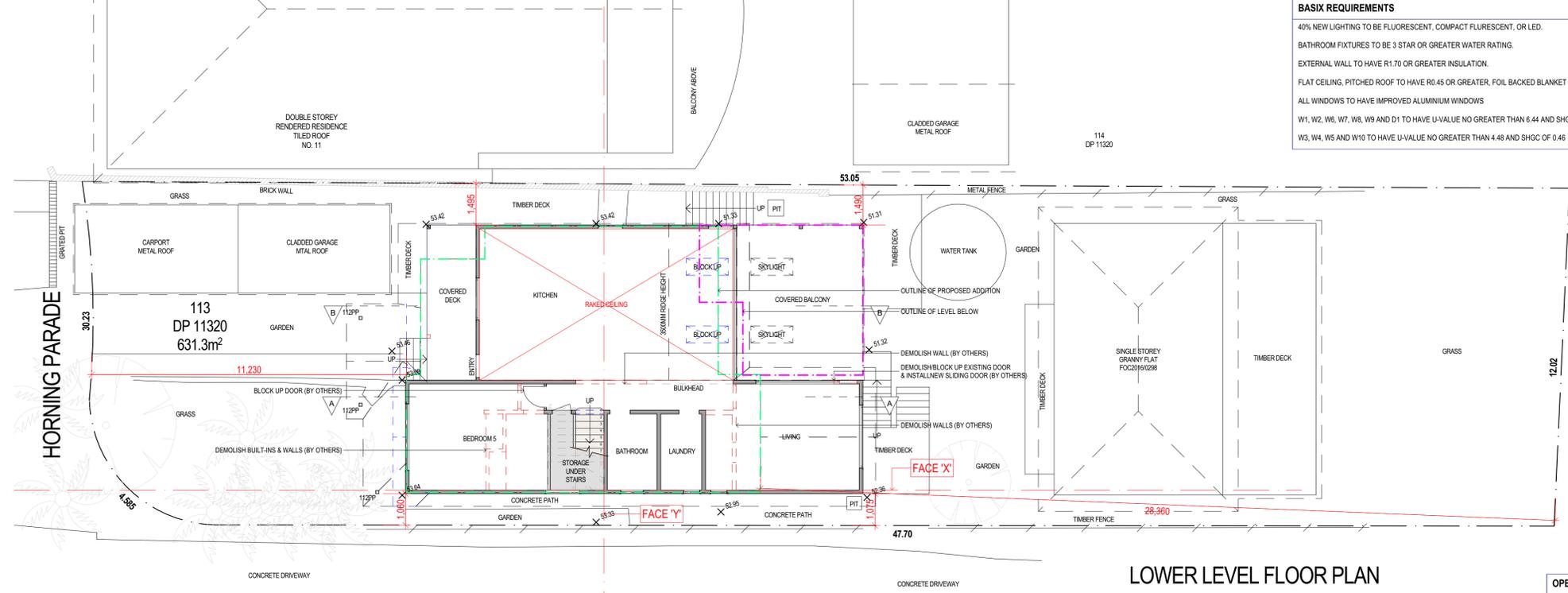
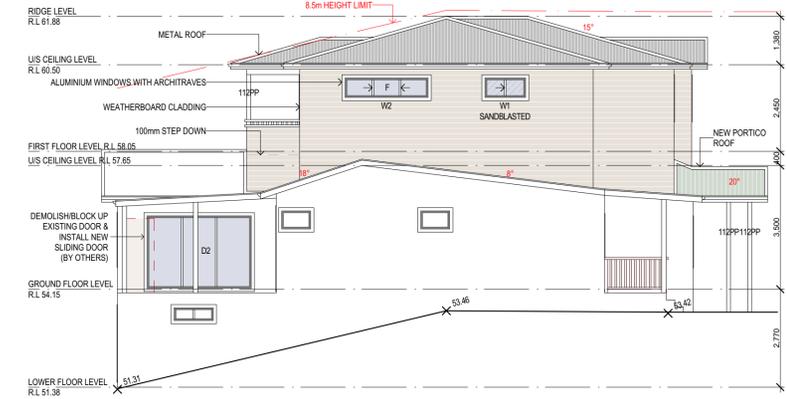


GROUND FLOOR PLAN

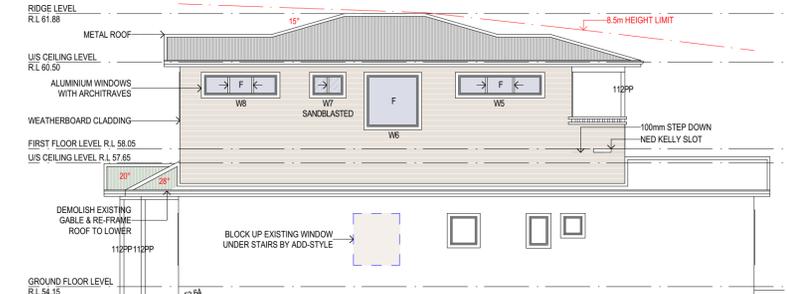


BASIX REQUIREMENTS

- 40% NEW LIGHTING TO BE FLUORESCENT, COMPACT FLUORESCENT, OR LED.
- BATHROOM FIXTURES TO BE 3 STAR OR GREATER WATER RATING.
- EXTERNAL WALL TO HAVE R1.70 OR GREATER INSULATION.
- FLAT CEILING, PITCHED ROOF TO HAVE R0.45 OR GREATER, FOIL BACKED BLANKET (100mm).
- ALL WINDOWS TO HAVE IMPROVED ALUMINIUM WINDOWS
- W1, W2, W6, W7, W8, W9 AND D1 TO HAVE U-VALUE NO GREATER THAN 6.44 AND SHGC OF 0.75
- W3, W4, W5 AND W10 TO HAVE U-VALUE NO GREATER THAN 4.48 AND SHGC OF 0.46

