



**75 INNES ROAD
MANLY VALE**

**STATEMENT OF ENVIRONMENTAL EFFECTS
FOR ALTERATIONS AND ADDITIONS TO AN EXISTING DWELLING**



Report prepared for
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1. Introduction

- 1.1** This is a Statement of Environmental Effects for alterations and additions to an existing single storey dwelling at 75 Innes Road, Manly Vale.
- 1.2** The report describes how the application addresses and satisfies the objectives and standards of relevant State Environmental Planning Policies, the Warringah Local Environmental Plan 2011, the Warringah Development Control Plan 2011, and the heads of consideration listed in Section 4.15 of the Environmental Planning and Assessment Act 1979 (as amended).
- 1.3** This Statement of Environmental Effects has been prepared with reference to the following:
- Site visit
 - Site Survey prepared by C&A Surveyors
 - Architectural Drawings prepared by Action Plans
 - BASIX Certificate prepared by Action Plans
 - Geotechnical Assessment prepared by AscentGEO
- 1.4** The proposed development is compliant with the objectives of all Council controls, considerate of neighbouring residents and will result in an appropriate development, worthy of Council consent.

2. The site and its locality

- 2.1** The subject site is located on the southern side of Innes Road, approximately 90 metres west of its intersection with Addiscombe Road. It is legally described as Lot 1 DP 848925 and is known as 75 Innes Road, Manly Vale.
- 2.2** It is an irregular shaped lot with a front boundary of 12.935 metres (north – Innes Road frontage), 12.19 metres (south, rear boundary) and side boundaries of 26.825 metres (west) and 22.275 metres (east). It has frontage to and vehicular access from Innes Road and comprises an area of 299.2m². A 1m drainage easement runs the full length of its eastern boundary.
- 2.3** The site is currently improved with a single storey weatherboard house with a tile roof. It rises from the north eastern corner at the street frontage towards the rear south western corner by approximately 2.5 metres.
- 2.4** The property is surrounded by detached residential dwellings in all directions. It is located in close proximity to shops and services on Condamine Street and the Manly Golf Club is located to the east.



Figure 1. Aerial Image of the subject site



Figure 2. The site within the locality

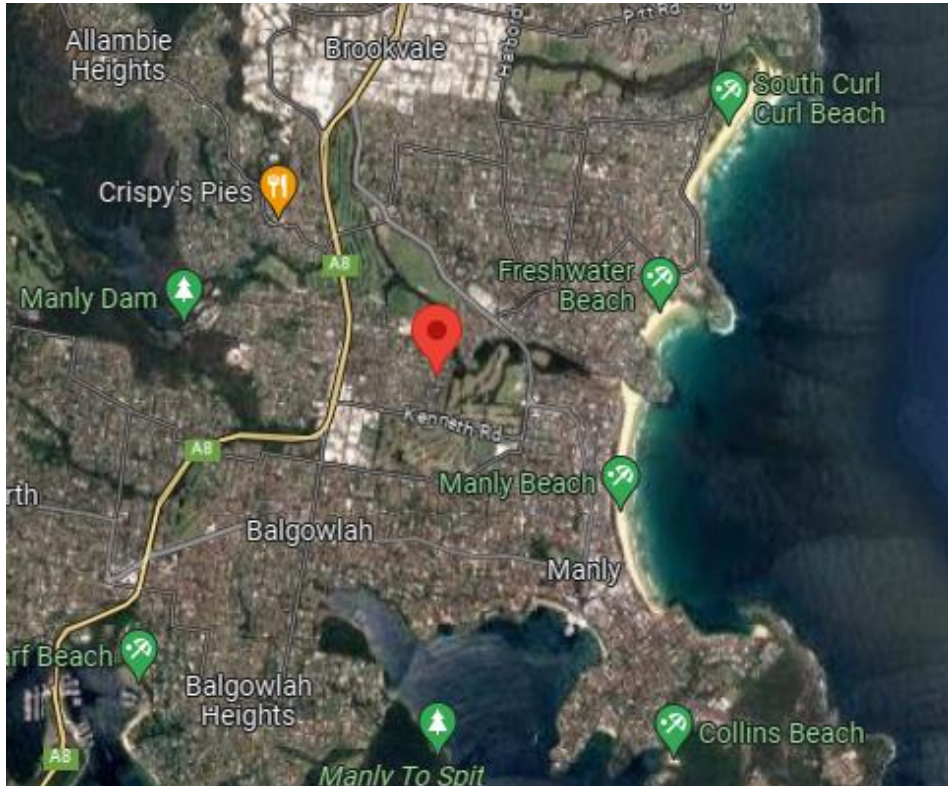


Figure 3. Aerial Image of the site within the locality

3. Site Photos



Figure 4. Looking south from the front yard of the subject site



Figure 5. Looking south west, the adjoining dwelling at 73 Innes Road



Figure 6. Looking south, the view towards the adjoining dwelling at 77 Innes Road



Figure 7. Looking north east, the rear of the existing dwelling



Figure 8. Looking south, from the rear yard towards the neighbouring dwelling at 46 Parkes Street



