

DRAWING LIST

COVER SHEET	
A001	COVER SHEET
SITE	
A002	SITE ANALYSIS PLAN
A010	SITE PLAN
A011	DEMOLITION PLAN
A012	EXCAVATION PLAN
FLOOR PLANS	
A100	BASEMENT LEVEL 2 PLAN
A101	BASEMENT LEVEL 1 PLAN
A102	GROUND FLOOR PLAN
A103	LEVEL 1 PLAN
A104	LEVEL 2 PLAN
A105	ROOF PLAN
ELEVATIONS	
A300	SOUTH ELEVATION
A301	EAST ELEVATION
A302	NORTH AND WEST ELEVATION
SECTIONS	
A310	SECTION AA
A311	SECTION BB
MATERIAL AND FINISHES	
A320	MATERIAL AND FINISHES
SHADOW DIAGRAMS	
A400	SHADOW DIAGRAM - SHEET 01
A401	SHADOW DIAGRAM - SHEET 02
SOLAR STUDY DIAGRAMS	
A405	SOLAR STUDIES

NOTES

C2.9	TABLE 3 - TYPE A CONSTRUCTION MINIMUM FRL OF BUILDING ELEMENT BASEMENT FLOORS - B1 AND B2 - 120/120/120
C2.9	TABLE 3 - TYPE A CONSTRUCTION MINIMUM FRL OF BUILDING ELEMENT GROUND FLOOR SLAB - 240/240/240
C2.9	TABLE 3 - TYPE A CONSTRUCTION MINIMUM FRL OF BUILDING ELEMENT ALL RESIDENTIAL FLOOR SLABS - 90/90/90 ACOUSTIC RATING - Rw+Ctr > 50 and Ln.W > 62
C3.11	ALL SOLE OCCUPANCY UNITS TO HAVE A SELF-CLOSING FIRE DOOR WITH MINIMUM FRL OF -/60/30
D1.7	BASEMENT 1 ACCESSIBLE WC TO HAVE A SELF-CLOSING FIRE DOOR WITH MINIMUM FRL OF -/60/30
D3.3	ALL ACCESSIBLE BATHROOMS TO INCLUDE ALL AS1428:1 CIRCULATION - FITTINGS - FIXTURES - CLEARANCES IN THE LIKE FOR FULL COMPLIANCE - INCLUDING SHELVES
E1.3	FIP LOCATED IN RESIDENTIAL LOBBY
E1.3	BOOSTER ASSEMBLY LOCATED ON ROBERTSON ROAD ENTRY
E1.5	SPRINKLERS LOCATED IN ALL BASEMENT LEVELS

CONSULTANTS

SURVEYOR	ADAM CLERKE SURVEYORS PTY LTD	38 KEVIN AVENUE, AVALON 2107	02 9918 4111
LANDSCAPING	SITE IMAGE-LANSCAPE ARCHITECT	LEVEL 1, 3-5 BAPTIST STREET REDFERN NSW 2016	02 8332 5600
STORM WATER & FLOODING	DEMLAKIAN ENGINEERING	5 RIDGE ST, NORTH SYDNEY NSW 2060	02 9955 4485
ASSESSMENT OF TRAFFIC & PARKING IMPLICATIONS	TRANSPORT AND TRAFFIC PLANNING	SUITE 502, L5 282 VICTORIA AVE, CHATSWOOD 2067	02 9411 5660
TRAFFIC & TRANSPORT MANAGEMENT PLAN	SBMG PTY LTD	PO BOX 8136, GLENMORE PARK NSW 2745	0467 370 380
ACCESSIBILITY	ACCESSIBLE BUILDING SOLUTIONS	124 UPPER WASHINGTON DRIVE, BONNET BAY NSW 2226	02 9528 0276
GEOTECHNICAL & SITE INVESTIGATION	ASSET GEOTECHNICAL	SUITE 2.05/56 DELHI RD, NORTH RYDE NSW 2113	0410 325 566
BASIX	DAMIAN OTOOLE TOWN PLANNING PTY	STUDIO 9,L5 35 BUCKINGHAM STREET, SURRY HILL 2010	0413 031 971
PLANNING (SEE)	HAMPTONS PROPERTY SERVICES	SUITE 404, 203-233 NEW SOUTH HEAD ROAD, EDGECLIFF	02 9386 7009
PHOTOMONTAGE & MODELING	ARCHITECTURAL IMAGES	46/6-8 HERBERT STREET, ST LEONARDS NSW 2065	02 9460 8943
PRIVATE CERTIFIER/BCA REPORT	DIX GARDNER GROUP	LEVEL 4, 155 CASTELREAGH ST, SYDNEY NSW 2000	0428 281 188
ARBORIST	DAMIAN GREEN		0450 575 677

