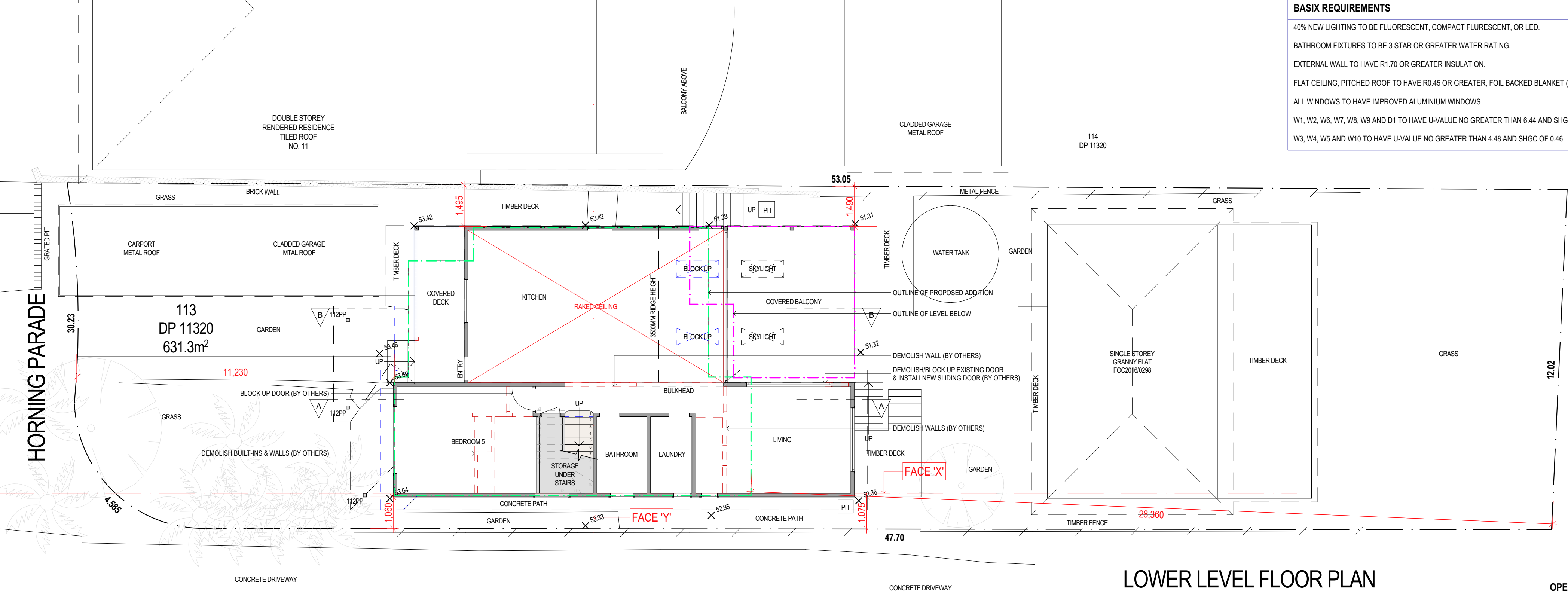
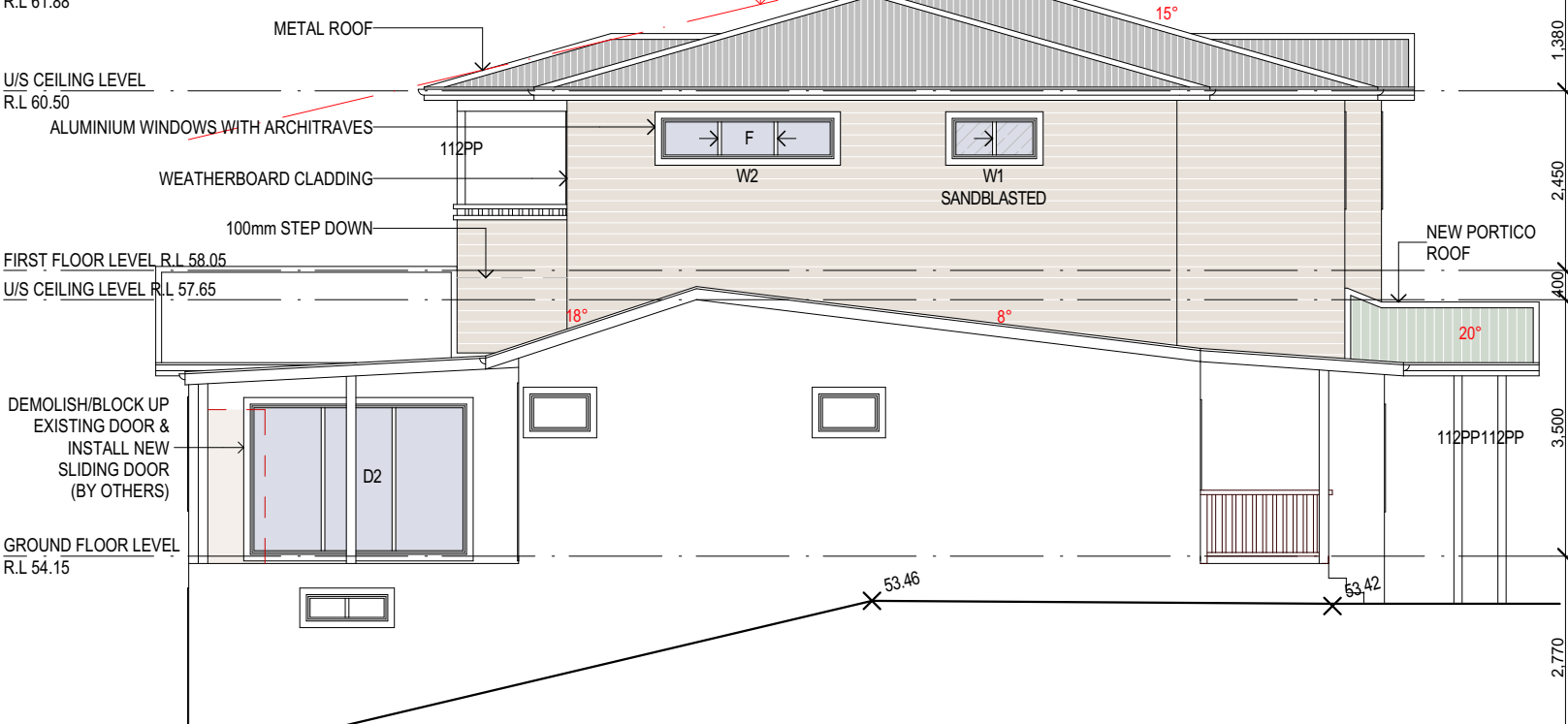