Figure 9. Looking south, the side (western) setback to 73 Innes Road



Figure 10. Looking south, the eastern side setback



Figure 11. Looking south, the existing front deck to be realigned

4. Proposed Development

- 4.1** The proposed development is for alterations and additions to an existing dwelling, including a new first floor level.
- 4.2** The dwelling has been designed to ensure that it works with the limitations of the site, accommodates the slope, and will result in a dwelling that is complimentary to Innes Road.
- 4.3** The proposed works will be made up as follows:

Carport Floor Plan

- Existing timber lattice replaced with new timber screening

Ground Floor

- Internal demolition works and removal of existing front balcony
- New front deck to replace existing (to be 'squared off')
- New internal layout to accommodate:
 - Entrance hall to dwelling
 - Open plan living and dining area
 - Kitchen and pantry
 - Laundry
 - Bathroom
 - Office
 - Internal stair to upper floor

First Floor

- Master bedroom with walk-in robe and ensuite
- Bedroom 1/flex space, bedrooms 2 and 3 with WIR's
- Bathroom,
- Stair to lower level,

Site

- New lawn within rear yard
- Stairs from eastern side of dwelling to rear lawn
- New front path/entry to dwelling and steps within western side setback
- Skylight between beds 1 and 2

5. Statutory Framework

5.1 State Environmental Planning Policies

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

Schedule 1 of the Environmental Planning and Assessment Regulation (2000) sets out the requirement for a BASIX certificate to accompany any BASIX affected building, being any building that contains one or more dwellings, but does not include a hotel or motel. SEPP BASIX applies to the proposal and a compliant BASIX certificate is provided with this application.

State Environmental Planning Policy (Biodiversity and Conservation) 2021 (formerly SEPP Vegetation in Non-Rural Areas 2017)

State Environmental Planning Policy (Biodiversity and Conservation) 2021 aims to protect biodiversity values and preserve the amenity of non-rural areas, through the preservation of trees and other vegetation. The proposal does not involve the removal of any significant vegetation on the site and remains consistent with the provisions of the SEPP.

State Environmental Planning Policy (Resilience and Hazards) 2021 (formerly SEPP No. 55 – Remediation of Land)

The subject site has historically been used for residential purposes and no change of use is proposed. There is no known reason to suspect the site may be contaminated and the consent authority can be satisfied that the land is suitable for the continued residential use.

5.2 Warringah Local Environmental Plan 2011

The relevant clauses of the Warringah Local Environmental Plan 2011 are addressed below.

Zoning

The site is zoned R2 Low Density Residential, pursuant to the provisions of the Warringah Local Environmental Plan 2011. The proposed development is for alterations and additions to a dwelling which is permissible with development consent in the R2 zone.

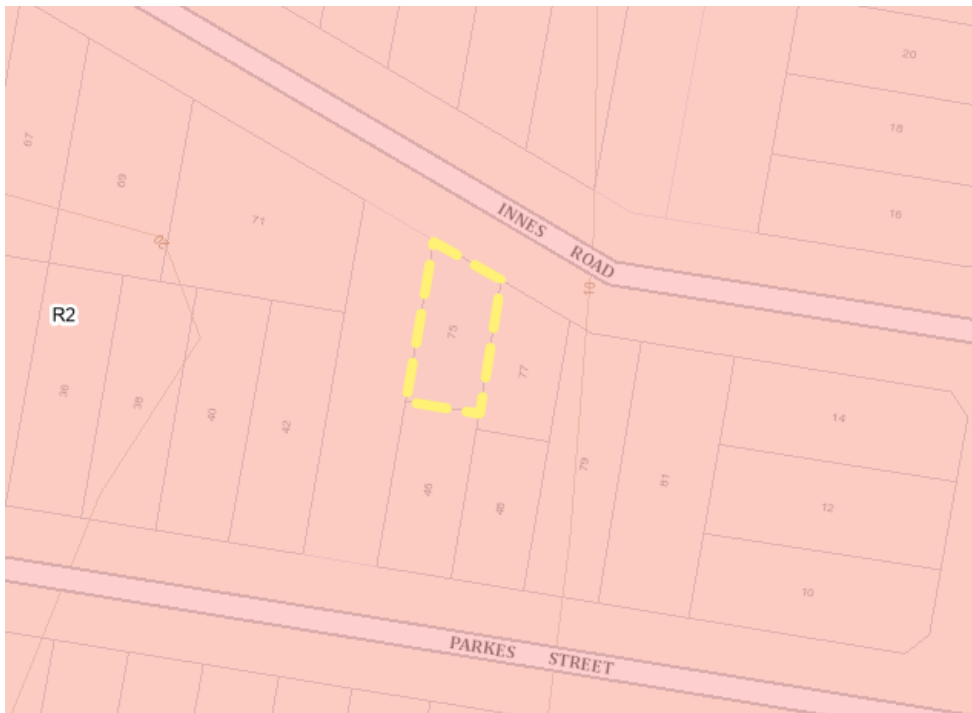


Figure 12. Extract from Warringah LEP 2011 Zoning Map

Minimum Lot Size

The site is mapped with a minimum lot size of 600m². The subject site comprises an undersized lot of 299.2m² and no subdivision is proposed.

Height of Buildings

The LEP restricts the height of any development on the subject site to 8.5 metres. The development proposes a compliant maximum height of 8.355metres.

Heritage Conservation

The site is not a heritage item, located within a heritage conservation area or located in proximity to a heritage item.

Acid Sulfate Soils

The site is not nominated as Acid Sulfate soils.