UNITS

UNIT	LEVEL	1 BED	2 BED	3 BED	BATH	ENS	ADPT.	UNIT AREA	BALCONY/ COURTYARD AREA	LIFT ACCESS	DIRECT SUNLIGHT	CROSS THROUGH VENTILATION	SINGLE ASPECT	LIVING ROOM WIDTH	PARKING REQUIRED
01	1		■		■	■		93.4m ²	39.85m ²	■	■	■		> 4m	2
02	1		■		■	■		105.3m ²	18.1m ²	■			■	4m	2
03	1		■		■	■		95.0m ²	17.4m ²				■	4m	2
04	1			■	■	■	■	128.4m ²	18.1m ²	■		■		> 4m	2
05	1		■		■	■	■	109.0m ²	15.5m ²	■			■	4m	2
06	1		■		■	■		94.8m ²	9.1m ²	■		■		4m	2
07	1		■		■	■		95.4m ²	45.8m ²		■		■	> 4m	2
08	1		■		■	■		87.6m ²	42.0m ²	■			■	> 4m	2
09	2		■		■	■		130.4m ²	31.8m ²	■	■	■		> 4m	2
10	2			■	■	■		116.6m ²	72.4m ²	■	■	■		4m	2
11	2		■		■	■		92.4m ²	83.4m ²	■	■	■		> 4.0m	2
12	2	■			■		■	67.7m ²	25.7m ²	■	■	■	■	3.6m	1
13	2		■		■	■		81.5m ²	29.3m ²	■	■	■		4.0m	2
TOTAL		1	10	2	13	UNITS	3	1297.5m ²			61.5% (⁸ / ₁₃)	61.5% (⁸ / ₁₃)	53.8% (⁷ / ₁₃)		25

RETAIL

RETAIL SPACE	AREA	STORAGE AREA	PARKING REQUIRED	PARKING PROVIDED
1	48.89m2	19.0m2	1 space per 30m2	
2	46.37m2	10.95m2		
3	46.37m2	10.95m2		
4	46.37m2	10.95m2		
5	49.87m2	15.25m2		
6	90.3m2	-		
7	122.1m2	51.8m2		
8	146.2m2	13.95m2		
TOTAL	596.47m2		19.8 (^{596.47} / ₃₀)	19

PARKING

	UNITS	UNIT VISITOR	RETAIL	TOTAL
REQUIRED	26	5	19	50
PROVIDED	26	5	19	50

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02	20.03.06	ISSUED TO COUNCIL
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DEVELOPMENT LINK

