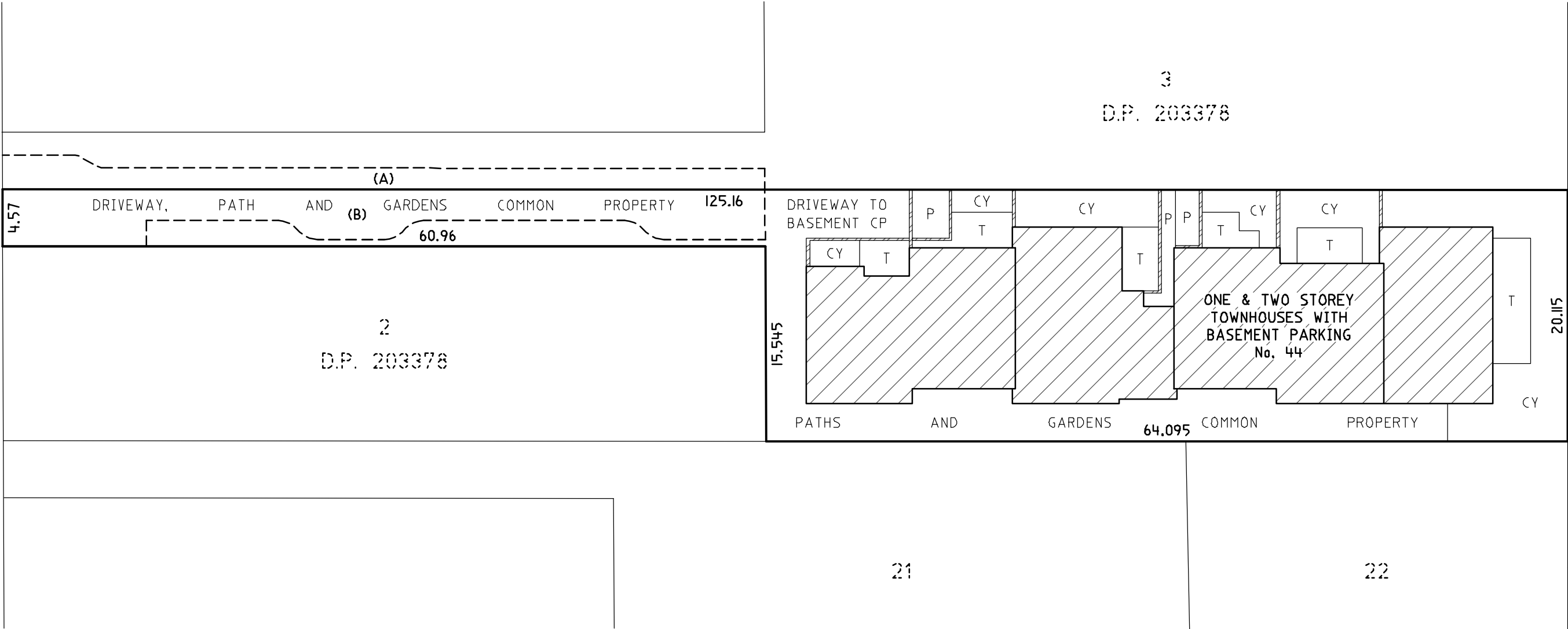


LOCATION PLAN



ROSE AVENUE

ROSE AVENUE



NOTES:

- P - DENOTES PLANTER
- T - DENOTES TERRACE
- CP - DENOTES COMMON PROPERTY
- CY - DENOTES COURTYARD
- (A) RIGHT OF CARRIAGEWAY 1.7 WIDE & VARIABLE WIDTH (D.P.)
- (B) RIGHT OF CARRIAGEWAY 2.5 WIDE & VARIABLE WIDTH (D.P.)

THIS PLAN IS PREPARED FROM ARCHITECTURAL DRAWINGS BY BARRY RUSH & ASSOCIATES PTY LTD JOB No. 1704 DRAWING No. A05 & A06 DATED 18/01/2019 MINOR CHANGES MAY OCCUR DURING CONSTRUCTION. DIMENSIONS AND AREAS ARE APPROXIMATE AND SUBJECT TO FINAL SURVEY. THE PLAN IS A DRAFT ONLY AND IS NOT CHECKED OR REGISTERED BY THE LAND TITLES OFFICE. ALTERATIONS MAY BE REQUIRED PRIOR TO ITS ACCEPTANCE AND REGISTRATION.

