

LEGEND

WATER MAIN
TELSTRA PILLAR
TELSTRA MARKER POST
TELSTRA PIT
TELEGRAPH POLE
POWER POLE
ELECTRICAL PILLAR
POWER LIGHT POLE
LIGHT POLE
HYDRANT
RECYCLED WATER
WATER METER
STOP VALVE
WATER TAP
GAS METER
GAS DIRECTION MARKER
GAS INSPECTION POINT
SEWER MANHOLE
STREET SIGN
PRAM CROSSING
VEHICLE CROSSING

SEWER VENT
SEWER LAMP/POLE
SEWER INSPECTION POINT
SUBSOIL DRAIN
STORMWATER PIT
STORMWATER GRATE
SURFACE INLET PIT
LINTEL-KERB INLET PIT
LINTEL-KERB INLET PIT WITH GRATE
STORMWATER PIPE INCLUDING PIPE SIZE
HEADWALL
CLOTHES LINE
TREE: Ø DIAMETER
S SPREAD
H HEIGHT

OVERHEAD ELECTRICITY LINE
OVERHEAD TELECOM LINE
SEWER LINE

L.G.A. : NORTHERN BEACHES
PARISH : MANLY COVE
COUNTY : CUMBERLAND

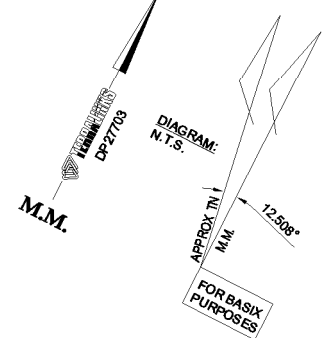


AREA LOT 4
VIDE DP 27703: 613.4 m²
BY CALC : 617.9 m²

WINDOW	SILL RL	HEIGHT	WIDTH	GLASS TYPE
1	115.60	1.20	1.52	CLEAR

B.A.S
POSSIBLE ENCASEMENT REQUIRED

POSITION OF 3000L "THE EVOLUTION SERIES MKII" ABOVE GROUND RAIN WATER TANK 1 TO BE INSTALLED IN ACCORDANCE WITH COUNCIL GUIDELINES & THE NATIONAL PLUMBING & DRAINAGE CODE AS/NZS 3500. THE RAINWATER SUPPLY PLUMBING IS TO BE CONNECTED TO THE COLD WATER SUPPLY TO TOILETS, WASHING MACHINE & EXTERNAL GARDEN TAPS.



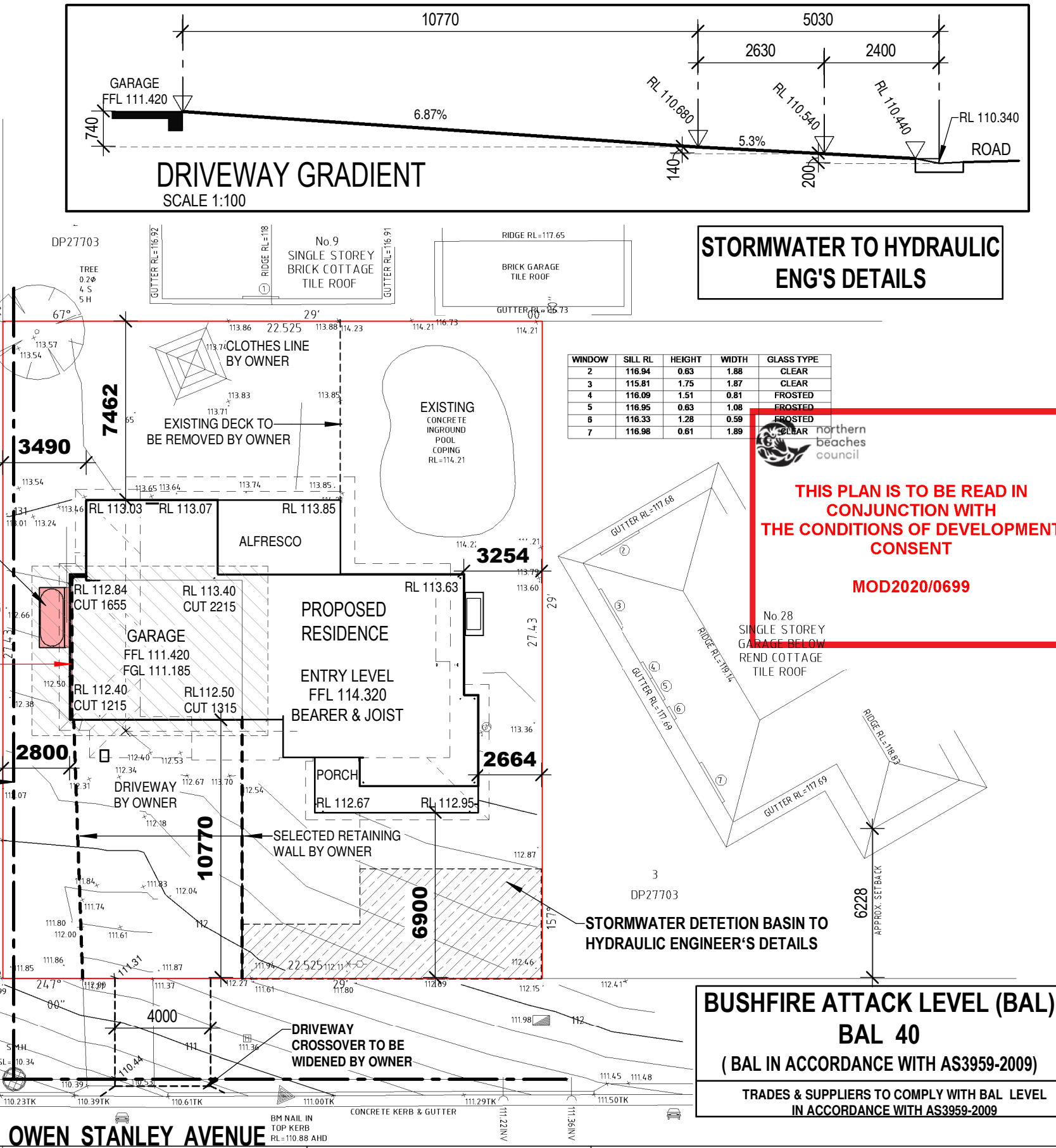
MARINE CLASSIFICATION
SL2
ALL TRADES & SUPPLIERS TO COMPLY WITH THE BCA AND ALL RELEVANT AUST STANDARDS

ORIGIN OF LEVELS :
PM 2125 RL=127.53 (AHD) FOUND NEAR THE INTERSECTION OF PATRICK STREET & ETHIE ROAD.
ACCURACY OF ORIGIN : ± 0.010m

SITE PLAN

ISSUE	AMENDMENT	DATE
A	PPD (EB)	15.05.19
B	VARY B (EB)	02.09.19
C	VARY D (EB)	23.10.19
D	DRIVEWAY AMENDED (EC)	06.12.19
E	VAR# G & H AND HYDRAULIC UPDATED + FFD (HT)	13.04.20
F	GARAGE DOOR AMENDED (EC)	17.04.20
G	BAL NOTES ADDED (SB)	10.11.20
H	COLOURS (SB)	12.11.20
I	DRIVEWAY UPDATED (SB)	30.11.20
J	DINCEL WALLS ADDED TO SIDE AND REAR OF GARAGE (SB)	16.12.20

LOCATION: T:\First draft\17386_DRY\Drawings\17386_DRY.rvt



SITE DETAILS
LOT NUMBER: 4
DP NUMBER: 27703

AREAS
SITE AREA: 617.90m²

ENTRY LEVEL	137.59 m²
UPPER LEVEL	113.17 m²
GARAGE	43.08 m²
ALFRESCO	15.90 m²
BALCONY	12.99 m²
PORCH	9.43 m²
BALCONY 2	9.40 m²
Grand total	341.56 m²

DRIVEWAY: 74.00m²

SITE COVERAGE: 162.42m² - 26.28%
PRIVATE OPEN SPACE: 194.12m²

PROJECT DETAILS:
GROUND & FIRST FLOOR LIVING TOTAL: 293.84m²
ROOF AREA: 195.18m²
NO. OF BEDROOMS: 4

LANDSCAPE:
TOTAL AREA OF VEGETATION: 292.54m² - 47%

STORMWATER:
RAINWATER TANK SIZE: = 3000 litre
-(ABOVE GROUND)
ROOF AREA CONNECTED TO RAINWATER TANK: 53.0% MIN MIN- 100.00m² (to eng's details)
RAINWATER USES: GARDEN/TOILET/LAUNDRY

