

Issue	Description	Date
A	FOR INFORMATION	23.03.2020
B	FOR DEVELOPMENT APPLICATION	01.05.2020

LEGEND	
	NEW 190 MASONRY PARTY WALL - 60/60/60 FROM FOUNDATIONS TO ROOF WITH ACOUSTIC TREATMENT EITHER SIDE
	NEW WALL - EXTERNAL CLADDING: 92MM TIMBER STUD, R3.5 BATT, 13MM PLASTERBOARD (GREATER THAN BASIX REQ. DUE TO ACOUSTIC REQ.)
	NEW WALL - INTERNAL TIMBER STUD WALL WITH 13MM PLASTERBOARD EACH SIDE
	EXISTING DOUBLE BRICK WALL TO REMAIN
	EXISTING BRICK WALL TO BE DEMOLISHED
	NEW ROOF FRAMING + R5.0HP BATT + INTERNAL FOIL + EF2 (SEE BELOW) (GREATER THAN BASIX REQ. DUE TO ACOUSTIC REQ.)
	EXISTING FENCE TO BE REMOVED AND REPLACED
	BOUNDARY LINE EXISTING
	PROPOSED DIVISION BOUNDARY LINE
	WINDOW ID REFER TO WINDOW SCHEDULE
	EXTERIOR DOOR ID REFER TO DOOR SCHEDULE
	EXTERIOR GATE ID REFER TO DOOR SCHEDULE
	EXTERIOR FINISH - PAINTED JH MATRIX 8MM FIBRE CEMENT + 19MM SCYON CAVITY TRIM
	EXTERIOR FINISH - COLORBOND ENSEAM ON 19MM PLYWOOD SUBSTRATE - SURFMIST
	EXTERIOR FINISH - NEW CLAY TILE
	EXTERIOR FINISH - EXISTING BAGGED RENDER
	EXTERIOR FINISH - EXISTING BRICKFACE

Designer
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Client

CHARLIE HAYNES AND
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Project
DEVELOPMENT APPLICATION FOR:

ALTERATIONS AND ADDITIONS TO
EXISTING DUAL OCCUPANCY

AND TORRENS TITLE SUBDIVISION
INTO TWO (2) LOTS WITHIN THE
SUBJECT SITE OF:

LOT: 1 DP: 965161
NO. 11 DENISON STREET, MANLY,
2095

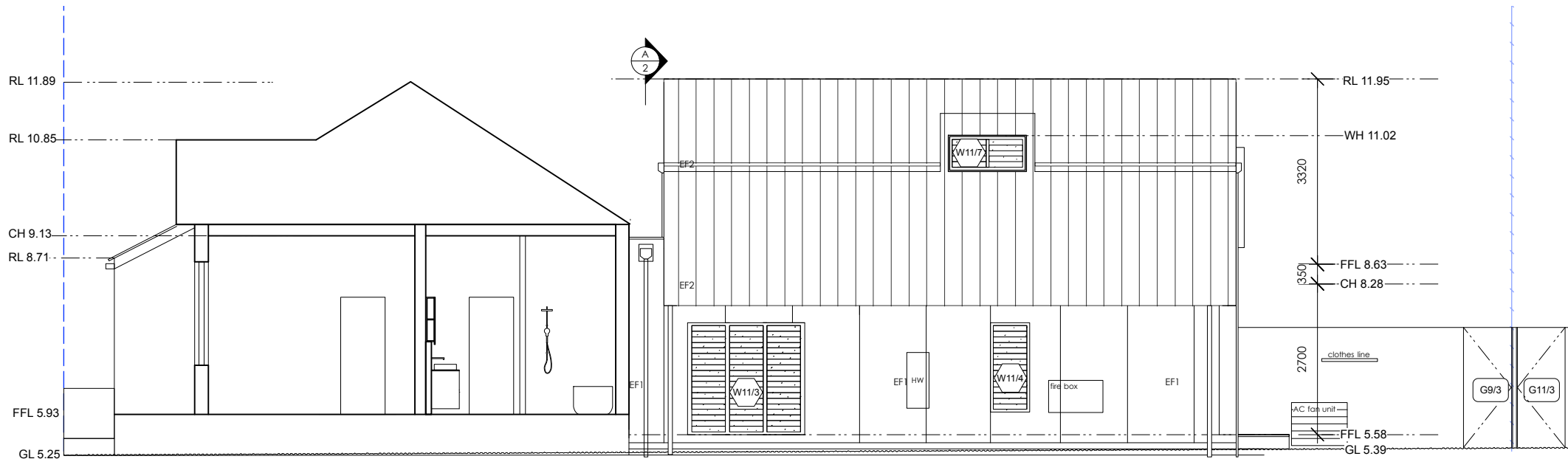
Title
**DEMOLITION AND
ROOF PLAN**

Drawing No.	02 A4	Issue	B
Scale	see label	Drawing Size	A3
Project No.		Date	01.05.19