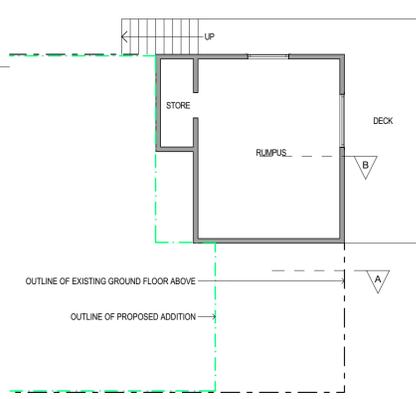


NORTH ELEVATION



SOUTH ELEVATION

LOWER LEVEL FLOOR PLAN



OPEN SPACE CALCULATIONS

SITE AREA	631.3 sqm
GROSS FLOOR AREA	260.3 sqm
EXIST IMPERVIOUS AREA	366.2 sqm 58%
PROPOSED IMPERVIOUS AREA	378.2 sqm 60%
EXIST LANDSCAPED AREA	265.1 sqm 42%
PROPOSED LANDSCAPED AREA	253.1 sqm 40%
EXIST FLOOR SPACE	163.8 sqm 0.26 : 1
PROPOSED FLOOR SPACE	260.3 sqm 0.41 : 1

LEGEND & GENERAL NOTES

(VAR)	VARIATION
O.T.A	OWNER TO ADVISE BUILDER
B.O	BY OTHERS
90PP	90 x 90 PRIMED POST
S.L	SKY LIGHT
SHW	SHOWER ENCLOSURE
V.	VANITY UNIT
W/C	TOILET SUITE (WATER CLOSET)
B I C	BUILT IN CLIPBOARD
ST.	STORE
C.O.S	TO BE CHECKED ON SITE
OPT.#	OPTION
OB+H	OPEN BALUSTRADE AND HANDRAIL
DP	DOWNPIPE
DP+S	DOWNPIPE AND SPREADER

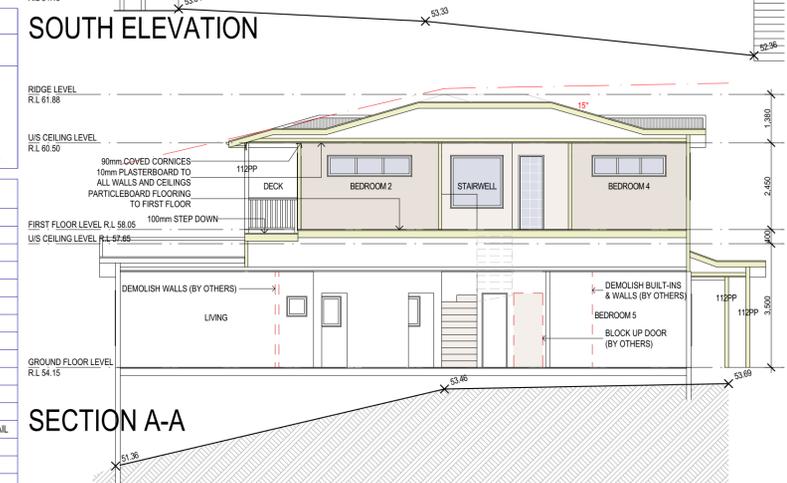
ALL DIMENSIONS ARE SUBJECT TO AMENDMENT AFTER A CHECK MEASURE ON SITE.

SUBCONTRACTORS TO ENSURE THAT ALL CONSTRUCTION LEVELS MARKED ON PLAN TO BE STRICTLY COMPLYING WITH CC / CDC

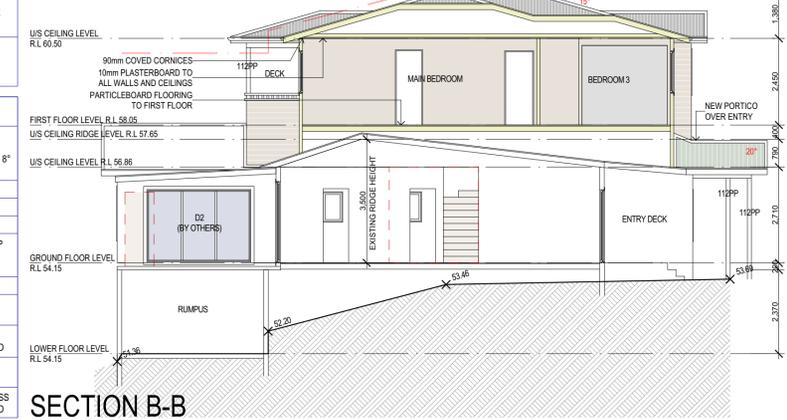
SUBCONTRACTORS TO CONFIRM DA LEVEL IS IN COMPLIANCE WITH PROJECT MANAGER BEFORE FINALISING FLOOR STRUCTURE

FRAMING NOTES.

