



CONSTRUCTION CERTIFICATE

issued under the Environmental Planning and
Assessment Act 1979
Section 109C (1) (b), 81A (2) and 81A (4)

2/136544

COUNCIL: Pittwater

CONSTRUCTION CERTIFICATE NO: 2004/05A

APPLICANT

Name **Mr Brian Hampton**
Address **PO Box 747, Newport NSW 2106**
Contact No: (telephone/fax) **9918 7805**

OWNER

Name **BC & AJ Hampton**
Address **47 Attunga Road, Newport NSW 2106**
Contact No: (telephone/fax) **9918 7805**

SUBJECT LAND

Address **49 Attunga Road, Newport**
Lot No: **109** DP: **752046**

DESCRIPTION OF DEVELOPMENT

Type of Work ☒ Building work ☐ Subdivision work
Description **Dwelling and carport (as amended)**

Insight Development Consultants Pty Limited



DEVELOPMENT CONSENT

Development Consent No: **NO505/01**

Date of Determination **23 August 2003 (modified 16 February 2004)**

BUILDING CODE OF AUSTRALIA

Building Classification **1a & 10a**

BUILDER or OWNER/BUILDER

Contractor License No./Permit
No. in case of Owner Builder

Hicks & Paine Pty Ltd

No: 23873C

\$ VALUE OF WORK

Building/Subdivision **\$486,000.00**

DATE C.C APPLICATION RECEIVED

Date Received **20 February 2004**

DETERMINATION

Decision **Approved**

Date of Decision **24 February 2004**

ATTACHMENTS

Nil

Insight Development Consultants Pty Limited

**PLANS AND SPECIFICATIONS
APPROVED/REFUSED**

List plan no(s) and specifications
Reference

1. Architectural Details, Reference No. 49-01, 02, 03, 04, 05, 06, 07, 08, 12, prepared by Harley Graham & Peter Paine, dated 25 August 2003.
2. Stormwater Details, Reference No. 30811, Drawing No. D01, prepared by MTK Consulting Engineers, dated 15 December 2003.
3. Driveway Access Design, Reference No. 30811-DW1 and Driveway Design Certificate, Reference No. 30811, prepared by MTK Consulting Engineers, dated 15 December 2003.
4. Schedule of Works and Sediment and Erosion Control Plan, Reference No's 30811 - E01 & E02, prepared by MTK Consulting Engineers, dated 15 December 2003.
5. Structural Details, Reference No. 30811 - S01, S02, S03, S04, S05, S06, S07, S08, S09, S10, S11, S12 & S13, prepared by MTK Consulting Engineers, dated 10 October 2003.
6. Landscape Plan, Reference No. 0102, prepared by Linda Lessing, Landscape Architect, endorsed January 5, 2004.

RIGHT OF APPEAL

under S109K where the Certifying Authority is a Council an applicant may appeal to the Land and Environmental Court against the refusal to issue a Construction Certificate within 12 months from the date of the decision.

CERTIFICATE

Certificate Final

I certify that the work if completed in accordance with these plans and specifications will comply with the requirements of S81A(5) of the Environmental Planning and Assessment Act 1979.

CERTIFYING AUTHORITY

Name of Certifying Authority Insight Development Consultants Pty. Limited

Name of Accredited Certifier Tom Bowden

Registration No 93

Contact No (02) 9999 0003

Address 7 Kingsford Avenue, Eastwood NSW 2122

SIGNED



DATE

24 FEB 2004

Pittwater Council

ABN: 61340837871

TAX INVOICE
OFFICIAL RECEIPT

26/02/2004 Receipt No 136544

To INSIGHT DEVELOPMENT

PO BOX 326
MONA VALE 2103

Qty/ Applic	Reference	Amount
49	RMIC-Rord	\$27.27
GL Rec	N0505/01 49 ATTUNBA	
	BST	\$2.73
GL Rec		
To GL Receipt:		

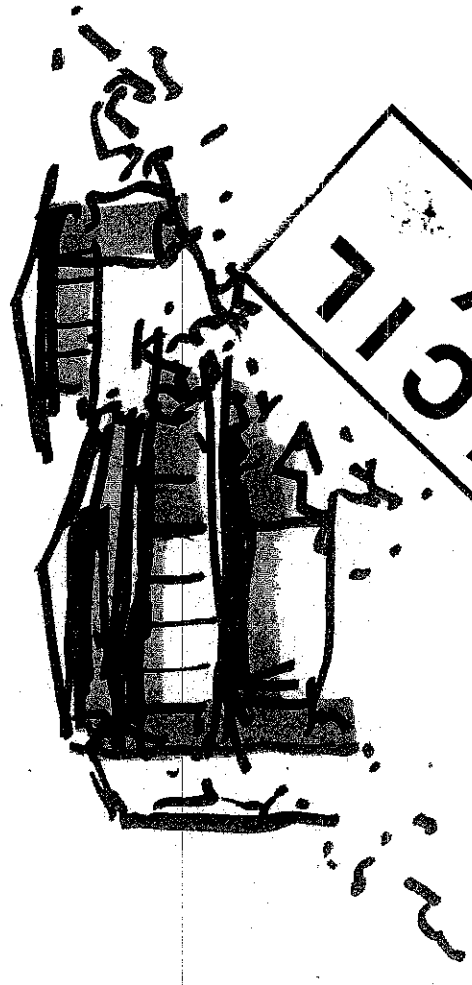
Total Amount:	\$30.00
Includes GST of:	\$2.73

Amounts Tendered	
Cheque	\$30.00
Total	\$30.00
Rounding	\$0.00
Change	\$0.00
Nett	\$30.00