SITE NOTES & CONDITIONS:
-HOUSE LEVELS ARE APPROXIMATE ONLY & WILL BE DETERMINED ON SITE BY SUPERVISOR PRIOR TO CONSTRUCTION.
-EXISTING STRUCTURES IN THE PROPOSED BUILDING AREA, TO BE REMOVED BY OWNER.
-EXISTING FENCING TO BE SECURED BY OWNER, PRIOR TO CONSTRUCTION & TO REMAIN OUTSIDE OF BUILDING PLATFORM.
-EXISTING TREES & VEGETATION TO BE CUT & REMOVED FROM BUILDING AREA PRIOR TO CONSTRUCTION, BY OWNER.
-WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING.
-DIMENSIONS SHOWN ARE TO FRAME AND UNDERSIDE OF ROOF TRUSSES
-FINISHED OUTLINE OF EXCAVATED AREA IS INDICATIVE ONLY & WILL VARY ON SITE
-ALL RETAINING WALLS ARE BY OWNER UNLESS NOTED OTHERWISE IN THE TENDER
- ALL CONSTRUCTION WORK TO COMPLY WITH THE BCA AND ALL RELEVANT AUSTRALIAN STANDARDS

FSR CALCULATIONS
SITE AREA: 617.90m²
HOUSE AREAS:
INTERNAL GARAGE FLOOR LIVING: 38.72m²
INTERNAL UPPER FLOOR LIVING: 118.70m²
INTERNAL FIRST FLOOR LIVING: 104.65m²
INTERNAL TOTAL: 262.07m²
FLOOR SPACE RATIO: 0.42:1

NOTE:
FSR CALCULATED TO INTERNAL FACE OF EXTERNAL WALLS AS PER LEP DEFINITION

<p>ISSUE</p> <p>A PFD (EB)</p> <p>B VARY B (EB)</p> <p>C VARY D (EB)</p> <p>D DRIVEWAY AMENDED (EC)</p> <p>E VAR# G & H AND HYDRAULIC UPDATED + FFD (HT)</p> <p>F GARAGE DOOR AMENDED (EC)</p> <p>G BAL NOTES ADDED (SB)</p> <p>H COLOURS (SB)</p> <p>I DRIVEWAY UPDATED (SB)</p> <p>J DINCEL WALLS ADDED TO SIDE AND REAR OF GARAGE (SB)</p>	<p>AMENDMENT</p> <p>DATE</p> <p>15.05.19</p> <p>02.09.19</p> <p>23.10.19</p> <p>06.12.19</p> <p>13.04.20</p> <p>17.04.20</p> <p>10.11.20</p> <p>12.11.20</p> <p>30.11.20</p> <p>16.12.20</p>	<p>Copyright reserved.</p> <p>No part of these plans may be reproduced or transmitted in any form without the written permission of Wincrest Group Pty Ltd.</p>	<p>WINCREST</p> <p>BESPOKE</p> <p>Wincrest Group Pty Ltd.</p> <p>ACN 135 562 873</p> <p>Builders License No. 213 442C</p> <p>18 Pitt St, Paramatta NSW 2150</p> <p>Ph:(02) 9635 1644 Fax:(02) 9633 4806</p>	<p>PROPOSED RESIDENCE FOR:</p> <p>CLIENT: MR & MRS DRY</p> <p>ADDRESS:</p> <p>LOT 4, No 30 OWEN STANLEY AVE</p> <p>BEACON HILL</p> <p>Northern Beaches Council</p>	<p>PREMIUM INCLUSIONS</p> <p>JOB NO: 17386 DATE: 06.12.19</p> <p>DRAWN: EB CHECKED: .</p> <p>SCALE: As indicated SHEET NO: 01</p> <p>PLEASE DISCARD ALL OTHER PLANS</p> <p>DO NOT SCALE DRAWING</p>
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LEGENDS

(720)	LIFT OFF DOOR HINGE
CJ*	CONTROL BRICK JOINT
MH	CEILING MAN HOLE
SA	SMOKE ALARM
DP	DOWN PIPE
AC	AC DUCTS
AC	AC CEILING GRILL

BASIX

ALL PLANS TO BE READ IN CONJUNCTION WITH THE BASIX CERTIFICATE AND ITS SCHEDULE OF COMMITMENTS, WHICH ARE TO BE COMPLIED WITH IN FULL

-PROVIDE **R4** GLASSWOOD BUK INSULATION TO JOIST OVER GARAGE CEILING.
-PROVIDE **R2** GLASSWOOD BULK INSULATION TO UNDERSIDE OD ENTIRE BEARER&JOIST SECTION



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2020/0699

EXTERNAL A/C UNIT, A/C VENTS AND DROPPERS (IF REQUIRED) ARE APPROX. ONLY AND MAY BE RE-POSITIONED ON SITE TO SUIT DIFFERENT CONSTRUCTION OR NOISE REQUIREMENTS. FINAL POSITION TO BE DETERMINED BY A/C CONTRACTOR

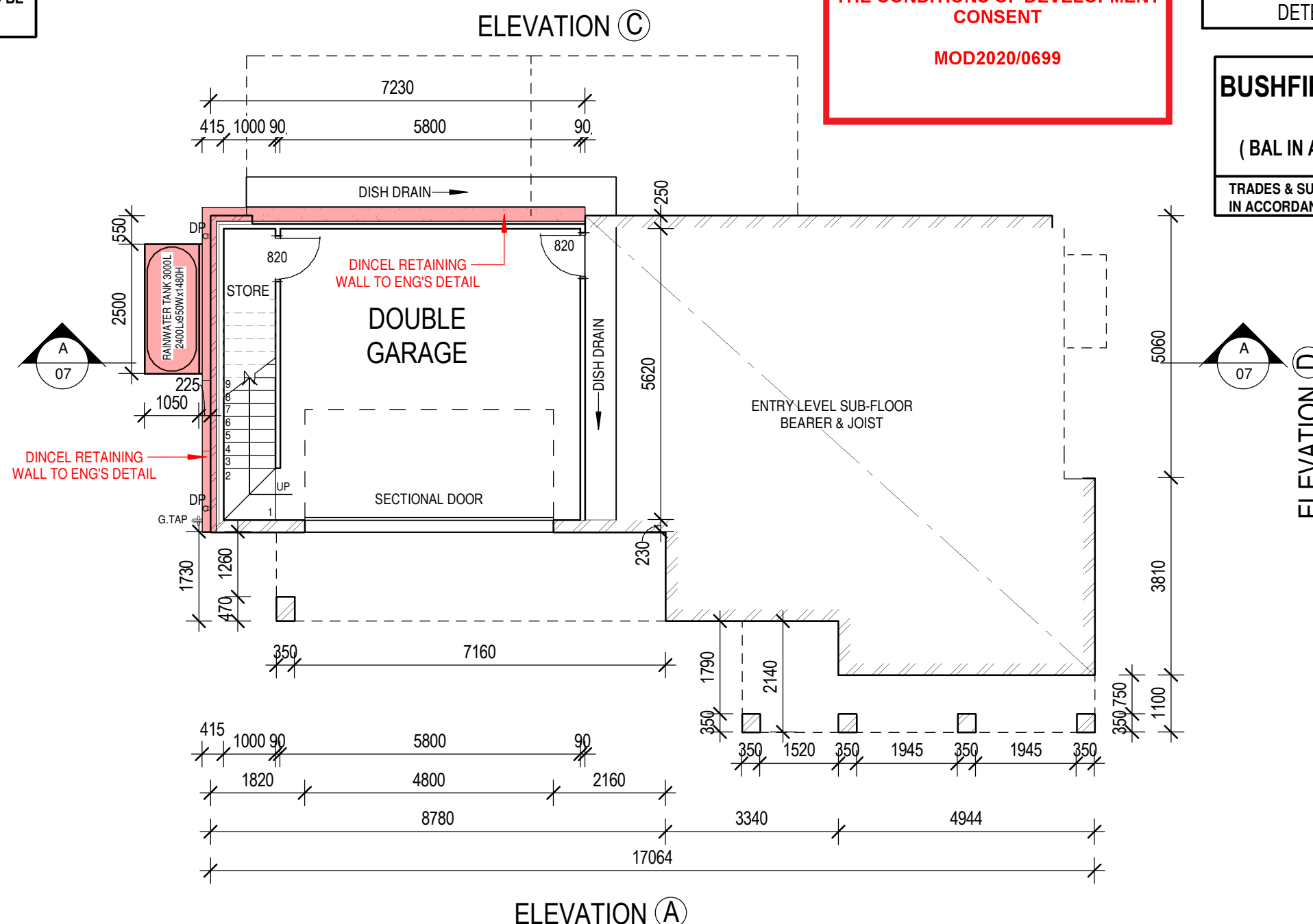
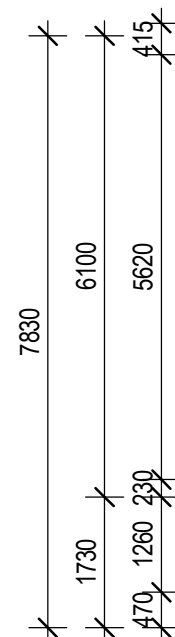
BUSHFIRE ATTACK LEVEL (BAL)