ROOF PITCH	NEW: 15° PORTICO: 20° EXISTING 28° 18' & 8' TO BE CHECKED
FRAME HEIGHT	2450mm
ROOFING	METAL
EAVE OVERHANGS	450mm
EXTERNAL DOOR AND WINDOW HEAD HEIGHT TO LINE UP	2130mm TO LINE UP
INTERNAL DOOR	2110mm
B.I.C DOOR OPENING HEAD HEIGHT	2310mm
DOOR AND WINDOW NIBS	90mm MIN UNLESS OTHERWISE NOTED
FRAME AND TRUSS CENTRES	600mm
DOOR STUD OPENINGS	880mm WIDE UNLESS OTHERWISE NOTED

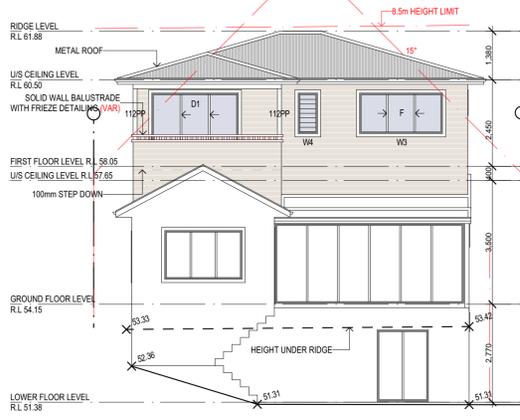
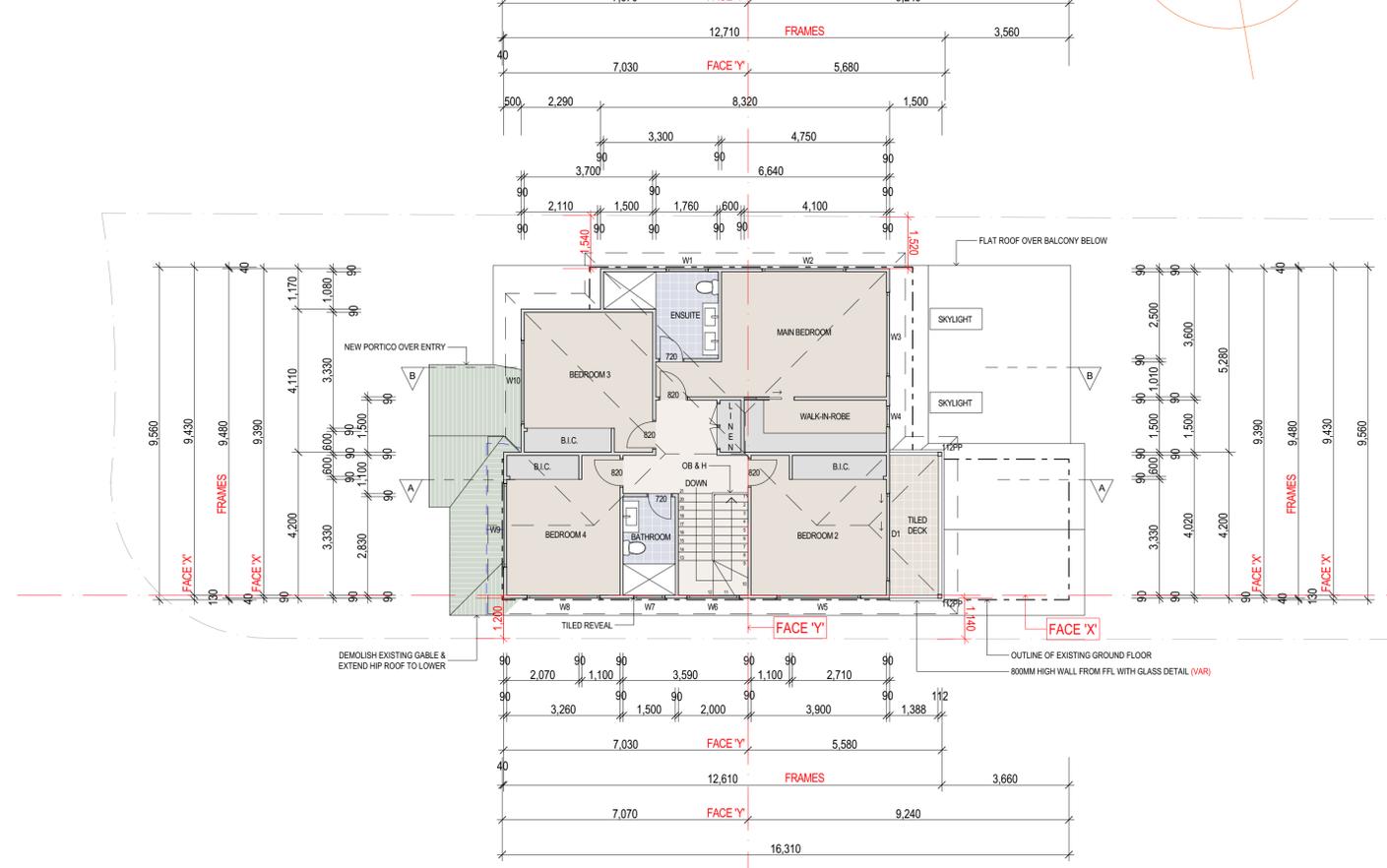


