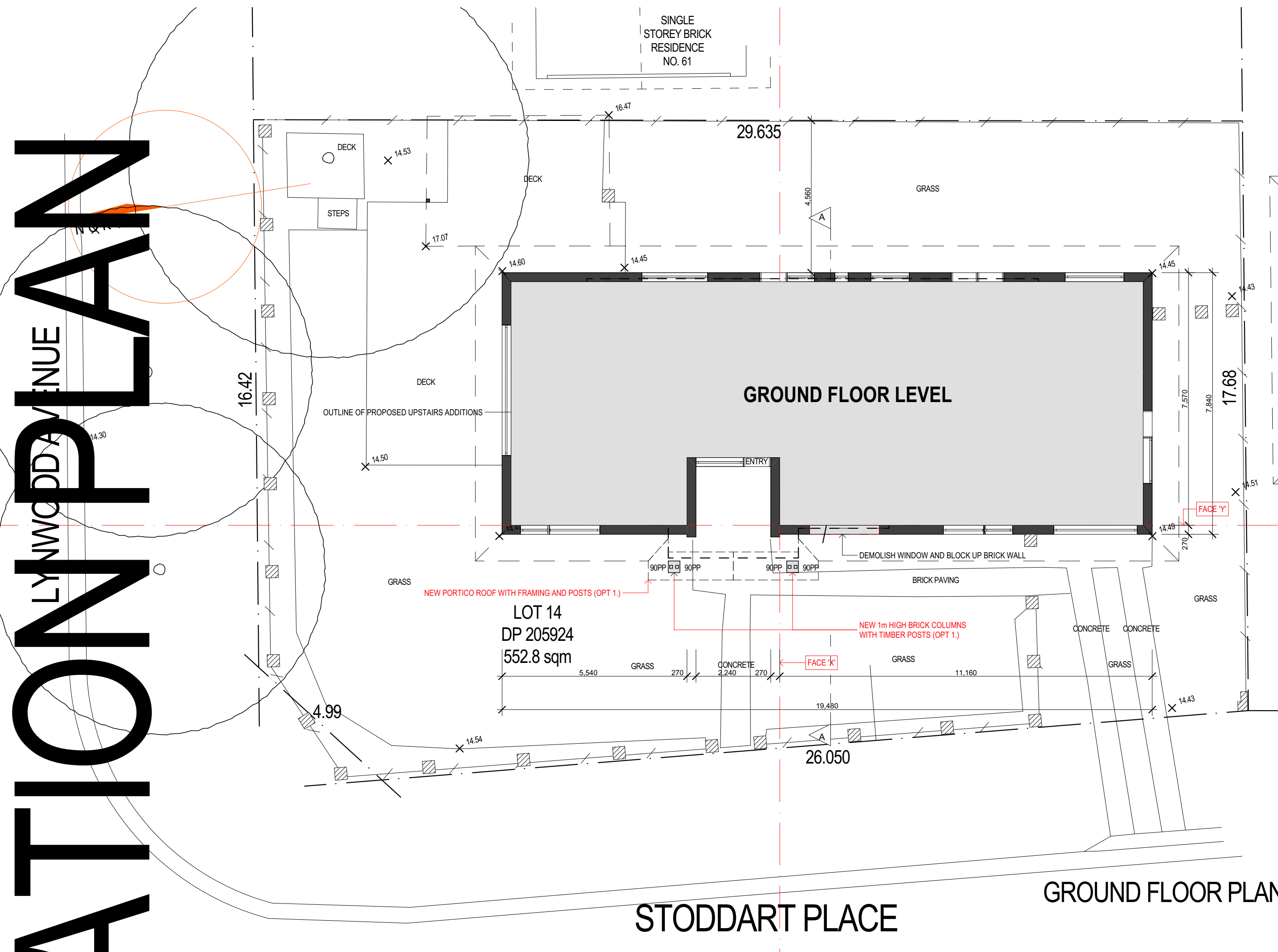


A4 NOTIFICATION PLAN

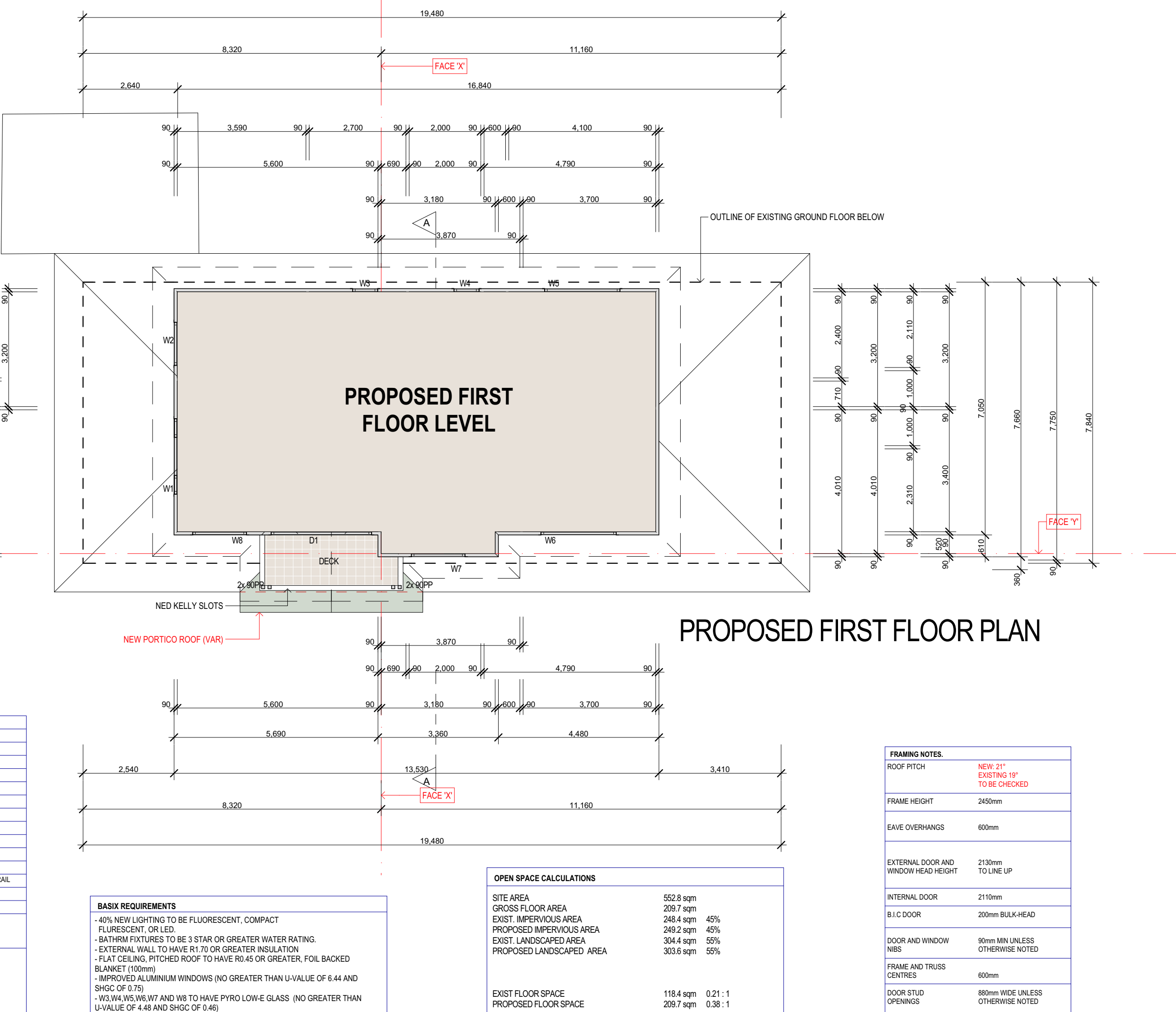
LYNWOOD DRIVE



STODDART PLACE

GROUND FLOOR PLAN

LEGEND & GENERAL NOTES	
VAR	VARIATION
O.T.A	OWNER TO ADVISE BUILDER
90P	90 x 90 TIMBER POST
S.L	SKY LIGHT
SHW	SHOWER ENCLOSURE
V	VANITY UNIT
WC	TOILET SUITE (WATER CLOSET)
BC	BUILT IN CURBOARD
ST	STORE
COS	TO BE CHECKED ON SITE
OPT	OPTION
GB+H	OPEN BALUSTRADE AND HANDRAIL
DP	DOWNPIPE
DP&S	DOWNPIPE AND SPREADER
NOTE 1 ON SITE	
ALL DIMENSIONS ARE SUBJECT TO AMENDMENT AFTER A CHECK MEASURE	
CONSTRUCTION LEVELS SUBCONTRACTOR TO ENSURE THAT ALL CONSTRUCTION LEVELS MARKED ON PLAN TO BE STRICTLY COMPLIED WITH	
SUBCONTRACTOR TO CONFIRM DA LEVELS COMPLIANCE WITH TIM WORKING BEFORE FINALISING FLOOR STRUCTURE	

