

TIMBER RESIDENCE WITH METAL ROOF
D.P. - 381884

BASIX NOTES
CERTIFICATE No. A403773
DATED 15TH JANUARY 2021

HOT WATER:

- GAS INSTANTANEOUS.

LIGHTING:

- A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT OR LIGHT-EMITTING-DIODE (LED) LAMPS.

FIXTURES:

- NEW OR ALTERED SHOWERHEADS - 9L / MIN OR 3 STAR WATER RATING.
- NEW OR ALTERED TOILETS - 4L / AVERAGE FLUSH OR A MINIMUM 3 STAR WATER RATING.
- NEW OR ALTERED TAPS - 9L / MIN OR A MINIMUM 3 STAR WATER RATING.

INSULATION:

SUSPENDED FLOOR WITH OPEN SUBFLOOR

- FRAMED - R0.80 (DOWN) (OR R1.50 INCLUDING CONSTRUCTION)

EXTERNAL WALLS

- FRAMED WEATHERBOARD - R1.30 (OR R1.70 INCLUDING CONSTRUCTION)

RAKED CEILING WITH PITCHED ROOF

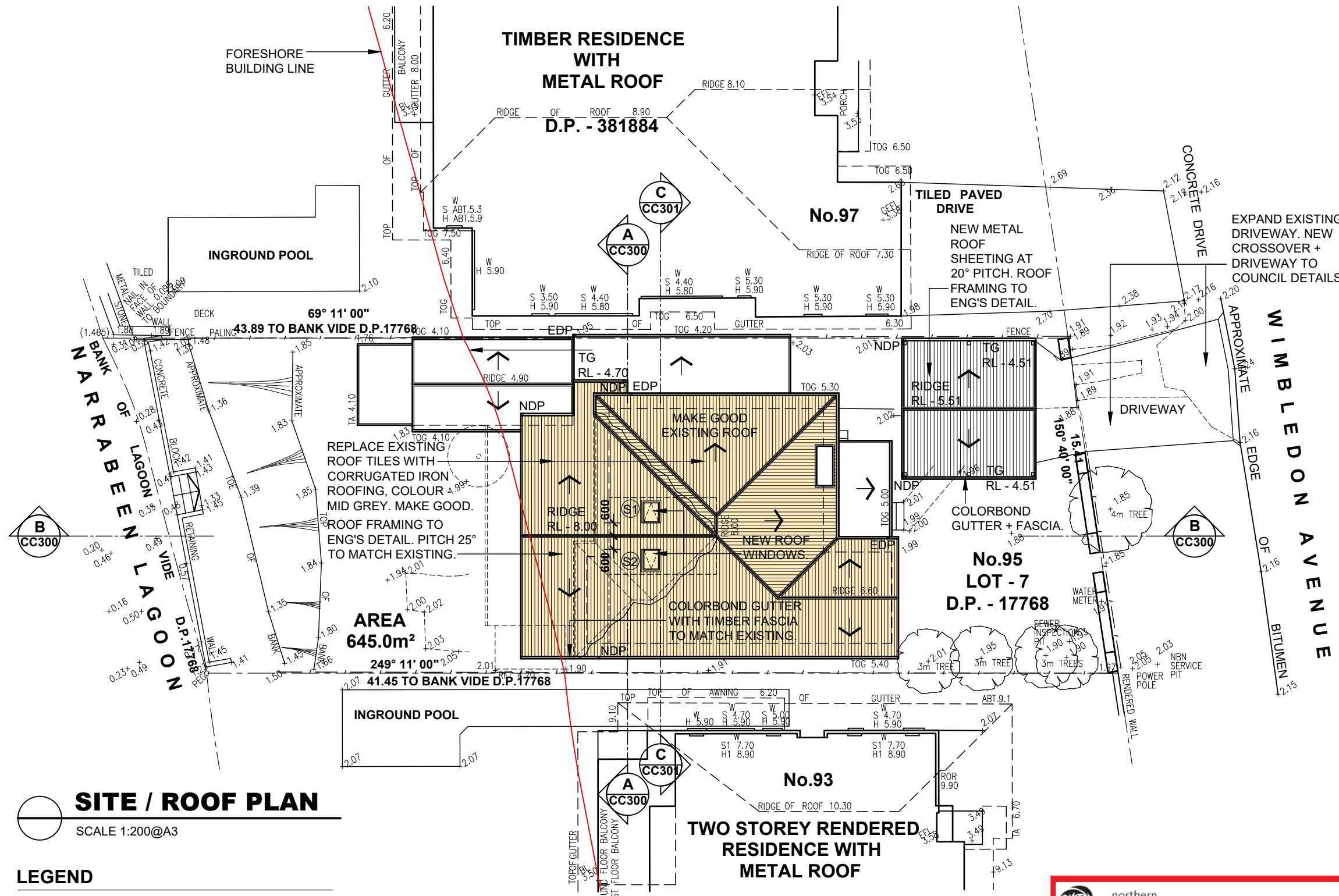
- CEILING - R1.74 (UP)
- ROOF - FOIL BACKED BLANKET (75mm)
- MEDIUM - SOLAR ABSORPTANCE 0.475-0.70