Flood Planning

The site is not identified on the Northern Beaches Flood Hazard Map.

Earthworks

Minimal earthworks are proposed to prepare the site for construction. Standard erosion and sediment control measures will be implemented to ensure best practice procedures are followed.

Development on Sloping Land

The site is located in the area nominated as Area B– flanking slopes 5 to 25. As such the consent authority must be satisfied that:

- (a) the application for development has been assessed for the risk associated with landslides in relation to both property and life, and*
- (b) the development will not cause significant detrimental impacts because of stormwater discharge from the development site, and*
- (c) the development will not impact on or affect the existing subsurface flow conditions.*

The attached Geotechnical Assessment demonstrates the proposal complies with Council controls.

5.3 Warringah Development Control Plan

The relevant sections of the DCP are addressed below.

Part A Introduction

Objectives

The proposed development is entirely consistent with the ecologically sustainable, environmental, social and economic objectives as specified in the DCP. The proposal is

appropriate to the site and the locality and has been designed with fulfilment of these objectives as essential criteria.

Part B General Controls

Wall Heights

A maximum wall height of 7.2 metres is permitted by the DCP and the development proposes a maximum wall height of 8.003 metres on the eastern side of the dwelling, where the natural ground level sits significantly lower than the western side of the lot. The maximum wall height on the western side being easily compliant.

Although the development proposes a variation to the maximum wall height on the eastern side (803mm), the objectives of the standard are achieved as is demonstrated below:

- *To minimise the visual impact of development when viewed from adjoining properties, streets, waterways and land zoned for public recreation purposes.*

As mentioned above, due to the sloping topography the proposal results in a breach of 803mm to the wall height on the eastern side of the dwelling.

The area of the non-compliance at the upper floor level is setback in excess of 2.5 metres from the eastern property boundary. It is also positioned over 4.5 metres from the neighbouring property at 77 Innes Road to provide appropriate separation. On this basis, the visual impact to this neighbour is considered appropriate. Floor to ceiling heights have also been kept to a minimum to reduce the scale of the wall height.

Further, the dwelling at No.77 sits well below the subject site due to the topography sloping downwards in an easterly direction. Currently, the dwelling at No.77 would have little visibility of the dwelling on the subject site with western facing windows adjacent to boundary fencing at ground floor level. See Figure 6 above.

- *To ensure development is generally beneath the existing tree canopy level.*

There are no existing mature trees on the site or neighbouring sites.

- *To provide a reasonable sharing of views to and from public and private properties.*

The wall height variation is unlikely to result in any view loss to neighbouring properties.

A view analysis is provided below.

- To minimise the impact of development on adjoining or nearby properties.

The development proposes a compliant building height, side boundary setbacks and solar access, with minimal impact to neighbouring properties.

- To ensure that development responds to site topography and to discourage excavation of the natural landform.

As mentioned above, the variation to the wall height is a direct response to the sloping topography on the eastern side of the site. No Excavation works are proposed.

- To provide sufficient scope for innovative roof pitch and variation in roof design.

The design proposes an acceptable roof form with a 2° pitch to minimise the bulk and scale of the proposal and protect residential amenity.

Side Building Envelope

The site requires a side boundary envelope of 4m/45°. Due to the site topography, the proposed development results in a breach to the side boundary envelope on the eastern and western sides, as illustrated on the DA plan set. See Figure 13 below.

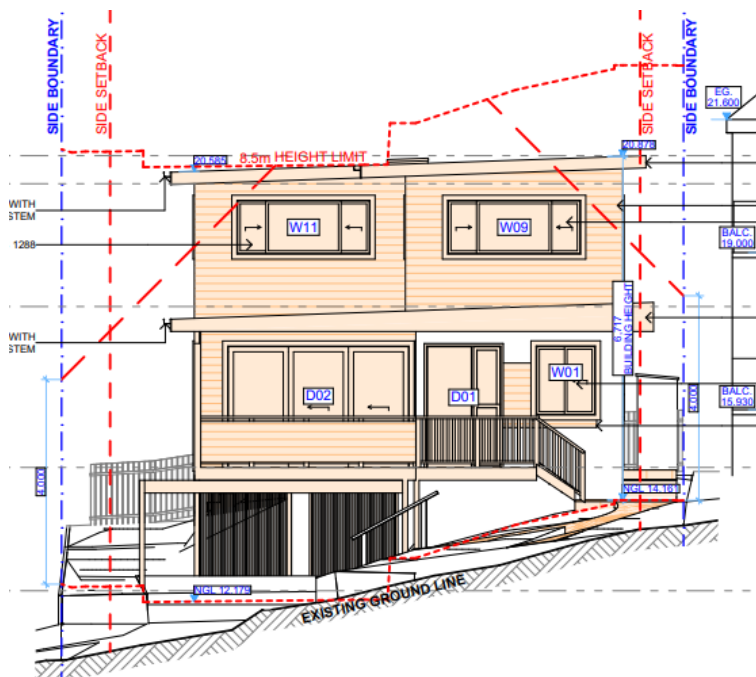


Figure 13. Excerpt from Architectural Drawing DA10 North Elevation

A variation to the boundary envelope is considered appropriate in this case as the development will not result in any unreasonable amenity issues for neighbouring dwellings, including solar access, and remains consistent with the objectives of the control, despite the variation, as addressed below:

- *To ensure that development does not become visually dominant by virtue of its height and bulk.*

The design of the dwelling responds to the sloping topography of the site. The proposed development incorporates compliant side setbacks to minimise bulk and scale of the dwelling. The appearance of the dwelling is consistent with other developments along the southern side of Innes Road.