Printed 26/02/2004 14:23:35

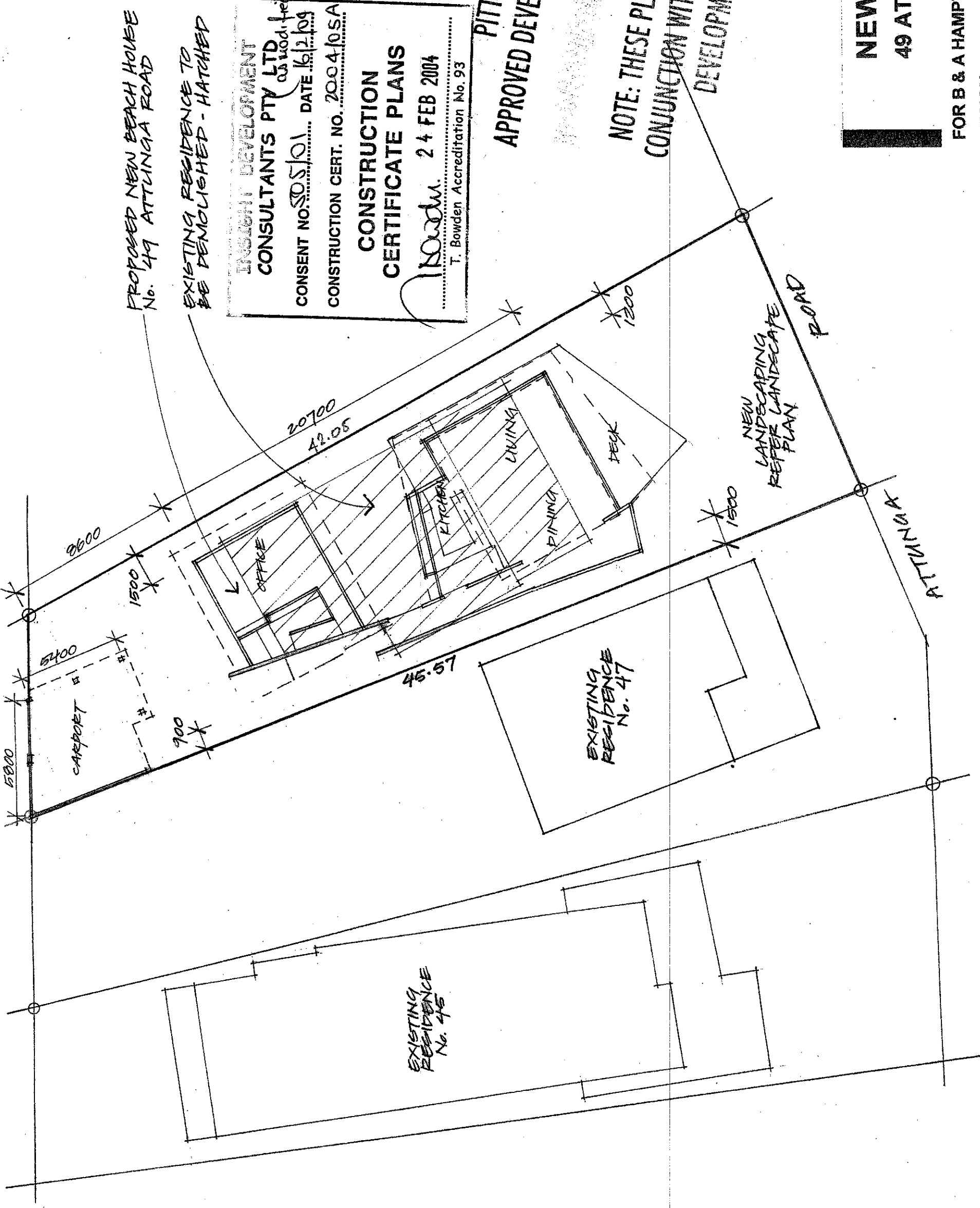
Cashier ARichards

13-10-03



NEW DEACH HOUSE
49A TUNING RD NEWPORT
FOR B & A HAMPTON
DESIGN: HARVEY GRAHAM AND PETER PAINE
25 AUG 2003

North



WARNING
PLEASE NOTE: The stamping of this plan by Insight Development Consultants Pty Ltd does not relieve the Applicants responsibility to obtain approval from Sydney Water or other utilities prior to the commencement of any works.
Dial Before You Dig 1100

INSIGHT DEVELOPMENT
CONSULTANTS PTY LTD
CONSENT NO. 505/01 DATE 16/2/04
CONSTRUCTION CERT. NO. 2004/05A
**CONSTRUCTION
CERTIFICATE PLANS**
24 FEB 2004
T. Bowden Accreditation No. 93

PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

NEW BEACH HOUSE
49 ATTUNGA RD NEWPORT

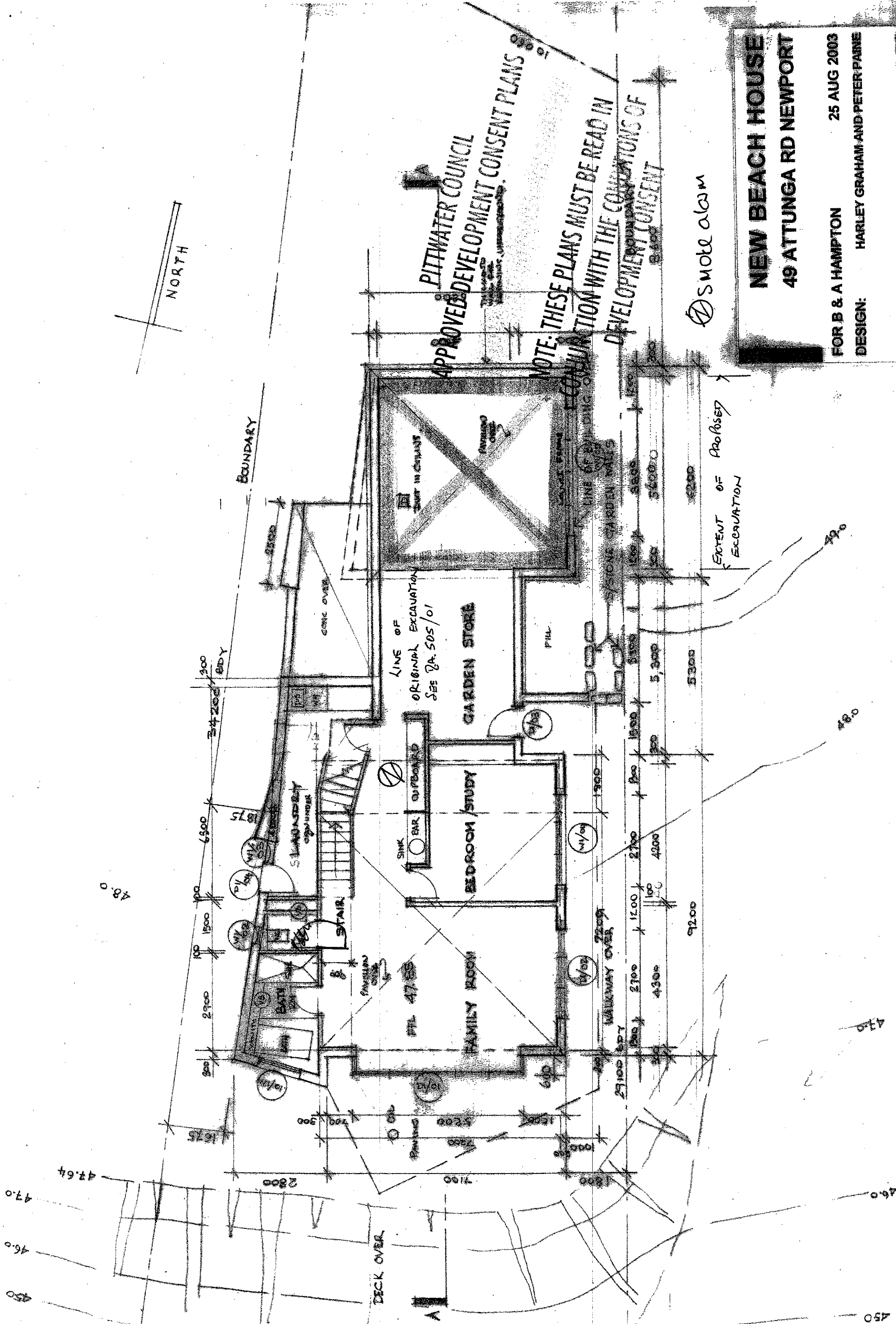
FOR B & A HAMPTON 25 AUG 2003
DESIGN: HARLEY GRAHAM AND PETER PAINE

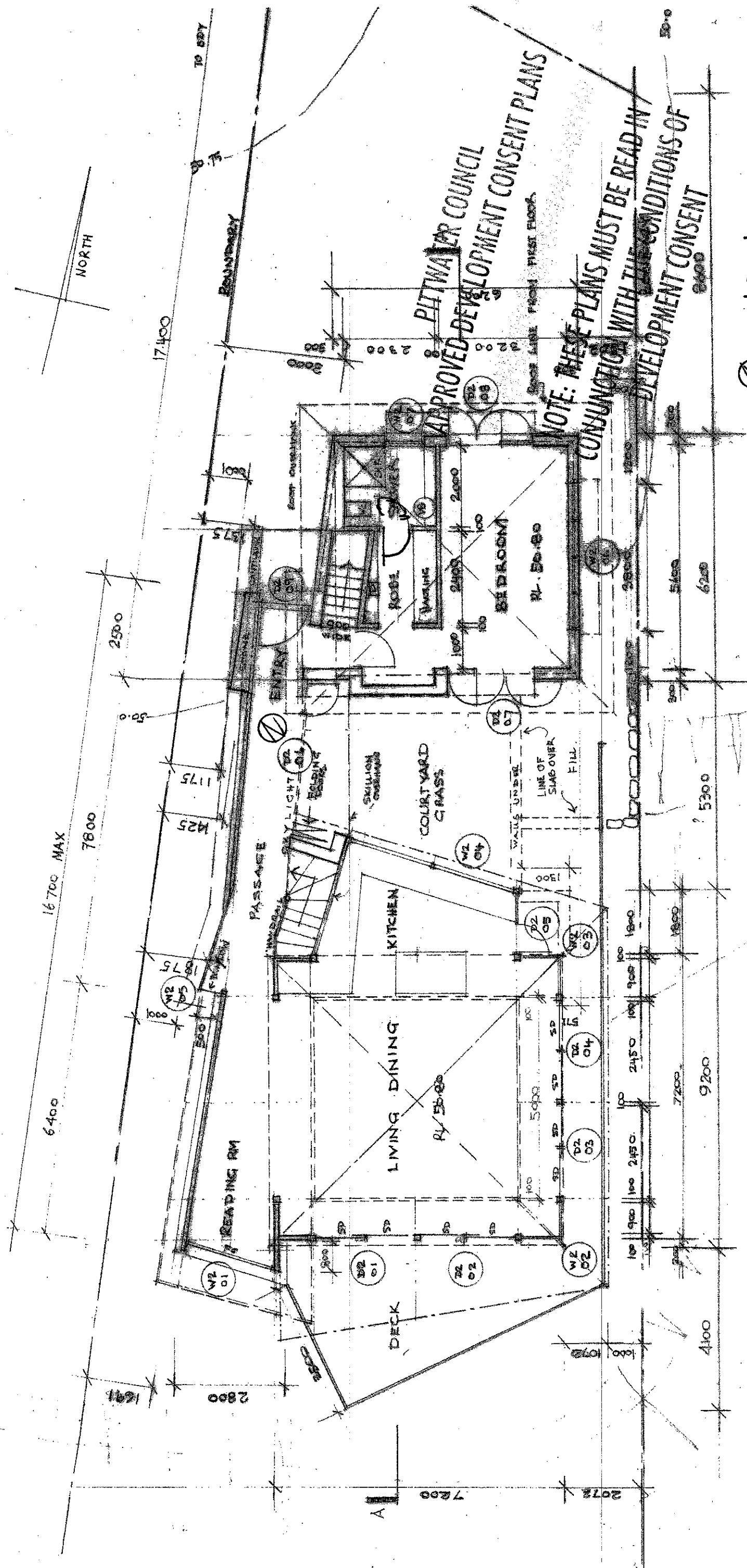
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FOR B & A HAMPTON **25 AUG 2003**
DESIGN: HARLEY GRAHAM AND PETER PAINE