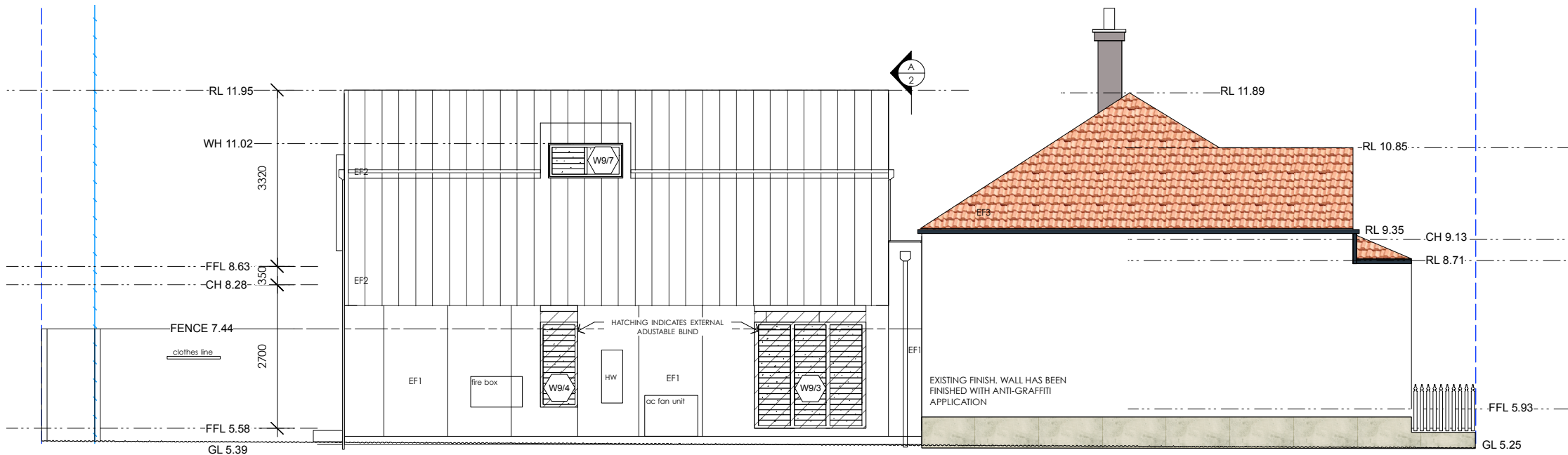
FOR DEVELOPMENT
APPLICATION



1 WEST ELEVATION
1:100 @ A3



2 EAST ELEVATION
1:100 @ A3



3 SOUTH ELEVATION
1:100 @ A3



4 NORTH ELEVATION
1:100 @ A3



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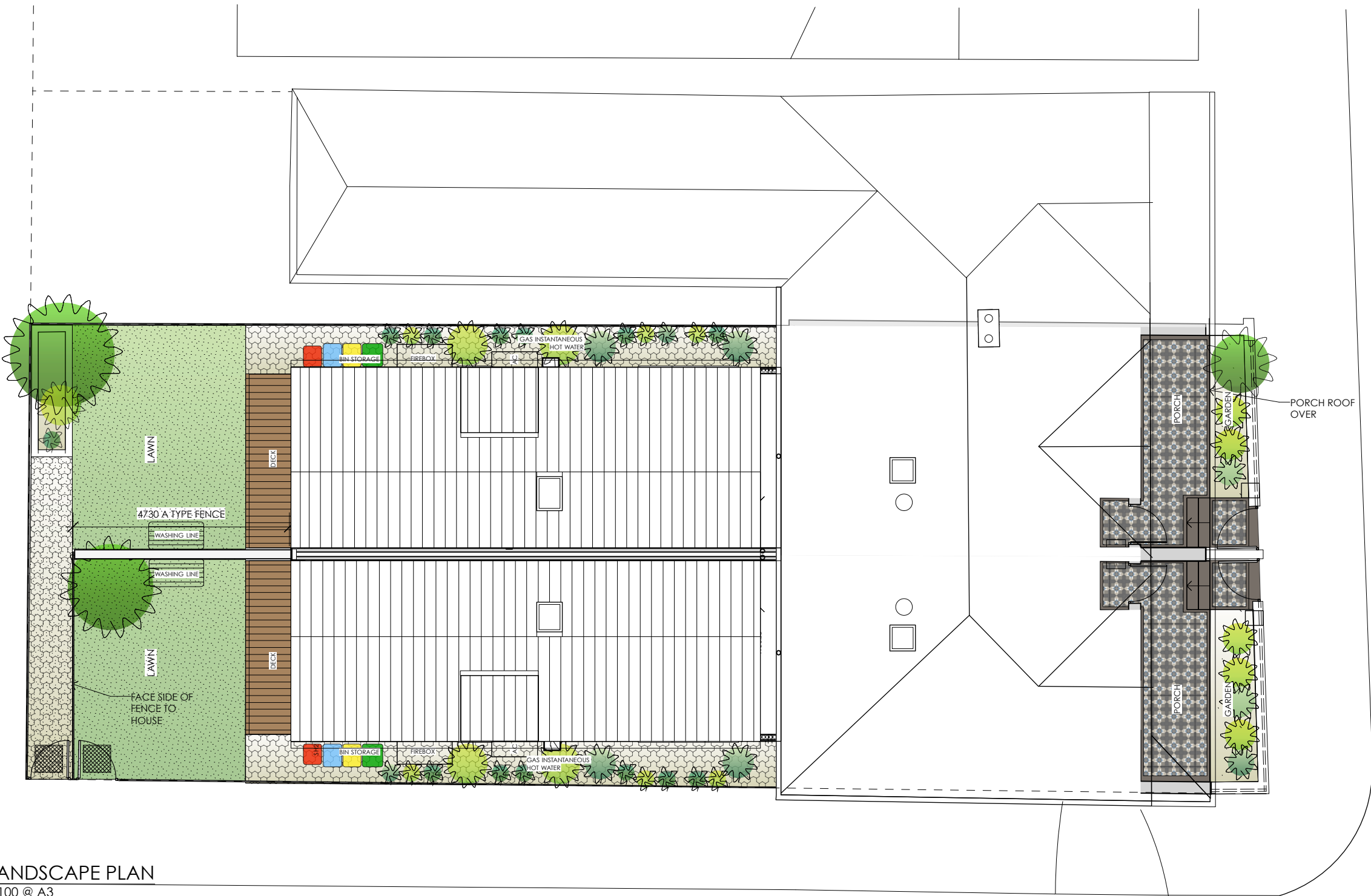
Title

ELEVATIONS

Drawing No.	04	Issue	B
Scale	see label	Drawing Size	A3
Project No.		Date	01.05.19

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APPLICATION

Issue	Description	Date
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1 LANDSCAPE PLAN

