

STATEMENT OF ENVIRONMENTAL EFFECTS

Alterations and
Additions to an Existing
Dwelling

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Hills

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Statement of Environmental Effects

Alterations and Additions to an Existing Dwelling



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1 Introduction

This Statement has been prepared in support of a Development Application proposing alterations and additions to the existing dwelling including new ground and first floor additions, the construction of a new outdoor entertaining area, the replacement of the existing carport with garage accommodation, the construction of new swimming pool utilising the existing pool structure and new front fencing. The application also proposes the implementation of an enhanced site landscape regime.

The final design, the subject of this application, represents a highly considered and resolved response to the constraints and opportunities identified through detailed site analysis and the issues raised during formal pre-DA discussions with Council (PLM2020/0245). In preparation of this document, consideration has been given to the following:

- Survey Plan prepared by CMS Surveyors,
- Architectural plans prepared by Endrim,
- Basix Certificate,
- Preliminary Geotechnical Assessment by Sydney Geotech Consultancy,
- Arborist Report by Advanced Arborist Reporting,
- Landscape Plan by Edwina Stuart Landscape Design, and
- Bushfire Report by Bushfire Consultancy Australia

In preparation of this document, consideration has been given to the following:

- Environmental Planning and Assessment Act, 1979,
- Warringah Local Environmental Plan 2011 and
- Warringah Development Control Plan 2011.

The proposal succeeds when assessed against the Heads of Consideration pursuant to section 4.15 of the Environmental Planning and Assessment Act, 1979 as amended. It is considered that the application, the subject of this document, is appropriate on merit and is worthy of the granting of development consent.

2 Site Analysis

2.1 Site Description and Location

The application relates to Lot 70 in DP 238658, No. 48 Timaru Road, Terrey Hills. A location map is included at **Figure 1**.