SCALE 1:100 DRAWING No 49-02

LOWER GROUND FLOOR PLAN 1:100





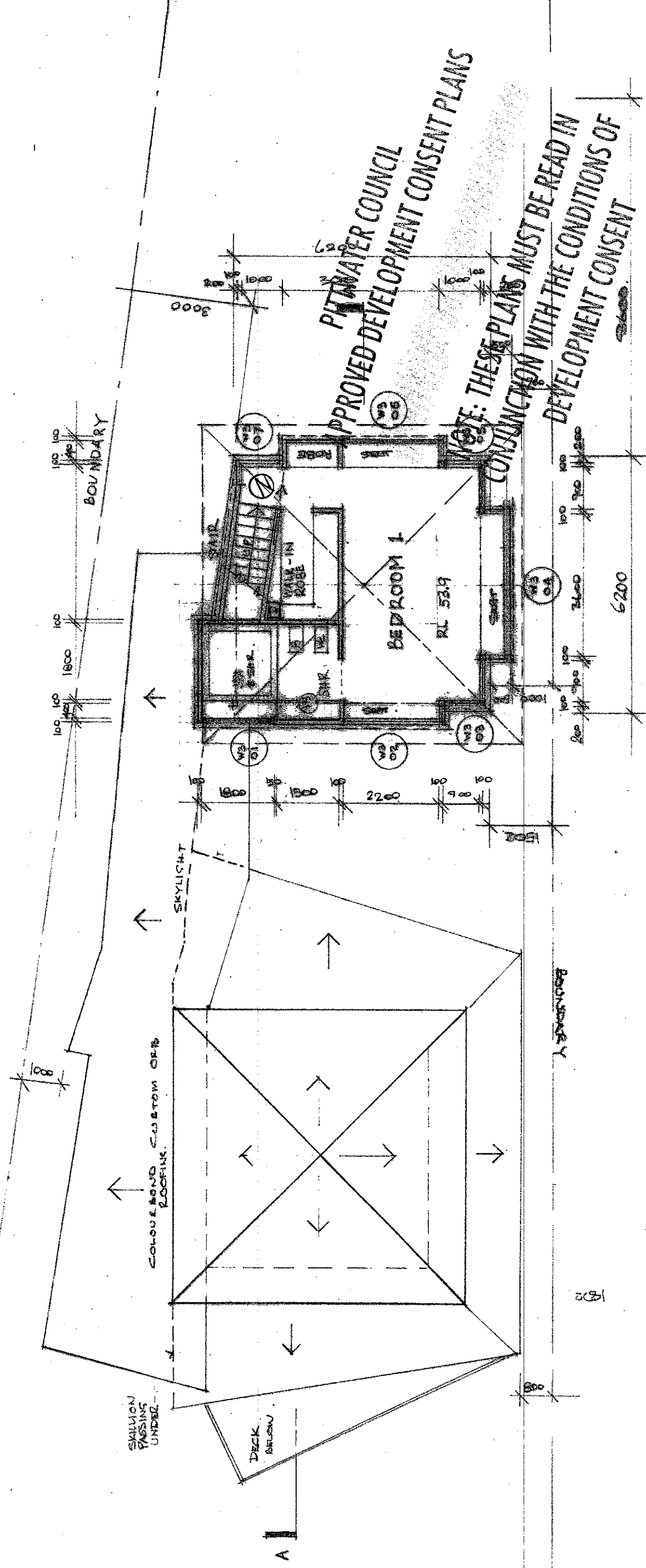
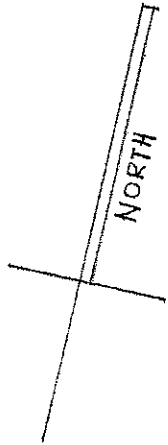
smoke alarm