WINDOWS + GLAZED DOORS:

- ALL WINDOWS AND GLAZED DOORS TO BE TIMBER OR uPVC FRAMED, SINGLE CLEAR AND HAVE A U-VALUE AND SOLAR HEAT GAIN COEFFICIENT NO GREATER THAN U-VALUE: 5.71, SHGC: 0.66.

SKYLIGHTS:

- ALL SKYLIGHTS TO BE TIMBER DOUBLE CLEAR/AIR FILL. U-VALUE: 4.3, SHGC: 0.5



SITE / ROOF PLAN

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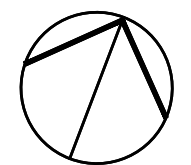
LEGEND

- EXISTING WALLS TO BE RETAINED.
- EXISTING WALLS TO BE DEMOLISHED.
- NEW TIMBER STUD WALLS.
- BEAMS OVER TO ENG'S DETAIL.
- RL - 21.65 - PROPOSED LEVELS.
- 19.79 - EXISTING LEVELS.
- EDP - EXISTING DOWNPIPE.

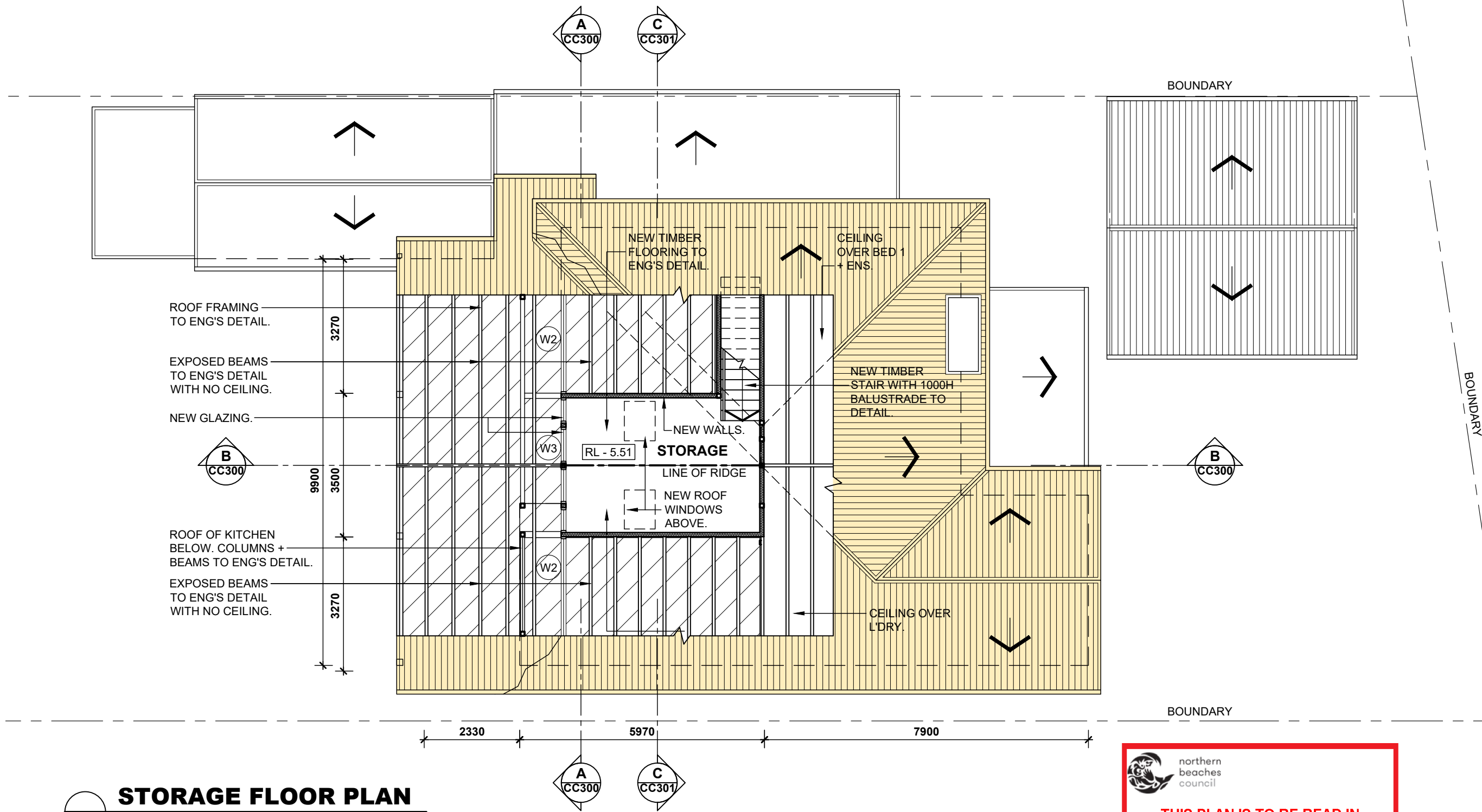