- *To ensure adequate light, solar access and privacy by providing spatial separation between buildings.*

The shadow diagrams included with this application, demonstrate that the proposed development maintains equitable solar access to neighbouring properties.

The compliant side setbacks on the northern and southern sides will provide adequate spatial separation between buildings and allows compliant solar access and retention of privacy.

- *To ensure that development responds to the topography of the site.*

As mentioned above, the proposed development is located within the existing building footprint and appropriately responds to the topography of the site, in keeping with neighbouring developments.

Side Boundary Setbacks

Side setbacks of 900mm are permitted on the subject site by the DCP. The development proposes compliant side setbacks as follows:

East

Carport/underhouse – 2.471m

Ground Floor – 2.47m to 2.537m

Upper Floor – 2.47 to 2.537m

West

Carport/underhouse – 1.25m to 1.343m

Ground Floor – 1.25m to 1.3m

Upper Floor – 1.263m to 1.343m

A variation to the front setback is considered appropriate in this case as the development will not result in any unreasonable amenity issues for neighbouring dwellings or the streetscape, and remains consistent with the objectives of the control, despite the variation, as addressed below:

- To create a sense of openness.

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The proposed front setback of 4.89 metres to the front ground floor deck and existing compliant 6.37 metres to the front of the dwelling, provides an articulated and open dwelling design that responds to the constraints of the site. The proposed reconfiguration of the deck to make it more of a square shape makes it a more practical and functional outdoor area for the occupants of the dwelling. It also improves the overall appearance of the dwelling, resulting in a positive and contemporary addition to the streetscape.

- To maintain the visual continuity and pattern of buildings and landscape elements.

As described above, Innes Road does not have a consistent front setback pattern, rather it is characterised by a variety of setbacks. Building and landscape elements also vary as a result and include garages, carports, hard stand car parking areas, side building elevations and primary building elevations.

It is considered the development proposal represents a complimentary front setback to the front deck, not dissimilar to the existing front setback to the deck. The reduced setback also only applies to a portion of the deck not to its entire frontage.

- To protect and enhance the visual quality of streetscapes and public spaces.

The development proposes high-quality and aesthetically pleasing alterations and additions to the dwelling which will be an appropriate addition to Innes Road.

- To achieve reasonable view sharing.

A site visit has been undertaken and it is considered there will be no impact on any views.

Rear Setback

A rear setback of six (6) metres is required by the DCP. The existing development has a non-compliant rear setback of 5.379 metres and the development proposes to retain the existing rear setback at first floor level.

A variation to the rear setback control is considered appropriate, as described above the lot is an undersized lot, constrained by sloping topography and the existing dwelling is to be retained. In addition, the development remains consistent with the objectives of the control, despite the variation, as addressed below:

Objectives of the control:

- *To ensure opportunities for deep soil landscape areas are maintained.*

The existing development has a non-compliant landscaped open space area, as detailed further below. However, the development proposes an increase in landscaped area on the site with an existing paved area to be replaced with lawn in the rear yard.

The proposed development primarily consists of a new first floor level within the existing building footprint of the dwelling. There are no external changes at ground floor level with the exception of new timber screening to the underhouse area and landscaping works. Therefore, the proposal will have a negligible effect on the existing deep soil landscape areas on the site.

- *To create a sense of openness in rear yards.*

The positioning of the existing dwelling house on the site has resulted in a reduced setback to the rear property boundary, with a smaller rear yard. The proposed first floor level does not alter the setback at rear ground floor level. The development proposes the removal of a paved area at the rear of the dwelling and replacement with lawn which will improve the sense of openness in the rear yard. Further, the generous eastern and western side setbacks will be retained.

- *To preserve the amenity of adjacent land, particularly relating to privacy between buildings.*

It is not anticipated that the proposed rear setback at first floor level will significantly affect the privacy or amenity of neighbouring properties, particularly due to the sloping nature of the local topography and siting of neighbouring dwellings.

- *To maintain the existing visual continuity and pattern of buildings, rear gardens and landscape elements.*

Innes Road does not have a consistent front and rear setback pattern, rather it is characterised by a variety of setbacks and irregular shaped lots. Building and landscape elements also vary as a result with areas of landscaped open space provided at both the front and rear of dwellings.

With the retention of the existing rear setback at first floor level it is considered the development proposal represents a complimentary rear setback to neighbouring development.

- *To provide opportunities to maintain privacy between dwellings.*

As stated above, the proposed development ensures that privacy is maintained between dwellings. The existing topography and siting of neighbouring dwellings also prevents overlooking onto neighbouring properties.

Part C Siting Factors

Traffic, access and safety

The development proposes to retain the existing double carport on the site, with access from Innes Road.

Parking facilities

The DCP requires two (2) carparking spaces per dwelling, with a maximum garage width of 6 metres or 50% of the lot width (whichever is lesser).

The development retains the existing double carport.

Stormwater

See Concept Stormwater Plan attached to this development application package.