NEW BEACH HOUSE 49 ATTUNGA RD NEWPORT

FOR B & A HAMPTON 25 AUG 2003
DESIGN: HARLEY GRAHAM AND PETER PAINE

SCALE 1:100 DRAWING NO 49-03

GROUND FLOOR PLAN 1:100

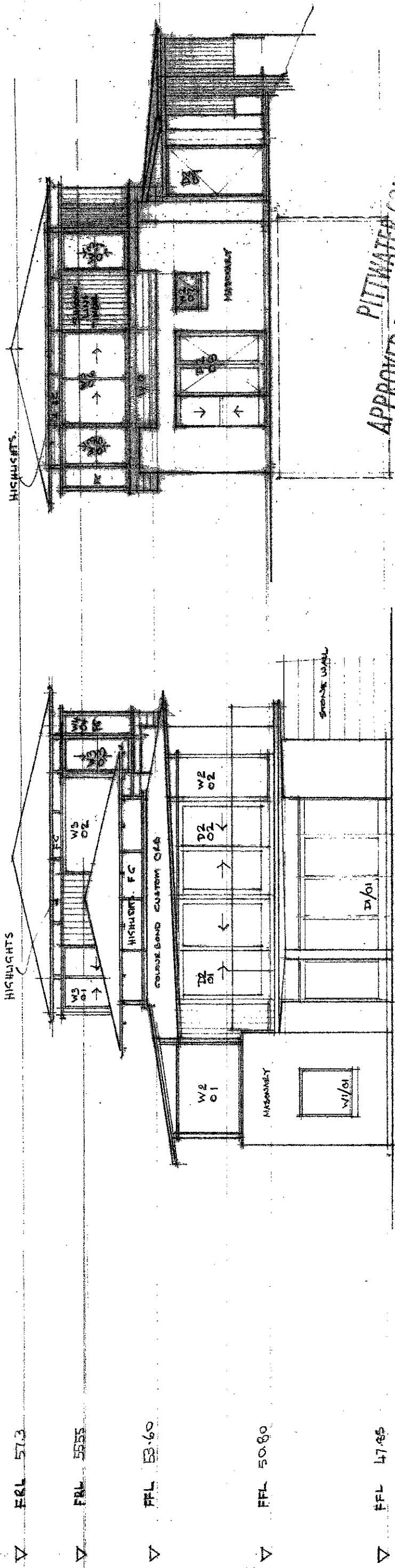


① Smoke alarm

FIRST FLOOR PLAN SHOWING ROOF 1:100

NEW BEACH HOUSE
49 ATTUNGA RD NEWPORT

FOR B & A HAMPTON 25 AUG 2003
DESIGN: HARLEY GRAHAM AND PETER PAINE



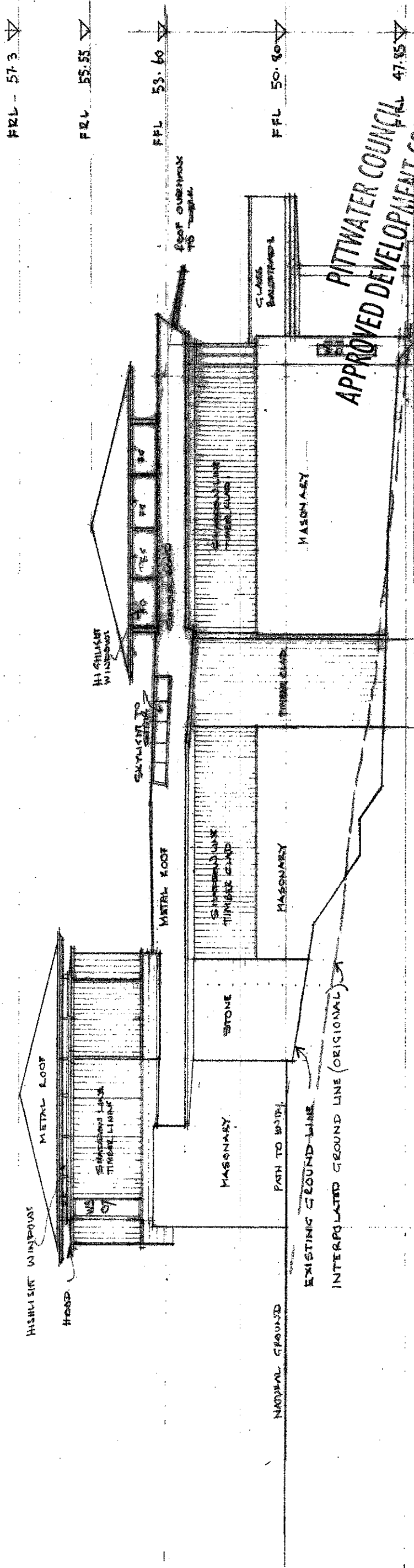
SOUTH ELEVATION

PITWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS
NORTH ELEVATION

NOTE: THESE PLANS MUST BE READ IN
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NEW BEACH HOUSE
49 ATTUNGA RD NEWPORT