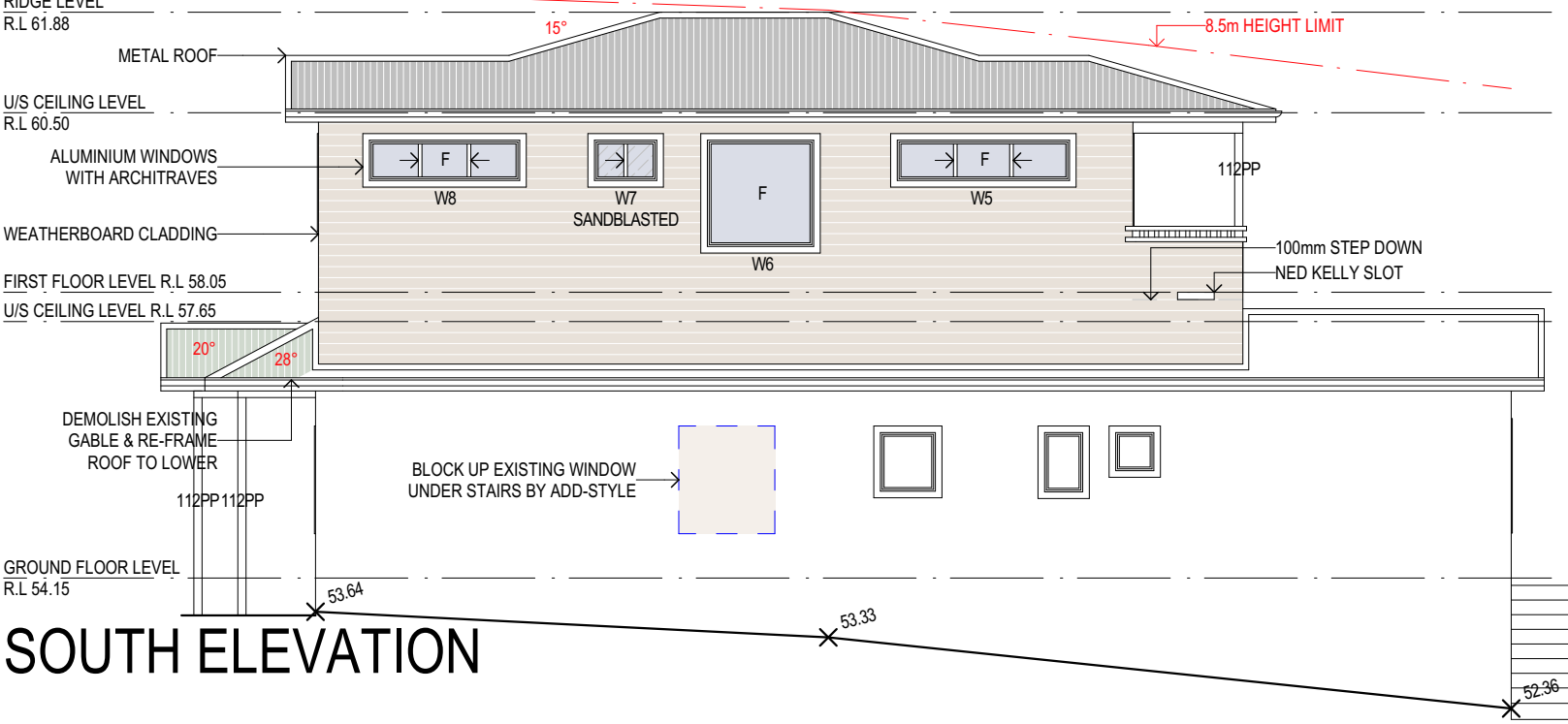
GROUND FLOOR PLAN



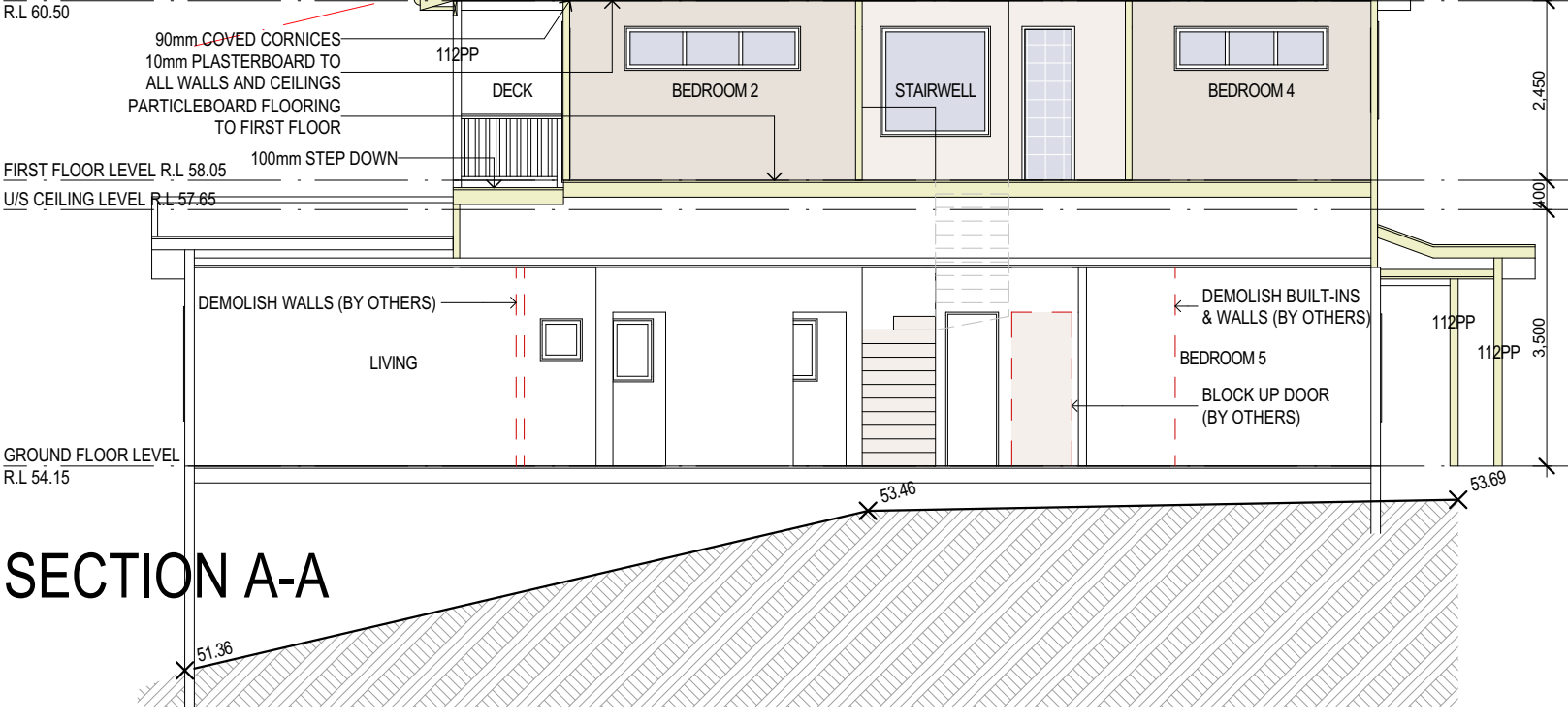
- BASIX REQUIREMENTS**
- 40% NEW LIGHTING TO BE FLUORESCENT, COMPACT FLUORESCENT, OR LED.
 - BATHROOM FIXTURES TO BE 3 STAR OR GREATER WATER RATING.
 - EXTERNAL WALL TO HAVE R1.70 OR GREATER INSULATION.
 - FLAT CEILING, PITCHED ROOF TO HAVE R0.45 OR GREATER, FOIL BACKED BLANKET (100mm).
 - ALL WINDOWS TO HAVE IMPROVED ALUMINIUM WINDOWS
 - W1, W2, W6, W7, W8, W9 AND D1 TO HAVE U-VALUE NO GREATER THAN 6.44 AND SHGC OF 0.75
 - W3, W4, W5 AND W10 TO HAVE U-VALUE NO GREATER THAN 4.48 AND SHGC OF 0.46