SECTION A-A

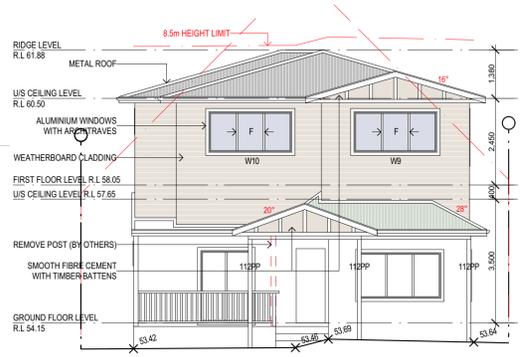


SECTION B-B

PROPOSED FIRST FLOOR PLAN



EAST ELEVATION



WEST ELEVATION



ARTIST'S IMPRESSION FOR ILLUSTRATION PURPOSES ONLY, NOT TO BE READ AS A WORKING DRAWING

VARIATIONS

- DELETE SKYLIGHT OVER STAIRS
- SOLID WALL BALUSTRADE TO UPSTAIRS DECK
- NO BULKHEAD TO BUILT INS

NO.	REVISION	DATE	BY
B	For Council	15/05/25	KH
A	For Plan Meeting	08/05/25	KH

PROJECT TITLE: Proposed Additions at 13 Horning Parade MANLY VALE NSW 2093

DRAWN BY: KH **CHECKED BY:** GK **SCALE:** 1:100

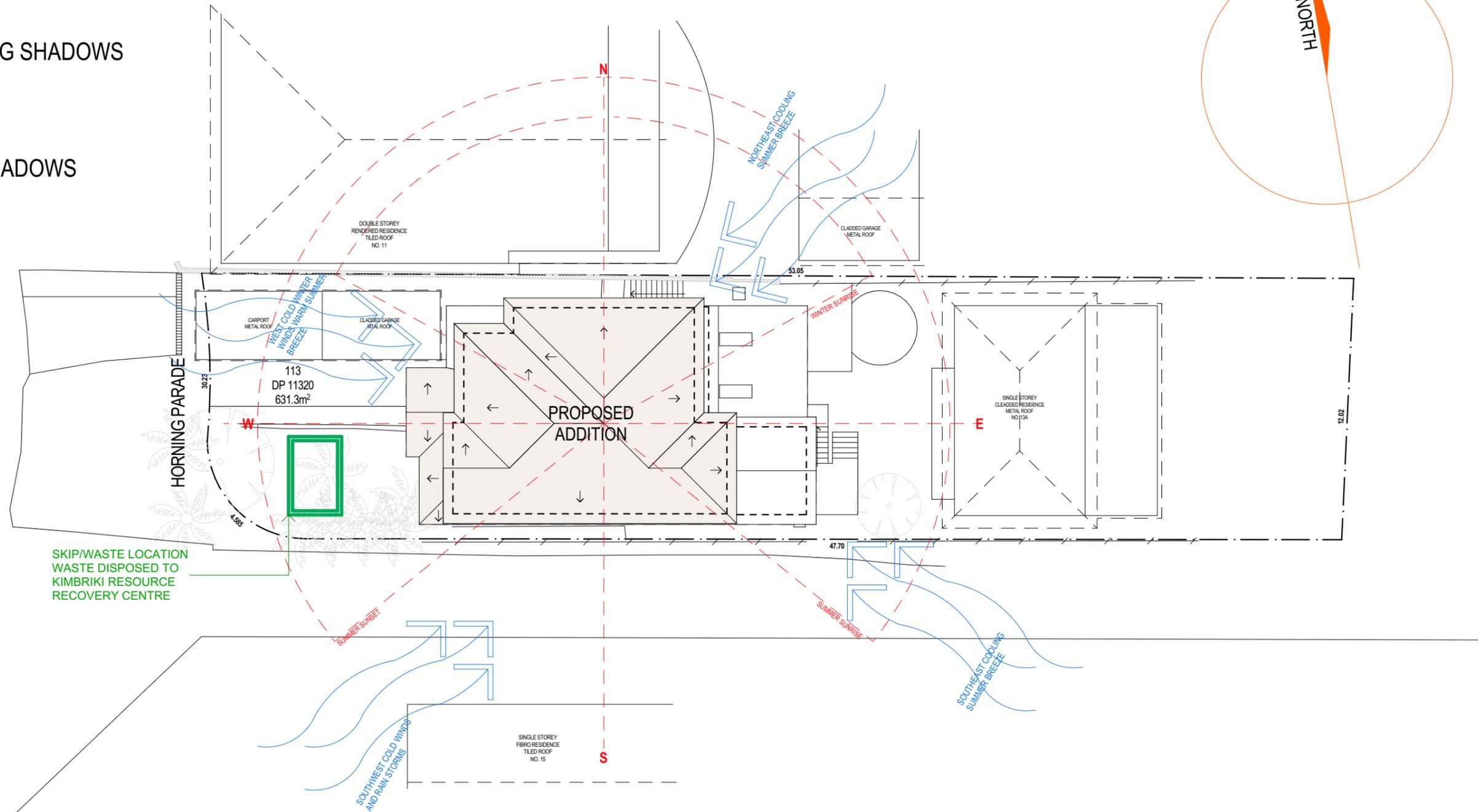