BAL 40

(BAL IN ACCORDANCE WITH AS3959-2009)

TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL IN ACCORDANCE WITH AS3959-2009

ELEVATION (B)



MARINE CLASSIFICATION

SL2

ALL TRADES & SUPPLIERS TO COMPLY WITH THE BCA AND ALL RELEVANT AUST STANDARDS

AREAS

ENTRY LEVEL	137.59 m ²
UPPER LEVEL	113.17 m ²
GARAGE	43.08 m ²
ALFRESCO	15.90 m ²
BALCONY	12.99 m ²
PORCH	9.43 m ²
BALCONY 2	9.40 m ²
Grand total	341.56 m ²

GARAGE FLOOR PLAN

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A	PFD (EB)	15.05.19			CLIENT: MR & MRS DRY	JOB NO: 17386	DATE: 06.12.19
B	VARY B (EB)	02.09.19			ADDRESS: LOT 4, No 30 OWEN STANLEY AVE BEACON HILL Northern Beaches Council	DRAWN: EB	CHECKED: .
C	VARY D (EB)	23.10.19				SCALE: 1 : 100	SHEET NO: 02
D	DRIVEWAY AMENDED (EC)	06.12.19				PLEASE DISCARD ALL OTHER PLANS	
E	VAR# G & H AND HYDRAULIC UPDATED + FFD (HT)	13.04.20				DO NOT SCALE DRAWING	
F	GARAGE DOOR AMENDED (EC)	17.04.20					
G	BAL NOTES ADDED (SB)	10.11.20					
H	COLOURS (SB)	12.11.20					
I	DRIVEWAY UPDATED (SB)	30.11.20					
J	DINCEL WALLS ADDED TO SIDE AND REAR OF GARAGE (SB)	16.12.20					

LOCATION: T:\First draft\17386_DRY\Drawings\17386_DRY.rvt

LEGENDS

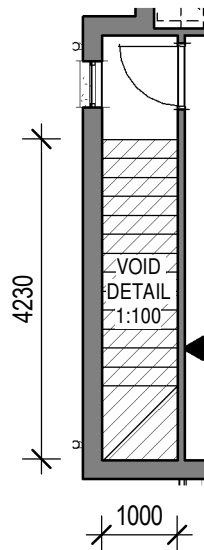
- (720) LIFT OFF DOOR HINGE
CJ* CONTROL BRICK JOINT
MH CEILING MAN HOLE
SA SMOKE ALARM
DP DOWN PIPE
AC DUCTS
AC CEILING GRILL

BUSHFIRE ATTACK LEVEL (BAL)
BAL 40
(BAL IN ACCORDANCE WITH AS3959-2009)TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL
IN ACCORDANCE WITH AS3959-2009

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2020/0699

ELEVATION B



OWNER TO SUPPLY AND INSTALL 19mm +
TIMBER FLOORING + 18mm PLYWOOD TO:
ENTRY, FAMILY, DINING, MEALS AND KITCHEN

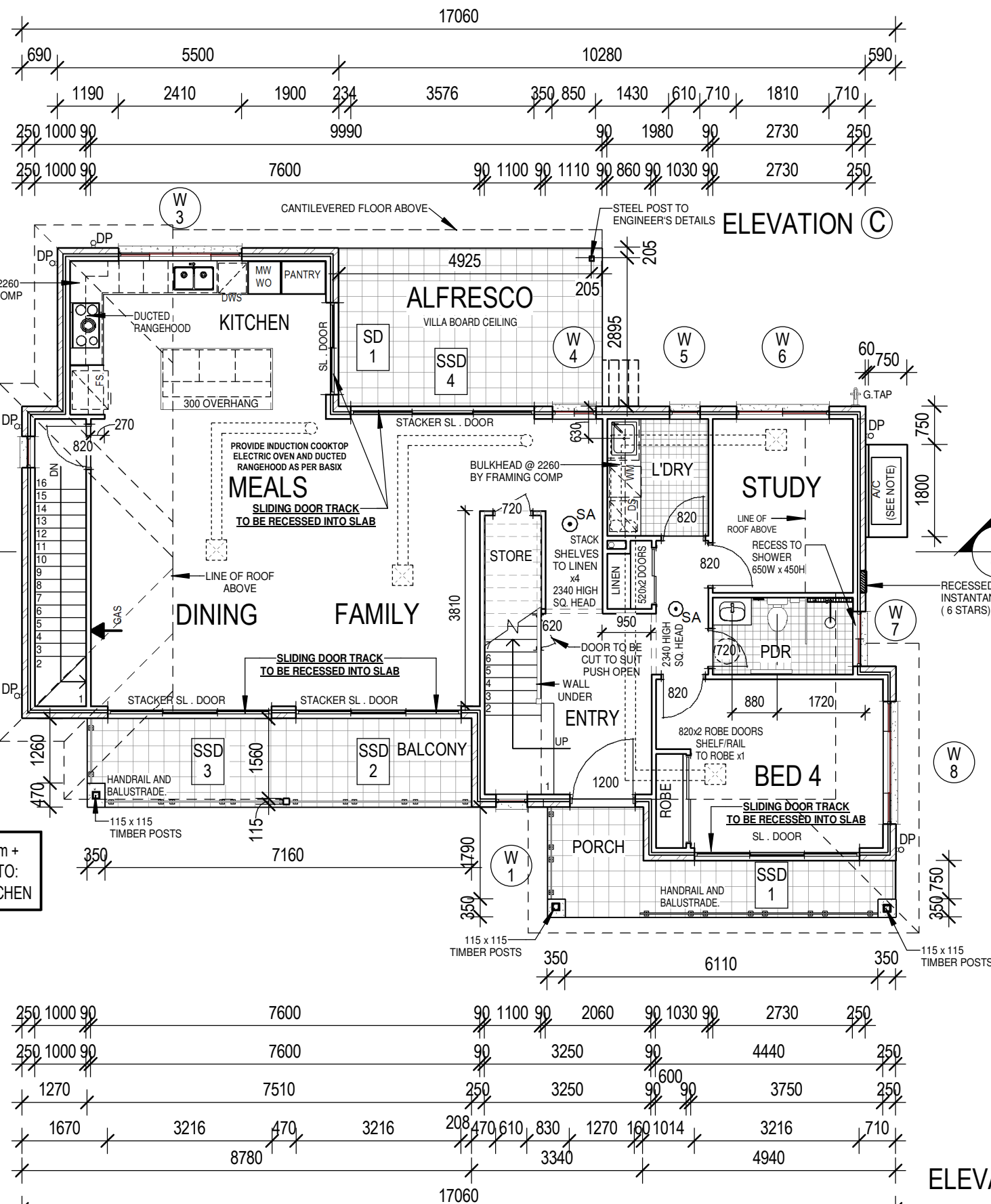
BASIX

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COMMITMENTS, WHICH ARE TO BE
COMPLIED WITH IN FULL

UPPER FLOOR PLAN

ISSUE	AMENDMENT	DATE
A	FPD (EB)	15.05.19
B	VARY B (EB)	02.09.19
C	VARY D (EB)	23.10.19
D	DRIVEWAY AMENDED (EC)	06.12.19
E	VAR# G & H AND HYDRAULIC UPDATED + FFD (HT)	13.04.20
F	GARAGE DOOR AMENDED (EC)	17.04.20
G	BAL NOTES ADDED (SB)	10.11.20
H	COLOURS (SB)	12.11.20
I	DRIVEWAY UPDATED (SB)	30.11.20
J	DINCEL WALLS ADDED TO SIDE AND REAR OF GARAGE (SB)	16.12.20

LOCATION: T:\First draft\17386_DRY\Drawings\17386_DRY.rvt



EXTERNAL A/C UNIT, A/C VENTS AND DROPPERS
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TO SUIT DIFFERENT CONSTRUCTION OR NOISE
REQUIREMENTS. FINAL POSITION TO BE
DETERMINED BY A/C CONTRACTOR

2340H DOORS TO UPPER LEVEL

ELEVATION D

MARINE CLASSIFICATION
SL2ALL TRADES & SUPPLIERS TO COMPLY
WITH THE BCA AND ALL RELEVANT AUST STANDARDS

ELEVATION A

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WINCREST

BESPOKE

Wincrest Group Pty Ltd.
ACN 135 562 873
Builders License No. 213 442C
18 Pitt St, Paramatta NSW 2150
Ph:(02) 9635 1644 Fax:(02) 9633 4806

PROPOSED RESIDENCE FOR:

CLIENT: MR & MRS DRY

ADDRESS:

LOT 4, No 30 OWEN STANLEY AVE
BEACON HILL
Northern Beaches Council

PREMIUM INCLUSIONS

JOB NO: 17386 DATE: 06.12.19

DRAWN: EB CHECKED: .