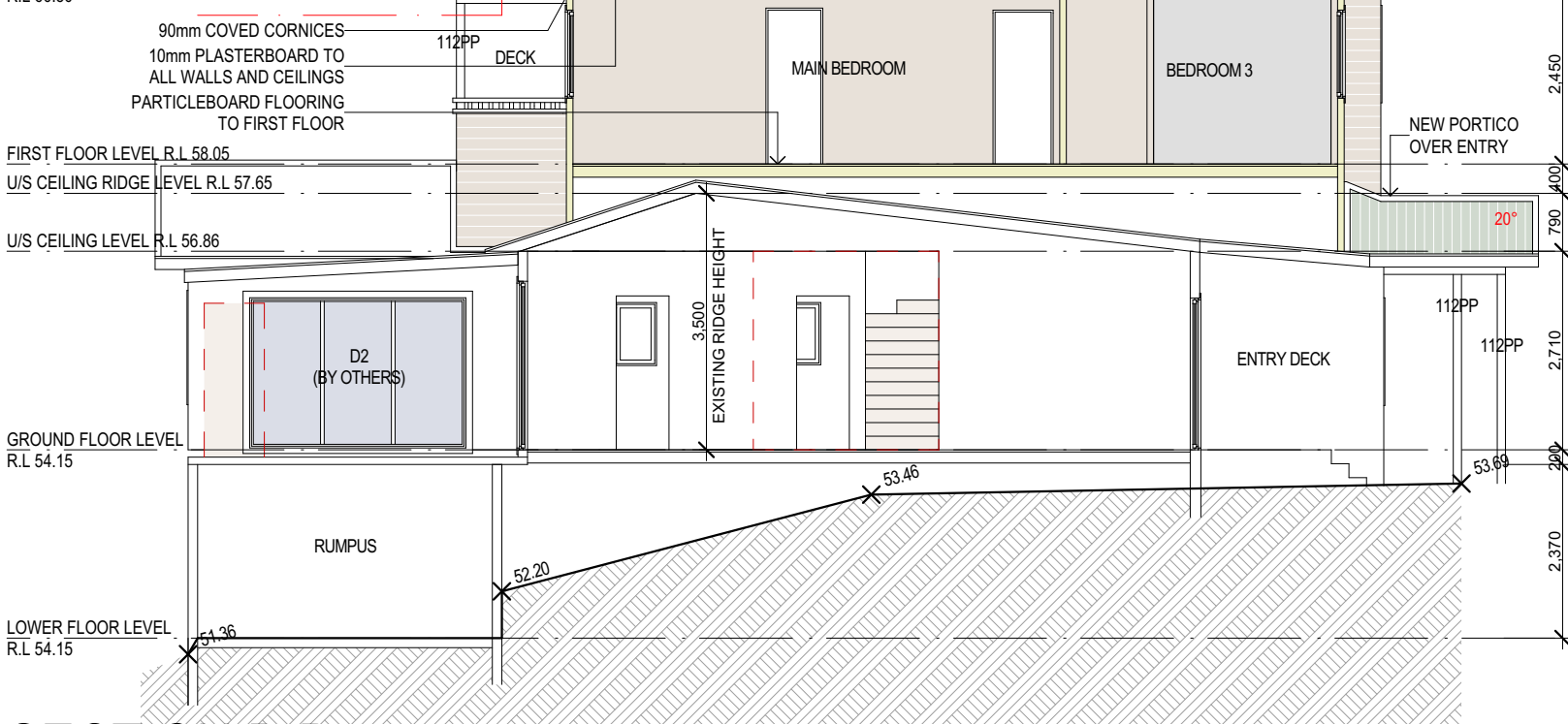
NORTH ELEVATION



SOUTH ELEVATION

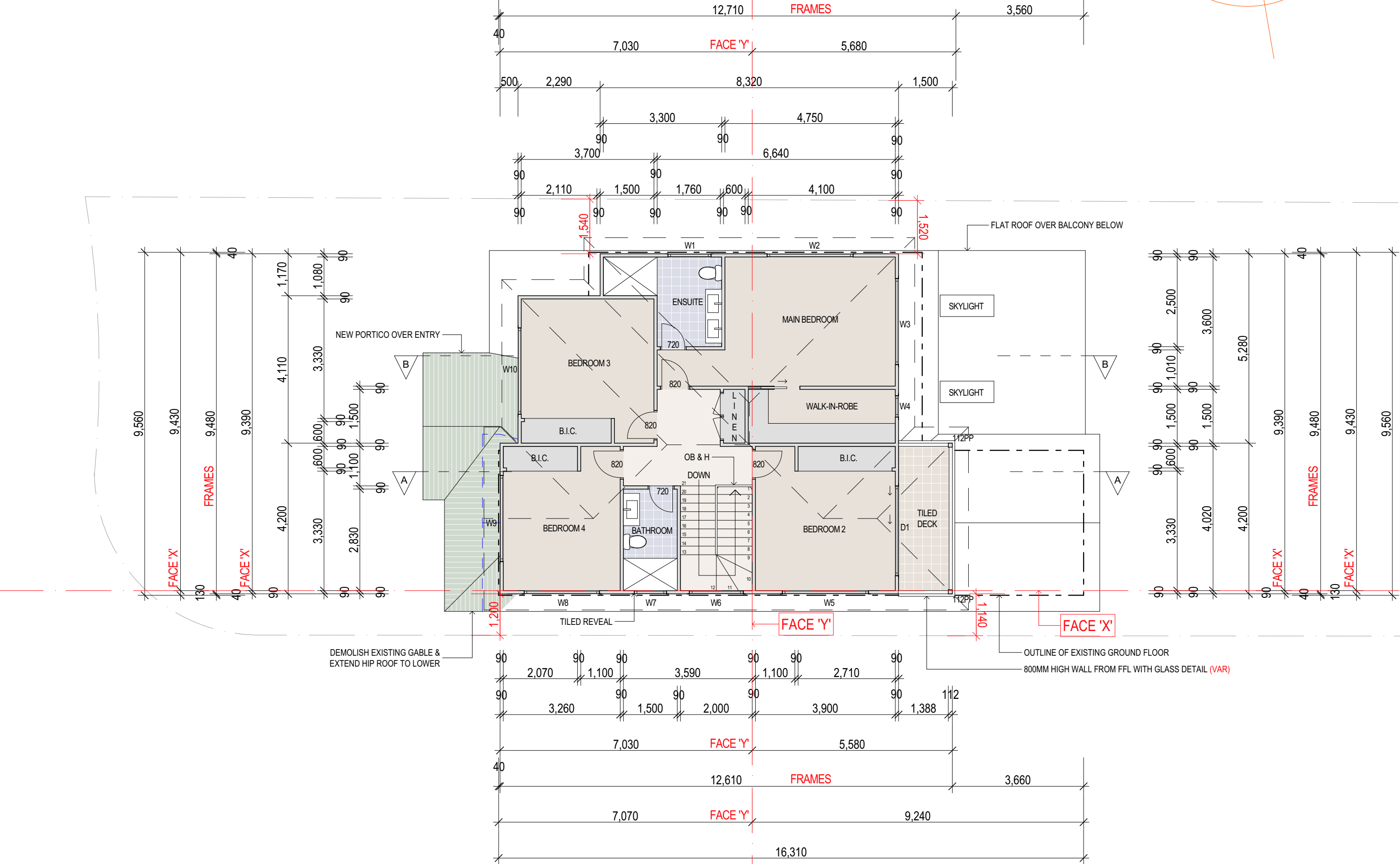