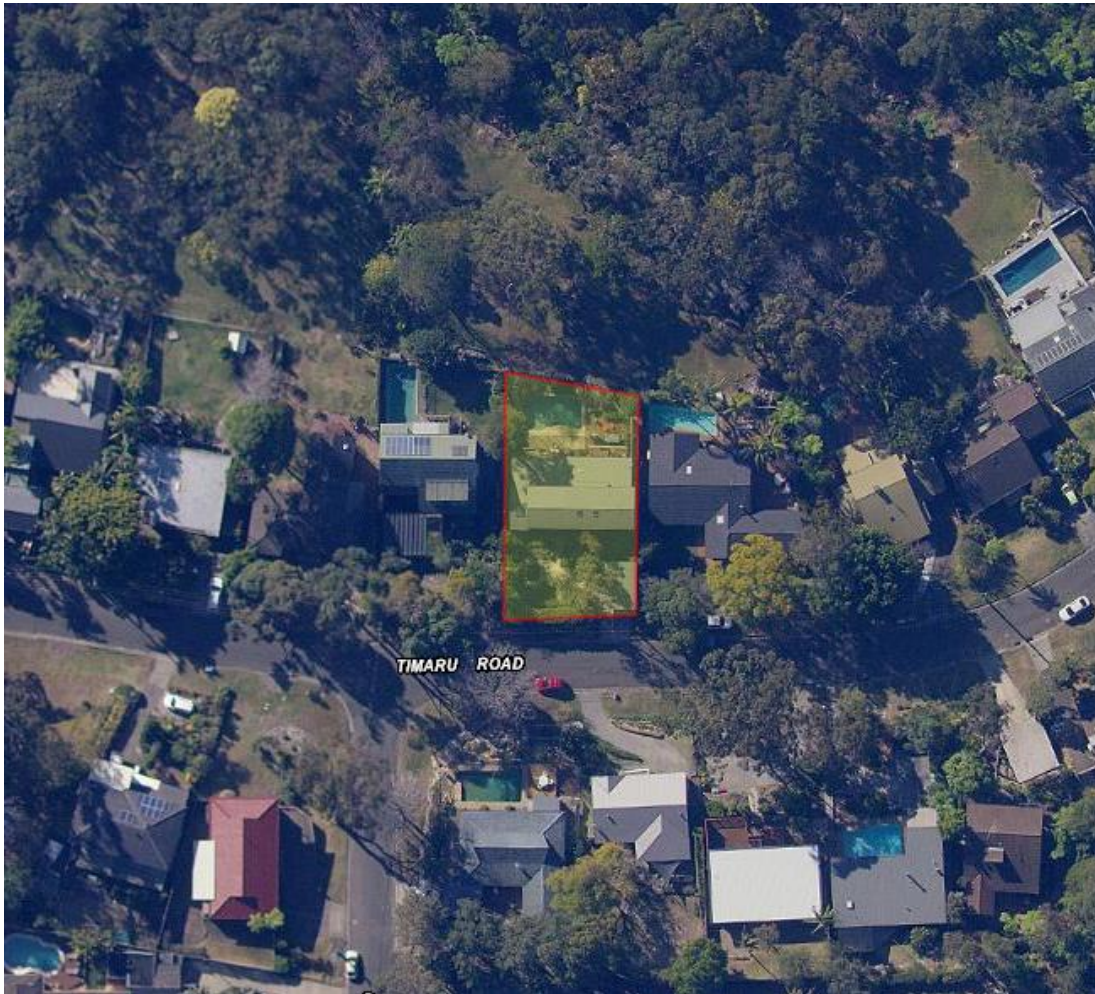


Figure 1: Site Location (Source: Six Maps)

The subject property is generally rectangular in shape having frontage and addressed to timber a road of 20.69 metres, variable depth between 31.565 and 35.885 metres, a splayed rear boundary of 20.91 metres and an area of 697m². The subject property falls a proximally 5.5 metres across its surface in a north-easterly direction and contains a number of trees and vegetation generally located around its perimeter is depicted on the survey extract at Figure 2 over page.

The existing development on the site comprises a 1 and 2 storey rendered dwelling with metal roof, a carport located immediately adjacent to the property's front boundary and an inground swimming pool at the rear of site. Development in the locality comprises predominately 1 and 2 storey dwelling houses set in informal landscaped settings. The property backs onto the Ku-Ring-Gai National Park.

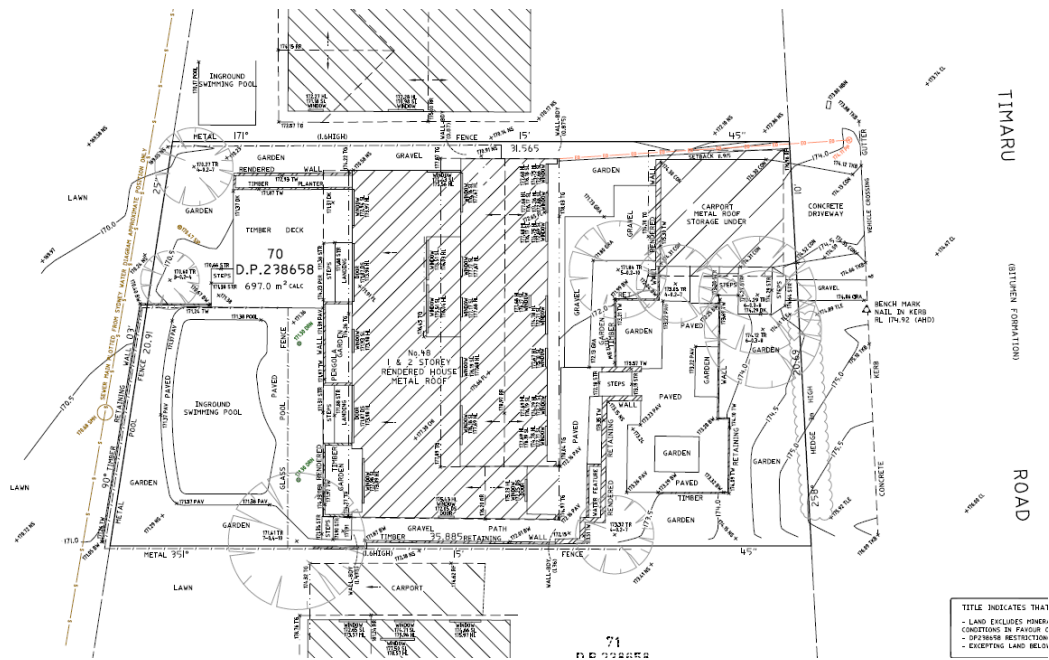


Figure 2: Survey



Figure 3: Existing street view (Source: Google Earth)

2.2 Zoning and Key Environmental Considerations

The site is zoned R2 Low Density Residential pursuant to the Warringah Local Environmental Plan 2011. The site is mapped as being within Landslip Risk Area B and Bushfire Prone Land.