SURVEYOR
Name: COPLAND C. LETHBRIDGE
Date:
Reference: 20310 SP

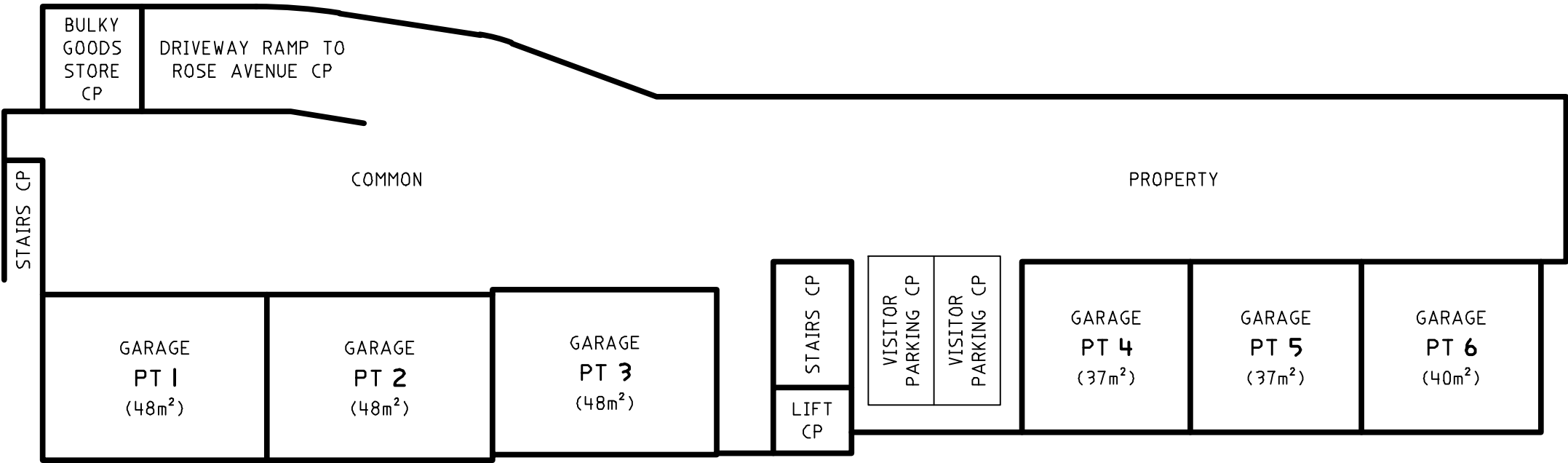
PLAN OF SUBDIVISION OF LOT 1
IN D.P.

L.G.A: NORTHERN BEACHES
Locality: WHEELER HEIGHTS
Reduction Ratio: 1:350
Lengths are in metres

REGISTERED

DRAFT
25/01/2019

BASEMENT



THIS PLAN IS PREPARED FROM ARCHITECTURAL DRAWINGS BY BARRY RUSH & ASSOCIATES PTY LTD JOB No. 1704 DRAWING No. A04 DATED 18/01/2019 MINOR CHANGES MAY OCCUR DURING CONSTRUCTION. DIMENSIONS AND AREAS ARE APPROXIMATE AND SUBJECT TO FINAL SURVEY. THE PLAN IS A DRAFT ONLY AND IS NOT CHECKED OR REGISTERED BY THE LAND TITLES OFFICE. ALTERATIONS MAY BE REQUIRED PRIOR TO ITS ACCEPTANCE AND REGISTRATION.