Excavation and Landfill

Minimal earthworks are proposed to allow for the alterations and additions to the dwelling. All materials will be removed and disposed of in accordance with all Council requirements.

Standard erosion and sediment control measures will be implemented, and any engineering specifications and conditions of consent adhered to, to ensure best practice procedures are followed.

Demolition and Construction

All earthworks and construction work will be undertaken as required by Council controls and compliant with any relevant conditions of consent.

Waste Management

Appropriate waste management will be undertaken during the construction process. All materials will be disposed of at an appropriate facility with details provided in the accompanying Waste Management Plan.

The design includes appropriate waste storage areas, with waste to be collected by Councils regular service.

Part D Design

Landscaped open space and bushland setting

The DCP requires 40% (119.68m²) landscaped area on the site. The development proposes an increase to the landscaped area on the site from 20% (61.93m²) to 24% (72.2m²), thereby allowing additional deep soil areas to be provided for landscaping. The increase is the result of the removal of a large, paved area and the replacement with lawn in the rear yard.

A variation to the landscaped area control is considered appropriate, in this case, as the development remains consistent with the objectives of the control, despite the variation, as addressed below:

- *To enable planting to maintain and enhance the streetscape.*

The proposed development does not involve any change to the existing building footprint of the dwelling at ground floor level and the site maintains sufficient area to enable onsite planting for the enhancement of the streetscape. The development proposes new landscaping to enhance the street frontage in this location.

- *To conserve and enhance indigenous vegetation, topographical features and habitat for wildlife.*

Not relevant to the subject site.

- *To provide for landscaped open space with dimensions that are sufficient to enable the establishment of low-lying shrubs, medium high shrubs and canopy trees of a size and density to mitigate the height, bulk and scale of the building.*

As stated above, there are no works proposed at ground floor level. However, the proposal involves the removal of an existing paved area within the rear yard and its replacement with lawn. It is considered that there is sufficient area for the retention and establishment of low-lying and medium shrubs and canopy trees within the site.

- *To enhance privacy between buildings.*

Privacy is easily maintained between dwellings, with compliant side building setbacks and privacy measures incorporated into the building design.

- *To accommodate appropriate outdoor recreational opportunities that meet the needs of the occupants.*

Appropriate outdoor recreation areas are proposed with a new reconfigured deck at the front of the dwelling and landscaped areas throughout. A rear patio is also retained at ground floor level.

- *To provide space for service functions, including clothes drying.*

There is sufficient area to accommodate service functions including clothes drying.

- *To facilitate water management, including on-site detention and infiltration of stormwater.*

Stormwater from the proposed alterations and additions will be connected to the existing drainage infrastructure on the site, which drains to Innes Road. See attached Concept Stormwater Management Plan.

Private open space

The DCP requires a minimum 60m² private open space and the development proposes private open space well in excess of this requirement.

Noise

The development will not result in noise levels inappropriate to the residential area.

The site is not located in close proximity to a noise generating activity.

Access to sunlight

At least 50% of the private open space of the subject site and the adjoining dwellings are required to receive a minimum of 3 hours of sunlight between 9am and 3pm on June 21 by this clause DCP.

The following observations are made of the shadow diagrams included with this application:

9am – The development will result in shadowing to a portion of the rear yard (above the existing pergola to the patio in the south western corner) and the western side of the subject site, and to a portion of the rear yard of 73 Innes Road and 46 Parkes Street (western side).

12pm – The development will result in shadowing to a portion of the rear yard (above the existing pergola to the patio in south western corner) and the eastern side of the subject site, and to a portion of the rear yard (eastern side) of 46 Parkes Street.

3pm – The development will result in minor shadowing across the existing pergola in south western corner of the site.

It is concluded that the private open space of the subject site achieves compliant solar access for a minimum of 3 hours between 9am and 3pm.

Views

A site visit has been undertaken and it is considered the proposed alterations and additions will not result in any unreasonable view loss impacts.

Tenacity Consulting v Warringah Council (2004) NSWLEC 140. The Planning Principle established a four-step process for considering the impact of a development on views.

Step 1. An assessment of the value of views to be affected by reference to their nature, extent and completeness.

The view subject to this assessment is from No. 73 Innes Road to the west of the site. The nature of the views under assessment are distant district and possible glimpses to the ocean to the east. Views appear to be minor in nature.

