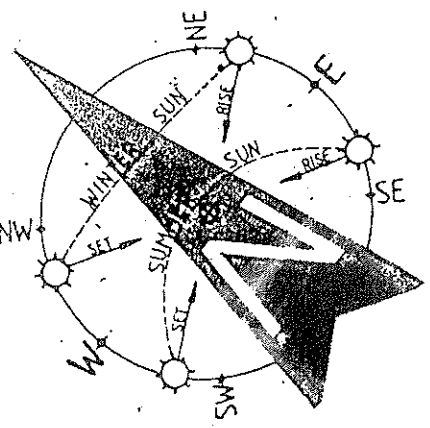
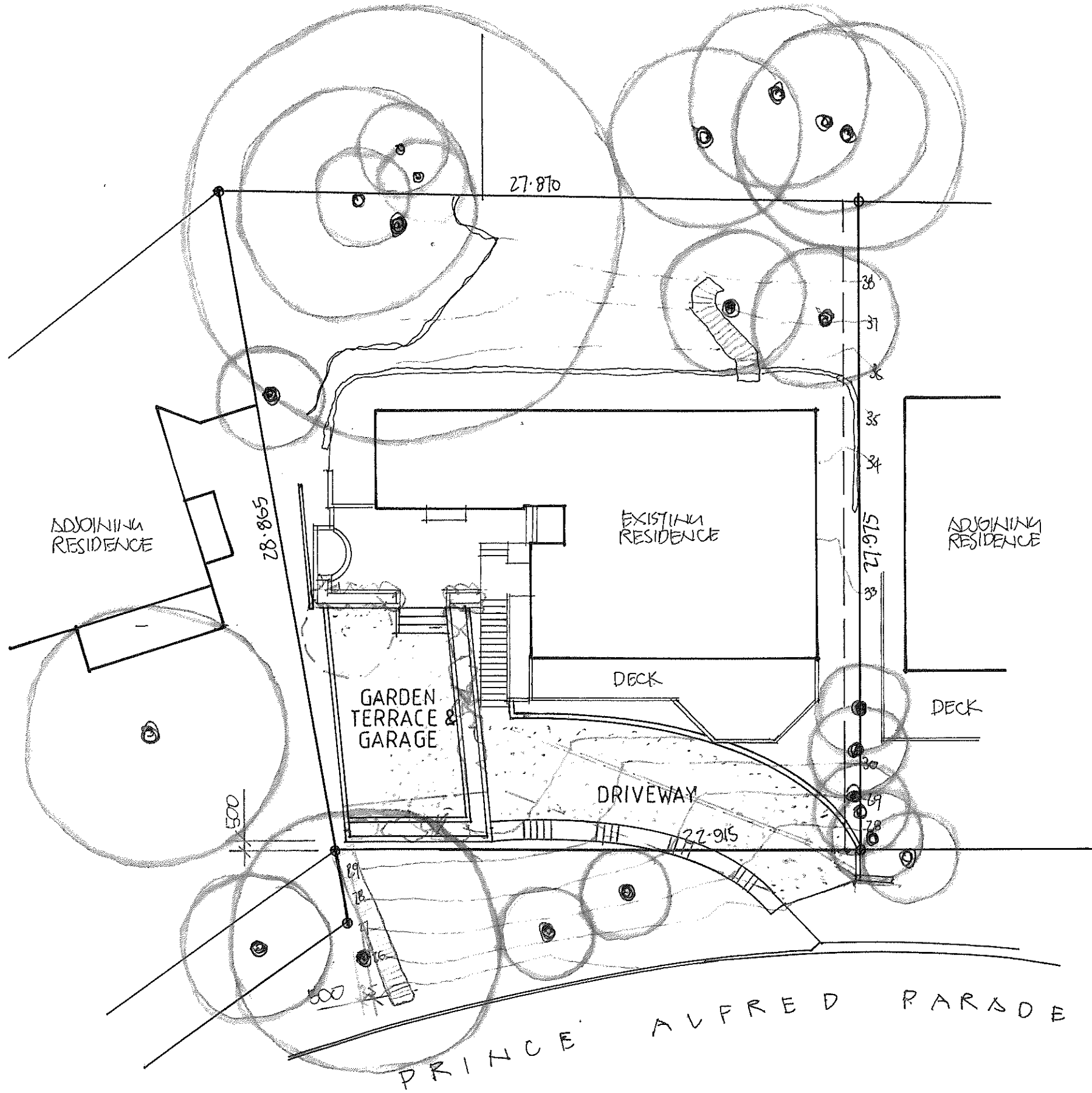


DEVELOPMENT CALCULATIONS		
SITE AREA	715.60 SQUARE METRES	
DESCRIPTION	EXISTING SQM	PROPOSED SQM
RESIDENCE ROOF	165.96	165.96
DRIVEWAY	32.20	51.60
TERRACE & STAIRS	47.00	47.00
DECK	31.68	31.68
CARPORT	44.80	
TOTAL HARD SURFACE	320.64 (61.20%)	296.24 (41.40%)
INCLUDING THE 6% VARIATION (42.94SQM)		
(FOR UNCOVERED DECK & PAVING OUTDOOR RECREATIONAL SPACE)		
TOTAL LANDSCAPING	437.90 (61.20%)	462.30 (64.60%)



- NOTES:
1. THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING.
  2. SHOULD ANY DEVELOPMENT OR CONSTRUCTION OCCUR ON OR NEAR BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE BY THE REGISTERED LAND SURVEYORS.

**SITE PLAN**  
LOT 6 IN D.P. 30521

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
2. All dimensions that relate to site boundaries and easements are subject to verification by a site survey.
3. All work to be in accordance with BUILDING CODE OF AUSTRALIA & to the satisfaction of local council requirements & other authorities.
4. All timber construction to be in accordance with the "TIMBER FRAMING" code.
5. Any detailing in addition to what is supplied shall be resolved between the owner and the builder to the owner's approval, except for any structural details or design which is to be supplied by a Structural Engineer.
6. Roof water & sub-soil drainage to be disposed of in the approved manner or as directed by local council inspectors.
7. All electrical power & light outlets to be determined by owner.
8. Make good and repair all existing finishes damaged by new work. Reuse existing materials where possible.

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J.D. EVANS and COMPANY PTY. LTD.  
BUILDING DESIGN CONSULTANTS  
14 RIVERDALE AVE. AVALON BEACH QLD 4217

No.	AMENDMENT	DATE

**J.D. EVANS and COMPANY**  
DESIGN AND BUILDING CONSULTANTS  
NO. 5 ELAINE AVENUE, AVALON BEACH 2107  
EMAIL: JDECO.AVALON@GMAIL.COM  
MOBILE: 0418 976 596

PROJECT  
**PROPOSED TERRACE & GARAGE**  
No. 35 PRINCE ALFRED PARADE  
NEWPORT N. S. W. 21067  
CLIENT  
JOHN, KATY, JAMIE & DAMIEN MARASOVIC

DATE 12/9/2016	SCALE 1:200
DRAWN JDE	CHECKED
DRAWING No. 1844-1	ISSUED