3 Description of Proposed Development

3.1 Details of the Proposed Development

This application proposes alterations and additions to the existing dwelling including new ground and first floor additions, the construction of a new outdoor entertaining area, the replacement of the existing carport with garage accommodation, the construction of new swimming pool utilising the existing pool structure and new front fencing. The proposed works are depicted on the following plans prepared by Endrim:

DA001	COVER PAGE
DA100	SITE PLAN
DA101	DEMO PLAN - GROUND FLR
DA102	DEMO PLAN - LEVEL 01
DA200	PROPOSED PLAN - GROUND FLR
DA201	PROPOSED PLAN - LEVEL 01
DA202	FINISHES PLAN - GROUND FLR
DA203	FINISHES PLAN - LEVEL 01
DA300	PROPOSED EXTERNAL ELEVATIONS
DA301	PROPOSED EXTERNAL ELEVATIONS
DA400	PROPOSED SECTIONS
DA401	PROPOSED SECTIONS
DA500	PROPOSED FINISHES PALETTE
DA501	3D RENDERED STREET VIEW
DA502	3D RENDERED FRONT GARDEN
DA503	3D RENDERED REAR ENTERTAINING
DA504	3D RENDERED REAR VIEW
DA505	3D RENDERED STREET VIEW DUSK

Specifically, the works include:

Ground Floor

- Internal reconfigurations
- New living room extension to connect to the existing cellar/storage area under the existing carport
- New mud room at the bottom of the stairs which provide access to the garage above
- New outdoor entertainment space accessed from the kitchen/dining area
- New main bathroom
- New steel framed doors to the existing living room 1 and to access the new outdoor entertaining space
- New replacement swimming pool
- New front fencing

First Floor

- Replacement of the existing carport with integrated garage accommodation
- Extension to create a new master bedroom with ensuite
- New laundry

The accompanying arborist report prepared by Advanced Arborist Reporting confirms that the application requires removal of 3 trees. Such tree loss is appropriately compensated for through the implementation of the enhanced site landscaping regime as detailed on the landscape plans prepared by Edwina Stuart Design. All stormwater will be connected to the existing stormwater disposal system which drains to the rear of the site.

4 Statutory Planning Framework

The following section of the report will assess the proposed development having regard to the statutory planning framework and matters for consideration pursuant to Section 4.15 of the Environmental Planning & Assessment Act, 1979 as amended. Those matters which are required to be addressed are outlined, and any steps to mitigate against any potential adverse environmental impacts are discussed below.

4.1 Warringah Local Environmental Plan 2011

The Warringah Local Environmental Plan 2011 is the principal local planning instrument applicable to the land. The relevant provisions of the LEP and the manner in which they relate to the site and the proposed development are assessed below.

4.1.1 Zoning and Permissibility

As previously noted the site is zoned R2 Low Density Residential pursuant to the provisions of the Warringah Local Environmental Plan 2011.

Dwelling Houses are permissible with consent in the zone. The specific objectives of the zone are identified as follows:

- *To provide for the housing needs of the community within a low density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To ensure that low density residential environments are characterised by landscaped settings that are in harmony with the natural environment of Warringah.*

The application relates to alterations and additions to the existing dwelling which is permissible with consent in the zone. Accordingly there is no statutory impediment to the granting of consent.

4.1.2 Height of Buildings

Pursuant to clause 4.3 WLEP the height of any building on the land shall not exceed 8.5 metres above existing ground level. The stated objectives of this clause are as follows:

- (a) *to ensure that buildings are compatible with the height and scale of surrounding and nearby development,*
- (b) *to minimise visual impact, disruption of views, loss of privacy and loss of solar access,*
- (c) *to minimise any adverse impact of development on the scenic quality of Warringah's coastal and bush environments,*
- (d) *to manage the visual impact of development when viewed from public places such as parks and reserves, roads and community facilities.*

The proposed development will sit comfortably under the maximum of 8.5 metre prescribed height standard as demonstrated in the elevation and section drawings provided within the architectural set and as reproduced below.