MIXED USE DEVELOPMENT

351-353 BARRENJOEY ROAD, NEWPORT NSW 2106

LOT 65 & 66 SEC 5 DP 6248

COVERSHEET
SCHEDULE

SCALE

N/A

APPROVED

DRAWN

CHECKED

DATE

STATUS

PROJECT NUMBER

DRAWING NUMBER

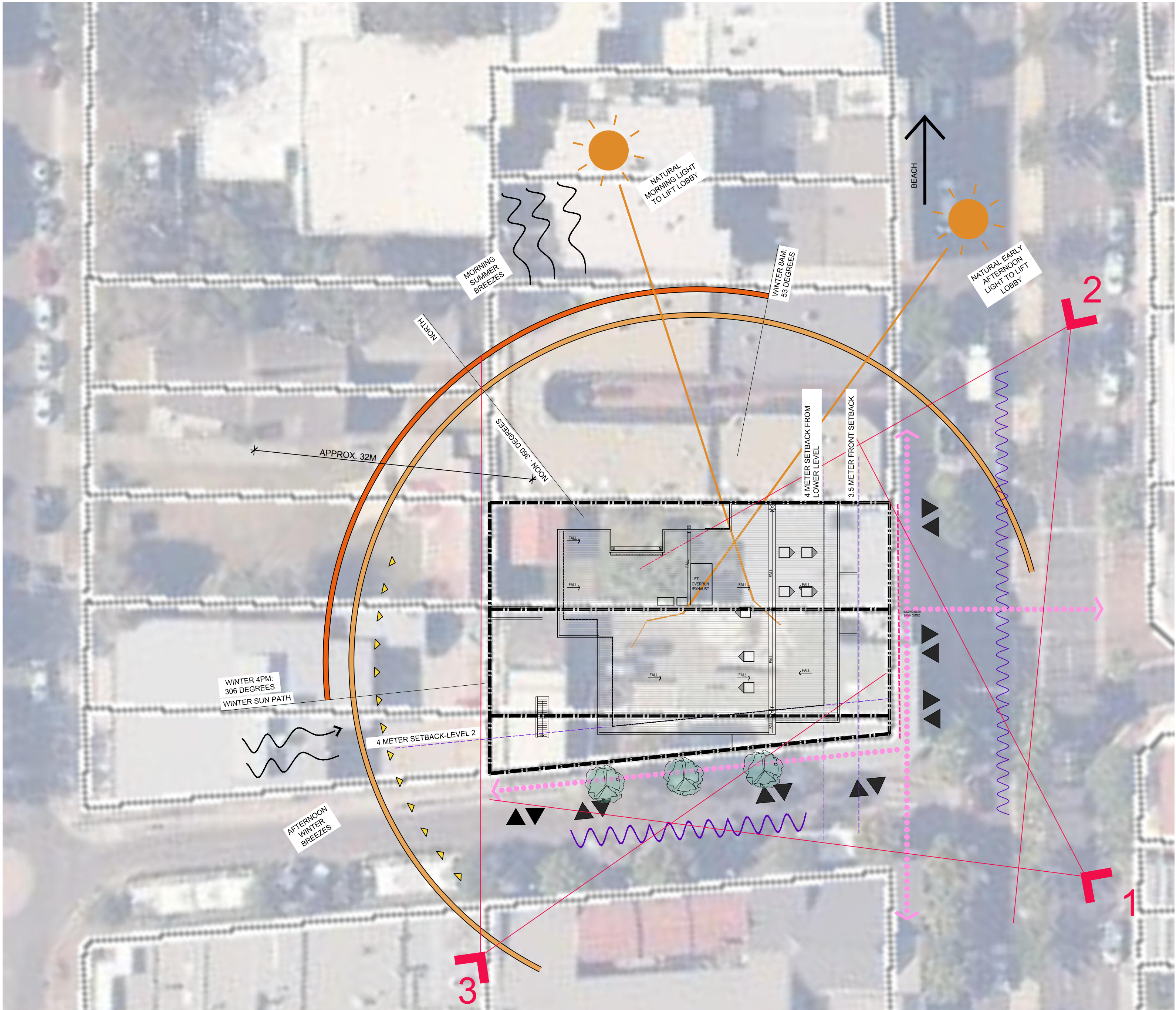
18057

A001

ISSUE

02





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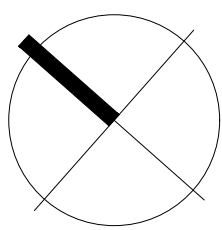
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SITE ANALYSIS



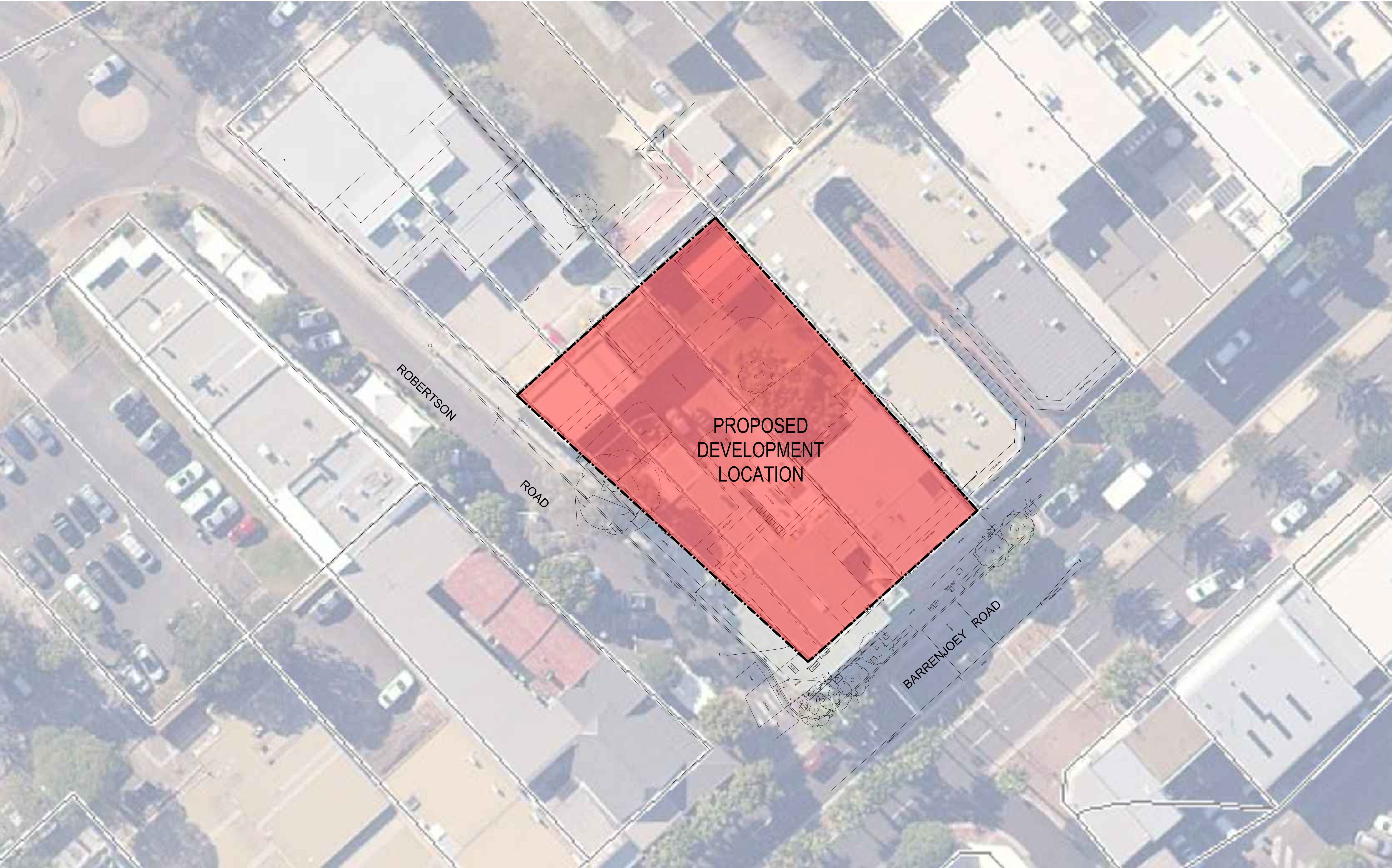
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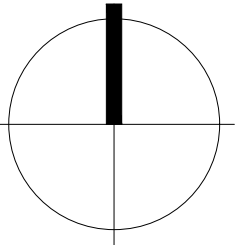
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LOT 65 & 66 SEC 5 DP 6248