TITLE: PLANS, ELEVATIONS AND SECTIONS **DRAWING NO.:** 4545 DA 1 **ISSUE:** B

ADD-STYLE HOME ADDITIONS
Upstairs Specialists

5918 CONNAREE ST MANLY VALE NSW 2093
PHONE: (02) 9607 9055
EMAIL: info@addstyle.com.au

SITE ANALYSIS & WASTE MANAGEMENT PLAN

-  EXISTING SHADOWS
-  NEW SHADOWS



ADD-STYLE
HOME ADDITIONS
Upstairs Specialists

5/319 CONDAMINE ST MANLY VALE 2093 P: (02) 9907 9055 E: info@addstyle.com.au

Proposed Additions at:
13 Horning Parade
MANLY VALE NSW 2093

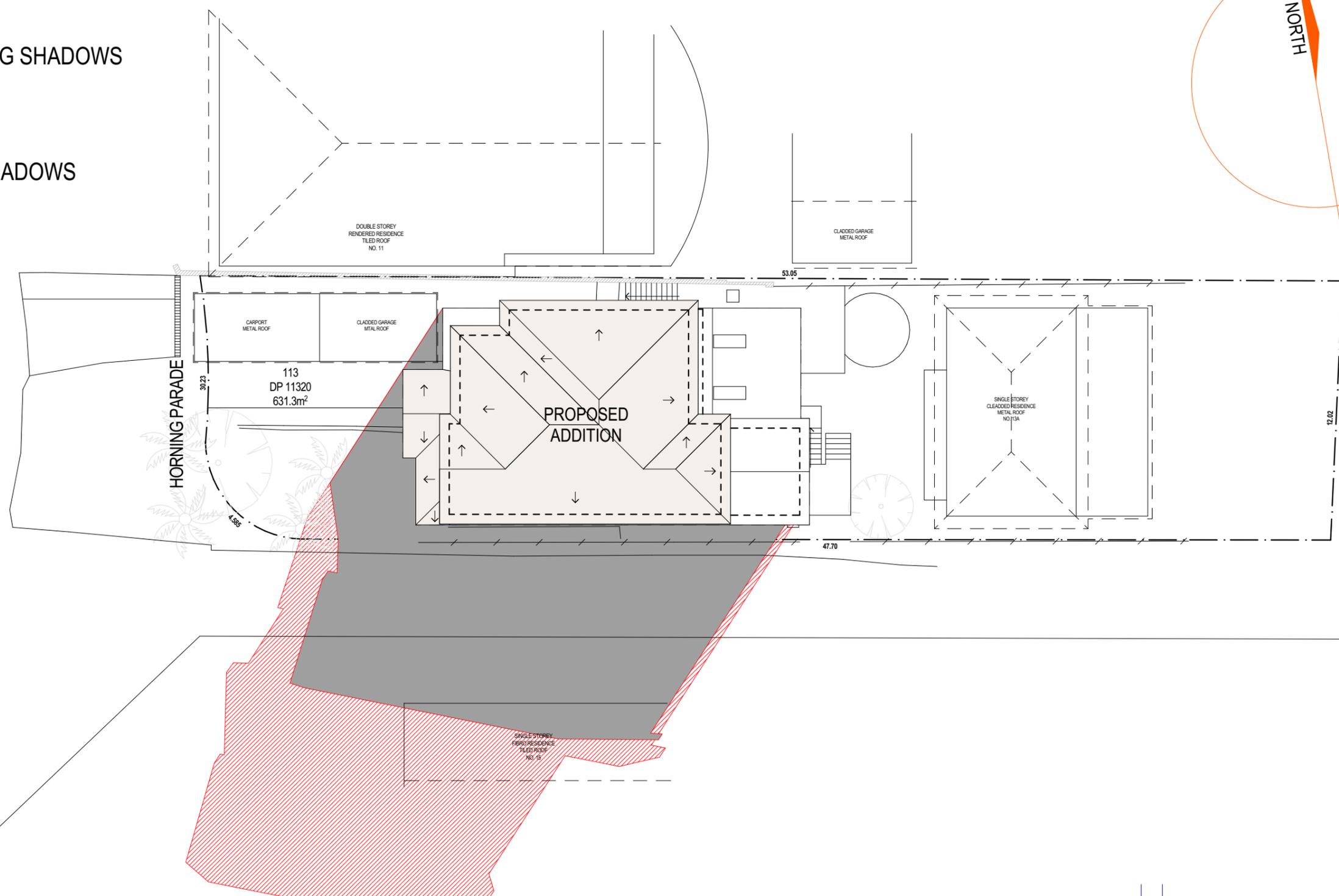
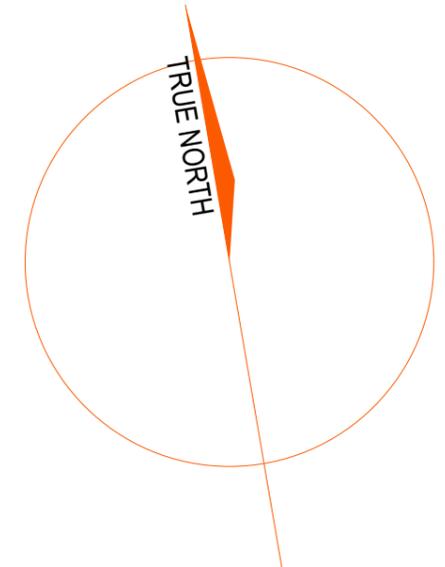
DRAWING TITLE SITE ANALYSIS AND SHADOW DIAGRAMS
SCALE 1:200 **DRAWN BY** KH **CHECKED BY** GK