1:100 @ A3



LAWN - SYNTHETIC LAWN ILLUSION
XHD 40 USE 3.75M ROLL TO REDUCE JOINTS



DECK



SIDE PASSAGEWAY
DRAINAGE



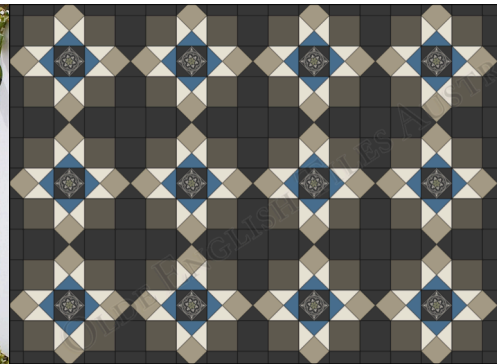
FENCE PLANTING



MAINTAIN
FRANGIPANI TREES



PICKET FENCE



TILES - TESSILATED OLDE ENGLISH TILES

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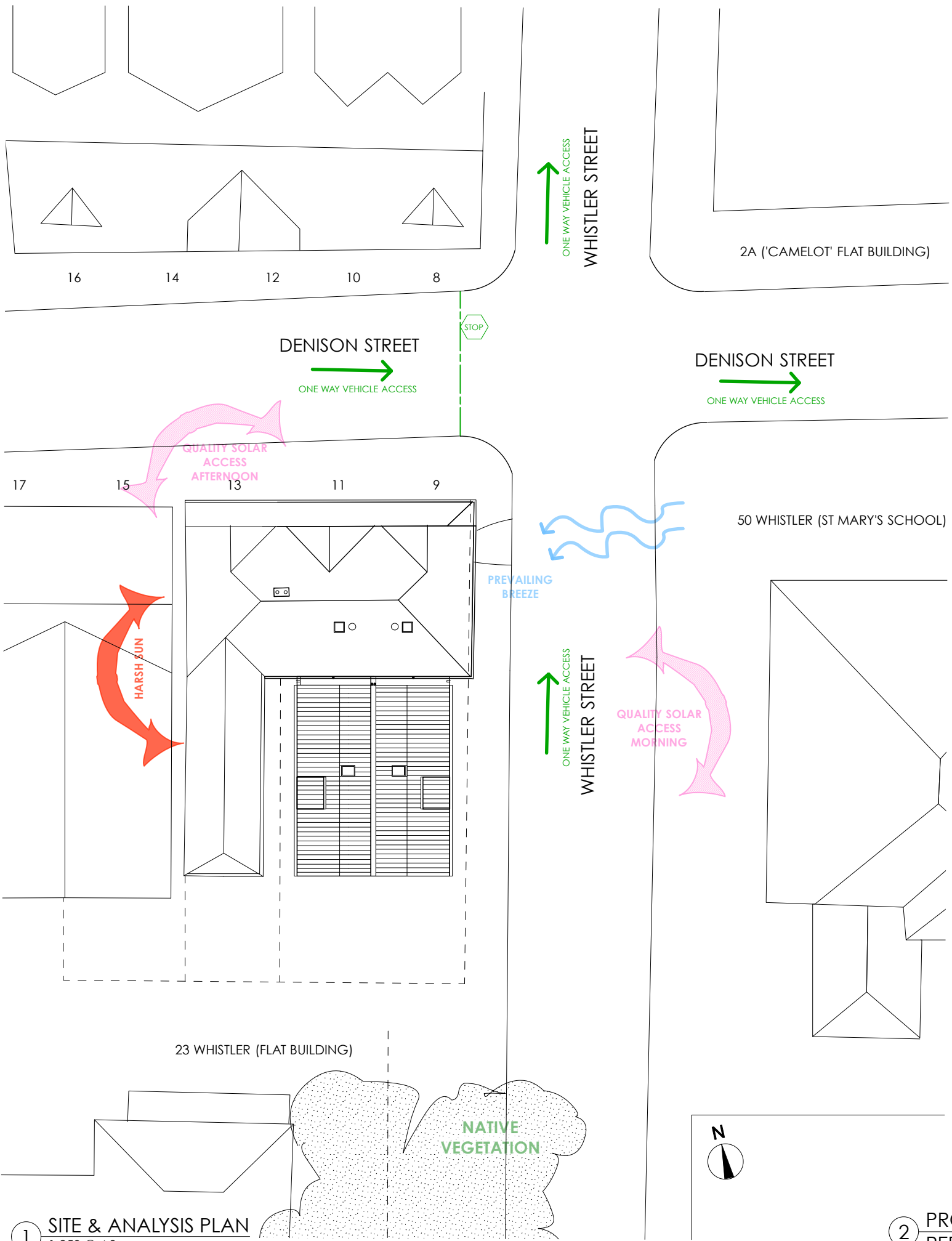
Title