SECTION A-A

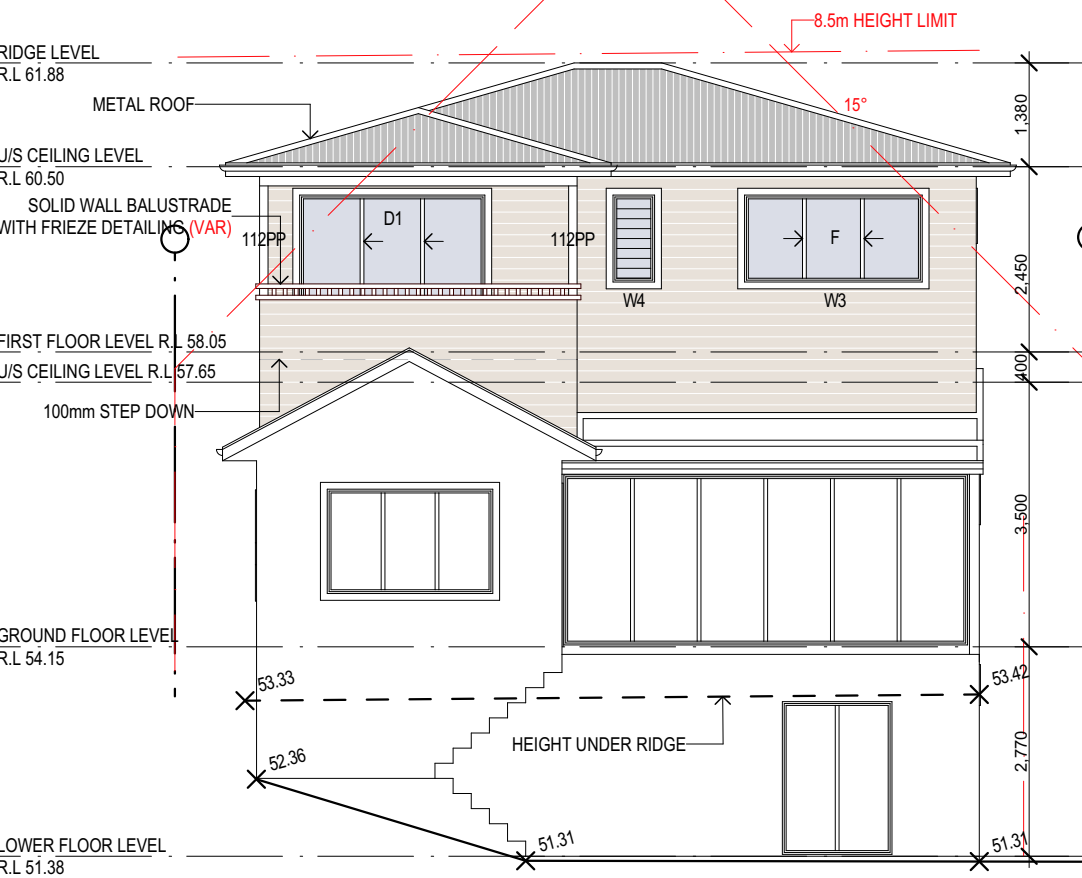
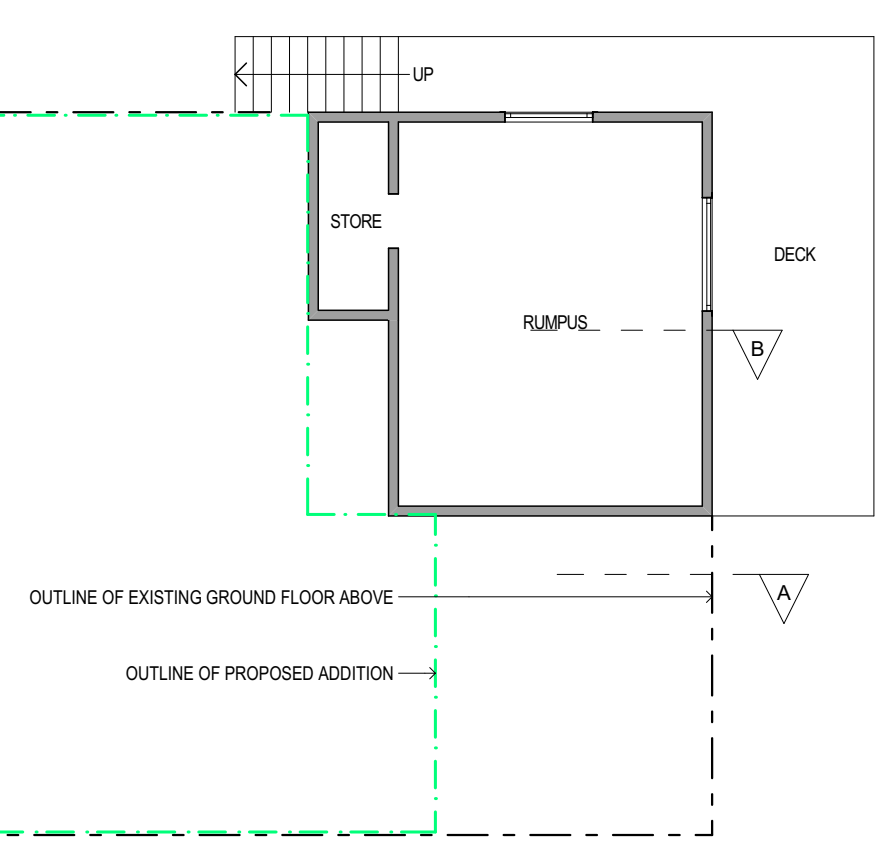