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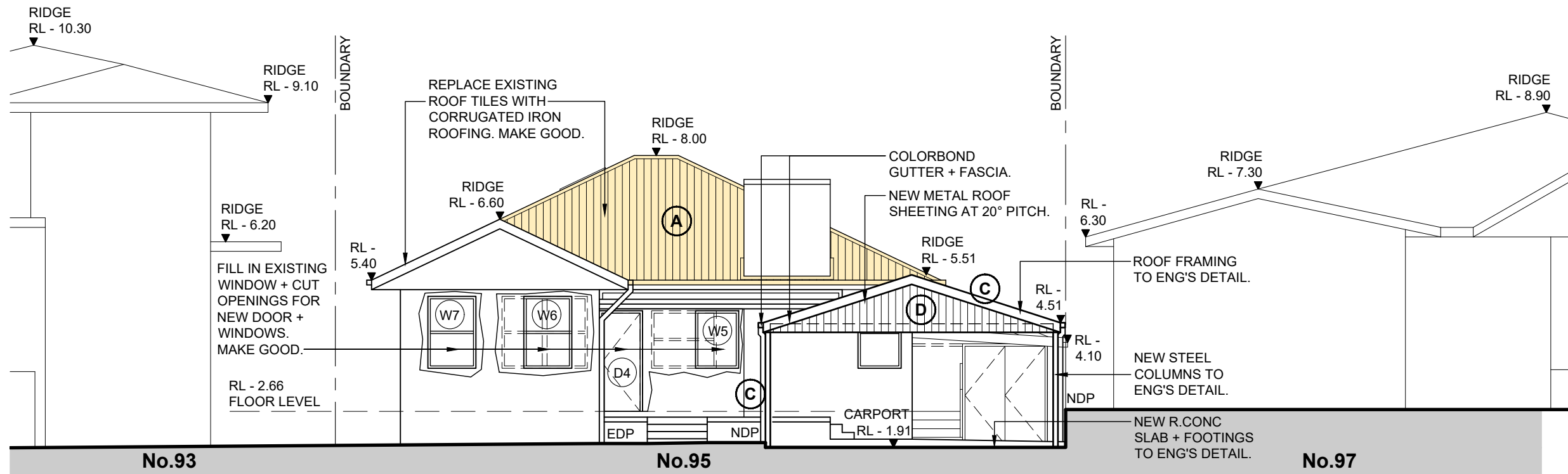
ALL DIMENSIONS TO BE VERIFIED ON SITE. DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS. ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT BEFORE PROCEEDING.	Project:	Drawing Title:	Consultant:	Issue	Amendment	Date	By	Job No:	Dwg No:	Rev:
	ALTERATIONS + ADDITIONS 95 WIMBLEDON AVE NARRABEEN NSW	SITE / ROOF PLAN	HOSKING MUNRO HOSKING MUNRO PTY. LTD. ARCHITECTS INTERIORS & LANDSCAPE DESIGNERS 3.09 / 55 MILLER STREET, PYRMONT 2009 ph 9660 1055 fax 9692 9290 email hm@hoskingmunro.com.au	A B C	PRELIMINARY CC ISSUE CC ISSUE CC ISSUE 2	11.03.21 04.06.21 10.06.21	JC JC JC	HM1478	CC100	'C'
	Client: BROOK WORTHINGTON									