LANDSCAPE PLAN

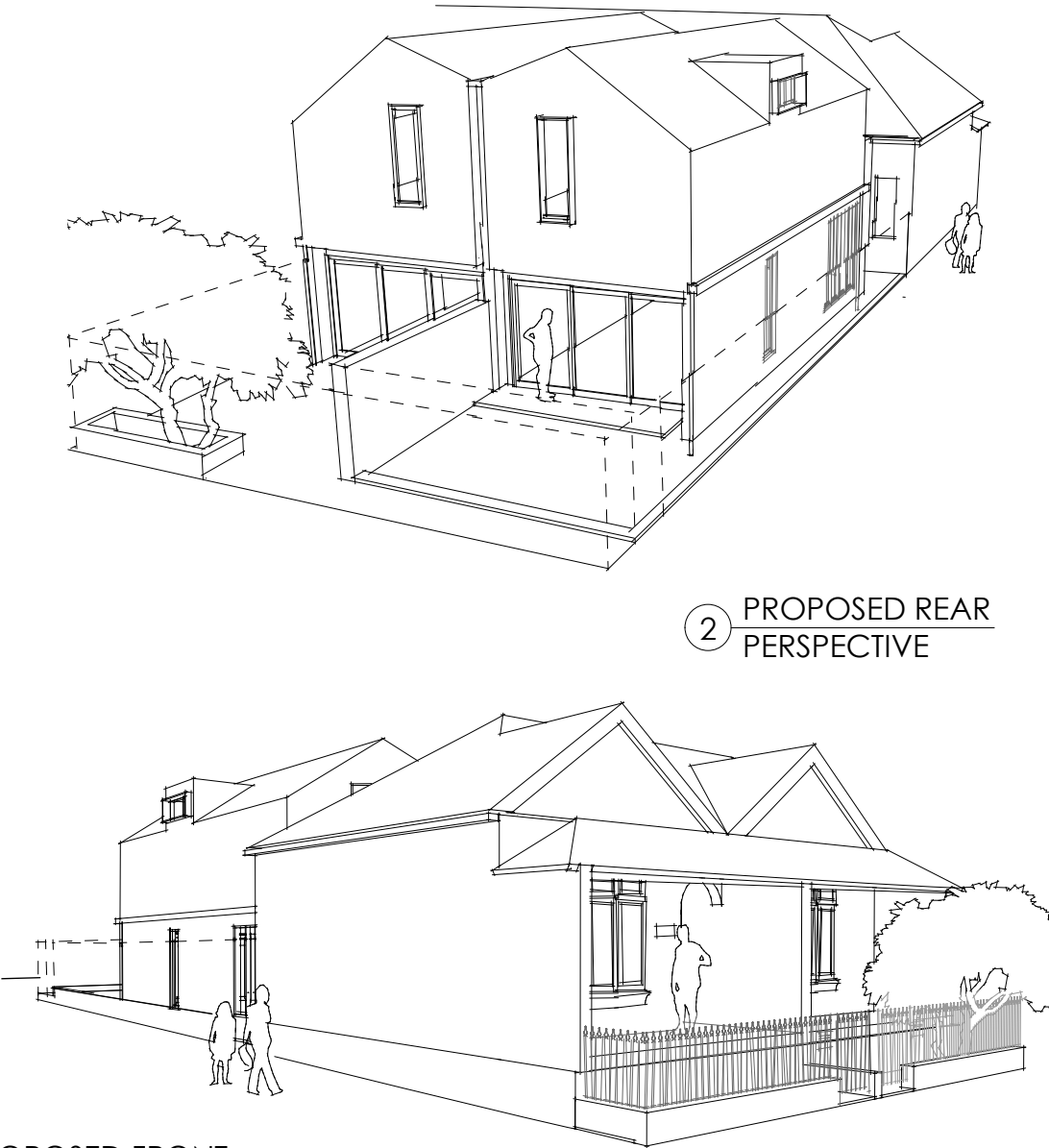
Drawing No.	05	Issue	B
Scale	see label	Drawing Size	A3
Project No.	Date	Drawn By	01.05.19

FOR DEVELOPMENT
APPLICATION





1 SITE & ANALYSIS PLAN
1:250 @ A3