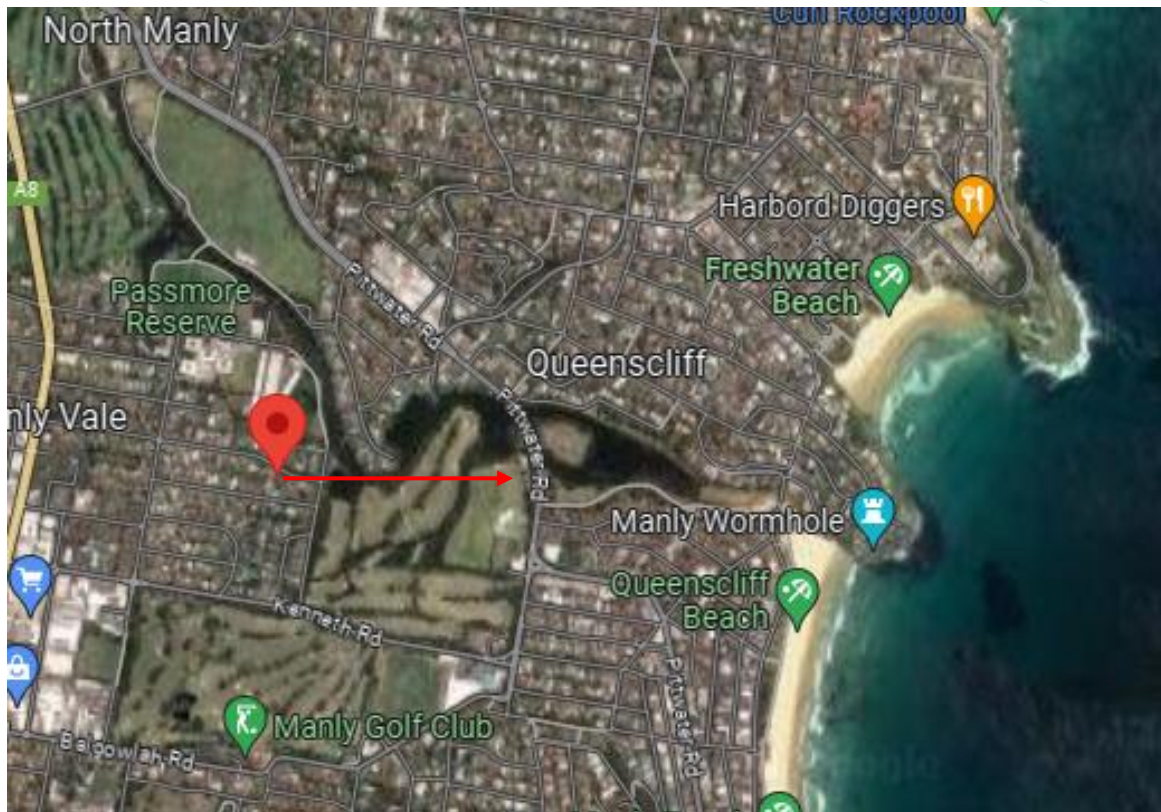


Figure 16. Aerial image of the subject site and views subject to this assessment

Step 2. A consideration of how views are obtained and what part of the property the views are obtained from.

Access to the individual property was not possible, however observations were made from the site, street and desktop research on realestate.com. It appears that a view may be obtained from No. 73 Innes Road across the subject site from a window located on the north eastern corner of the dwelling at first floor level (see Figures 17, 18 and 19 below).

Accordingly, the proposed development has been designed to ensure that the new first floor level will minimise view loss to No. 73, having been stepped back from the subject window.



Figure 17. The eastern facing window at No.73 Innes Road (dwelling to the right) and the subject site (dwelling to the left)



Figure 18. The window at 73 Innes Road (Source: Realestate.com.au)