DRAWING NO. 4545 DA 1/2
ISSUE A

NO.	REVISION	DATE	BY
A	For Council	13/05/25	KH

SHADOW DIAGRAM JUNE 21st AT 9am

-  EXISTING SHADOWS
-  NEW SHADOWS




ADD-STYLE
HOME ADDITIONS
Upstairs Specialists

5/319 CONDOMINE ST MANLY VALE 2093 P: (02) 9907 9055 E: info@addstyle.com.au

Proposed Additions at:
13 Horning Parade
MANLY VALE NSW 2093

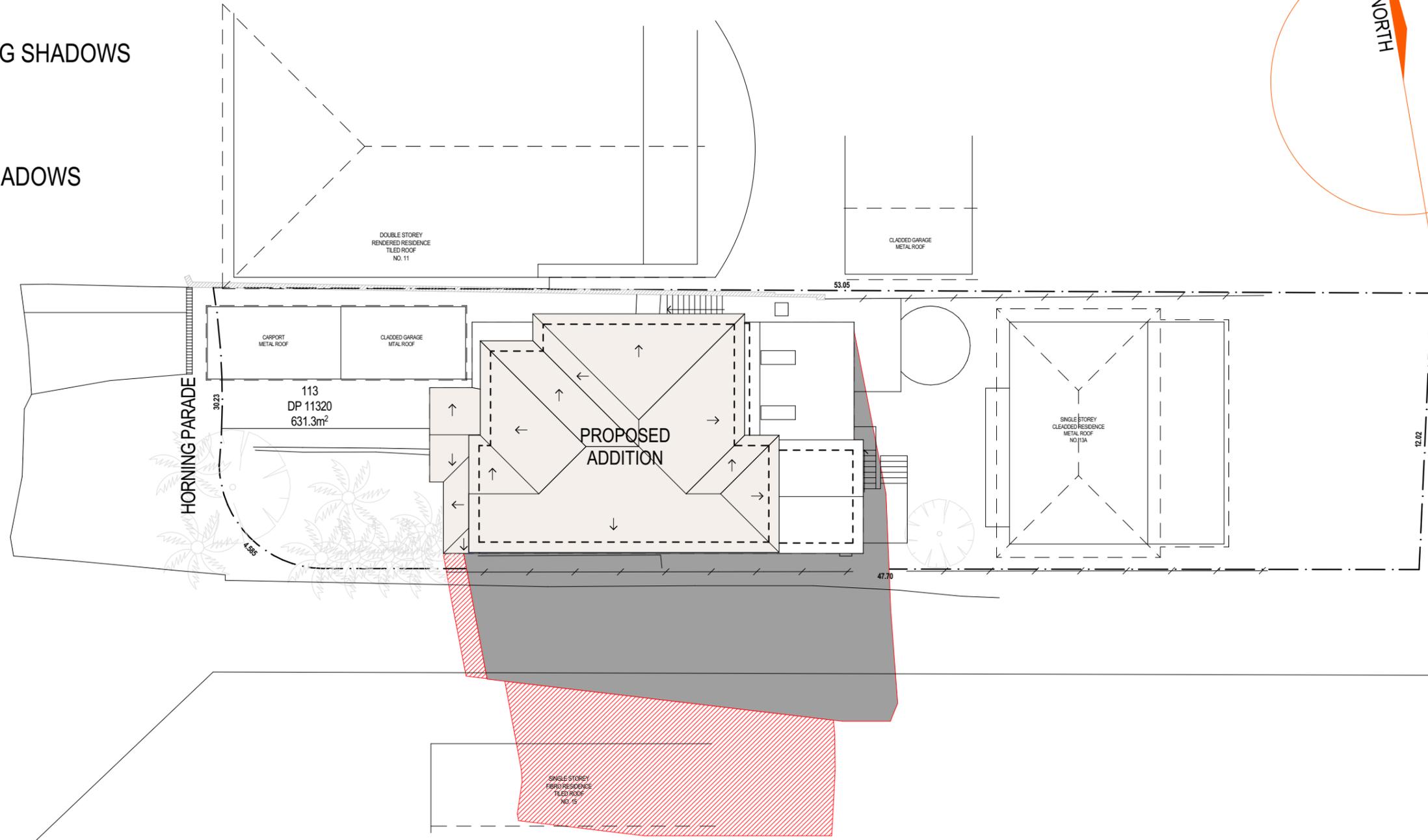
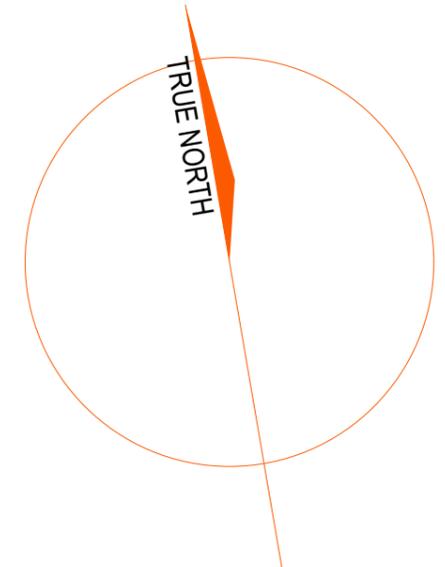
DRAWING TITLE SITE ANALYSIS AND SHADOW DIAGRAMS
SCALE 1:200 **DRAWN BY** KH **CHECKED BY** GK