2 PROPOSED FRONT
PERSPECTIVE

2 PROPOSED REAR
PERSPECTIVE

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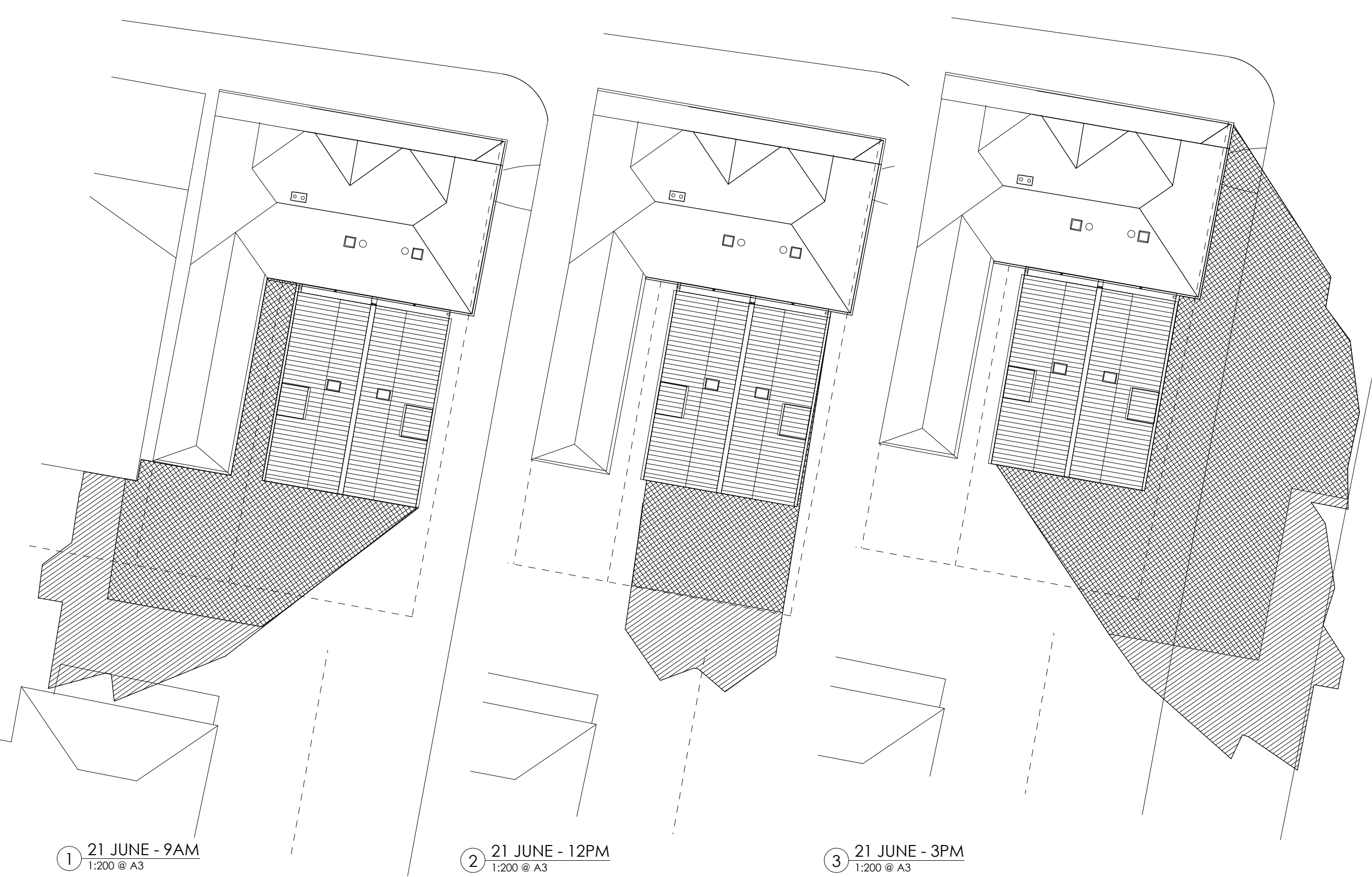
LOT: 1 DP: 965161
NO. 11 DENISON STREET, MANLY,
2095