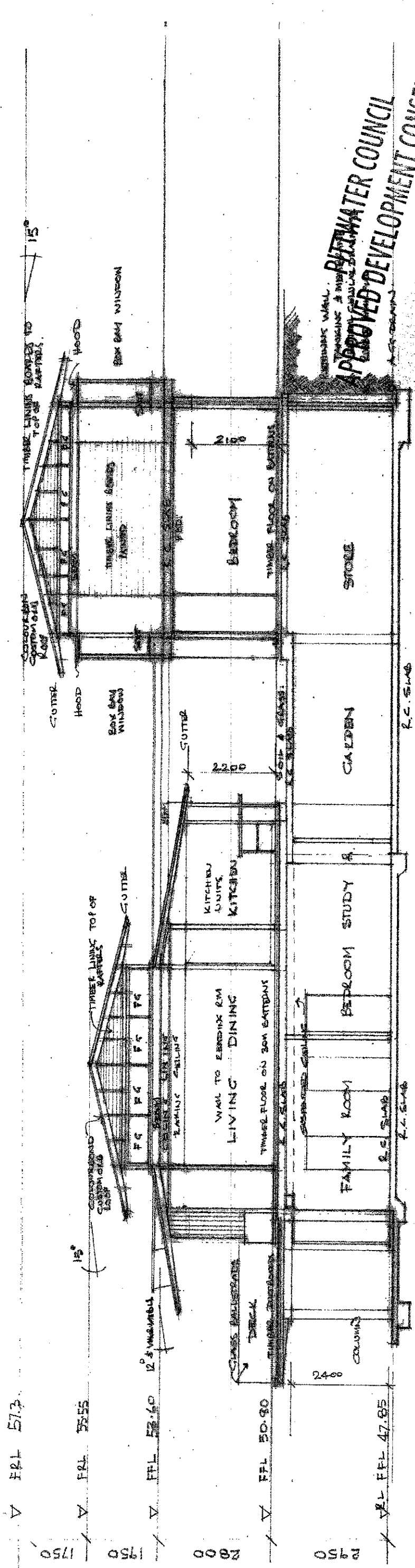
FOR B & A HAMPTON 25 AUG 2003
DESIGN: HARLEY GRAHAM AND PETER PAINE



NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

NEW BEACH HOUSE
49 ATTUNGA RD NEWPORT

FOR B & A HAMPTON 25 AUG 2003
 DESIGN: HARLEY GRAHAM AND PETER PAINE

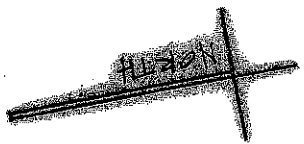


NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

NOTE: TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS 3660.1

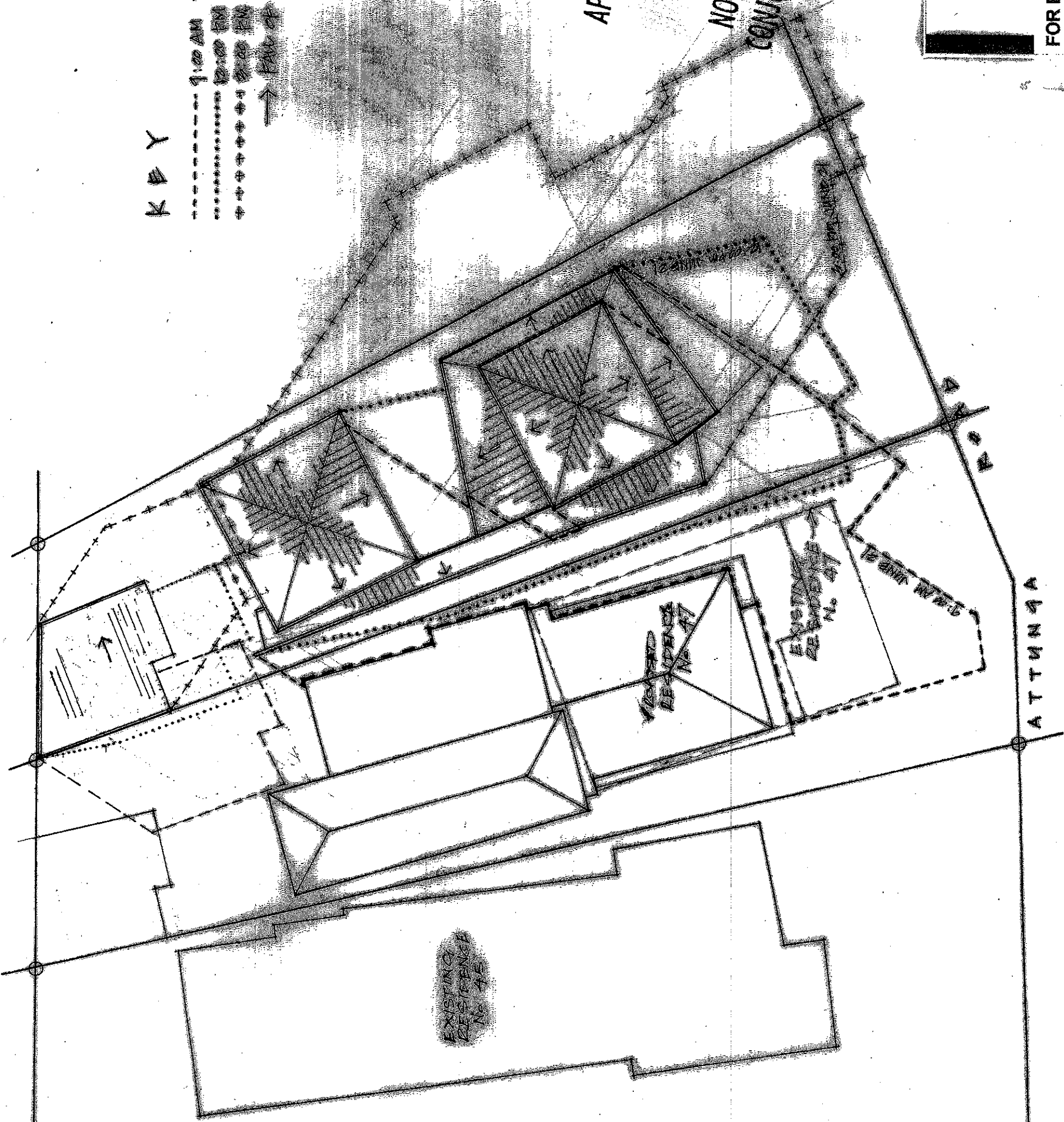
NEW BEACH HOUSE 49 ATTUNGA RD NEWPORT

FOR B & A HAMPTON 25 AUG 2003
DESIGN: HARLEY GRAHAM AND PETER PAINE



K E Y

- 1:00 AM JUNE 21 SHADOW LINE
- 12:00 PM JUNE 21 SHADOW LINE
- +++++ 11:00 AM JUNE 21 SHADOW LINE
- FACE OF ROOFING



PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

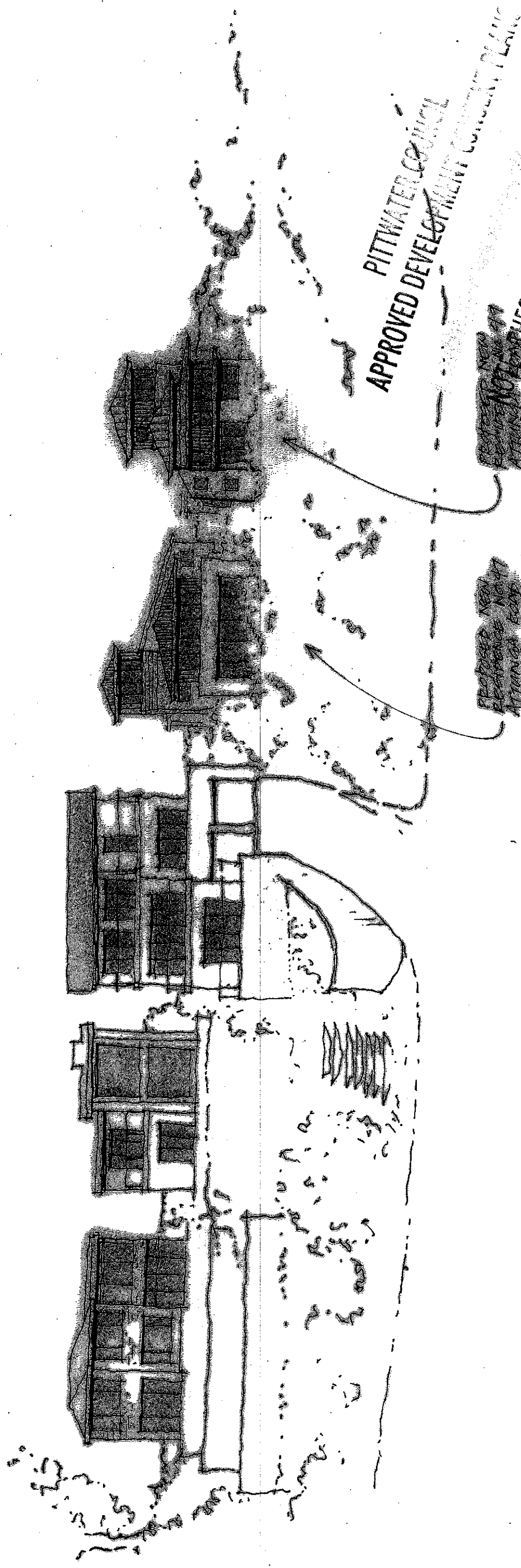
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NEW BEACH HOUSE
49 ATTUNGA RD NEWPORT

