Road, Cramer is not considered a heritage item
Construction
Timber Floor, Timber Clad and light weight timber framed Walls
Roof to be Tiled to Match Existing
Insulation to External Timber Walls R 2.5
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3680.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Site Information	Proposed	Compliance
Site Area	863.5m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural ground level	7.2m	Yes
Maximum Building Height	8.5m	Yes
Front Setback	6.5m	Yes
Rear Setback	6.0m	Yes
Minimum side boundary setback	0.9m	Yes
Building envelope	4m @45	Yes
% of landscape open space (40% min)	67%	Yes
Impervious area (m ²)	280.66m ²	Yes
Maximum cut into ground (m)	x	Yes
Maximum depth of fill (m)	x	Yes
Number of car spaces provided	2	Yes



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Client:
Steven & Sally Hill

Project Name:
CARAWA
CARAWA, Cramer
2089

LOT 316 D.P.738212

Drawing Title:
Elevations - Elevations 2
East, West

Scale: as noted
Status: PRELIMINARY
Project No.: RP1009HIL

Date: Custom 1
Checked By:
Drawing No.: 4002