STORAGE FLOOR PLAN
SCALE 1:100@A3

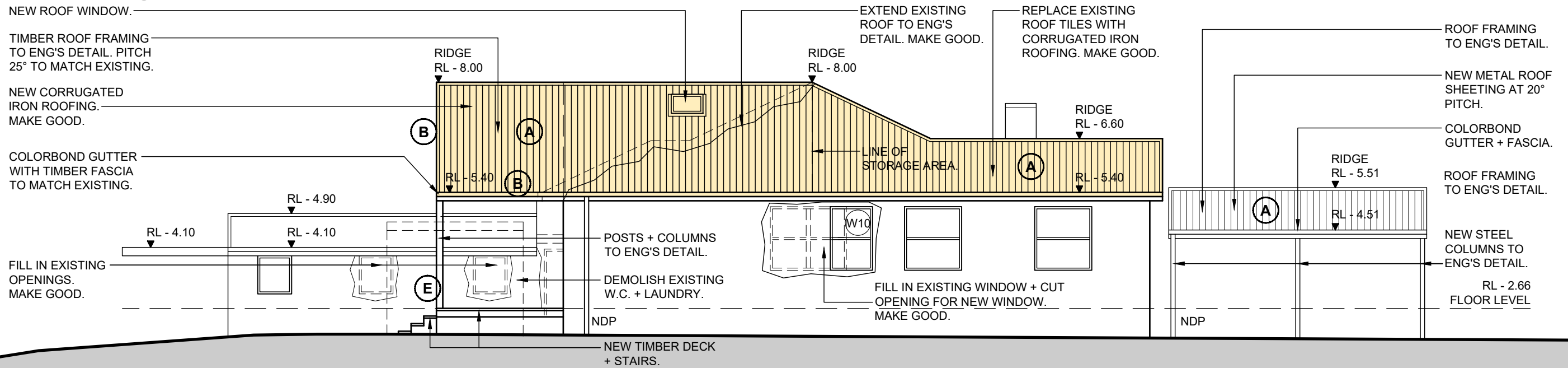

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	Client: BROOK WORTHINGTON	Scale:1:100@A3 Date:JUNE 2021								



EAST ELEVATION

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SOUTH ELEVATION

SCALE 1:100@A3



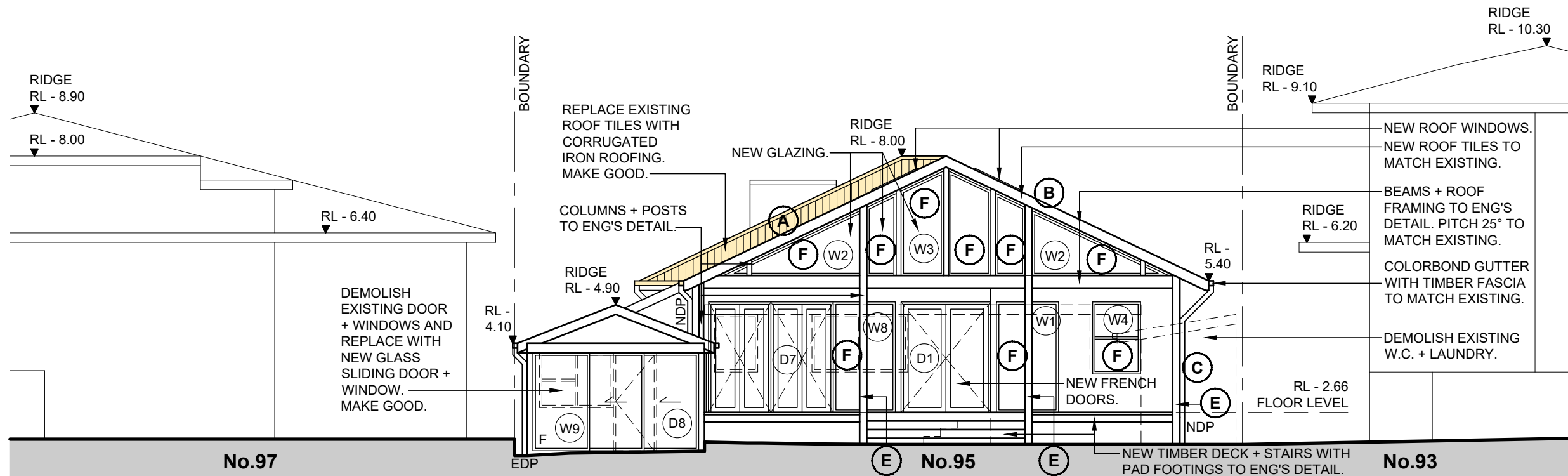
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EXTERNAL FINISHES - KEY