SCALE: 1 : 100 SHEET NO: 03

PLEASE DISCARD ALL OTHER PLANS

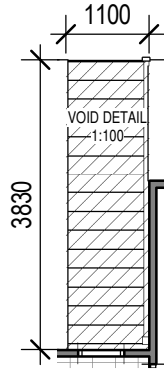
DO NOT SCALE DRAWING

LEGENDS

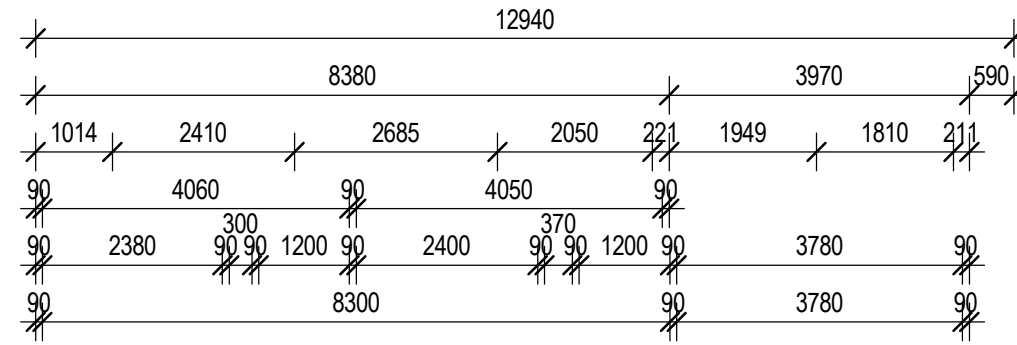
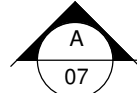
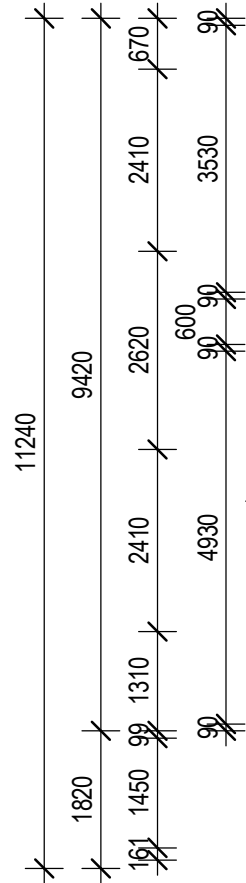
- (720) LIFT OFF DOOR HINGE
- CJ* CONTROL BRICK JOINT
- MH CEILING MAN HOLE
- SA SMOKE ALARM
- DP DOWN PIPE
- AC DUCTS
- AC CEILING GRILL

BUSHFIRE ATTACK LEVEL (BAL)
BAL 40
(BAL IN ACCORDANCE WITH AS3959-2009)

TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL
IN ACCORDANCE WITH AS3959-2009



ELEVATION (B)



ELEVATION (C)



THIS PLAN IS TO BE READ IN
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CONSENT

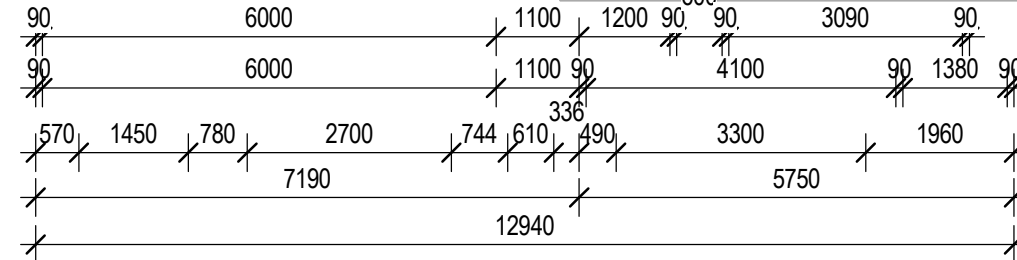
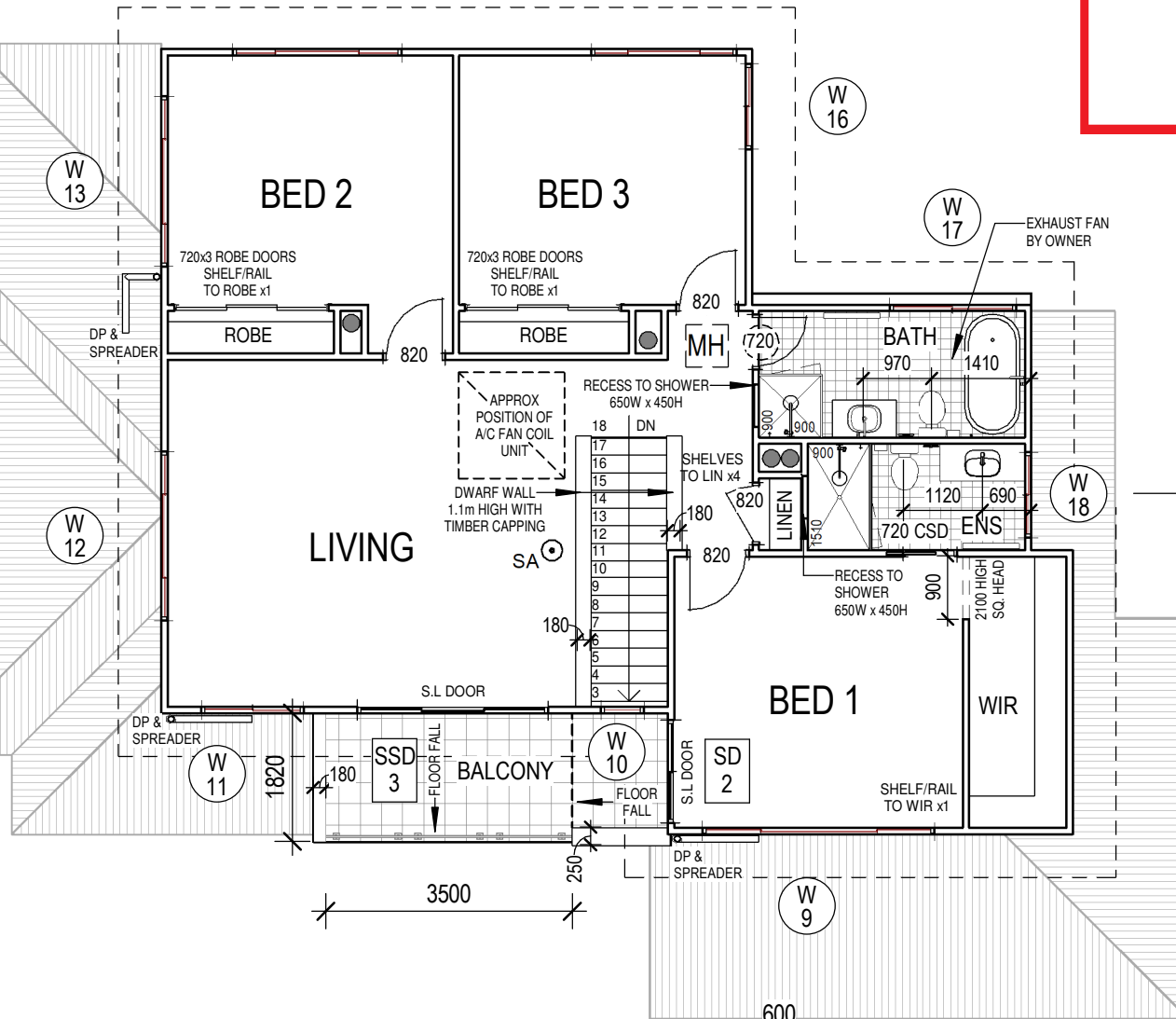
MOD2020/0689