SECTION B-B

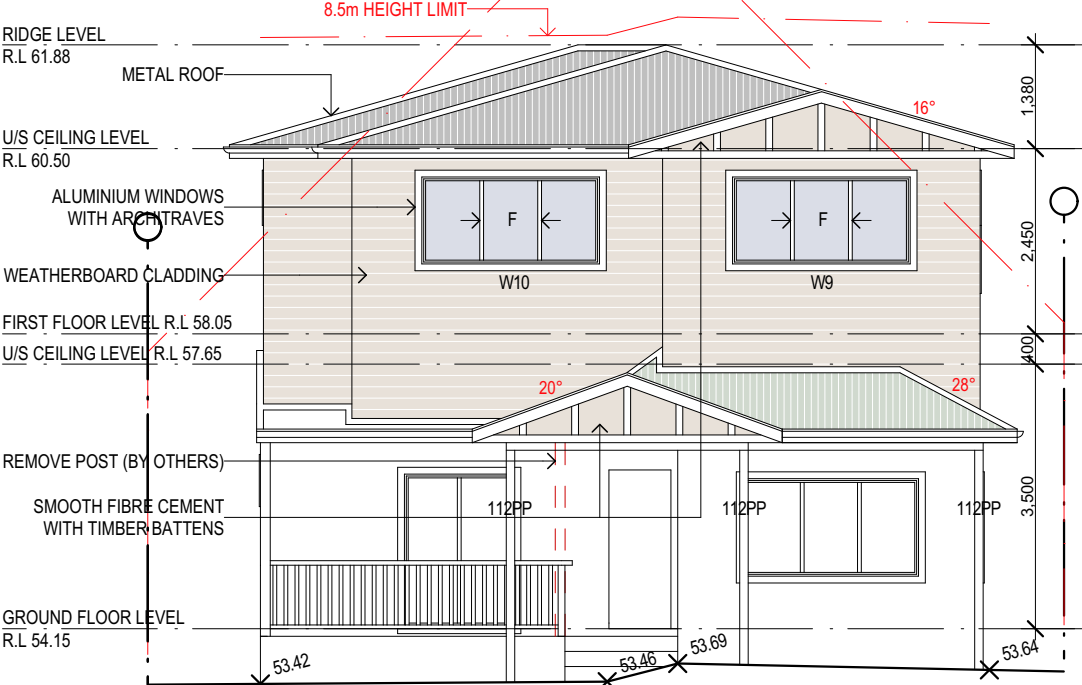
PROPOSED FIRST FLOOR PLAN



LOWER LEVEL FLOOR PLAN



EAST ELEVATION



WEST ELEVATION

OPEN SPACE CALCULATIONS	
SITE AREA	631.3 sqm
GROSS FLOOR AREA	260.3 sqm
EXIST. IMPERVIOUS AREA	366.2 sqm 58%
PROPOSED IMPERVIOUS AREA	378.2 sqm 60%
EXIST. LANDSCAPED AREA	265.1 sqm 42%
PROPOSED LANDSCAPED AREA	253.1 sqm 40%
EXIST FLOOR SPACE	163.8 sqm 0.26 : 1
PROPOSED FLOOR SPACE	260.3 sqm 0.41 : 1

LEGEND & GENERAL NOTES	
(VAR)	VARIATION
O.T.A	OWNER TO ADVISE BUILDER
B.O	BY OTHERS
90PP	90 x 90 PRIMED POST
S.L	SKY LIGHT
SHW	SHOWER ENCLOSURE
V.	VANITY UNIT
W/C	TOILET SUITE (WATER CLOSET)
B/C	BUILT IN CUPBOARD
ST.	STORE
C.O.S	TO BE CHECKED ON SITE
OPT.#	OPTION
OB+H	OPEN BALUSTRADE AND HANDRAIL
DP	DOWNPIPE
DP&S	DOWNPIPE AND SPREADER

ALL DIMENSIONS ARE SUBJECT TO AMENDMENT AFTER A CHECK MEASURE ON SITE.

SUBCONTRACTORS TO ENSURE THAT ALL CONSTRUCTION LEVELS MARKED ON PLAN TO BE STRICTLY COMPLYING WITH CC / CDC

SUBCONTRACTORS TO CONFIRM DA LEVEL IS IN COMPLIANCE WITH PROJECT MANAGER BEFORE FINALISING FLOOR STRUCTURE

FRAMING NOTES.	
ROOF PITCH	NEW: 15° PORTICO: 20° EXISTING 28° 18' & 8° TO BE CHECKED
FRAME HEIGHT	2450mm
ROOFING	METAL
EAVE OVERHANGS	450mm
EXTERNAL DOOR AND WINDOW HEAD	2130mm TO LINE UP
INTERNAL DOOR	2110mm
B/C DOOR OPENING	2310mm
HEAD HEIGHT	
DOOR AND WINDOW NIBS	90mm MIN UNLESS OTHERWISE NOTED
FRAME AND TRUSS CENTRES	600mm
DOOR STUD OPENINGS	880mm WIDE UNLESS OTHERWISE NOTED



ARTIST'S IMPRESSION FOR ILLUSTRATION PURPOSES ONLY, NOT TO BE READ AS A WORKING DRAWING

- VARIATIONS**
- DELETE SKYLIGHT OVER STAIRS
 - SOLID WALL BALUSTRADE TO UPSTAIRS DECK
 - NO BULKHEAD TO BUILT INS

PROJECT TITLE:
Proposed Additions at:
13 Horning Parade
MANLY VALE NSW 2093

ADD-STYLE
HOME ADDITIONS
Upstairs Specialists

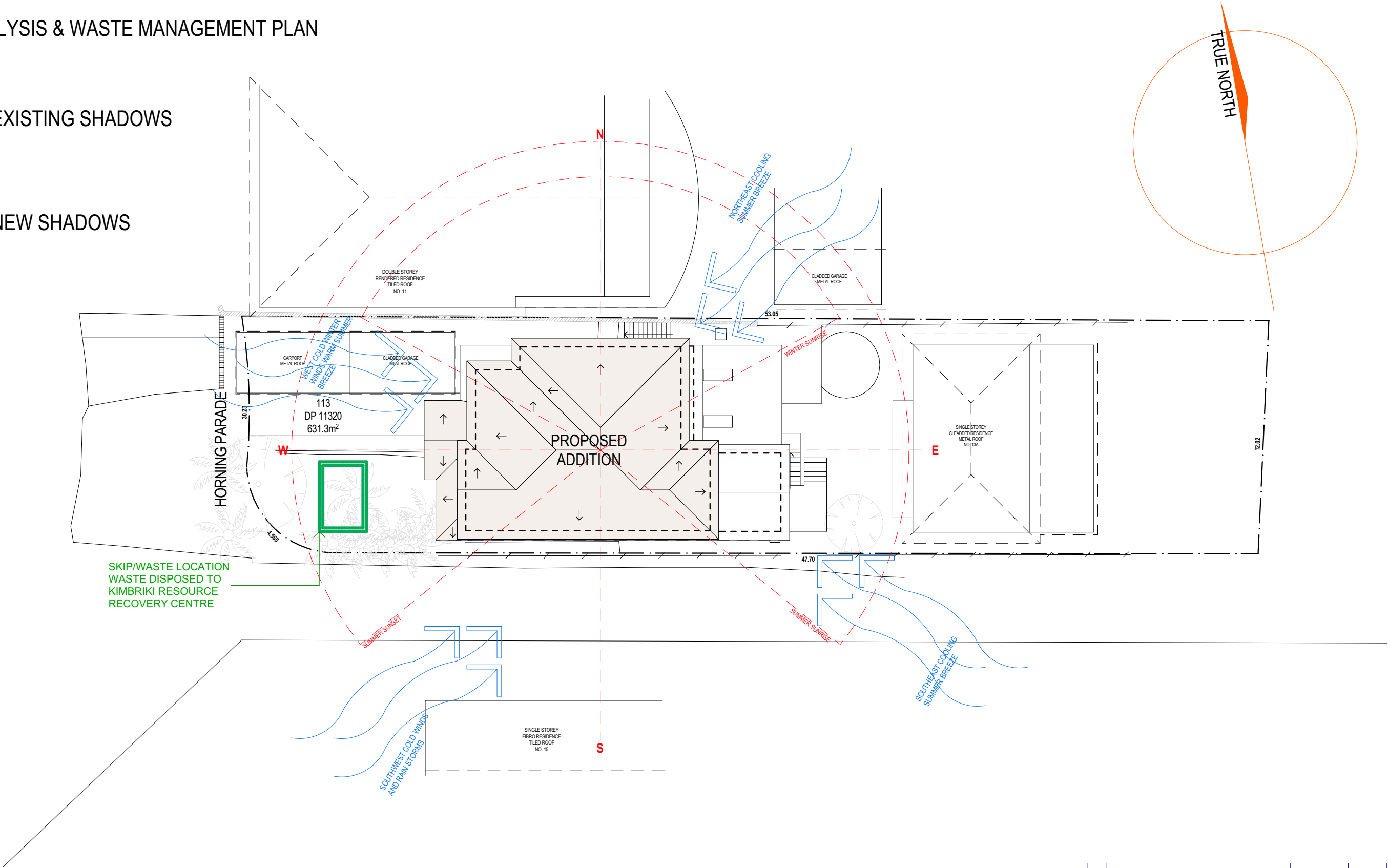
B A	For Council For Plan Meeting	15/05/25 08/05/25	KH KH
NO.	REVISION	DATE	BY
DRAWN BY: KH		CHECKED BY GK	
SCALE: 1:100			
TITLE: PLANS, ELEVATIONS AND SECTIONS			
DRAWING NO. 4545 DA 1		ISSUE B	

ADD-STYLE HOME ADDITIONS
5019 CONDOMINE ST MANLY VALE 2093
PHONE: (02) 9907 9055
EMAIL: info@addstyle.com.au

SITE ANALYSIS & WASTE MANAGEMENT PLAN

EXISTING SHADOWS

NEW SHADOWS





ADD-STYLE

HOME ADDITIONS

Upstairs Specialists

5/319 CONDOMINE ST MANLY VALE 2093

P: (02) 9907 9055

E: info@addstyle.com.au

Proposed Additions at:
13 Horning Parade
MANLY VALE NSW 2093

DRAWING TITLE

SITE ANALYSIS AND SHADOW DIAGRAMS

SCALE 1:200

DRAWN BY KH

CHECKED BY GK

DRAWING NO.