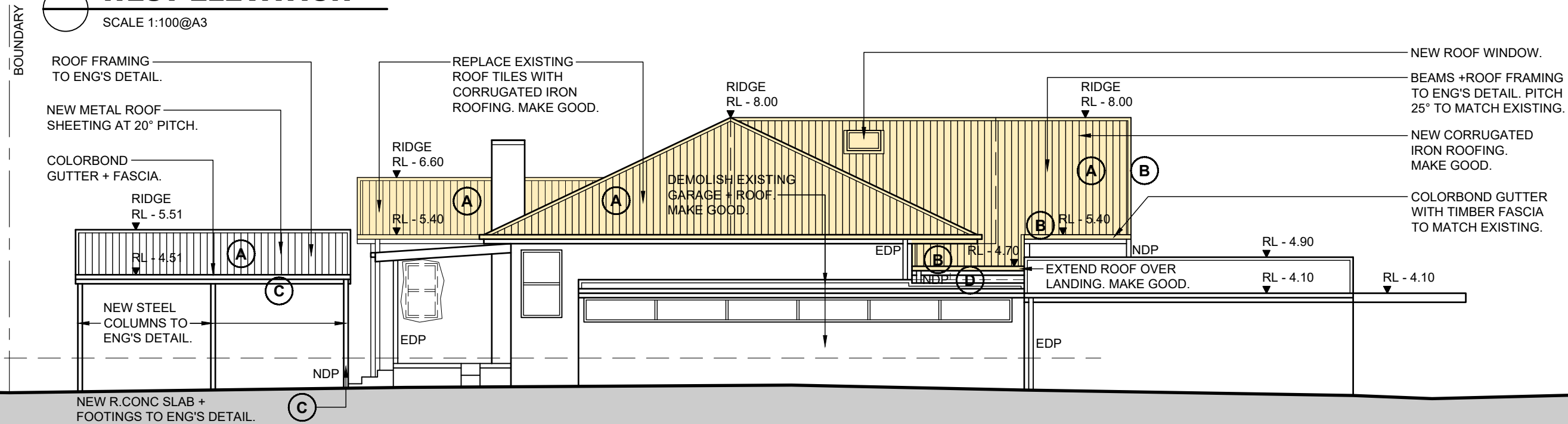
- (A)** - NEW CORRUGATED IRON ROOFING + PITCH TO MATCH EXISTING. COLOUR - COLOURBOND MID GREY
- (B)** - NEW FASCIA + GUTTER TO MATCH EXISTING. PAINTED
- (C)** - NEW COLORBOND FACIA, GUTTER + DOWNPIPES
- (D)** - NEW TIMBER WEATHERBOARDS TO MATCH EXISTING. PAINTED
- (E)** - NEW TIMBER POSTS. PAINTED
- (F)** - NEW TIMBER FRAMED WINDOWS + DOORS. PAINTED