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MARINE CLASSIFICATION
SL2

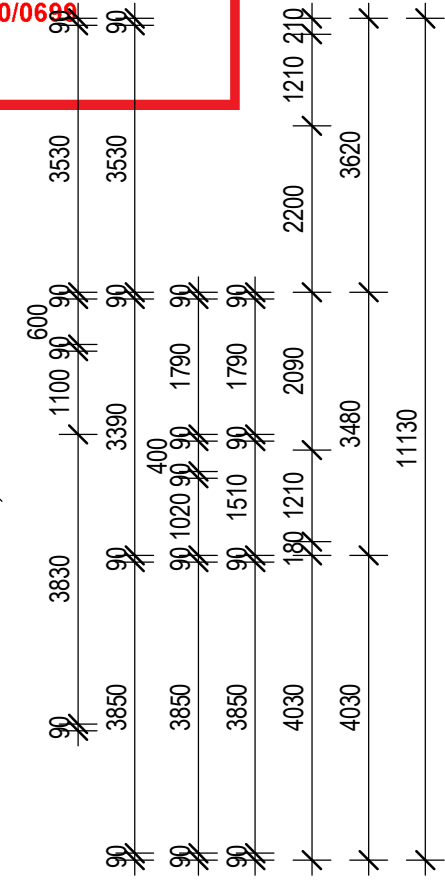
ALL TRADES & SUPPLIERS TO COMPLY
WITH THE BCA AND ALL RELEVANT AUST STANDARDS

FIRST FLOOR PLAN



ELEVATION (A)

ELEVATION (D)

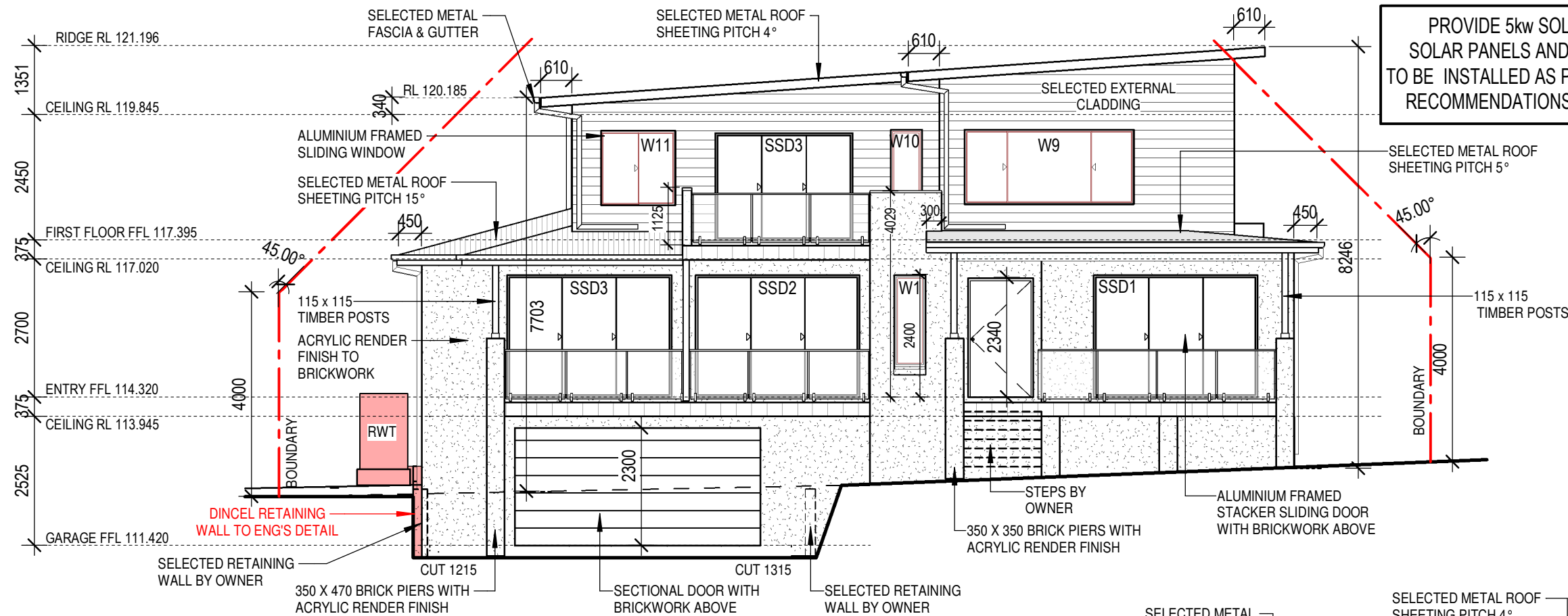


BASIX

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A	PFD (EB)	15.05.19	ADDRESS: LOT 4, No 30 OWEN STANLEY AVE BEACON HILL Northern Beaches Council			JOB NO: 17386	DATE: 06.12.19		
B	VARY B (EB)	02.09.19				DRAWN: EB	CHECKED: Checker		
C	VARY D (EB)	23.10.19				SCALE: 1 : 100	SHEET NO: 04		
D	DRIVEWAY AMENDED (EC)	06.12.19				PLEASE DISCARD ALL OTHER PLANS			
E	VAR# G & H AND HYDRAULIC UPDATED + FFD (HT)	13.04.20				DO NOT SCALE DRAWING			
F	GARAGE DOOR AMENDED (EC)	17.04.20							
G	BAL NOTES ADDED (SB)	10.11.20							
H	COLOURS (SB)	12.11.20							
I	DRIVEWAY UPDATED (SB)	30.11.20							
J	DINCEL WALLS ADDED TO SIDE AND REAR OF GARAGE (SB)	16.12.20							
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ELEVATION A

1 : 100

PROVIDE 5kw SOLAR PV SYSTEM
SOLAR PANELS AND THEIR LOCATION
TO BE INSTALLED AS PER MANUFACTURES
RECOMMENDATIONS AND GUIDELINES

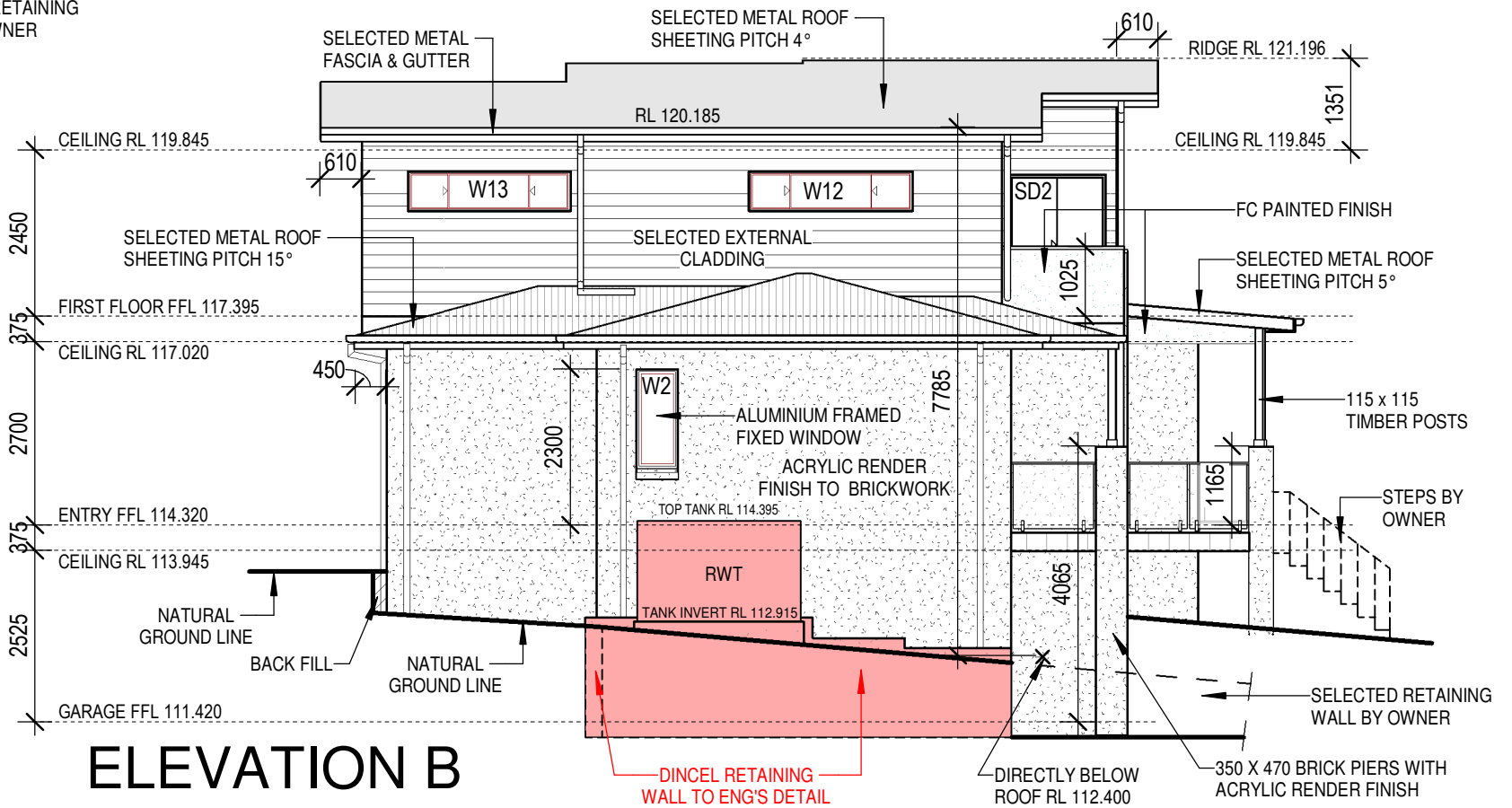
NOTE:

- FIRST FLOOR WINDOW HEADS TO BE PLACED @2166
- ENTRY FLOOR WINDOW HEAD HEIGHT 2400 ABOVE FFL TO U/S STEEL ARCH BAR
- ALL ANGLED WALLS @ 45° UNLESS NOTED OTHERWISE.

 **northern beaches council**

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2020/0699



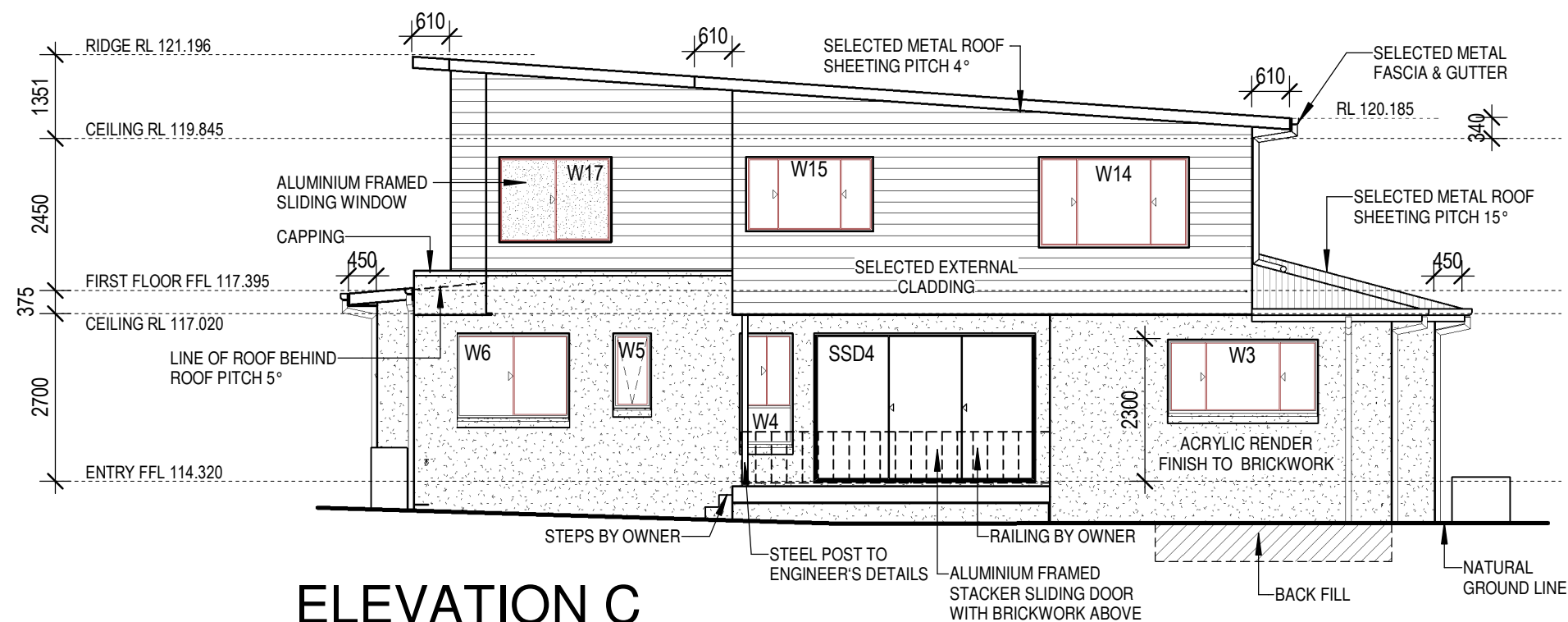
ELEVATION B

1 : 100

ELEVATIONS

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						CLIENT: MR & MRS DRY		JOB NO: 17386	DATE: 06.12.19
						ADDRESS: LOT 4, No 30 OWEN STANLEY AVE BEACON HILL Northern Beaches Council		DRAWN: EB	CHECKED: .
								SCALE: 1 : 100	SHEET NO: 05
								PLEASE DISCARD ALL OTHER PLANS	
								DO NOT SCALE DRAWING	
LOCATION: T:\First draft\17386_DRY\Drawings\17386_DRY.rvt									

LOCATION: T:\First draft\17386_DRY\Drawings\17386_DRY.rvt



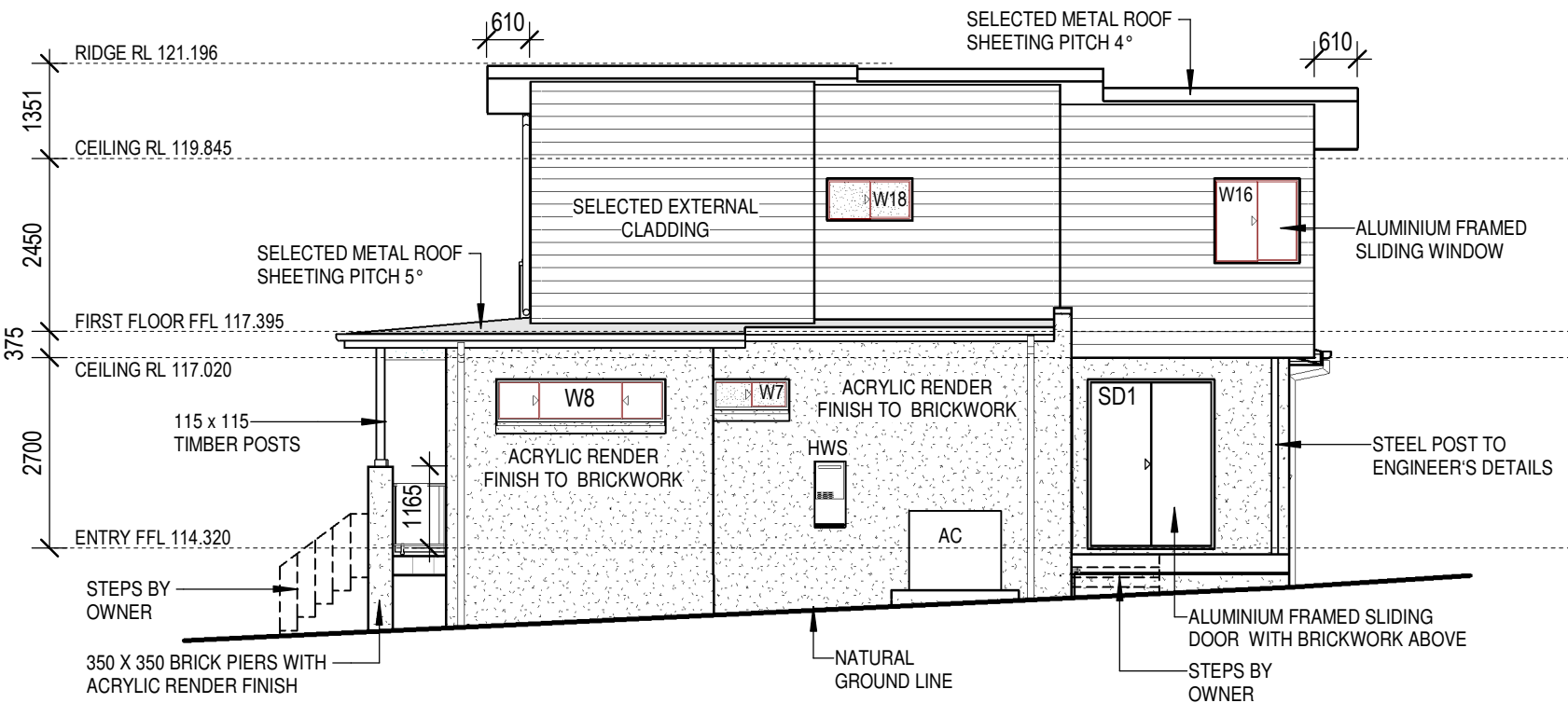
ELEVATION C

1 : 100



THIS PLAN IS TO BE READ IN
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CONSENT