DRAWING NO. 4545 DA /2
ISSUE A

NO.	REVISION	DATE	BY
A	For Council	13/05/25	KH

SHADOW DIAGRAM JUNE 21st AT 12pm

-  EXISTING SHADOWS
-  NEW SHADOWS




ADD-STYLE
HOME ADDITIONS
Upstairs Specialists

5/319 CONDOMINE ST MANLY VALE 2093 P: (02) 9907 9055 E: info@addstyle.com.au

Proposed Additions at:
13 Horning Parade
MANLY VALE NSW 2093

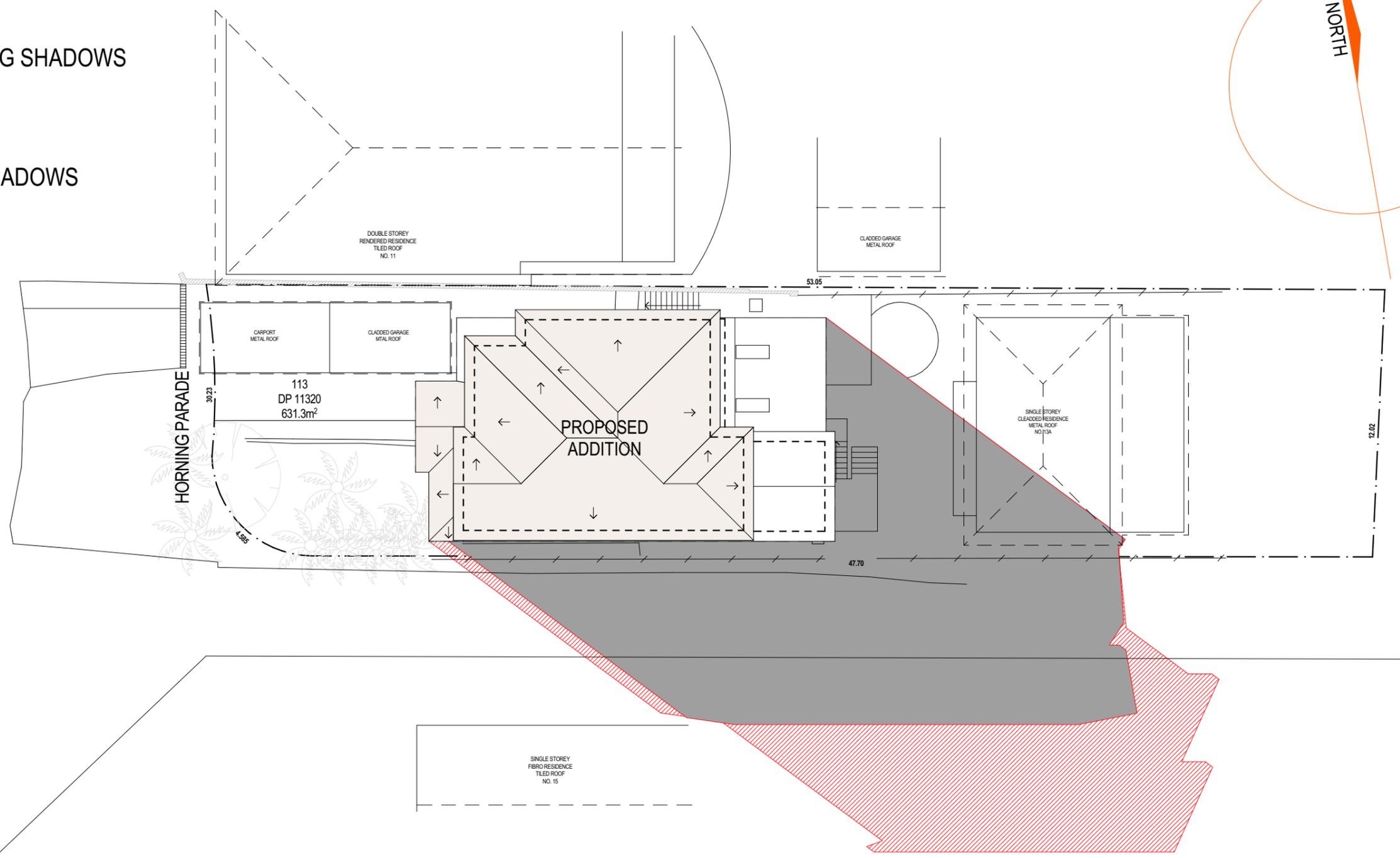
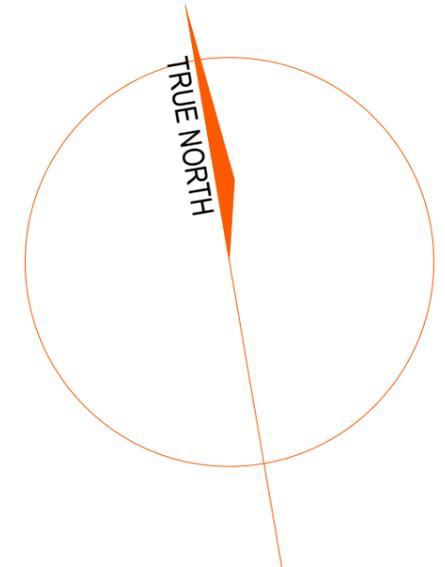
DRAWING TITLE SITE ANALYSIS AND SHADOW DIAGRAMS
SCALE 1:200 **DRAWN BY** KH **CHECKED BY** GK