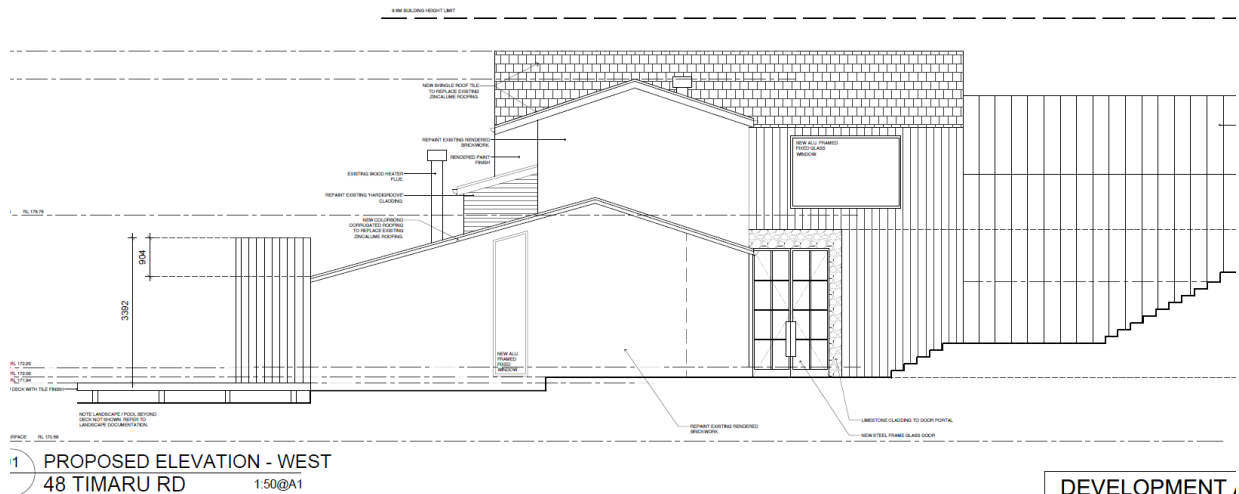


Figure 4: Elevation demonstrating compliance with the 8.5m height control.

4.1.3 Development on Sloping Land

The site is identified as falling within Land Slip Risk Area B. The objectives of Clause 6.4 seek to:

- Avoid significant adverse impacts on development and on properties in the vicinity of development sites resulting from landslides originating either on or near sloping land;
- Ensure the impacts of storm water runoff from development or near sloping land are minimised so as to not adversely affect the stability of the subject and surrounding land;
- To ensure subsurface flows are not adversely affected by development so as to not impact on the stability of existing or adjoining land.

The accompanying preliminary geotechnical report prepared by Sydney Geotech Consultancy concludes that the land displays a very low susceptibility to landslip have regard to the nature of the works proposed subject to compliance with the recommendations contained within the report. No objection is raised to a suitably worded condition requiring compliance with the recommendations contained therein.

4.1.4 Bushfire Prone Land

The subject site is mapped as being bushfire prone land, vegetation buffer, and accordingly the application is accompanied by a Bushfire Impact Assessment prepared by Bushfire Consultancy Australia. The report concludes with the following:

The report concludes that the proposed development is on designated bushfire prone land and the legislative requirements for development of bushfire prone areas are applicable. The proposed development will be constructed to the minimum standard required in accordance with the guidelines of *Planning for Bushfire Protection 2019* and *AS 3959-2018 Construction of buildings in bushfire prone areas*.

Accordingly, there is no statutory impediment to the granting of consent

4.2 Warringah Development Control Plan 2011

The proposal relates to alterations and additions to the existing dwelling and the following relevant DCP controls have been addressed with respect to consideration of the proposed application.

4.2.1 DCP Compliance Table

A table demonstrating compliance with the relevant provisions of the Warringah DCP 2011 is detailed as follows:

Control	Requirement	Proposed	Compliance
Wall Height DCP Control B1	7.2 metres from ground level (existing) to the underside of the ceiling to the uppermost floor of the building (excluding habitable areas wholly located within a roof space).	The maximum wall height measured along the eastern and western elevations is 6.193 and 6.223 metres respectively.	Yes
Side Boundary Envelope DCP Control B3	Buildings must be sited within a building envelope determined by projecting planes at 45 degrees from a height above ground level (existing) at the side boundaries of 4 metres. To ensure that development does not become visually	Comments raised in the pre-lodgement meeting have been considered with regard to amendments to the garage to ensure the proposal is compliant with the side boundary envelope and presents as a complimentary and compatible single storey building form to the street.	No – Satisfies objectives of the control