4545 DA 1/2

ISSUE

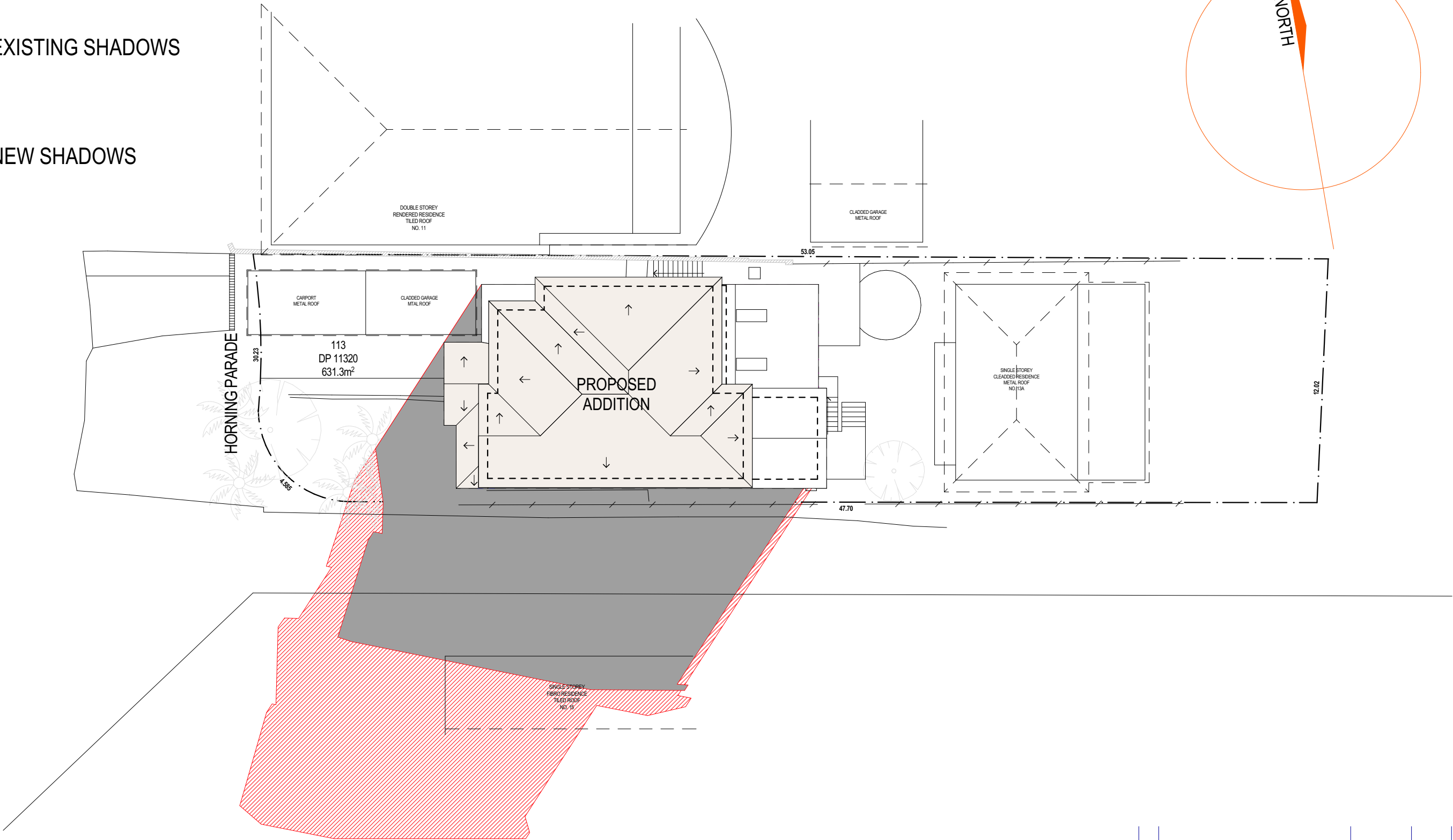
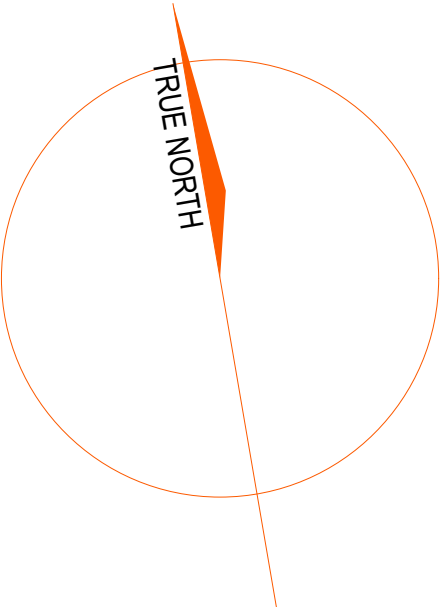
A

A	For Council	13/05/25	KH
NO.	REVISION	DATE	BY

SHADOW DIAGRAM JUNE 21st AT 9am

EXISTING SHADOWS

NEW SHADOWS





ADD-STYLE

HOME ADDITIONS

Upstairs Specialists

5/319 CONDOMINE ST MANLY VALE 2093

P: (02) 9907 9055

E: info@addstyle.com.au

Proposed Additions at:
13 Horning Parade
MANLY VALE NSW 2093

DRAWING TITLE

SITE ANALYSIS AND SHADOW DIAGRAMS

SCALE 1:200

DRAWN BY KH

CHECKED BY GK

DRAWING NO.