FOR B & A HAMPTON 25 AUG 2003
DESIGN: HARLEY GRAHAM AND PETER PAINE

SCALE 1:200 DRAWING No 49-09

ROOF PLAN / SHADOW DIAGRAM

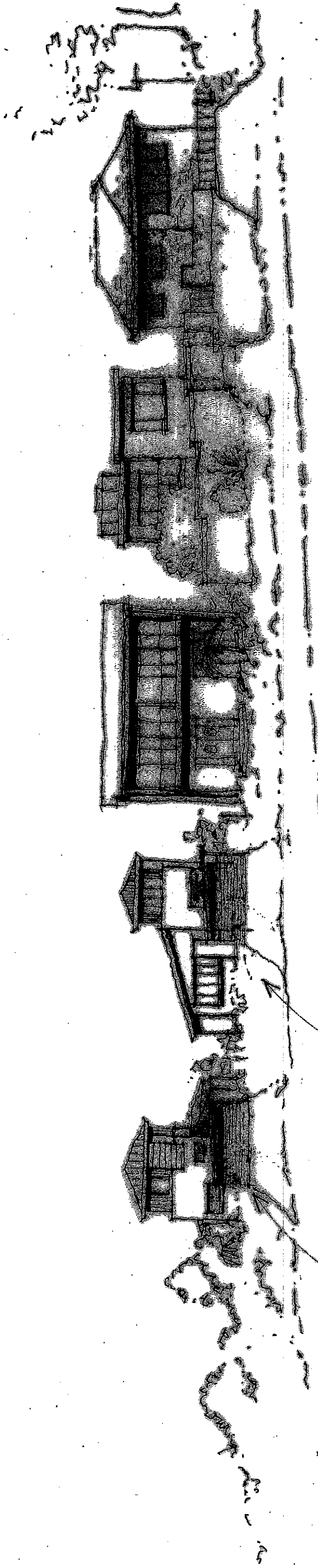


NEW BEACH HOUSE
49 ATTUNGA RD NEWPORT

FOR B & A HAMPTON 25 AUG 2003
DESIGN: HARLEY GRAHAM AND PETER PAINE

DRAWING No 49-10

STREET ELEVATION FROM SOUTH



PROPOSED NEW
FENCE NO. 477
ATTUNGA ROAD

PROPOSED NEW
FENCE NO. 477
ATTUNGA ROAD

PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN
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DEVELOPMENT CONSENT

STREET ELEVATION FROM NORTH

NEW BEACH HOUSE
49 ATTUNGA RD NEWPORT

FOR B & A HAMPTON

25 AUG 2003

DESIGN:

HARLEY GRAHAM AND PETER PAINE

DRAWING No 49-11

CHANGING FROM 1000 TO 1000 LITERS ATTACHED
TO THIS FOR REMARK

EXISTING BLACK WOOD

WEST ELEVATION

EXISTING BLACK WOOD

EAST ELEVATION

2260

2260

NORTH ELEVATION

2260

2260

PITTSBURGH COUNCIL
APPROVED DEVELOPMENT CONSENT

NOTE: THESE PLANS MUST BE REVIEWED
CONJUNCTION WITH CONSENT

EXISTING BLACK WOOD

EXISTING BLACK WOOD

EXISTING BLACK WOOD

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SECTION

PLAN

PLAN

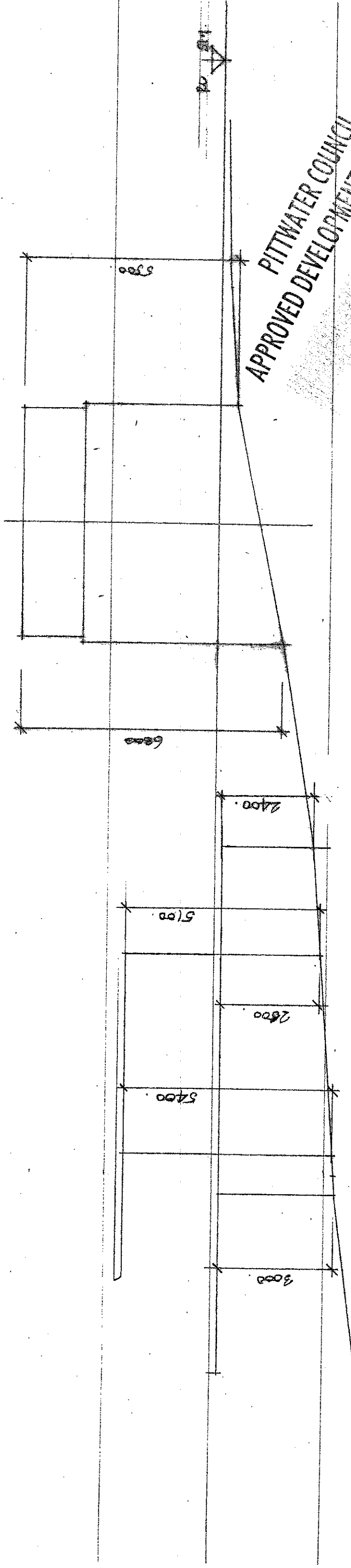
SOUTH ELEVATION

NEW BEACH HOUSE
49 ATTUNGA RD NEWPORT

FOR B & A HAMPTON 25 AUG 2003
DESIGN: HARLEY GRAHAM AND PETER PAINE

CARPORT PLAN

SCALE 1:100 DRAWING No 49-12



PITTVATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

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NEW BEACH HOUSE
49 ATTUNGA RD NEWPORT
FOR B & A HAMPTON 25 AUG 2003
DESIGN: HARLEY GRAHAM AND PETER PAINE
SCALE 1:100 DRAWING No 49-13