Control	Requirement	Proposed	Compliance
	<p>dominant by virtue of its height and bulk.</p> <p>To ensure adequate light, solar access and privacy by providing spatial separation between buildings.</p> <p>To ensure that development responds to the topography of the site.</p>	<p>That said, sections of the eastern first-floor building façade to breach the side boundary envelope control however such breaching elements are considered to be acceptable given that they maintain the established side boundary setbacks in this location, will not give rise to unacceptable solar access privacy or view impacts and achieve built form outcome which will not be perceived as inappropriate or jarring in a streetscape context.</p> <p>Pursuant to these provisions the proposed development will not give rise to any adverse residential amenity or streetscape consequences with the development responding appropriately to the topography of the site.</p> <p>Strict compliance has been found to be both unreasonable and unnecessary under the circumstances.</p>	
Side Boundary Setback DCP Control B5	<p>Development is to maintain a 900mm minimum setback from side boundaries.</p>	<p>All proposed side boundary setbacks are compliant with the side boundary setback control.</p>	<p>Yes</p>
Front Boundary Setback DCP Control B7	<p>Development is to maintain a front setback of 6.5 metres.</p> <p>To create a sense of openness.</p>	<p>The replacement garage maintains the front setback established by the existing carport structure with its height relative to the street ensuring that it will not be perceived as an inappropriate or jarring element in a streetscape context.</p>	<p>No – Satisfies objectives of the control</p>

Control	Requirement	Proposed	Compliance
	<p>To maintain the visual continuity and pattern of buildings and landscape elements.</p> <p>To protect and enhance the visual quality of streetscapes and public spaces.</p> <p>To achieve reasonable view sharing.</p>	<p>The setbacks proposed are consistent with the established setbacks of development within the streetscape which includes garages/carport sited within the front setback and forward of the building line.</p> <p>The non-compliance with the front setback does not result in any unreasonable amenity impacts nor result in a dominating streetscape presence.</p> <p>Strict compliance has been found to be both unreasonable and unnecessary under the circumstances.</p>	
Rear Boundary Setback DCP Control B9	<p>Development is to maintain a minimum rear boundary setback of 6 metres.</p>	<p>The development proposes the demolition of the existing rear deck and the construction of a new entertaining space maintaining the setback established by the pre-existing structure.</p> <p>While not in strict accordance with the control the development generally maintains the established rear setback to the deck and the dwelling house. This is considered acceptable in this instance. The rear of the dwelling backs onto the National Park. The entertaining deck will have a solid wall along the eastern elevation to mitigate any acoustic or visual privacy concerns.</p> <p>Strict compliance has been found to be both unreasonable and unnecessary under the circumstances.</p>	<p>No - Satisfies objectives of the control</p>

Control	Requirement	Proposed	Compliance
Parking Facilities DCP Control C3	2 off street parking spaces must be located behind the front building alignment.	The proposal provides integrated car parking accommodation for 2 vehicles. The spaces are located within the front building line setback consistent with the existing double carport located on the subject property. For the reasons previously outlined, the location of the car parking spaces within front setback area is considered to be acceptable.	No - Satisfies objectives of the control
Stormwater DCP Control C4	To protect and improve the ecological condition of Warringah's beaches, lagoons, waterways, wetlands and surrounding bushland to minimise the risk to public health and safety;	All stormwater will be connected to the existing stormwater disposal system which drains to the rear of the property	Yes
Excavation and Landfill DCP Control C7	Excavation and landfill works must not result in any adverse impact on adjoining land.	The accompanying geotechnical report geotechnical report assesses the site and the proposed works as having a very low susceptibility to landslip. The report provides recommendations to be adhered to during construction to ensure that the development does not result in any adverse impacts to adjoining properties.	Yes
Demolition & Construction DCP Control C8	A demolition and waste management plan must be satisfactorily completed and submitted.	Any waste materials associated during the construction will be disposed of appropriately or reused/recycled where possible.	Yes