MOD2020/0699



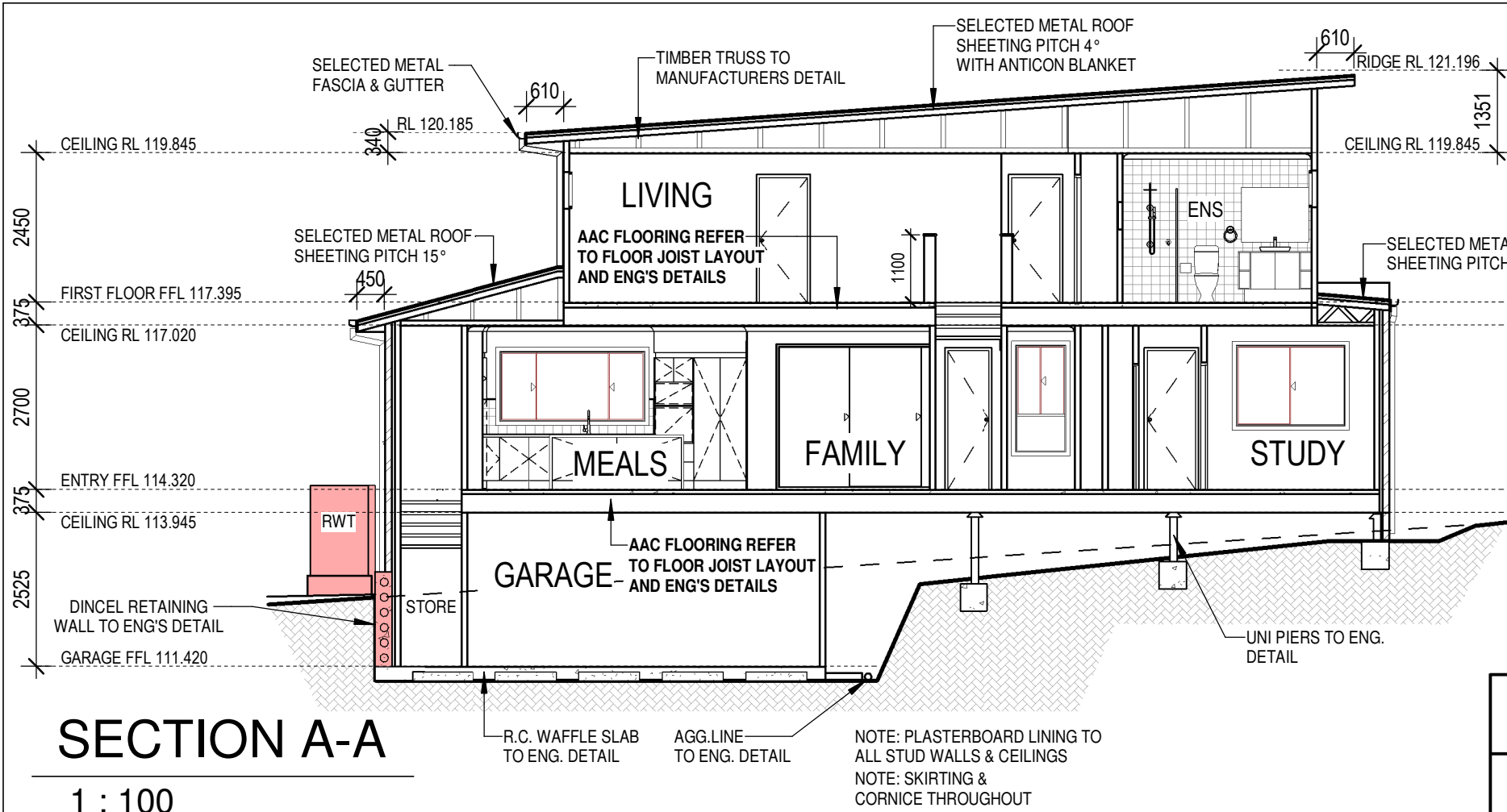
ELEVATION D

1 : 100

ELEVATIONS

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B		VARY B (EB)		02.09.19				<div>ADDRESS: LOT 4, No 30 OWEN STANLEY AVE BEACON HILL Northern Beaches Council</div>		DRAWN: EB		CHECKED:.
C		VARY D (EB)		23.10.19						SCALE: 1 : 100		SHEET NO: 06
D		DRIVEWAY AMENDED (EC)		06.12.19						PLEASE DISCARD ALL OTHER PLANS		
E		VAR# G & H AND HYDRAULIC UPDATED + FFD (HT)		13.04.20						DO NOT SCALE DRAWING		
F		GARAGE DOOR AMENDED (EC)		17.04.20								
G		BAL NOTES ADDED (SB)		10.11.20								
H		COLOURS (SB)		12.11.20								
I		DRIVEWAY UPDATED (SB)		30.11.20								
J		DINCEL WALLS ADDED TO SIDE AND REAR OF GARAGE (SB)		16.12.20								
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LOCATION: T:\First draft\17386_DRY\Drawings\17386_DRY.rvt



SECTION A-A

1 : 100

GENERAL NOTES:

- PROVIDE GRANITGARD PEST CONTROL SYSTEM OR SIMILAR TO PERIMETER OF HOME AS REQUIRED BY CERTIFYING AUTHORITY.
- AS/NZS 3000-2000 ELECTRICAL REQUIREMENTS: SAFETY SWITCH TO FRIDGE & LIGHT CIRCUITS; ISOLATING SWITCH FOR WALL OVEN.
- PROVIDE R4.0 GLASSWOOL CEILING INSULATION TO ROOF SPACE OF LIVING AREAS AND **JOIST OVER GARAGE CEILING**
- PROVIDE R2.0 GLASSWOOL WALL INSULATION TO EXTERNAL WALLS OF LIVING AREAS AND **UNDERSIDE OF ENTIRE BEARER & JOIST SECTION.**
- WELS RATED KITCHEN, LAUNDRY & VANITY BASIN TAPS REQUIRED.
- WELS RATED SHOWERHEADS.
- WELS RATED TOILET CISTERNS REQUIRED.
- PROVIDE 3,000 LITRE COLORBOND STEEL AQUAPLATE TANK.
- NO EXHAUST FANS UNLESS REQUIRED FOR MECHANICAL VENTILATION
- PROVIDE WEATHER STRIPS TO ALL EXTERNAL HINGED DOORS.
- GAS/ELECTRONIC INSTANTANEOUS HOT WATER SERVICE (6 STARS)
- 75mm GAP BETWEEN FRIDGE & WALL TO BE MAINTAINED.
- PROVIDE NATURAL GAS PLUMBING FOR COOKTOP & 1 INTERNAL HEATING POINT.
- MANHOLE POSITION IS APPROXIMATE ONLY AND MAY BE RE-POSITIONED ON SITE TO SUIT CONSTRUCTION CONSTRAINTS OR REQUIREMENTS
- PRIMARY TYPE OF ARTIFICIAL LIGHTING -FLUORESCENT OR LIGHT EMITTING DIODE (LED) AND WHERE THE WORD "DEDICATED" APPEARS, THE FITTINGS FOR THOSE LIGHTS MAY ONLY BE CAPABLE OF ACCEPTING FLUORESCENT OR LIGHT EMITTING DIODE (LED) LAMPS **TO THE FOLLOWING ROOMS:** AT LEAST 5 OF THE BEDROOMS / STUDY AT LEAST 3 OF THE LIVING/DINING ROOMS, THE KITCHEN, ALL BATHROOMS/TOILETS, THE LAUNDRY & ALL HALLWAYS