TITLE
SITE LOCATION
PLAN



SCALE 1:100 @ A1

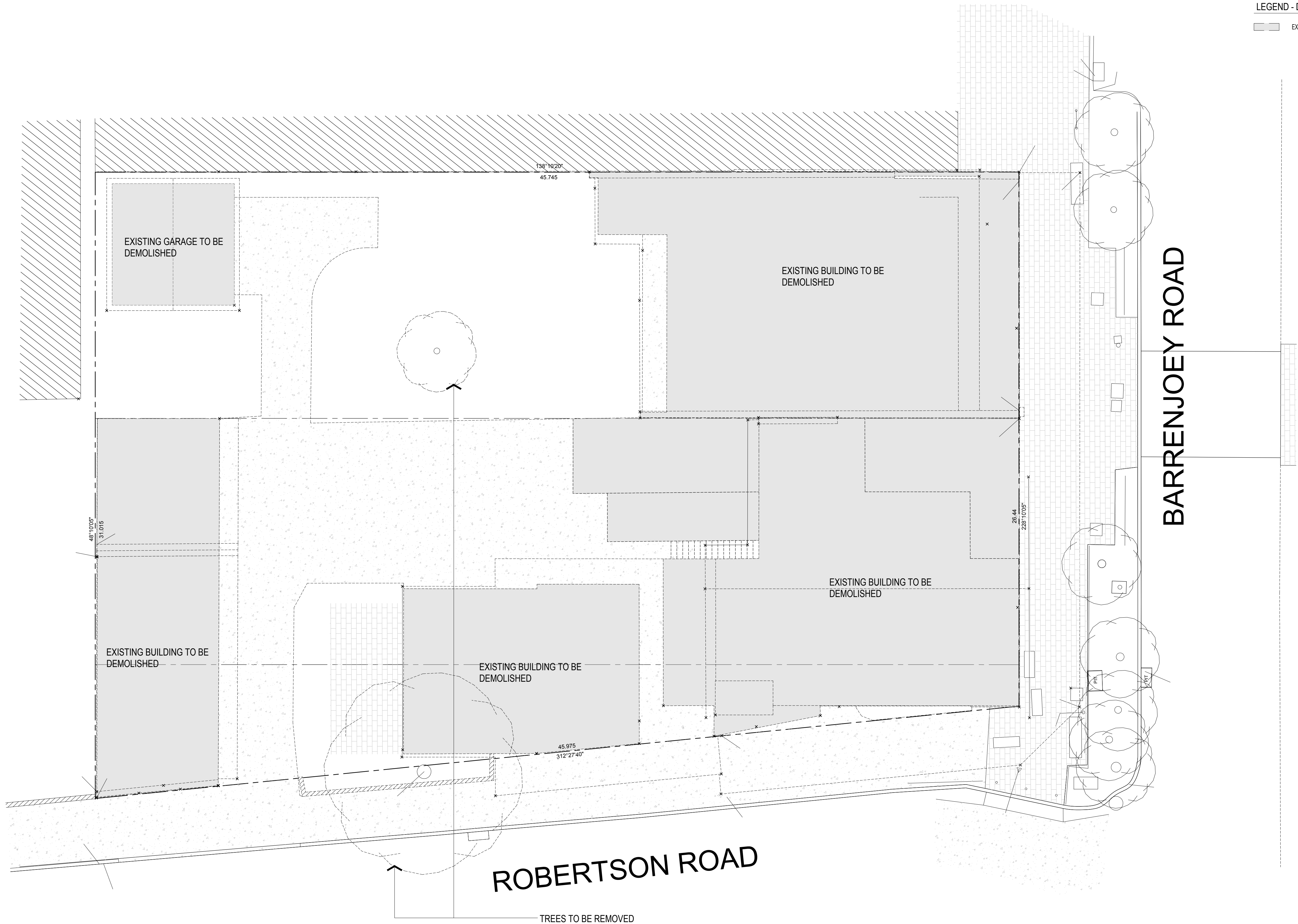
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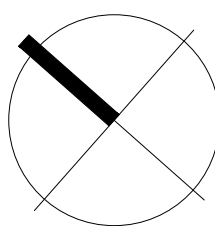
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351-353 BARRENJOEY ROAD, NEWPORT NSW 2106