Control	Requirement	Proposed	Compliance
		A detailed demolition and waste management plan can be provided at CC stage.	
Waste Management C9	A waste management plans is to be provided with the application.	Bin storage can occur within the proposed garage.	Yes
Landscaped Open Space DCP Control D1	A minimum 40% landscaped open space is to be provided.	The proposed landscape area is calculated at a compliant 40.7%.	Yes
Private Open Space DCP Control D2	Dwelling houses with 3 or more bedrooms are to provide a minimum area of 60sqm of private open space.	>60m ² private open space achieved.	Yes
D3 Noise	<p>To encourage innovative design solutions to improve the urban environment.</p> <p>To ensure that noise emission does not unreasonably diminish the amenity of the area or result in noise intrusion which would be unreasonable for occupants, users or visitors.</p>	<p>The development provides for appropriate spatial separation of private open space areas to mitigate any potential noise impacts. The solid wall screening measures along the eastern elevation to the outdoor private open space area will allow for greater noise mitigation.</p> <p>Noise impacts will be consistent with those reasonably anticipated within a residential environment.</p>	Yes

Control	Requirement	Proposed	Compliance
Access to Sunlight DCP Control D6	<p>Pursuant to these provisions development is not to unreasonably reduce sunlight to surrounding properties. In the case of housing:</p> <ul style="list-style-type: none"> At least 50% of the required area of private open space of each dwelling and at least 50% of the required area of private open space of adjoining dwellings are to receive a minimum of 3 hours of sunlight between 9am and 3pm on June 21. 	<p>Shadow diagrams have been prepared by Cad Draft P/L and are submitted with the application documentation.</p> <p>The shadow diagrams demonstrate that compliant levels of solar access will be maintained to the principal living and adjacent private open space areas of both immediately adjoining properties between 9am and 3pm on 21 June</p>	Yes
Privacy DCP Control D8	<p>Ensure the siting and design of buildings provides a high level of visual and acoustic privacy for occupants and neighbours.</p> <p>To encourage innovative design solutions to improve the urban environment.</p> <p>To provide personal and property security</p>	<p>The development has integrated privacy attenuation measures into the design to ensure reasonable amenity is maintained to neighbouring dwellings.</p> <p>The outdoor entertaining space includes a solid wall along the eastern elevation to ensure privacy is maintained for the occupants and adjoining properties.</p>	Yes

Control	Requirement	Proposed	Compliance
	for occupants and visitors.	It is considered that the proposal does not raise any concerns with regard to privacy impacts.	
Building Bulk DCP Control D9	<p>To encourage good design and innovative architecture to improve the urban environment.</p> <p>Encourage good design and innovative architecture to improve the urban environment.</p> <p>Minimise the visual impact of development when viewed from adjoining properties, streets, waterways and land zoned for public recreation purposes.</p>	<p>The dwelling represents a highly articulated design utilising varying boundary setbacks and landscaping treatments to soften and screen the built form. We note that the development is compliant with building height, wall height and envelopment controls. A range of materials and finishes are proposed which assists in reducing visual bulk.</p> <p>It is considered that the development meets the objectives of this control.</p>	Yes
Building Colours and Materials DCP Control D10	Ensure the colours and materials of new or altered buildings and structures are sympathetic to the surrounding natural and built environment.	The proposed materials and finishes are shown on the architectural plans.	Yes
Roofs DCP Policy D11	Roofs are to be designed to complement the local skyline.	The proposal incorporates characteristically pitched roof forms consistent with those established within the streetscape.	Yes

Control	Requirement	Proposed	Compliance
D13 Front Fences and Front Walls	<p>To ensure that fencing, terracing and retaining walls are compatible with the existing streetscape character while creating visual interest in the public domain.</p> <p>To encourage innovative design solutions to improve the urban environment.</p> <p>To avoid a 'walled in' streetscape.</p>	<p>A new limestone clad front fence with timber battens is proposed.</p> <p>The fence is stepped in response to the sloping topography and ranges from 1.145m to 1.807m in height. Landscaping treatments are also proposed along the front fence.</p> <p>The detailing of the front fence will ensure that it will not be perceived as inappropriate or jarring in a streetscape context.</p> <p>The front fence detailing satisfies the objectives of the control.</p>	Yes
Glare and Reflection DCP Policy D12	<p>Ensure that development will not result in overspill or glare from artificial illumination or sun reflection.</p>	<p>The proposed window glazing and roof finishes will not give rise to any unacceptable glare or reflection.</p>	Yes
D14 Site facilities	<p>To provide for the logical placement of facilities on site that will result in minimal impacts for all users, particularly residents, and surrounding neighbours.</p> <p>To encourage innovative design solutions to improve the urban environment</p>	<p>The development accommodates areas for bin storage, mail boxes and clothes drying areas which will not be visible from the streetscape.</p>	Yes