AVERAGE SETBACKS:

HOUSE LOWERED BY 200
ADDITIONAL 600 WHERE REQUIRED WHEN SET UP ON CAD

AVERAGE WALL HT REVISSED EAST BOUNDARY

$$= (2.7 \times 1.0) + (4.95 \times 5.3) + (2.2 \times 2.7) + 6.2 \times 6.15$$

$$= 2.7 + 26.235 + 6.236 + 38.13$$

$$= \frac{73.365}{15.4}$$

REQUIRED AVE SETBACK

$$= 1.59$$

ACHIEVED AVE SETBACK

$$= 1.87 \times 9.2 + 2.4 \times 1.50 + (32 \times 0.9) = 1.59$$

$$\frac{1950 + 1750}{2} = 1850$$

AVERAGE WALL HEIGHT - EAST BOUNDARY

$$= (3.0 \times 1) + (5.25 \times 5.3) + (2.5 \times 2.9) + (6.15 \times 6.2)$$

$$= \frac{76.205}{15.4} = 4.95$$

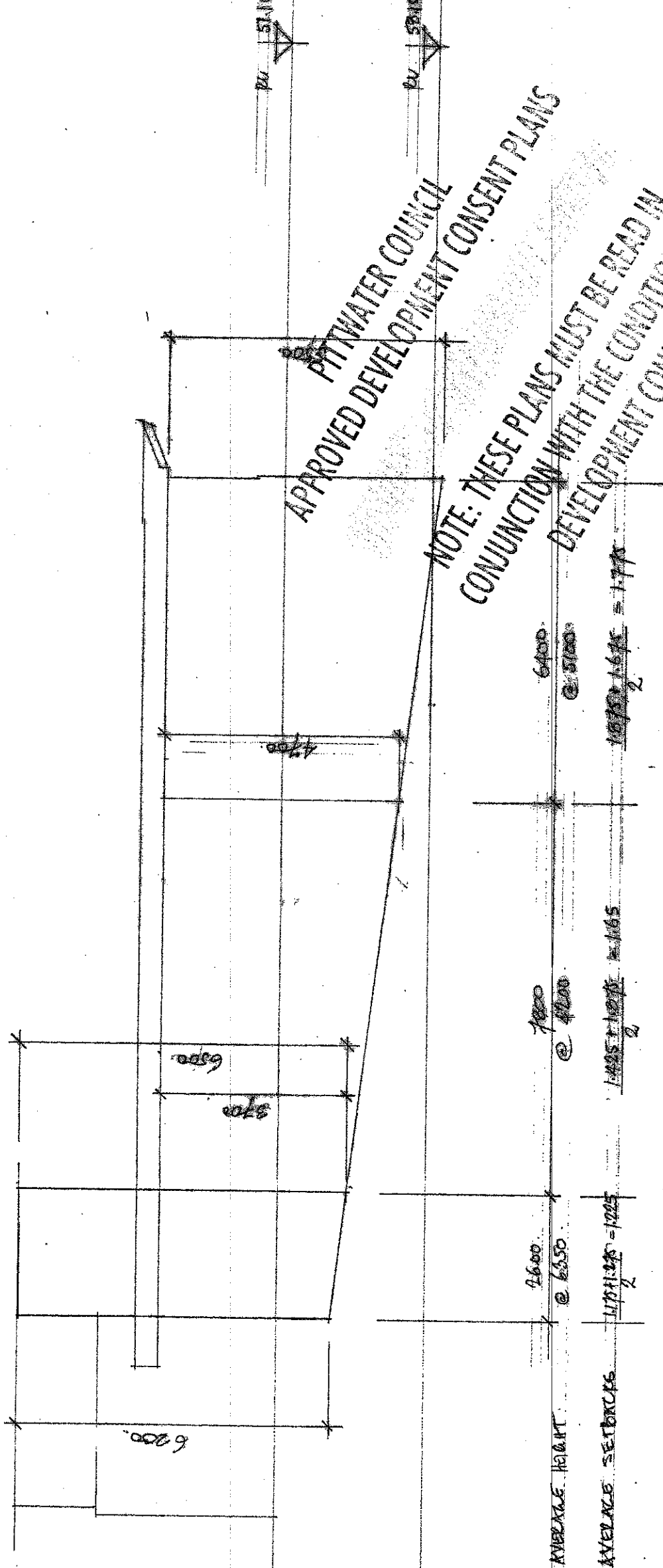
REQUIRED AV SETBACK

$$= 1.65m$$

ACHIEVED AV SETBACK

$$= (1.8 \times 9.200) + (1.43 \times 6.2) = 1.65$$

EAST ELEVATION - HEIGHT & SETBACK CALCULATIONS



AVERAGE SETBACKS
 $\frac{11711.25}{2} = 1225$
 @ 6.550

AVERAGE WALL HEIGHT WESTERN BOUNDARY 1.100
 $= \frac{(6.35 \times 2.5) + (4.0 \times 7.0) + (6.0 \times 6.4)}{16.7} - \frac{0.025}{16.7} = 4.07$

REQUIRED AV. SETBACK
 $= \frac{4.89}{3} = 1.62$ m.

ACHIEVED AVERAGE SETBACK
 $= \frac{(6.025 \times 2.5) + (1.05 \times 7.0) + (1.100 \times 6.4)}{16.7}$

$= \frac{3.065 + 12.87 + 11.06}{16.7} = \frac{27.005}{16.7} = 1.634$

NEW BEACH HOUSE
49 ATTUNGA RD NEWPORT

FOR B & A HAMPTON
 DESIGN: HARLEY GRAHAM AND PETER PAINE
 25 AUG 2003

WEST ELEVATION - HEIGHT & SETBACK CALCULATIONS SCALE 1:100 DRAWING No 49-14

FOR B & A HAMPTON
DESIGN:
25 AUG 2003

SET OUT BY CAD