4545 DA /2

ISSUE

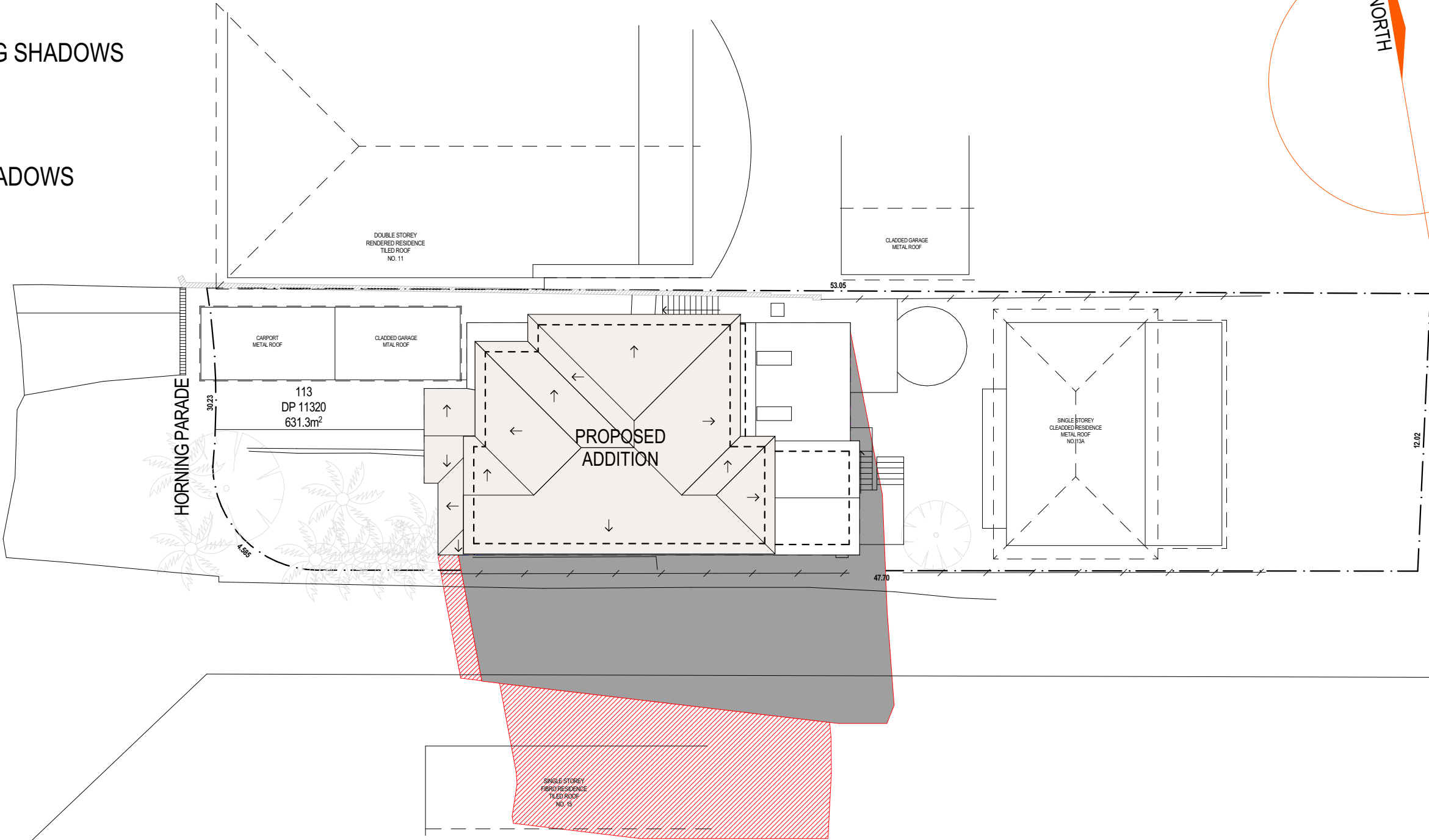
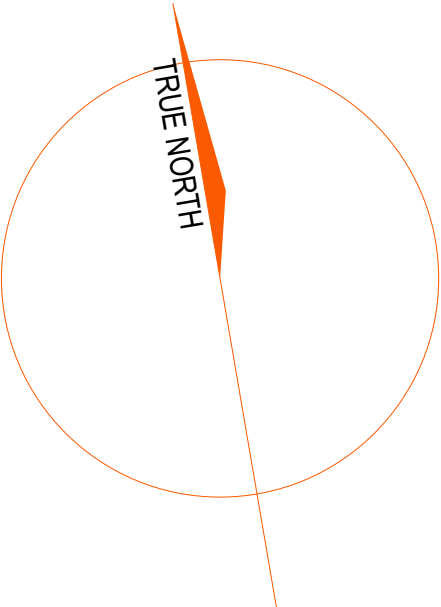
A

A	For Council	13/05/25	KH
NO.	REVISION	DATE	BY

SHADOW DIAGRAM JUNE 21st AT 12pm

EXISTING SHADOWS

NEW SHADOWS





ADD-STYLE

HOME ADDITIONS

Upstairs Specialists

5/319 CONDOMINE ST MANLY VALE 2093

P: (02) 9907 9055

E: info@addstyle.com.au

Proposed Additions at:
13 Horning Parade
MANLY VALE NSW 2093

DRAWING TITLE

SITE ANALYSIS AND SHADOW DIAGRAMS

SCALE 1:200

DRAWN BY KH

CHECKED BY GK

DRAWING NO.

4545 DA /2

ISSUE

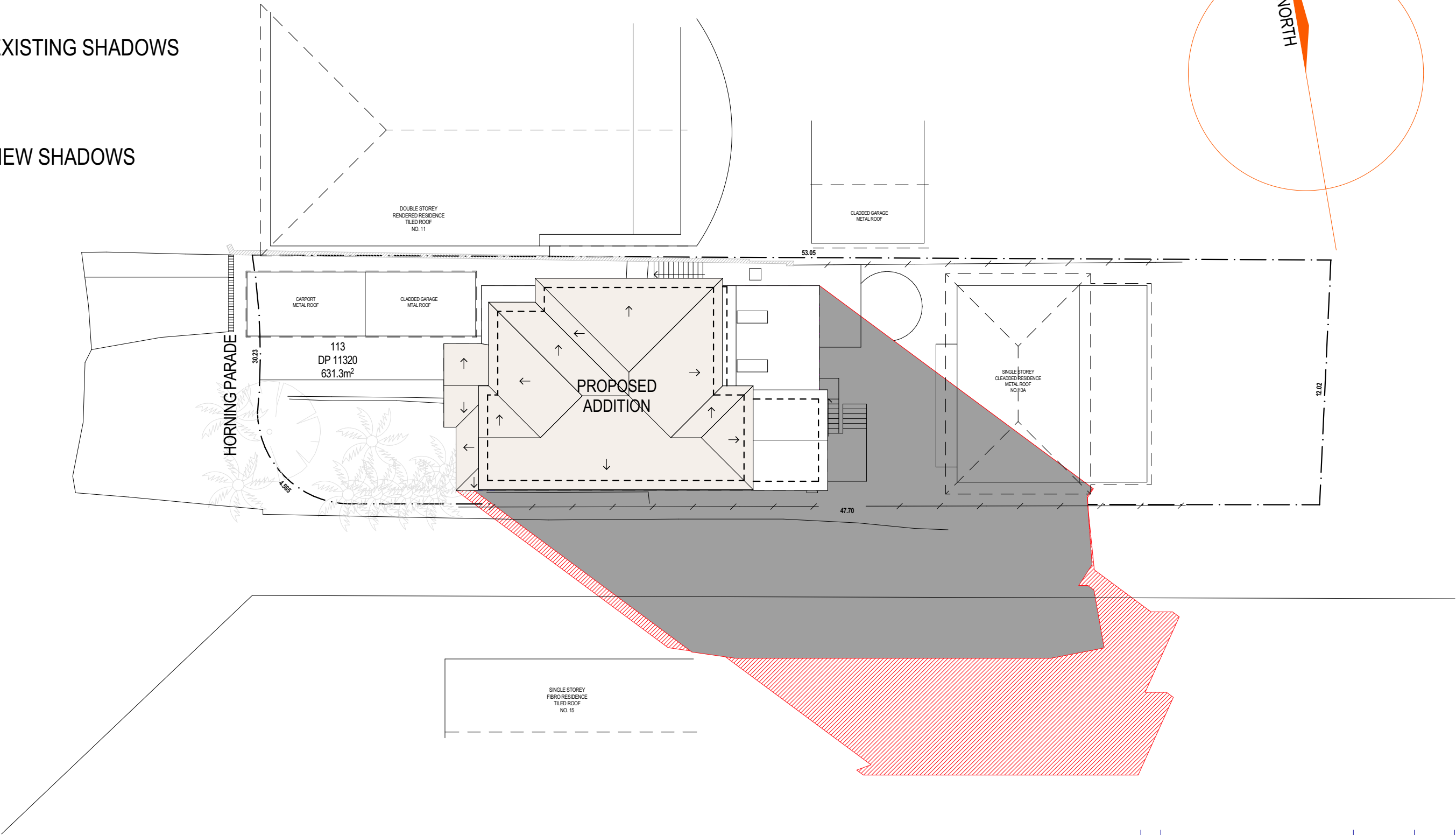
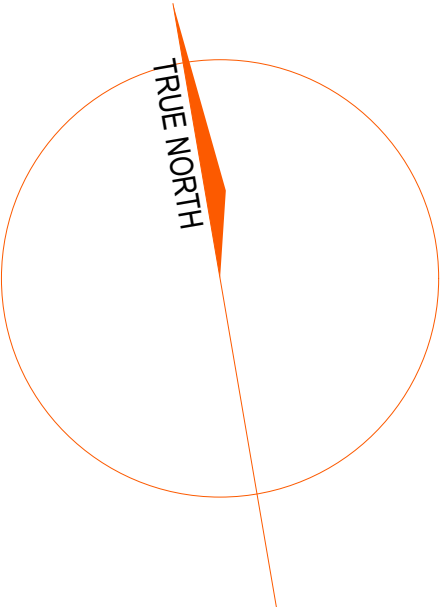
A