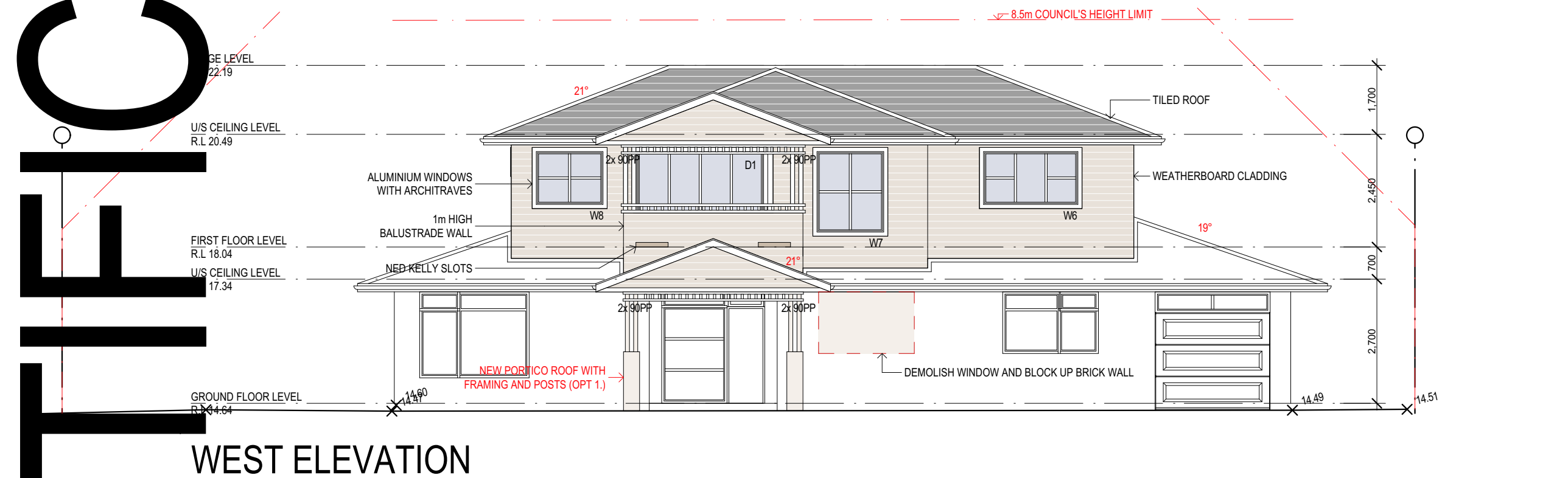


PROPOSED FIRST FLOOR PLAN

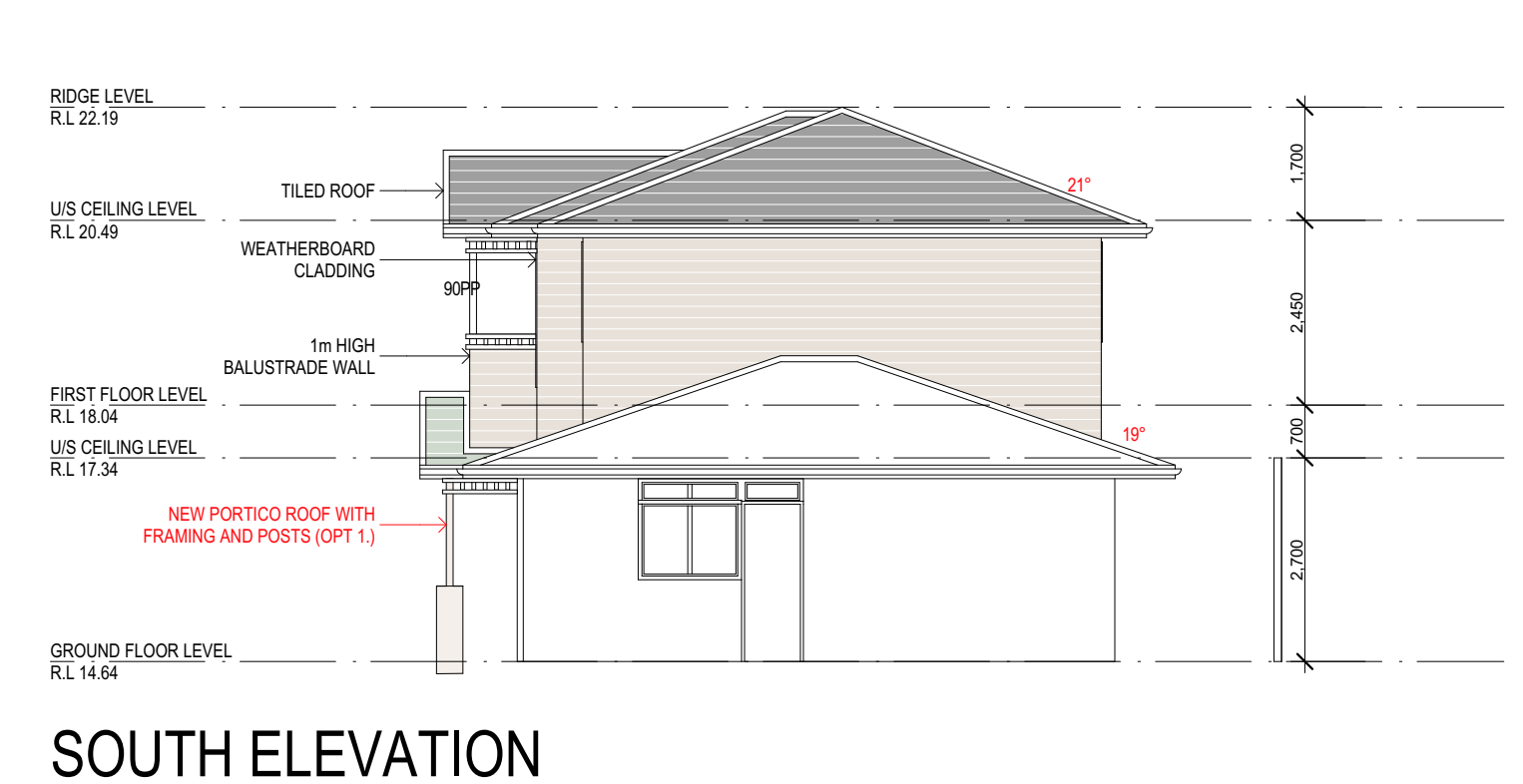
FRAMING NOTES:	
ROOF PITCH	NEW 21° EXISTING 19° TO BE CHECKED
FRAME HEIGHT	2450mm
EAVE OVERHANGS	600mm
EXTERNAL DOOR AND WINDOW HEAD HEIGHT	2130mm TO LINE UP
INTERNAL DOOR	2110mm
S/LC DOOR	200mm BULKHEAD
DOOR AND WINDOW NBS	90mm MIN UNLESS OTHERWISE NOTED
FRAME AND TRUSS CENTRES	600mm
DOOR STUD OPENINGS	880mm WIDE UNLESS OTHERWISE NOTED