Title

SITE ANALYSIS
PLAN & PERSPECTIVES

Drawing No.	06	Issue	B
Scale	see label	Drawing Size	A3
Project No.		Date	01.05.19
		Drawn By	

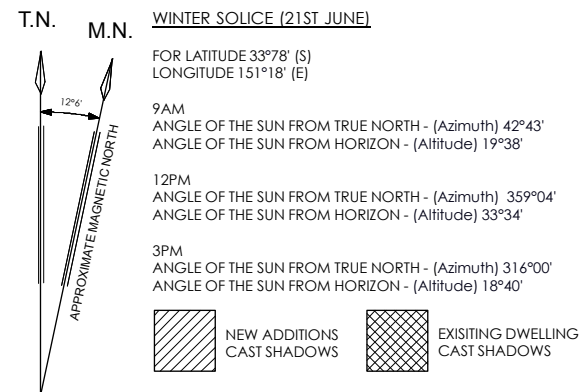
FOR DEVELOPMENT
APPLICATION



① 21 JUNE - 9AM
1:200 @ A3

② 21 JUNE - 12PM
1:200 @ A3

③ 21 JUNE - 3PM
1:200 @ A3



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Title
**SHADOW DIAGRAMS
WINTER SOLTICE
21 JUNE**

Drawing No.	07	Issue	B
Scale	see label	Drawing Size	A3
Project No.		Date	01.05.19
		Drawn By	