Control	Requirement	Proposed	Compliance
	<p>To make servicing the site as efficient and easy as possible.</p> <p>To allow for discreet and easily serviceable placement of site facilities in new development.</p>		
D16 Swimming Pools	<p>To ensure swimming pools and spas are located to preserve the natural environment, streetscape and residential amenity.</p> <p>To encourage innovative design solutions to improve the urban environment.</p>	<p>The existing swimming pool structure is to be reused in association with a new swimming pool structure on the site. The design and siting of the proposed swimming pool complies with the applicable swimming pool provisions.</p>	
D20 Safety and Security	<p>To ensure that development maintains and enhances the security and safety of the community.</p>	<p>The proposed development has been designed to provide an easily identifiable entrance to the home which will be appropriately lit. Internal living areas overlook the street to maximise casual surveillance in strict accordance with the control.</p>	Yes
E1 Preservation of Trees and Bushland	<p>To protect and enhance the urban forest of the Northern Beaches.</p>	<p>The accompanying arborist report prepared by Advanced Arborist Reporting confirms that the application requires removal of 3 trees. Such tree loss is appropriately compensated for through the implementation of the enhanced site landscaping regime as detailed on the landscape plans prepared by Edwina Stuart Design.</p>	Yes

Control	Requirement	Proposed	Compliance
	<p>To effectively manage the risks that come with an established urban forest through professional management of trees.</p> <p>To minimise soil erosion and to improve air quality, water quality, carbon sequestration, storm water retention, energy conservation and noise reduction.</p> <p>To protect, enhance bushland that provides habitat for locally native plant and animal species, threatened species populations and endangered ecological communities.</p>		
Landslip Risk DCP Policy E10	<p>The site is identified as falling within Landslip Risk Area A & B</p> <p>The applicant must demonstrate that:</p> <ul style="list-style-type: none"> • The proposed development is justified in terms of geotechnical stability; and • The proposed development will be carried 	<p>This has been addressed previously in this statement. A geotechnical report has been provided.</p>	Yes

Control	Requirement	Proposed	Compliance
	out in accordance with good engineering practice.		

4.3 State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004 applies to the residential component of the development and aims to encourage sustainable residential development.

A BASIX certificate accompanies the development application and demonstrates that the proposal achieves compliance with the BASIX water, energy and thermal efficiency targets.

4.4 Matters for Consideration Pursuant to Section 4.15 of the Environmental Planning and Assessment Act 1979 as amended

The following matters are to be taken into consideration when assessing an application pursuant to section 4.15 of the Environmental Planning and Assessment Act 1979 (as amended). Guidelines (in *italic*) to help identify the issues to be considered have been prepared by the Department of Planning and Environment. The relevant issues are:

(i) The provision of any Planning Instrument

The proposed works are permissible and consistent with the intent of the Warringah Councils Local Environmental Plan and Development Control Plan as they are reasonably applied to the proposed development have regard to the established built form characteristics of the site and the constraints imposed by site topography and the location of the existing off-street car parking.

(ii) Any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and

N/A

(iii) Any development control plan

Warringah DCP applies

(iii) Any Planning Agreement that has been entered into under section 7.4 or any draft planning agreement that a developer has offered to enter into under Section 7.4, and

N/A

(iv) The Regulations (to the extent that they prescribe matters for the purposes of this paragraph), and

N/A

(v) Any Coastal Zone Management Plan (within the meaning of the Coastal Protection Act 1979)

N/A

(b) The likely impacts of that development, including environmental impacts on both the natural and built environments and social and economic impacts in the locality,

Context and Setting

i. *What is the relationship to the region and local context in terms of:*

- *The scenic qualities and features of the landscape*
- *The character and amenity of the locality and streetscape*
- *The scale, bulk, height, mass, form, character, density and design of development in the locality*
- *The previous and existing land uses and activities in the locality*

The proposed dwelling is entirely commensurate with that established by adjoining development and development generally within the site's visual catchment with no adverse residential amenity impacts in terms of views, privacy or overshadowing.

ii. *What are the potential impacts on adjacent properties in terms of:*

- *Relationship and compatibility of adjacent land uses?*
- *sunlight access (overshadowing)*
- *visual and acoustic privacy*
- *views and vistas*
- *edge conditions such as boundary treatments and fencing*

These matters have been discussed in detail earlier in this report. The works have been designed such that potential impacts are minimal and within the scope of the built form controls.