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	95 WIMBLEDON AVE NARRABEEN NSW			HOSKING MUNRO PTY. LTD.	B	CC ISSUE	04.06.21	JC			
	Client: BROOK WORTHINGTON			ARCHITECTS INTERIORS & LANDSCAPE DESIGNERS 3.09 / 55 MILLER STREET, PYRMONT 2009 ph 9660 1055 fax 9692 9290 email hm@hoskingmunro.com.au	C	CC ISSUE 2	10.06.21	JC			
Scale: 1:100@A3 Date: JUNE 2021											



WEST ELEVATION

SCALE 1:100@A3



NORTH ELEVATION

SCALE 1:100@A3

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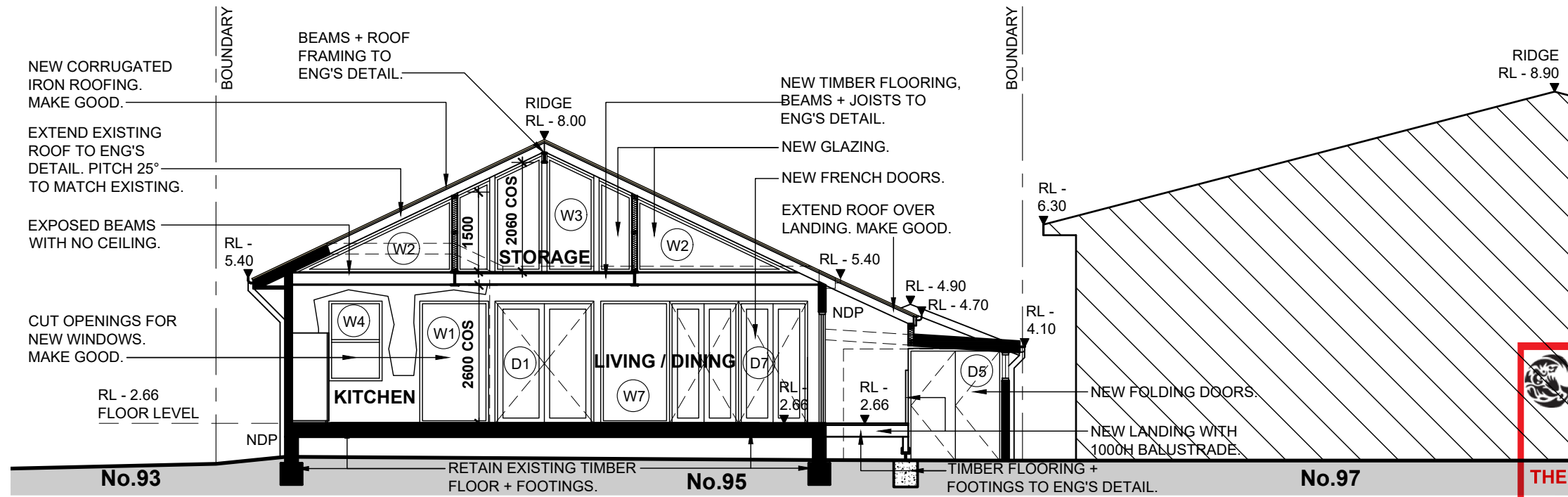
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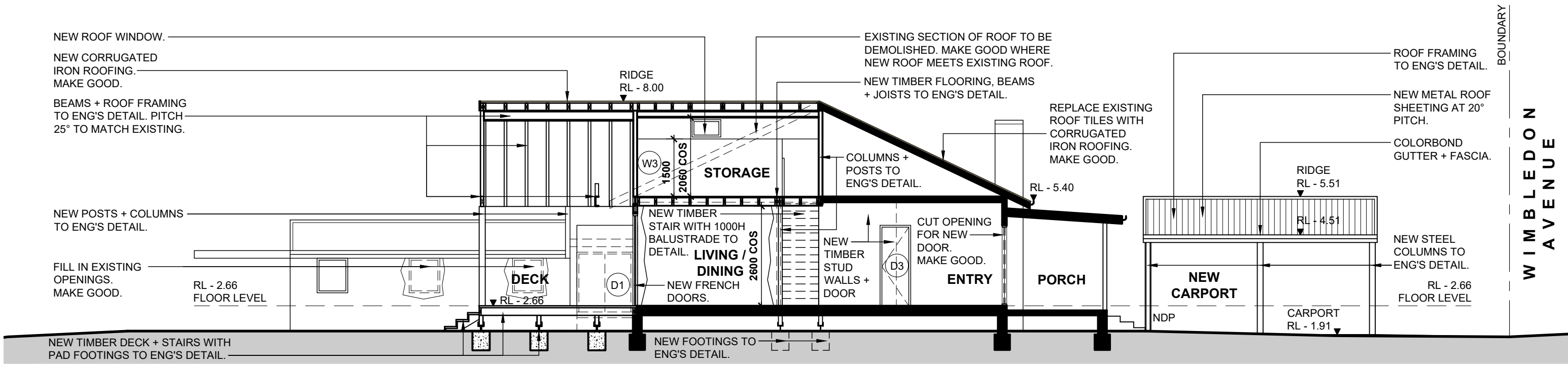
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	95 WIMBLEDON AVE NARRABEEN NSW		HOSKING MUNRO PTY. LTD.	B	CC ISSUE	04.06.21	JC			
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								Scale: 1:100@A3	Date: JUNE 2021	