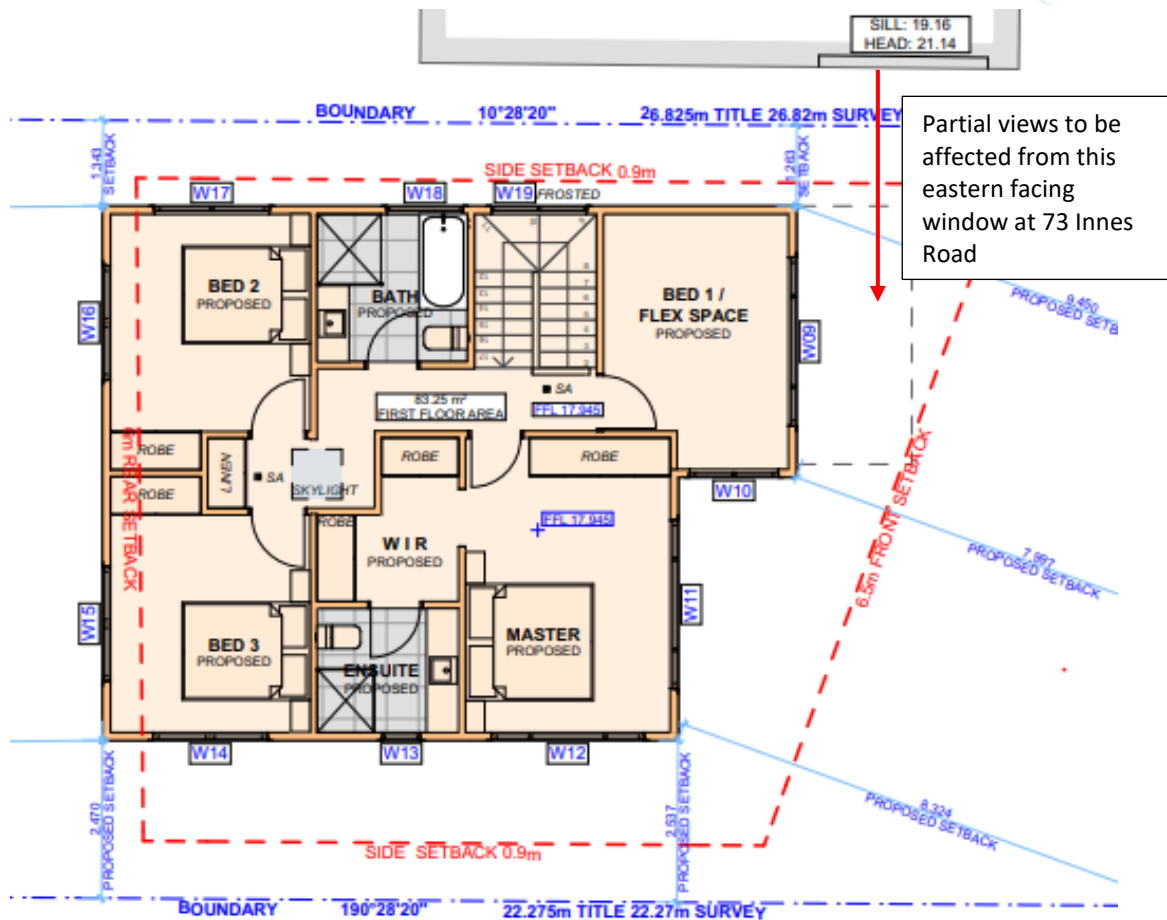


Figure 19. Excerpt from Architectural Drawing DA09 Proposed First Floor Plan and the location of the existing window at No.73 Innes Road (from where views are obtained subject to this assessment)

Step 3. A qualitative assessment of the extent of the impact in terms of severity particularly as to whether that impact is negligible, minor, moderate, severe or devastating.

It is considered that the view will not be fully obstructed due to the proposed design of the development (including a roof pitch of only 2°) and as a result of the land at No.73 Innes Road being significantly higher than the subject site.

Therefore, it is considered the proposal will have a negligible and reasonable impact on any district views enjoyed from No.73, with not all views being affected.

Step 4. An assessment of the reasonableness of the proposal causing the impact particularly in terms of compliance with applicable planning controls and whether a different or complying design must produce a better result. Where an impact on views arises as a result of non-compliance with one or more planning controls, even a moderate impact may be considered unreasonable.

The proposed development is reasonable as the impact on any district views being enjoyed is considered negligible. The design of the proposed development has sought to minimise the impacts to No. 73, with a low pitched roof (2° pitch), compliant building height and side setbacks. Also, the first floor has been stepped back from the ground floor level on the northern elevation thereby reducing the bulk and scale of the dwelling. As a result no significant views appear to be lost.

Privacy

It is acknowledged that there is some existing overlooking to the site to the east due to the change in levels between the dwellings.

Privacy will be retained for neighbours with a number of privacy measures incorporated into the design, including high sill heights on the eastern elevation.

Building Bulk

The proposed development incorporates both articulation and varied materials to alleviate bulk. The design is also of a scale consistent with surrounding properties in Manly Vale, and the works will result in a contemporary and complementary addition to the site and Innes Road.

Building Colours and Materials

The proposed building materials include metal sheet roofing and weatherboard cladding, with proposed colours detailed in the attached materials and finishes schedule. All materials and finishes are complementary to the residential surrounds and are consistent with a modern finish.

Roofs

The development proposes a roof pitch of 2° and a metal roof.

Glare & Reflection

Materials have been chosen to ensure no glare or reflection issues.

Side and Rear Fences

The existing timber side and rear fencing is to be retained.

Site Facilities

Appropriate waste, recycling areas and drying facilities are retained as part of the application.

Safety and Security

The proposed dwelling retains safety and security features of the site, allowing for casual surveillance of the street and safe access to the site and dwelling.

Conservation of Energy and Water

The design has achieved a BASIX Certificate which accompanies the application.

Part E: The Natural Environment

Preservation of Trees or Bushland Vegetation

The development does not propose removal of any significant vegetation on the site.

Prescribed Vegetation

The subject site is not mapped as native vegetation, High Conservation Habitat or Wildlife Corridor.

Development on land adjoining public open space

The subject site is not mapped as land adjoining public open space.

Landslip Risk

The site is located in the area nominated the LEP maps as Area B – Slope 5 to 25. A Geotechnical Assessment is provided in support of the proposal under separate cover.

6. Numerical Control Table

The following table provides a summary of the development proposal, in accordance with the relevant numerical planning controls contained in the Warringah LEP 2011 and the Warringah DCP 2011.

	Standard	Proposed	Compliance
Warringah LEP 2011			
Lot Size	600m ²	Existing - 299.2m ²	Yes – no change
Building Height	8.5 metres	8.355 metres	Yes
Floor Space Ratio	Not identified	-	-
Landslip	Area B Flanking Slopes from 5 to 25°	-	Can comply
Bushfire	N/A	-	-
Warringah DCP 2011			
Wall Height	7.2 metres	8.003m	Compliance with objectives achieved
Number of Stories	Not identified	-	
Side Boundary Envelope	4 metres / 45 degrees	East and west - outside envelope	Compliance with objectives achieved
Site Coverage	Not identified	-	
Side Boundary Setbacks	0.9 metres	Ground floor level West-1.25m (existing) East-2.47 (existing) and 2.537m (proposed) New first floor level West – 1.263m East – 2.47m (to match ground floor level)	Yes