DRAWING NO. 4545 DA /2 **ISSUE** A

NO.	REVISION	DATE	BY
A	For Council	13/05/25	KH

SHADOW DIAGRAM JUNE 21st AT 3pm

-  EXISTING SHADOWS
-  NEW SHADOWS



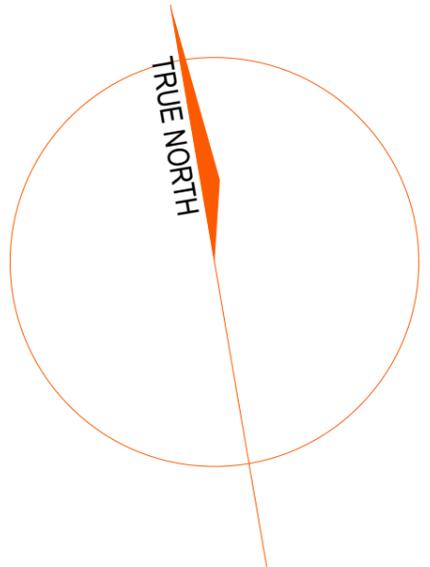
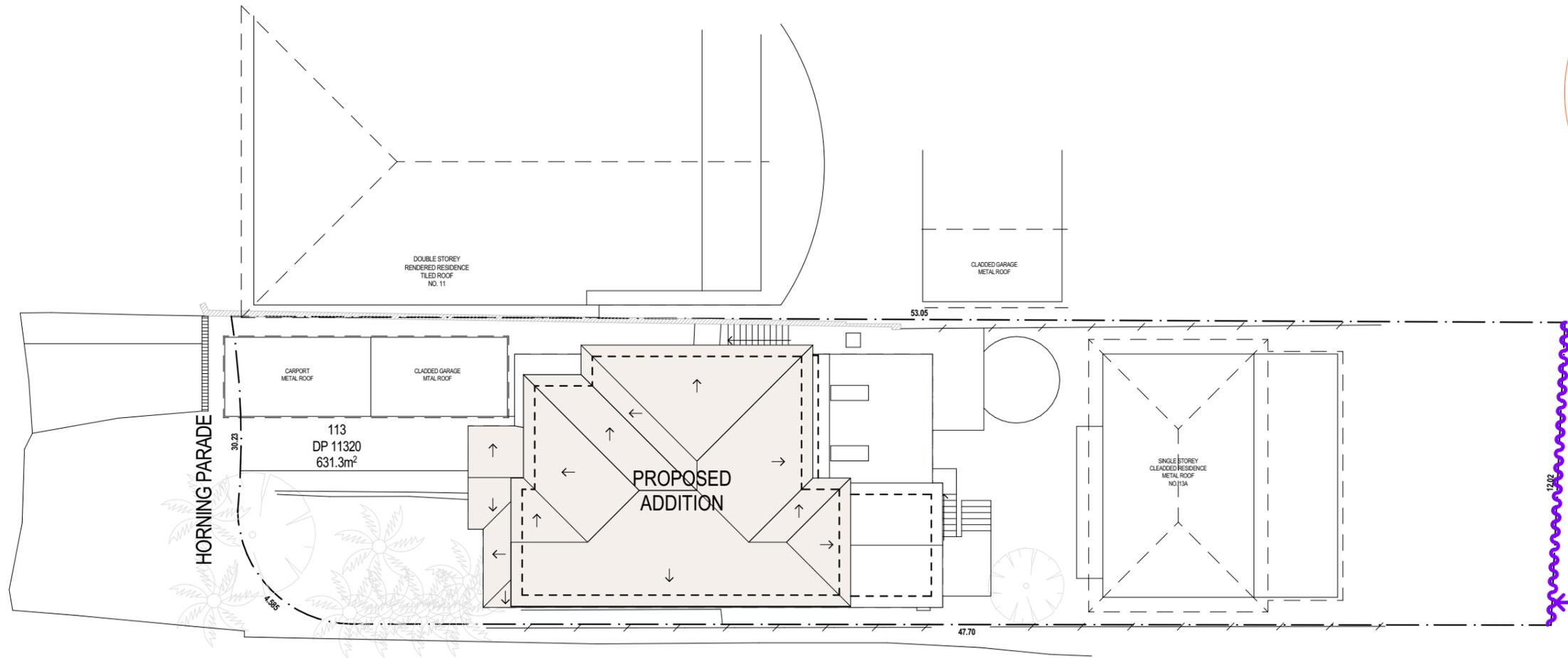

ADD-STYLE
HOME ADDITIONS
Upstairs Specialists

5/319 CONDOMINE ST MANLY VALE 2093 P: (02) 9907 9055 E: info@addstyle.com.au

Proposed Additions at:
13 Horning Parade
MANLY VALE NSW 2093

DRAWING TITLE	SITE ANALYSIS AND SHADOW DIAGRAMS	DRAWING NO.	ISSUE
SCALE 1:200	DRAWN BY KH CHECKED BY GK	4545 DA /2	A

NO.	REVISION	DATE	BY
A	For Council	13/05/25	KH



SEDIMENT CONTROL:
SILT FENCE BARRIER
CLOTH 600MM HIGH



Proposed Additions at:
13 Horning Parade
MANLY VALE NSW 2093

DRAWING TITLE SEDIMENT AND EROSION CONTROL PLAN
SCALE 1:200 DRAWN BY KH CHECKED BY GK
DRAWING NO. 4545 DA 1

ISSUE A

NO.	REVISION	DATE	BY
A	For Council	13/05/25	KH