A	For Council	13/05/25	KH
NO.	REVISION	DATE	BY

SHADOW DIAGRAM JUNE 21st AT 3pm

EXISTING SHADOWS

NEW SHADOWS





ADD-STYLE

HOME ADDITIONS

Upstairs Specialists

5/319 CONDOMINE ST MANLY VALE 2093

P: (02) 9907 9055

E: info@addstyle.com.au

Proposed Additions at:
13 Horning Parade
MANLY VALE NSW 2093

DRAWING TITLE

SITE ANALYSIS AND SHADOW DIAGRAMS

SCALE 1:200

DRAWN BY KH

CHECKED BY GK

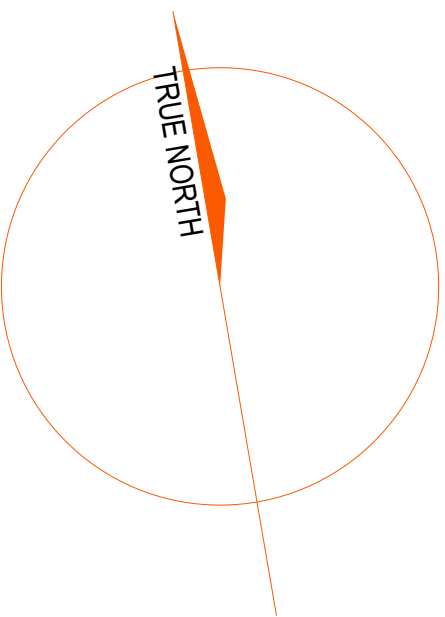
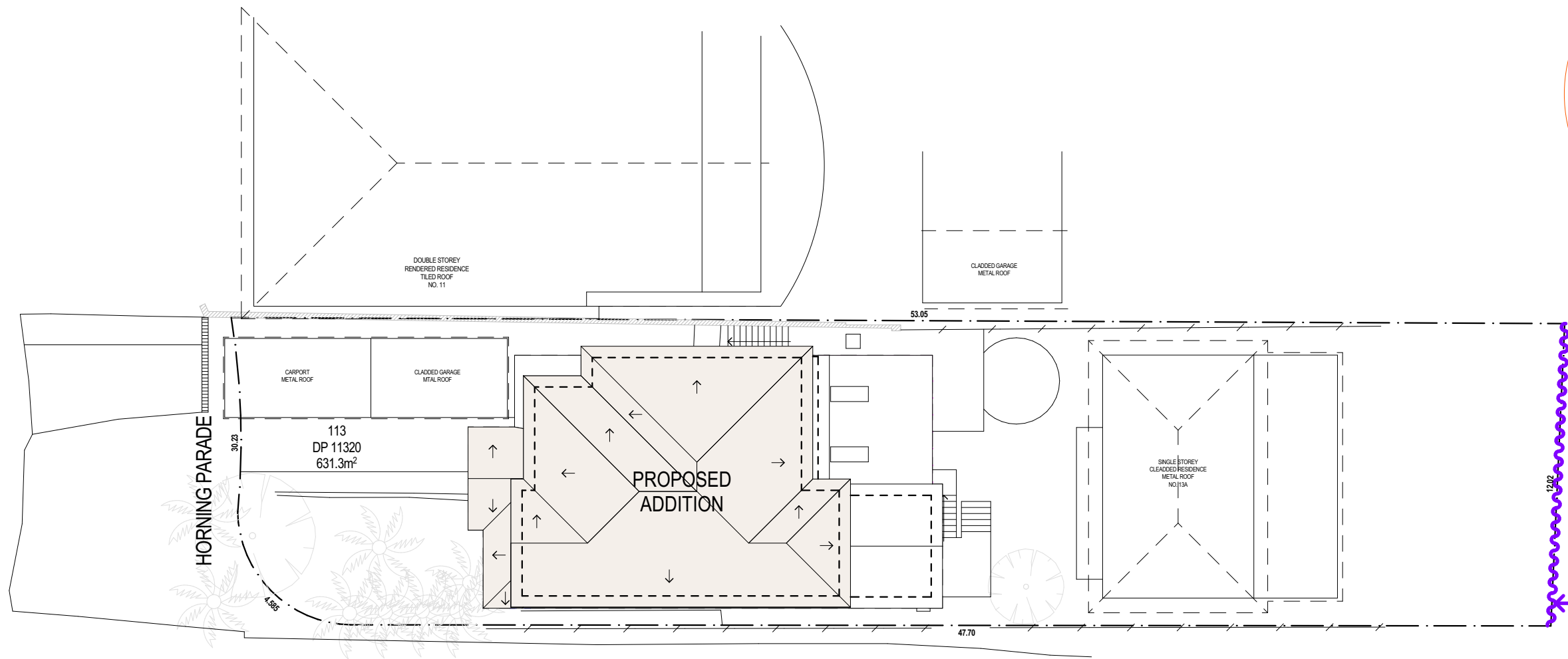
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4545 DA /2

ISSUE

A

A	For Council	13/05/25	KH
NO.	REVISION	DATE	BY



SEDIMENT CONTROL:
SILT FENCE BARRIER
CLOTH 600MM HIGH





ADD-STYLE
HOME ADDITIONS
Upstairs Specialists

5/319 CONDOMINE ST MANLY VALE 2093 P: (02) 9907 9055 E: info@addstyle.com.au

Proposed Additions at: 13 Horning Parade MANLY VALE NSW 2093		DRAWING TITLE SEDIMENT AND EROSION CONTROL PLAN	DRAWING NO. 4545 DA 1	ISSUE A	A	For Council	13/05/25	KH
SCALE 1:200 DRAWN BY KH CHECKED BY GK								
					NO.	REVISION	DATE	BY