SECTION/SCHEDULES

ISSUE	AMENDMENT	DATE
A	PFD (EB)	15.05.19
B	VARY B (EB)	02.09.19
C	VARY D (EB)	23.10.19
D	DRIVEWAY AMENDED (EC)	06.12.19
E	VAR# G & H AND HYDRAULIC UPDATED + FFD (HT)	13.04.20
F	GARAGE DOOR AMENDED (EC)	17.04.20
G	BAL NOTES ADDED (SB)	10.11.20
H	COLOURS (SB)	12.11.20
I	DRIVEWAY UPDATED (SB)	30.11.20
J	DINCEL WALLS ADDED TO SIDE AND REAR OF GARAGE (SB)	16.12.20

LOCATION: T:\First draft\17386_DRY\Drawings\17386_DRY.rvt

NOTE:

Windows typically with **double glazing** - Awning Uw 4.8 & SHGC 0.51, Sliding / fixed Uw 4.4 & SHGC 0.61, Double hung Uw 4.4 & SHGC 0.60

NOTE:

Doors typically with standard glass - Sliding doors and stacking doors Uw 6.25 & SHGC 0.72, Bifold door Uw 6.12 & SHGC 0.76

NOTE:

ALL BED ROOM WINDOW OPENINGS HIGHER THAN 2.0m FROM FINISHED GROUND LEVEL TO BE PROTECTED IN ACCORDANCE WITH
CLAUSE 3.9.2.5 VOLUME 2 OF THE BUILDING CODE OF AUSTRALIA

MARINE CLASSIFICATION SL2

ALL TRADES & SUPPLIERS TO COMPLY
WITH THE BCA AND ALL RELEVANT AUST STANDARDS

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BASIX
ALL PLANS TO BE READ IN
CONJUNCTION WITH THE BASIX
CERTIFICATE AND ITS SCHEDULE OF
COMMITMENTS, WHICH ARE TO BE
COMPLIED WITH IN FULL



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2020/0699

WINDOWS	
ALL WINDOWS ON 250mm	137mm
BRICK VENEER WALLS	REVEALS
WINDOWS	
ALL WINDOWS ON 90mm	100mm
LIGHTWEIGHT WALL SYSTEM	REVEALS

Window and Sl. door Schedule					
wt	Window No.	Height	Width	Window Style	Glazing
W	1	1800	610	FIXED	CLEAR
W	2	1457	610	FIXED	CLEAR
W	3	1200	2410	SLIDING	CLEAR
W	4	1800	850	SLIDING	CLEAR
W	5	1200	610	AWNING	OBS
W	6	1372	1810	SLIDING	CLEAR DOUBLE GLAZED
W	7	429	1070	SLIDING	OBS / TG TILED REVEL
W	8	600	2410	SLIDING	CLEAR DOUBLE GLAZED
W	9	1457	3300	SLIDING	CLEAR DOUBLE GLAZED
W	10	1800	610	FIXED	CLEAR
W	11	1457	1450	SLIDING	CLEAR DOUBLE GLAZED
W	12	600	2410	SLIDING	CLEAR DOUBLE GLAZED
W	13	600	2410	SLIDING	CLEAR DOUBLE GLAZED
W	14	1457	2410	SLIDING	CLEAR DOUBLE GLAZED
W	15	1200	2050	SLIDING	CLEAR DOUBLE GLAZED
W	16	1200	1210	SLIDING	CLEAR DOUBLE GLAZED
W	17	1372	1810	SLIDING	OBS / TG
W	18	600	1210	SLIDING	OBS / TG
SSD	1	2400	3216	STACKER SL.DOOR	CLEAR
SSD	2	2400	3216	STACKER SL.DOOR	CLEAR
SSD	3	2400	3216	STACKER SL.DOOR	CLEAR
SSD	3	2100	2700	STACKER SL. DOOR	CLEAR
SSD	4	2400	3576	STACKER SL.DOOR	CLEAR
SD	1	2400	1810	SLIDING DOOR	CLEAR
SD	2	2100	1450	SLIDING DOOR	CLEAR

BUSHFIRE ATTACK LEVEL (BAL) BAL - 40 REQUIREMENTS

TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL IN ACCORDANCE WITH AS3959-2009

-WALLS - THAT PART OF AN EXTERNAL WALL SURFACE THAT IS LESS THAN 400MM FROM THE GROUND OR LESS THAN 400MM ABOVE DECKS, CARPORT ROOFS, AWNINGS AND SIMILAR ELEMENTS SHALL BE OF NON COMBUSTIBLE MATERIAL; FIBRE-CEMENT EXTERNAL CLADDING, A MINIMUM OF 6MM IN THICK

-VENTS AND WEEPHOLES - IN EXTERNAL WALLS SHALL BE SCREENED WITH A MESS WITH A MAX. APERTURE OF 2mm, MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM.

-WINDOWS - GLAZED ELEMENTS THAT ARE DESIGNED TO TAKE INTERNAL SCREENS SHALL USE TOUGHENED GLASS OF MINIMUM 6mm AND THE OPENABLE PORTION SHALL BE SCREENED WITH SCREENS THAT COMPLY

-SCREENS FOR WINDOWS AND DOORS - WHERE TOUGHENED GLASS IS USED , IT SHALL BE TOUGHENED GLASS OF MINIMUM 6mm AND THE OPENABLE PORTIONS OF WINDOWS SHALL BE SCREENED INTERNALLY OR EXTERNALLY WITH SCREENS WITH A MAX. APERTURE OF 2mm, MADE OF ALUMINIUM

-EXTERNAL DOORS SLIDING DOORS- THEY SHALL BE COMPLETELY PROTECTED BY SCREENS WITH A MAXIMUM APERTURE OF 2MM, MADE OF ALUMINIUM AND HAVE WEATHER STRIPS, DRAUGHT EXCLUDERS OR DRAUGHT SEALS AT THE BASE OF SIDE HUNG EXTERNAL DOORS

SIDE HUNG (HINGED) EXTERNAL DOORS - TO BE SCREENED WITH ALUMINIUM MESH SCREENS, MAXIMUM APERTURE OF 2MM AND HAVE WEATHER STRIPS, DRAUGHT EXCLUDERS OR DRAUGHT SEALS AT THE BASE

-VEHICLE ACCESS DOORS - TO BE FITTED WITH WEATHER STRIPS, DRAUGHT EXCLUDERS/SEALS OR GUIDE TRACKS AS APPROPRIATE TO THE DOOR TYPE, MAXIMUM GAP NO GREATER THAN 3MM

-ROOFS - METAL ROOFS -SHALL HAVE ANY GAPS GREATER THAN 3 MM UNDER CORRUGATIONS OR RIBS OF SHEET ROOFING AND BETWEEN ROOF COMPONENTS SEALED AT THE FASCIA OR WALL LINE AND AT VALLEYS, HIPS AND RIDGES- (ANTICON BLANKET E/O PRICE FROM SARKING)

-ROOF PENETRATIONS - ROOF PENETRATIONS, INCLUDING ROOF LIGHTS, ROOF VENTILATORS, ROOF-MOUNTED EVAPORATING COOLING UNITS, AERIALS, VENT PIPES AND SUPPORTS FOR SOLAR COLLECTORS, SHALL BE ADEQUATELY SEALED AT THE ROOF TO PREVENT GAPS GREATER THAN 3MM

WATER AND GAS SUPPLY- ABOVE GROUND, EXPOSED WATER AND GAS SUPPLY PIPES SHALL BE METAL. VENT PIPES LOCATED ON ROOF TO BE METAL (IF REQUIRED)

ALL **EXTERNAL TIMBER EAVES MOULDINGS AND POSTS** SHALL BE MERBAU IN LIEU OF PRIMED PINE

CLADDING - FIXED EXTERNALLY TO A TIMBER-FRAMED OR A STEEL-FRAMED WALL THAT IS SARKED ON THE OUTSIDE OF THE FRAME AND IS FIBRE-CEMENT A MINIMUM OF 9 MM IN THICKNESS

EAVE LININGS - SHALL BE OF FIBRE-CEMENT SHEET, A MINIMUM OF 6MM IN THICKNESS

PROPOSED RESIDENCE FOR:

CLIENT: MR & MRS DRY

ADDRESS:

LOT 4, No 30 OWEN STANLEY AVE
BEACON HILL
Northern Beaches Council

PREMIUM INCLUSIONS

JOB NO: 17386 DATE: 06.12.19

DRAWN: EB CHECKED: .

SCALE: 1 : 100 SHEET NO: 07

PLEASE DISCARD ALL OTHER PLANS

DO NOT SCALE DRAWING