SECTION A-A
SCALE 1:100@A3

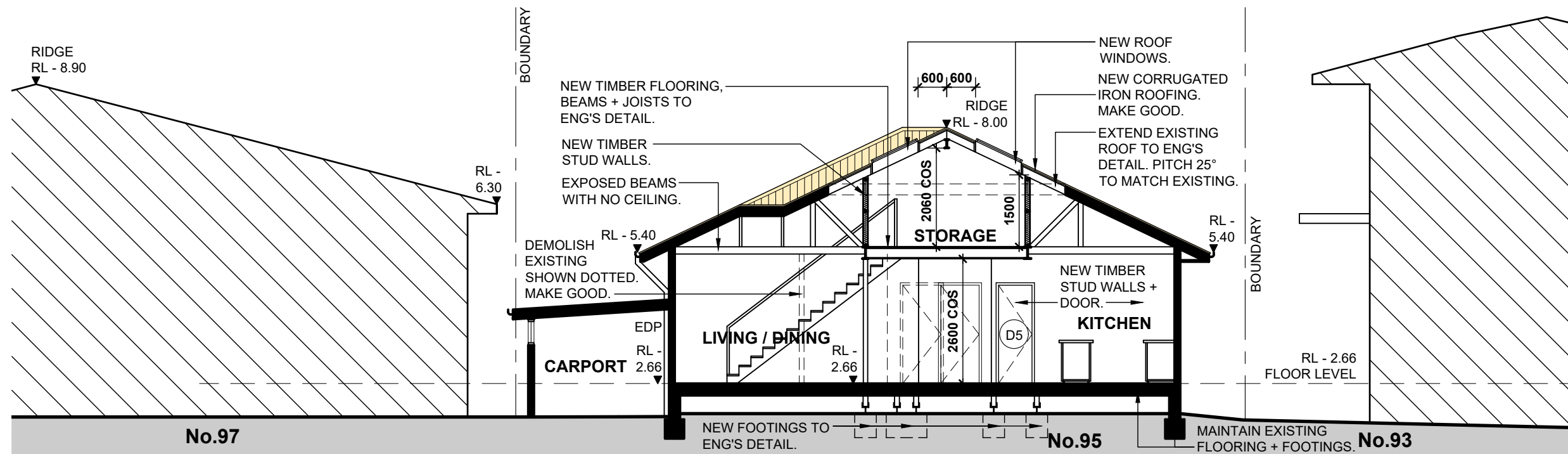

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SECTION B-B
SCALE 1:100@A3

WIMBLETON AVENUE

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	ALTERATIONS + ADDITIONS	SECTIONS A-A + B-B	HOSKING MUNRO	A	PRELIMINARY CC ISSUE	11.03.21	JC			
	95 WIMBLETON AVE NARRABEEN NSW		HOSKING MUNRO PTY. LTD. ARCHITECTS INTERIORS & LANDSCAPE DESIGNERS 3.09 / 55 MILLER STREET, PYRMONT 2009 ph 9660 1055 fax 9692 9290 email hm@hoskingmunro.com.au	B C	CC ISSUE CC ISSUE 2	04.06.21 10.06.21	JC JC	HM1478	CC300	'C'
	Client: BROOK WORTHINGTON									Scale:1:100@A3 Date:JUNE 2021



SECTION C-C
SCALE 1:100@A3


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