OPEN SPACE CALCULATIONS	
SITE AREA	552.8 sqm
GROSS FLOOR AREA	209.7 sqm
EXIST. IMPERVIOUS AREA	248.4 sqm 45%
PROPOSED IMPERVIOUS AREA	248.2 sqm 45%
EXIST. LANDSCAPED AREA	304.4 sqm 55%
PROPOSED LANDSCAPED AREA	303.6 sqm 55%
EXIST FLOOR SPACE	118.4 sqm 0.21 : 1
PROPOSED FLOOR SPACE	209.7 sqm 0.38 : 1

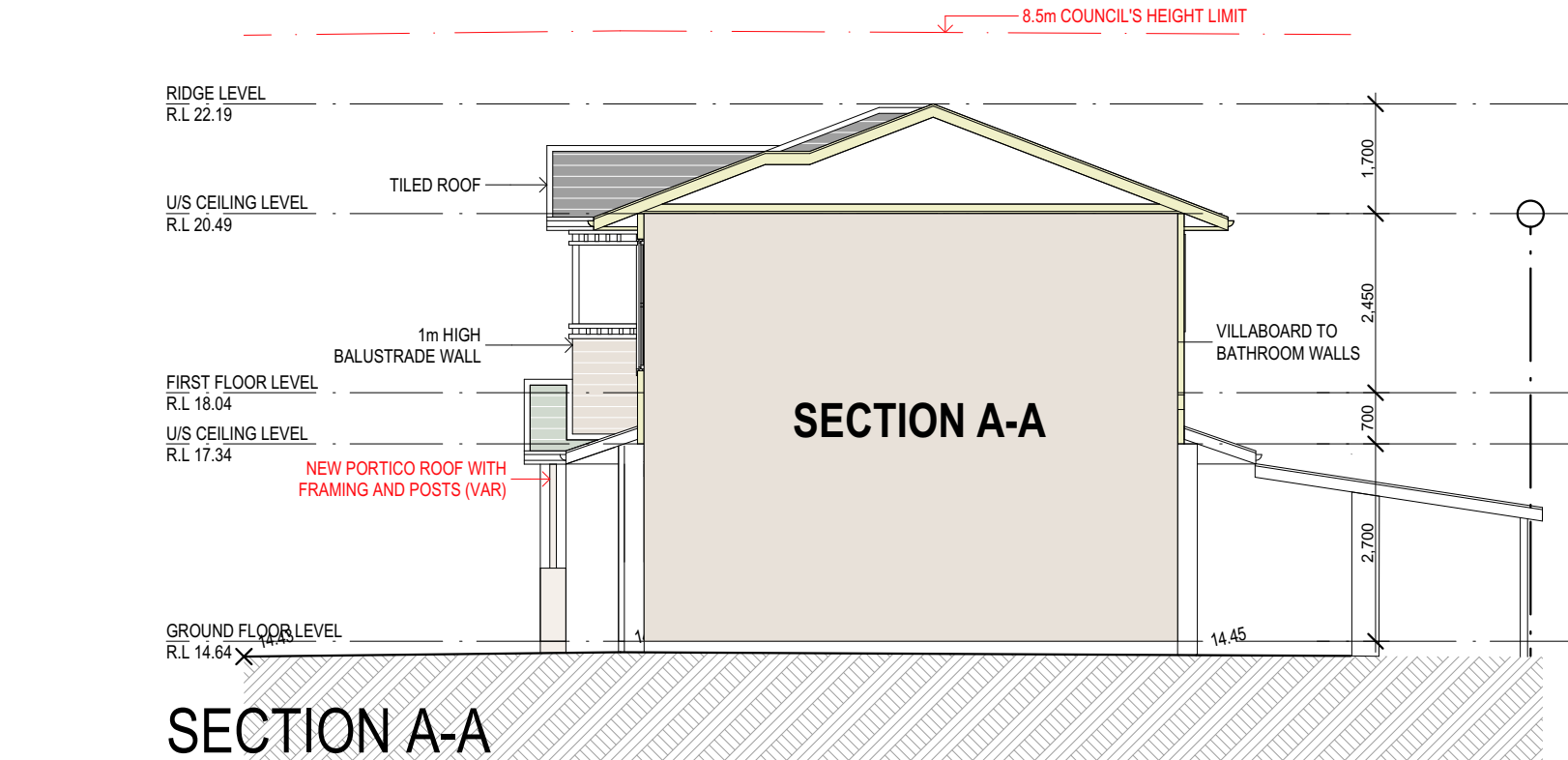
BASIS REQUIREMENTS	
-40% NEW LIGHTING TO BE FLUORESCENT, COMPACT FLUORESCENT, OR LED	
-BATHRM FIXTURES TO BE 3 STAR OR GREATER WATER RATING.	
-EXTERNAL WALL TO HAVE R1.0 OR GREATER INSULATION	
-FLAT CEILING, PITCHED ROOF TO HAVE R0.45 OR GREATER FOIL BACKED BLANKET (100mm)	
-IMPROVED ALUMINIUM WINDOWS (NO GREATER THAN U-VALUE OF 6.44 AND SHGC OF 0.75)	
-W3, W4, W5, W6, W7 AND W8 TO HAVE PYRO LOW-E GLASS (NO GREATER THAN U-VALUE OF 4.48 AND SHGC OF 0.48)	