NOTES:
CP - DENOTES COMMON PROPERTY

THE AREAS SHOWN ARE FOR THE PURPOSE OF THE STRATA SCHEMES DEVELOPMENT ACT 2015 ONLY AND ARE APPROXIMATE

SURVEYOR
Name: COPLAND C. LETHBRIDGE
Date:
Reference: 20310 SP

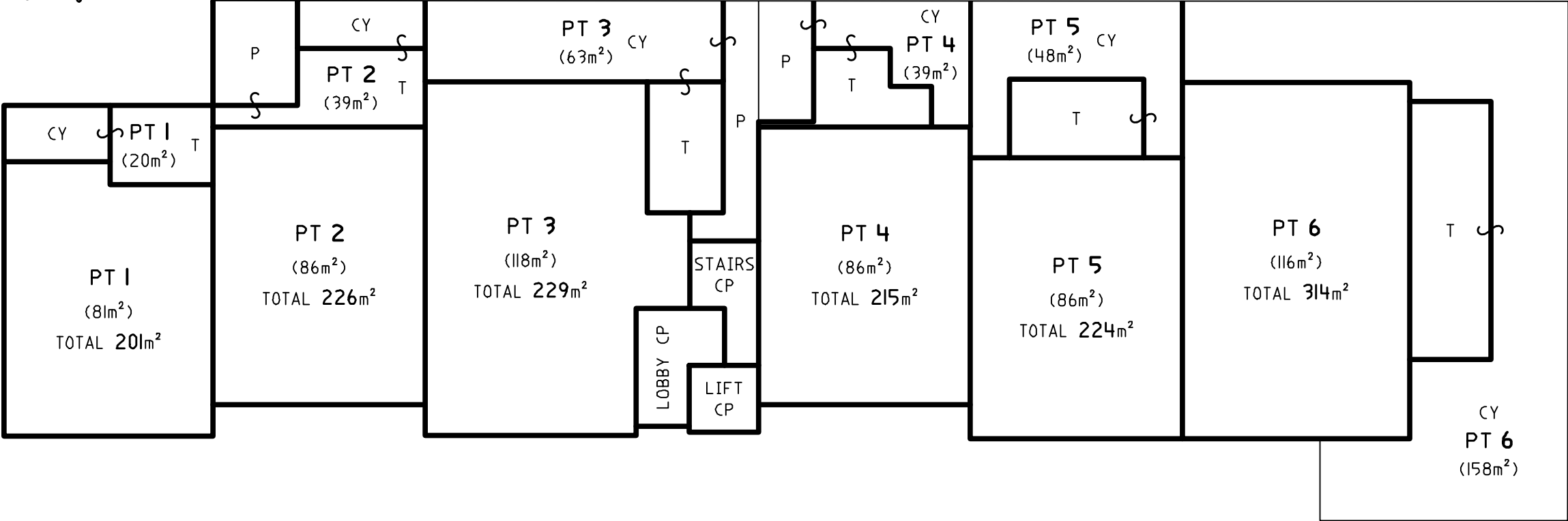
PLAN OF SUBDIVISION OF LOT 1
IN D.P.

L.G.A: NORTHERN BEACHES
Locality: WHEELER HEIGHTS
Reduction Ratio: 1:200
Lengths are in metres

REGISTERED

DRAFT
25/01/2019

GROUND FLOOR



NOTES:

- P - DENOTES PLANTER
- T - DENOTES TERRACE
- CP - DENOTES COMMON PROPERTY
- CY - DENOTES COURTYARD

TERRACES & PLANTERS ARE LIMITED IN HEIGHT TO 3 METRES ABOVE THE UPPER SURFACE OF THEIR RESPECTIVE FLOORS EXCEPT WHERE COVERED WITHIN THIS LIMIT.

COURTYARDS ARE LIMITED IN DEPTH TO 1 METRE BELOW & IN HEIGHT TO 3 METRES ABOVE THE UPPER SURFACE OF THE GROUND FLOOR OF ITS RESPECTIVE ADJOINING UNIT EXCEPT WHERE COVERED WITHIN THIS LIMIT OR WHERE LIMITED BY THE UPPER SURFACE OF THE BASEMENT CAR PARK SLAB BELOW.

ALL METAL PERGOLAS, METAL & GLASS BALUSTRADES, METAL AWNINGS & METAL SCREENS ON TERRACES ARE COMMON PROPERTY.

FIRST FLOOR



THIS PLAN IS PREPARED FROM ARCHITECTURAL DRAWINGS BY BARRY RUSH & ASSOCIATES PTY LTD JOB No. 1704 DRAWING No. A05 & A06 DATED 18/01/2019 MINOR CHANGES MAY OCCUR DURING CONSTRUCTION. DIMENSIONS AND AREAS ARE APPROXIMATE AND SUBJECT TO FINAL SURVEY. THE PLAN IS A DRAFT ONLY AND IS NOT CHECKED OR REGISTERED BY THE LAND TITLES OFFICE. ALTERATIONS MAY BE REQUIRED PRIOR TO ITS ACCEPTANCE AND REGISTRATION.

THE AREAS SHOWN ARE FOR THE PURPOSE OF THE STRATA SCHEMES DEVELOPMENT ACT 2015 ONLY AND ARE APPROXIMATE

SURVEYOR
Name: COPLAND C. LETHBRIDGE
Date:
Reference: 20310 SP

PLAN OF SUBDIVISION OF LOT 1
IN D.P.

L.G.A: NORTHERN BEACHES
Locality: WHEELER HEIGHTS
Reduction Ratio: 1:200
Lengths are in metres

REGISTERED

DRAFT
25/01/2019