	Standard	Proposed	Compliance
Front Boundary Setback	6.5 metres	Existing and proposed deck located within front setback	Compliance with objectives achieved
Rear Boundary Setbacks	6 metres	Existing - 5.379m First floor to match existing ground floor level rear setback	Compliance with objectives achieved
Parking	2 spaces	Existing carport 2 spaces	Yes – no change
Landscaped Open Space and Bushland Setting	40% (119.68m ²)	Existing 20% (61.93m ²) Proposed 24% (72.2m ²)	Compliance with objectives achieved
Private Open Space	60m ²	60m ²	Yes
Solar Access	3 hours sunlight to 50% of POS of both subject site and adjoining properties between 9am and 3pm on June 21.	Compliant	Yes

7. Section 4.15 Considerations

The following matters are to be taken into consideration when assessing an application pursuant to section 4.15 of the Environmental Planning and Assessment Act 1979 (as amended). Guidelines to help identify the issues to be considered have been prepared by the former Department of Urban Affairs and Planning. The relevant issues are:

7.1 The provision of any planning instrument, draft environmental planning instrument, development control plan or regulations

This report clearly and comprehensively addresses the statutory regime applicable to the application and demonstrates that the proposed land use is complimentary and compatible with adjoining development. The proposal achieves the aims of the Warringah LEP and DCP.

The development is permissible in the R2 zone.

7.2 The likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

Context and Setting

What is the relationship to the region and local context in terms of:

- *the scenic qualities and features of the landscape?*
- *the character and amenity of the locality and streetscape?*
- *the scale, bulk, height, mass, form, character, density and design of development in the locality?*
- *the previous and existing land uses and activities in the locality?*

These matters have been discussed in detail in the body of the statement, appendices and attached specialist reports.

What are the potential impacts on adjacent properties in terms of:

- *relationship and compatibility of adjacent land uses?*
- *sunlight access (overshadowing)?*
- *visual and acoustic privacy?*
- *views and vistas?*
- *edge conditions such as boundary treatments and fencing?*

The proposed alterations and additions have been designed to complement the site and its surrounds. The proposal is appropriate and will have negligible impact on adjacent properties.

Access, transport and traffic

Would the development provide accessibility and transport management measures for vehicles, pedestrians, bicycles and the disabled within the development and locality, and what impacts would occur on:

- *travel demand?*
- *dependency on motor vehicles?*
- *traffic generation and the capacity of the local and arterial road network?*
- *public transport availability and use (including freight rail where relevant)?*
- *conflicts within and between transport modes?*
- *traffic management schemes?*
- *vehicular parking spaces?*

No conflict or issues will arise as a result of the proposed development.

Public domain

The proposed development will not impact the public domain.

Utilities

There will be no impact on the site, which is already serviced.

Flora and fauna

There will be no impact.

Waste

There will be no impact.

Natural hazards

The site is impacted by slip and a Geotechnical Assessment is provided in support under separate cover.

Economic impact in the locality

There will be no impact, other than the possibility of a small amount of employment during construction.

Site design and internal design

Is the development design sensitive to environmental conditions and site attributes including:

- *size, shape and design of allotments?*
- *the proportion of site covered by buildings?*
- *the position of buildings?*
- *the size (bulk, height, mass), form, appearance and design of buildings?*
- *the amount, location, design, use and management of private and communal open space?*
- *landscaping?*

The proposed development is appropriate to the site with regards to all of the above factors. The development fits well within the context of the surrounds and is well suited to the coastal and residential surrounds.

How would the development affect the health and safety of the occupants in terms of:

- *lighting, ventilation and insulation?*
- *building fire risk – prevention and suppression/*
- *building materials and finishes?*
- *a common wall structure and design?*
- *access and facilities for the disabled?*
- *likely compliance with the Building Code of Australia?*

The proposed development will comply with the provisions of the Building Code of Australia. Additionally finishes, building materials and all facilities will be compliant with all relevant Council controls.

Construction

What would be the impacts of construction activities in terms of:

- *the environmental planning issues listed above?*
- *site safety?*

Site safety measures and procedures compliant with relevant legislation will ensure that no site safety or environmental impacts will arise during construction.

7.3 The suitability of the site for the development

Does the proposal fit in the locality?

- *are the constraints posed by adjacent developments prohibitive?*
- *would development lead to unmanageable transport demands and are there adequate transport facilities in the area?*
- *are utilities and services available to the site adequate for the development?*

The adjacent development does not impose any unusual development constraints.

Are the site attributes conducive to development?

The site is appropriate for the proposed alterations and additions.

7.4 Any submissions received in accordance with this Act or the regulations

It is envisaged that the consent authority will consider any submissions made in relation to the proposed development.

7.5 The public interest

It is considered that the proposal is in the public interest as it allows for appropriate use of the residential site.

Section 4.15(1) of the Environmental Planning and Assessment Act has been considered and the development is considered to fully comply with all relevant elements of this section of the Environmental Planning and Assessment Act 1979.

8. Conclusions

- 8.1** The proposed development for alterations and additions to an existing dwelling at 75 Innes Road, Manly Vale is appropriate considering all State and Council controls.
- 8.2** When assessed under the relevant heads of consideration of s4.15 of the Environmental Planning and Assessment Act, the proposed development is meritorious and should be granted consent.
- 8.3** Considering all the issues, the development is considered worthy of Council's consent.

Planner Declaration

This report was prepared by:

Senior Planner: Susan May-Roberts

Report Version: Final

Document Control Table

Document Purpose:	Statement of Environmental Effects	
Date	Prepared by	Approved by
23/05/2023	Susan May-Roberts Senior Planner	Sarah McNeilly Director

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