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TITLE
DEMOLITION PLAN



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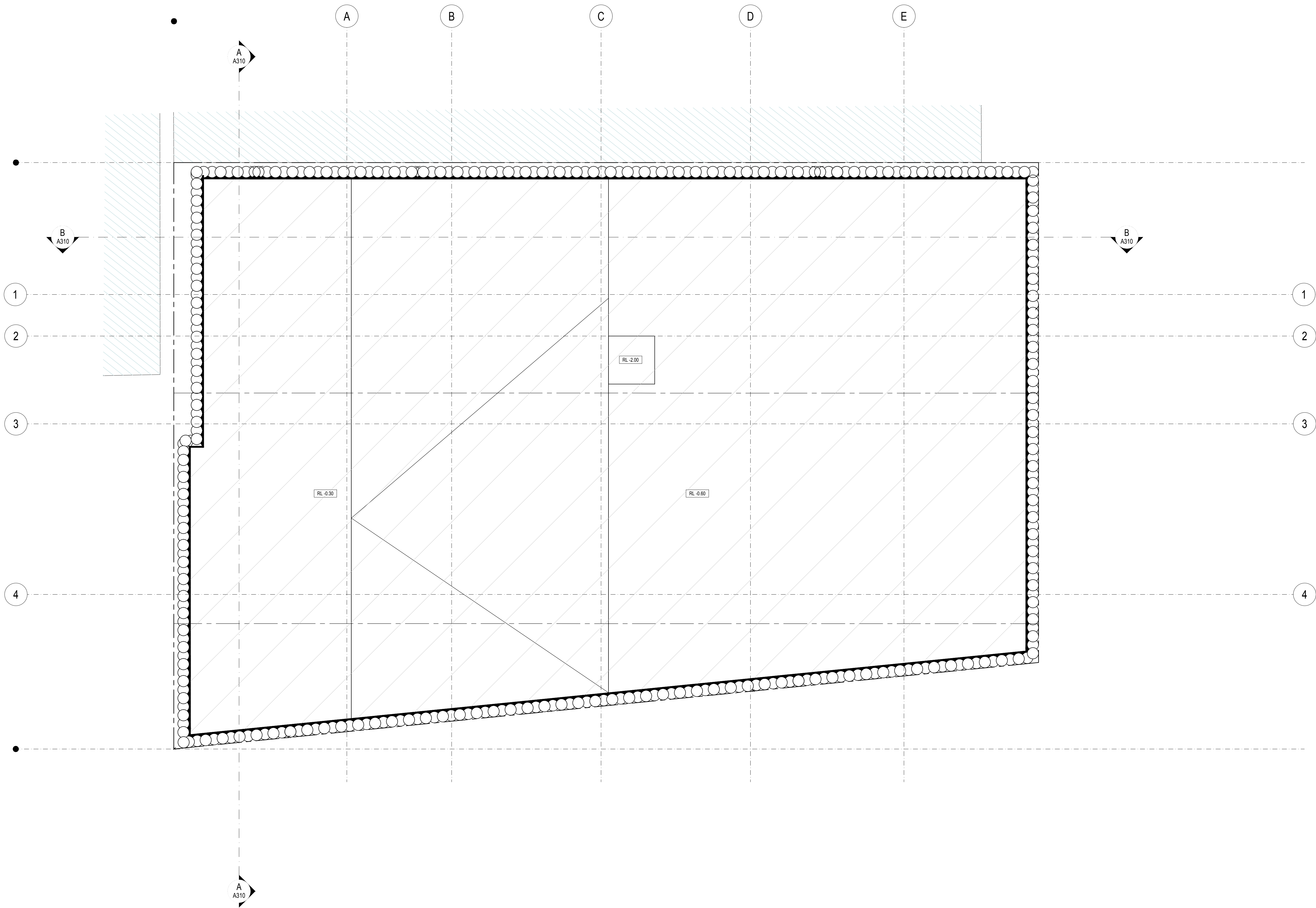
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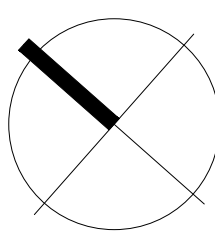
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TITLE
EXCAVATION PLAN



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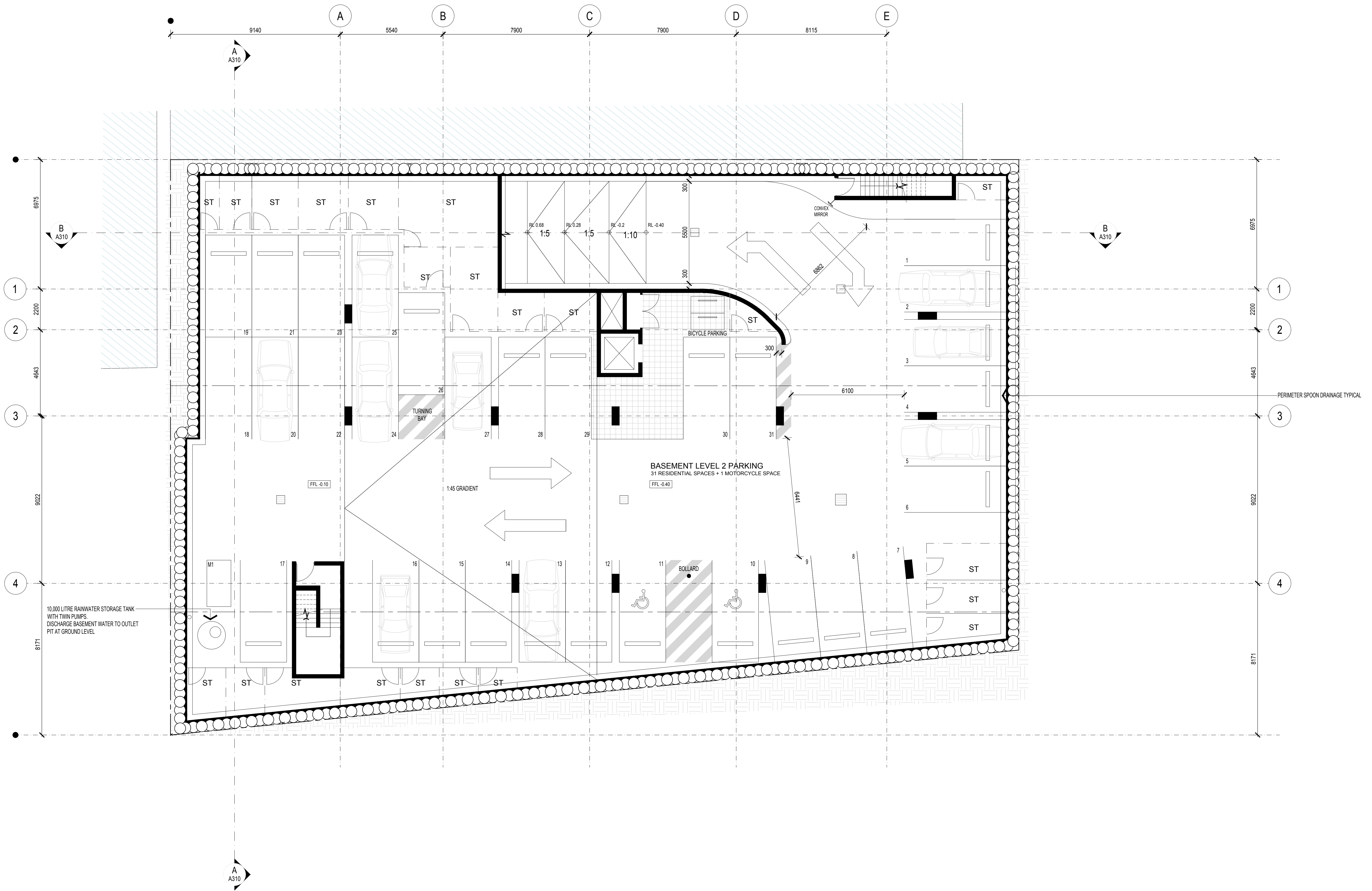
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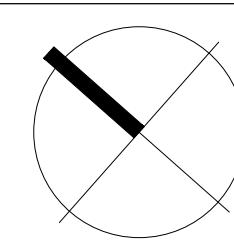
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07	20.04.21	STORM WATER ADAPTATION
06	20.03.06	ISSUED TO COUNCIL
05	20.03.06	ISSUED TO CONSULTANT
04	20.03.02	DWG ISSUED TO CONSULTANTS
03	20.02.29	ISSUED TO CLIENT
02	20.02.18	ISSUED TO CONSULTANT
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TITLE
BASEMENT 2 FLOOR PLAN