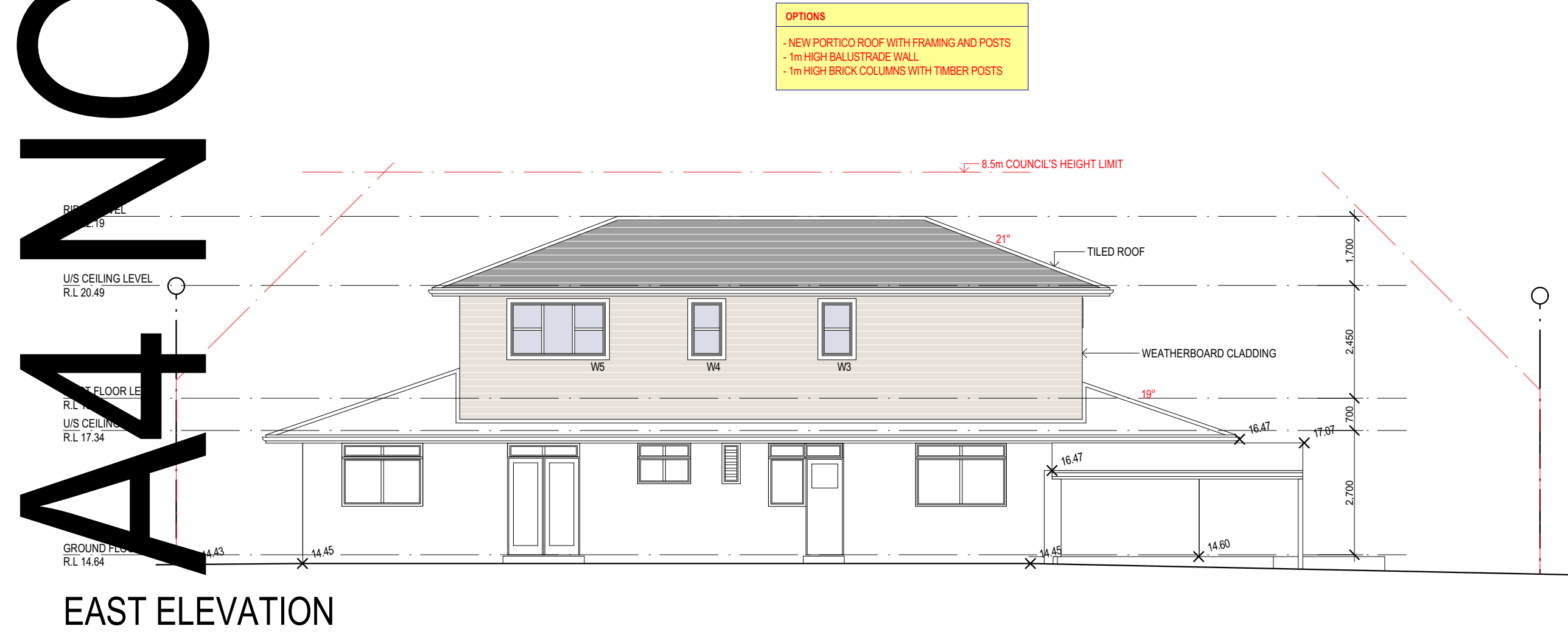
WEST ELEVATION



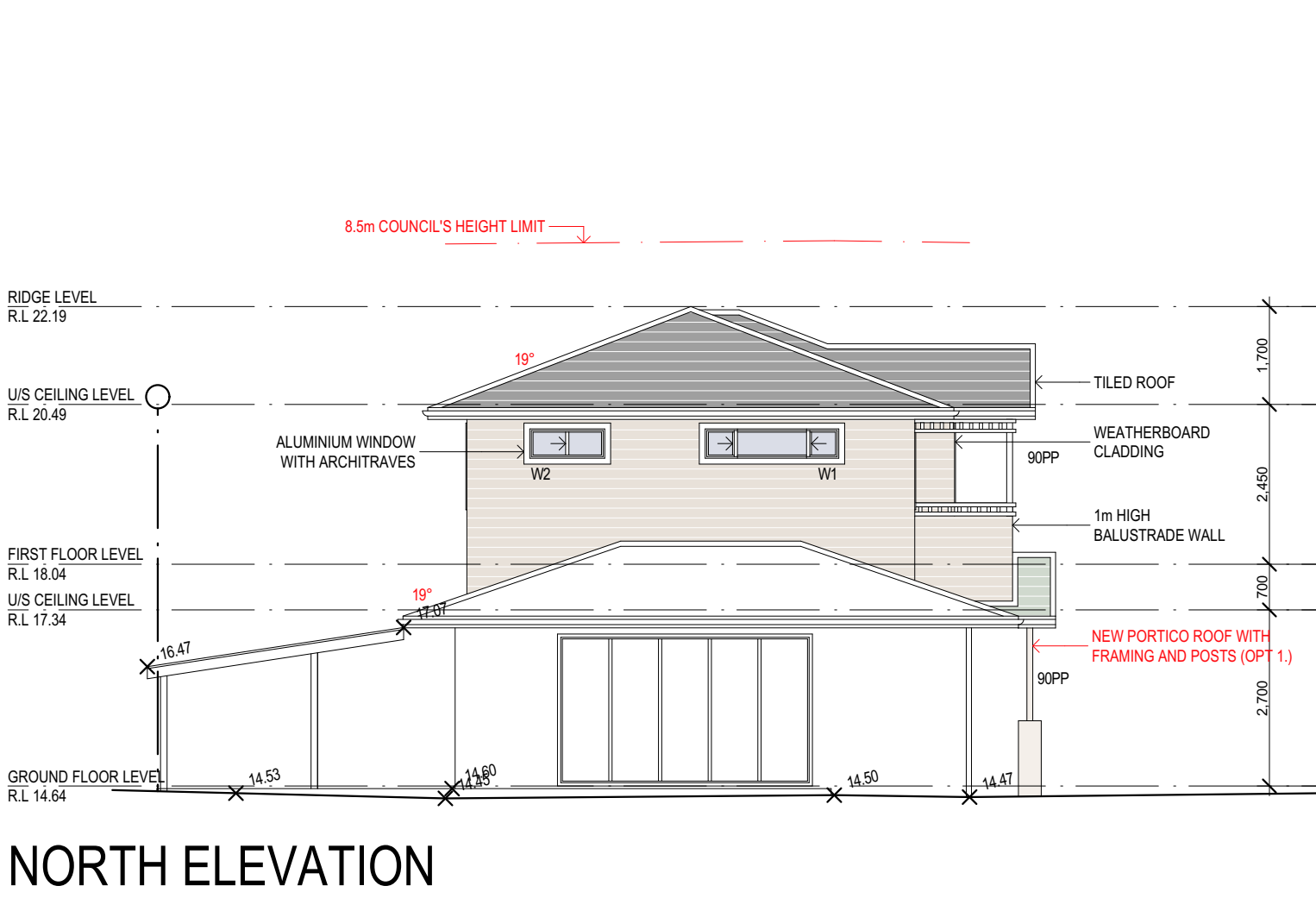
SOUTH ELEVATION



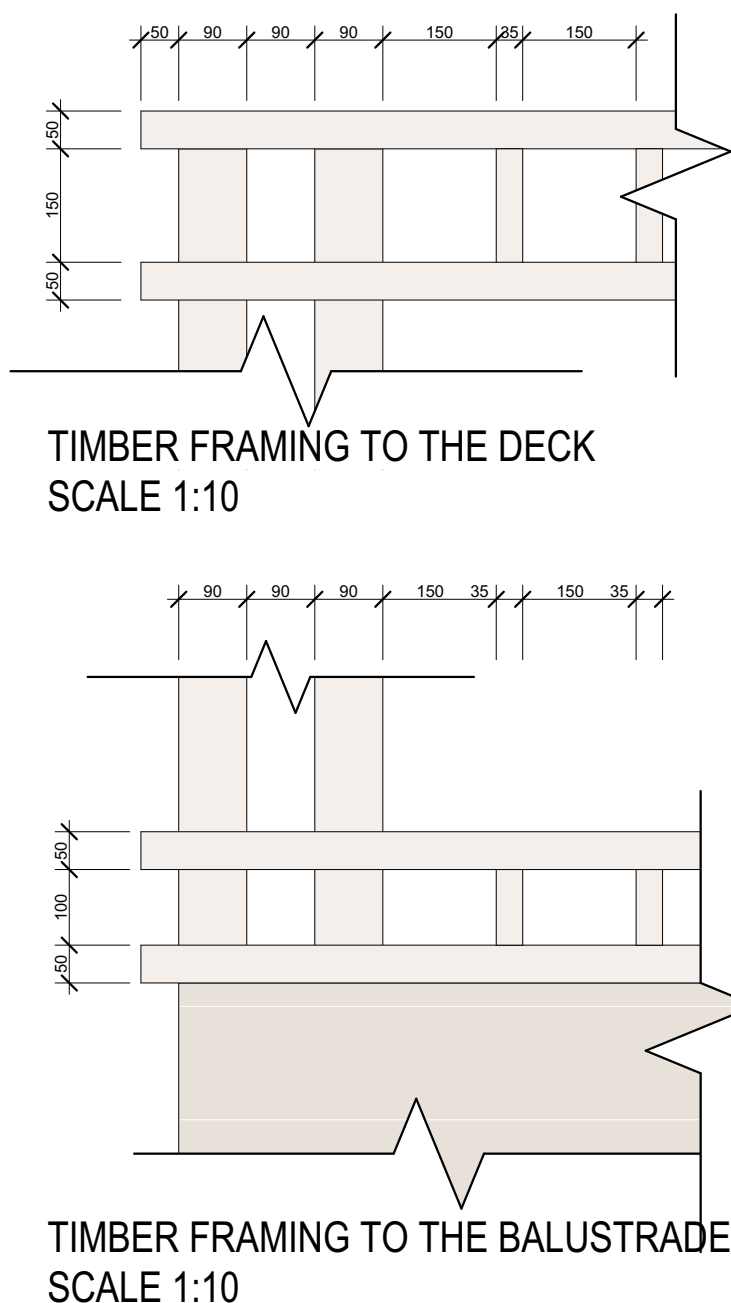
SECTION A-A



EAST ELEVATION



NORTH ELEVATION



TIMBER FRAMING TO THE DECK
SCALE 1:10

TIMBER FRAMING TO THE BALUSTRADE
SCALE 1:10



ARTIST'S IMPRESSION
FOR ILLUSTRATION PURPOSES ONLY, NOT TO BE READ AS A WORKING DRAWING

FOR COUNCIL				22/12/20	GK		
FOR PLAN MEETING				09/12/20	GK		
TIM'S COMMENTS		DATE	08/12/20	NO.	REVISION	DATE	BY
PROJECT TITLE: First Floor Additions at: 30 Stoddart Pl, Dee Why NSW 2099							
SCALE:		1:100	DATE:		22/12/20		
DRAWN BY:		GK	CHECKED:		MB		
TITLE: PLANS, ELEVATIONS AND SECTIONS							
DRAWING NO.		9398 DA 1		ISSUE		B	

**ADD-STYLE**
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