Access, transport and traffic:

Would the development provide accessibility and transport management measures for vehicles, pedestrians, bicycles and the disabled within the development and locality, and what impacts would occur on:

- *Travel Demand*
- *dependency on motor vehicles*
- *traffic generation and the capacity of the local and arterial road network*
- *public transport availability and use (including freight rail where relevant)*
- *conflicts within and between transport modes*
- *Traffic management schemes*
- *Vehicular parking spaces*

Integrated garage accommodation for 2 vehicles is proposed.

Public Domain

The proposed development will have no adverse impact on the public domain.

Utilities

Existing utility services will continue to service the dwelling house.

Flora and Fauna

An arborist report and landscape plan have been provided.

Waste Collection

Normal domestic waste collection applies to the existing dwelling house.

Natural hazards

Bushfire and geotechnical hazards have been addressed in the accompanying expert reports. The development will be safe from such hazards.

Economic Impact in the locality

The proposed development will not have any significant impact on economic factors within the area notwithstanding that it will generate additional employment opportunities through the construction period with respect to the proposed works.

Site Design and Internal Design

- i) *Is the development design sensitive to environmental considerations and site attributes including:*

- *size, shape and design of allotments*
- *The proportion of site covered by buildings*
- *the position of buildings*
- *the size (bulk, height, mass), form, appearance and design of buildings*
- *the amount, location, design, use and management of private and communal open space*
- *Landscaping*

These matters have been discussed in detail earlier in this report. The potential impacts are considered to be minimal and within the scope of the general principles, desired future character and built form controls.

ii) *How would the development affect the health and safety of the occupants in terms of:*

- *lighting, ventilation and insulation*
- *building fire risk – prevention and suppression*
- *building materials and finishes*
- *a common wall structure and design*
- *access and facilities for the disabled*
- *likely compliance with the Building Code of Australia*

The proposed development can comply with the provisions of the Building Code of Australia. The proposal complies with the relevant standards pertaining to health and safety and will not have any detrimental effect on the occupants.

Construction

i) *What would be the impacts of construction activities in terms of:*

- *The environmental planning issues listed above*
- *Site safety*

Normal site safety measures and procedures will ensure that no safety or environmental impacts will arise during construction.

(c) The suitability of the site for the development

- *Does the proposal fit in the locality*
- *Are the constraints posed by adjacent development prohibitive*
- *Would development lead to unmanageable transport demands and are there adequate transport facilities in the area*

- *Are utilities and services available to the site adequate for the development*
- *Are the site attributes conducive to development*

The site is located in an established residential area. The adjacent development does not impose any unusual or impossible development constraints. The proposed development will not cause excessive or unmanageable levels of transport demand.

The site being of moderate grade, adequate area, and having no special physical or engineering constraints is suitable for the proposed works.

(d) Any submissions received in accordance with this act or regulations

It is envisaged that Council will appropriately consider any submissions received during the notification period.

(e) The public interest

The proposed works are permissible and consistent with the intent of the LEP and DCP controls as they are reasonably applied to the proposed alterations and additions. Approval of the development would not be contrary to the public interest.

5 Conclusion

The proposed works are permissible and consistent with the intent of the built form controls as they are reasonably applied to an application proposing legitimate alterations and additions to an existing dwelling house. The variations to the front and rear setback and building envelope controls have been acknowledged and found to be acceptable when assessed against the associated objectives. Strict compliance has been found to be both unreasonable and unnecessary under the circumstances.

It is considered that the proposal is appropriate on merit and is worthy of the granting of development consent for the following reasons:

- The application has considered and satisfies the various relevant planning controls applicable to the site and the proposed development.
- The proposed works are compatible with the desired future character of the locality.
- The proposed works will not give rise to any adverse streetscape or residential amenity impacts.
- The proposed works will be safe from natural hazards.
- The proposed works will have a satisfactory impact on the environmental quality of the land and the amenity of surrounding properties.
- The site is suitable for the proposal, having regard to the relevant land use and planning requirements.

Having given due consideration to the matters pursuant to Section 4.15 of the Environmental Planning and Assessment Act, 1979 as amended, it is considered that there are no matters which would prevent Council from granting consent to this proposal in this instance.