FOR DEVELOPMENT
APPLICATION

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ALTERATIONS AND ADDITIONS TO
EXISTING DUAL OCCUPANCY

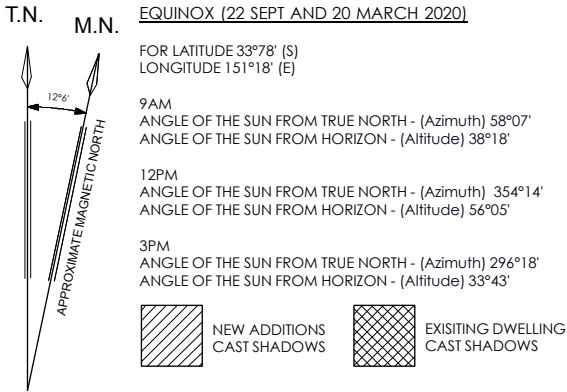
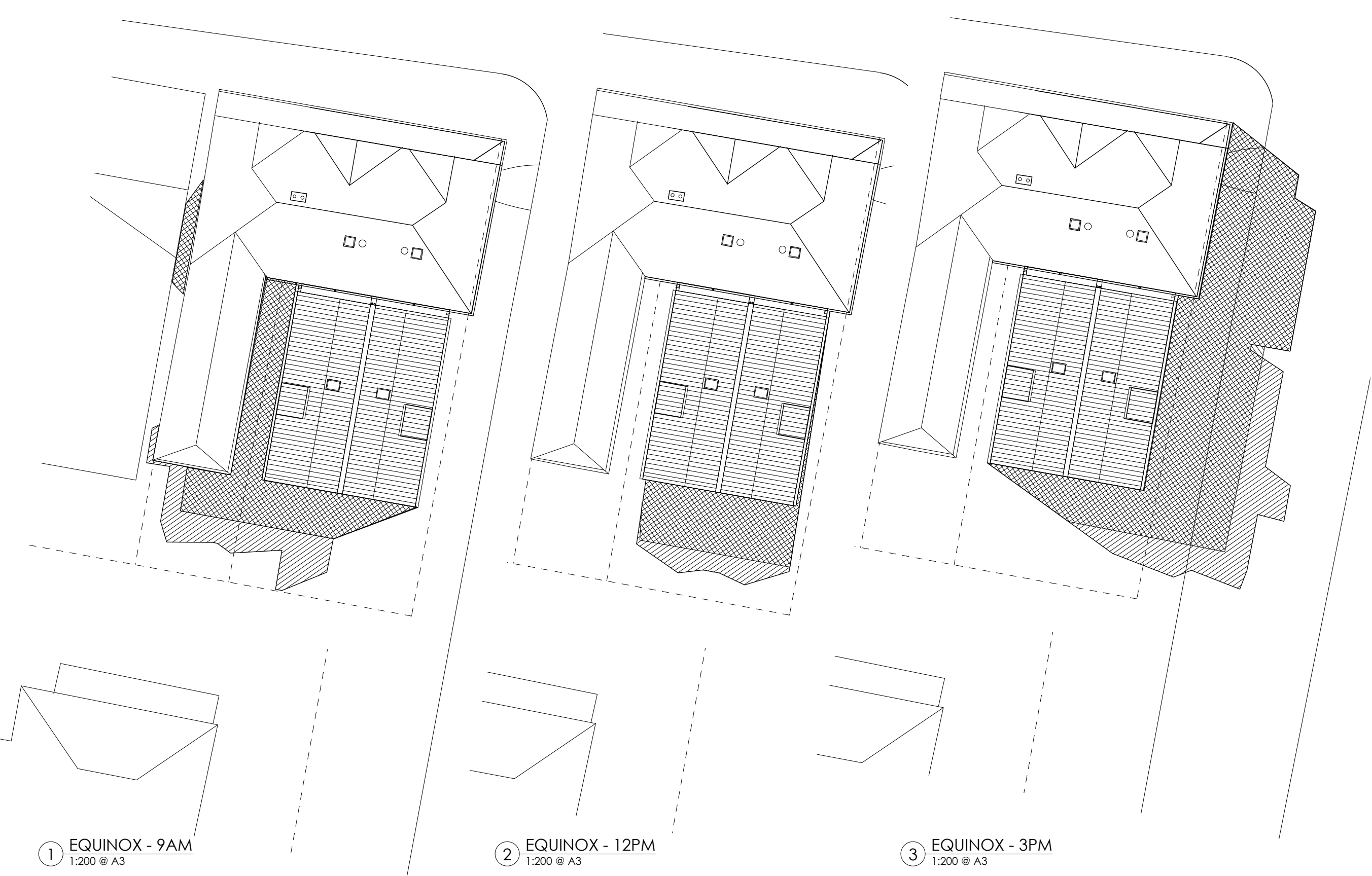
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SUBJECT SITE OF:

LOT: 1 DP: 965161
NO. 11 DENISON STREET, MANLY,
2095

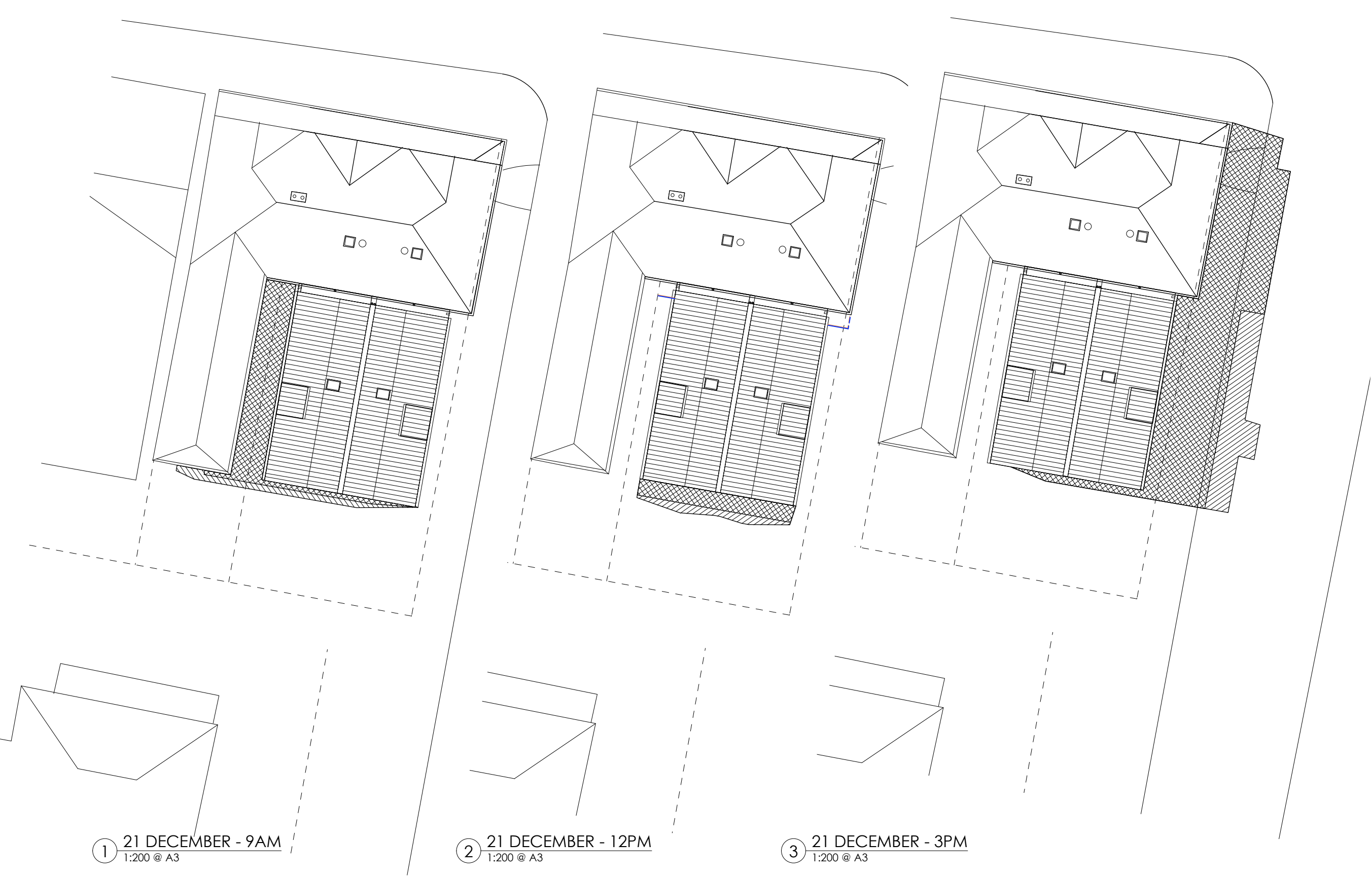
Title
**SHADOW DIAGRAMS
EQUINOX
MARCH AND SEPT**

Drawing No.	08	Issue	B
Scale	see label	Drawing Size	A3
Project No.		Date	01.05.19
		Drawn By	

FOR DEVELOPMENT
APPLICATION



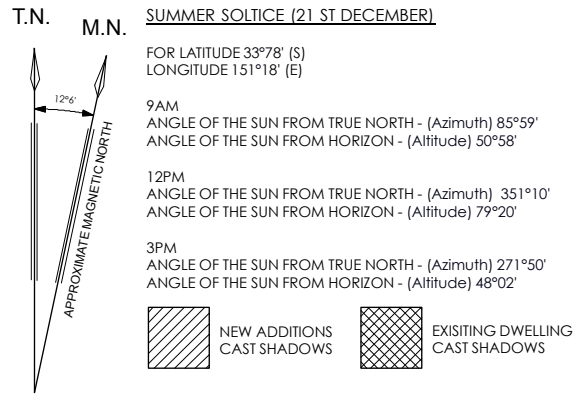
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① 21 DECEMBER - 9AM
1:200 @ A3

② 21 DECEMBER - 12PM
1:200 @ A3

③ 21 DECEMBER - 3PM
1:200 @ A3



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Title
**SHADOW DIAGRAMS
SUMMER SOLTICE
21 DECEMBER**

Drawing No.	09	Issue	B
Scale	see label	Drawing Size	A3
Project No.		Date	01.05.19
		Drawn By	

FOR DEVELOPMENT
APPLICATION