SCALE: 1:100 @ A1

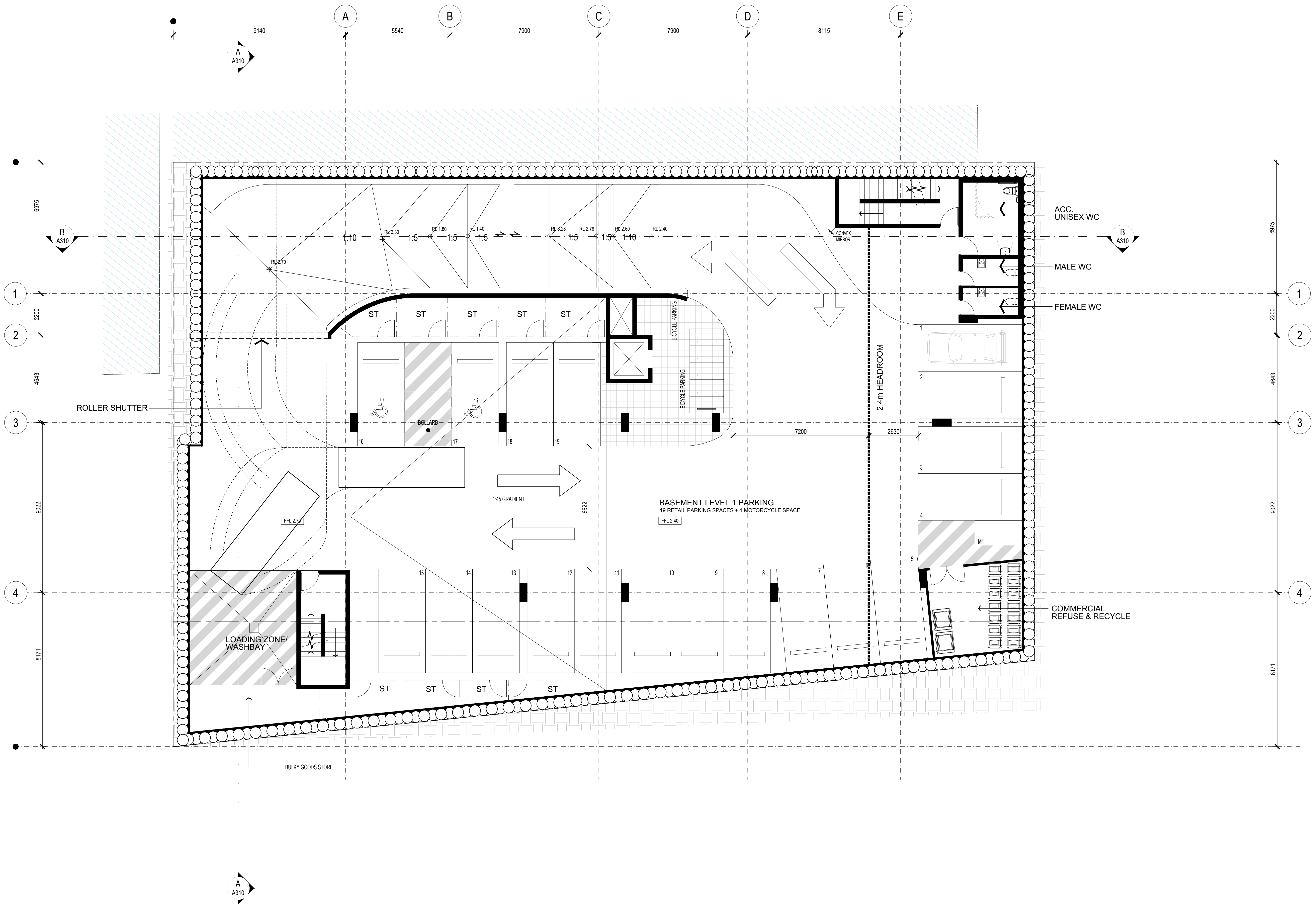
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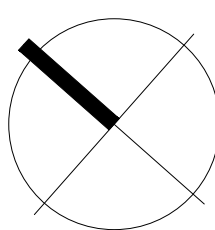
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07	20.04.21	STORM WATER ADAPTATION
06	20.03.06	ISSUED TO COUNCIL
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04	20.03.02	DWG ISSUED TO CONSULTANTS
03	20.02.29	ISSUED TO CLIENT
02	20.02.18	ISSUED TO CONSULTANT
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TITLE
BASEMENT 1 FLOOR PLAN



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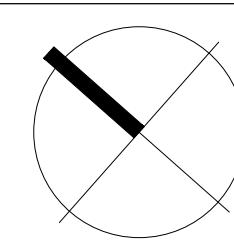
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11	20.05.01	REVISED ISSUE
10	20.04.27	ISSUE TO CONSULTANT
09	20.04.21	STORM WATER ADAPTATION

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PROJECT
MIXED USE DEVELOPMENT

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TITLE
GROUND FLOOR PLAN



SCALE
1:100 @ A1

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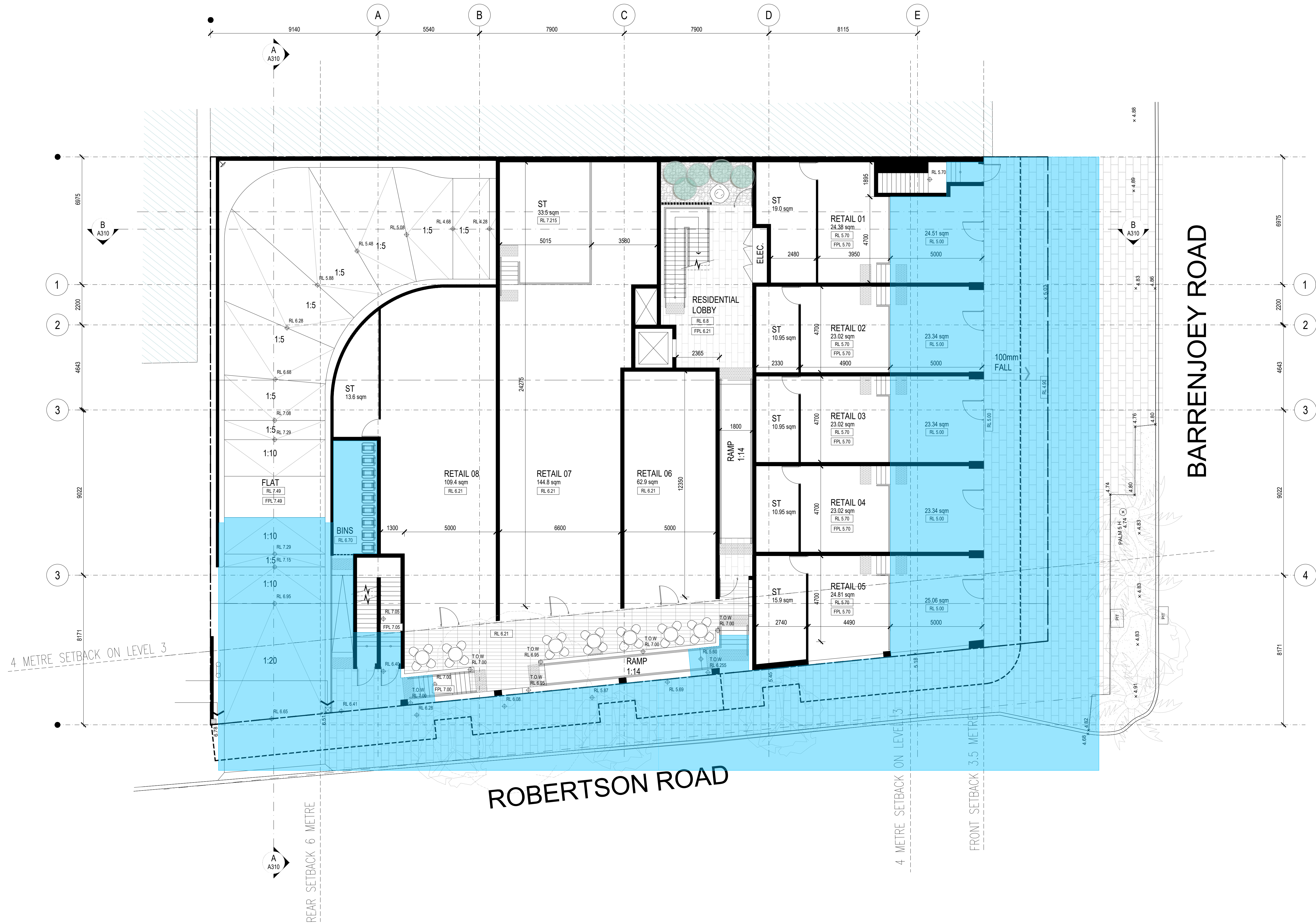
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11

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WATER FLOOD



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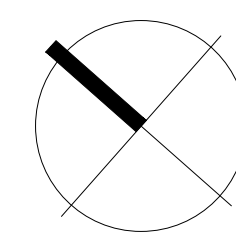
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DEVELOPMENT LINK

PROJECT
MIXED USE DEVELOPMENT

351-353 BARRENJOEY ROAD, NEWPORT NSW 2106
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TITLE
GROUND FLOOR
FLOODING DIAGRAM



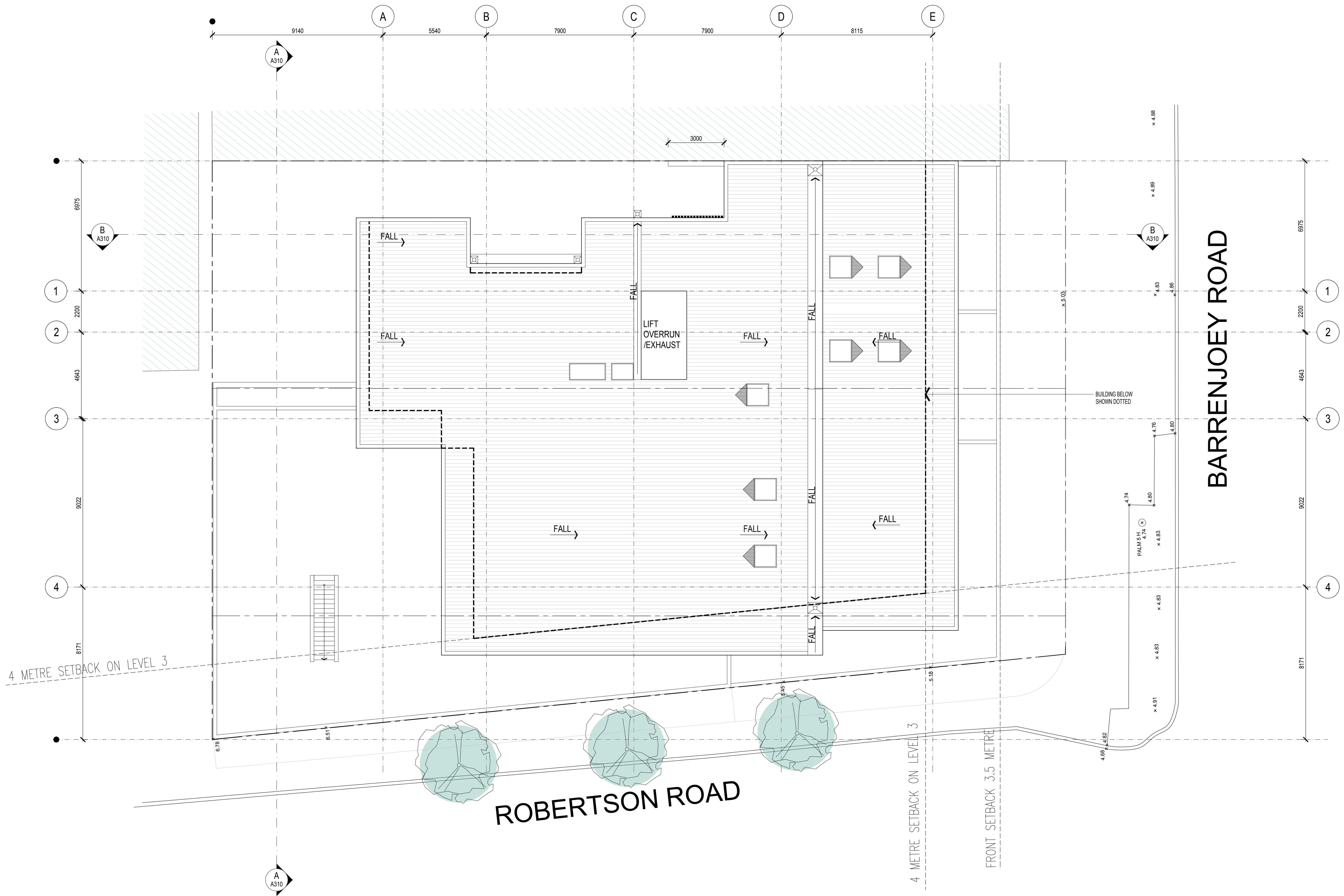
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A102B 01

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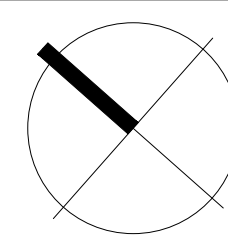
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08	20.04.21	STORM WATER ADAPTATION
07	20.04.09	ISSUED TO CONSULTANT
06	20.03.06	ISSUED TO COUNCIL
05	20.03.06	ISSUED TO CONSULTANT

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DEVELOPMENT LINK

PROJECT
MIXED USE DEVELOPMENT

351-353 BARRENJOEY ROAD, NEWPORT NSW 2106
LOT 65 & 66 SEC 5 DP 6248

TITLE
ROOF PLAN



SCALE
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PROJECT NUMBER
18057

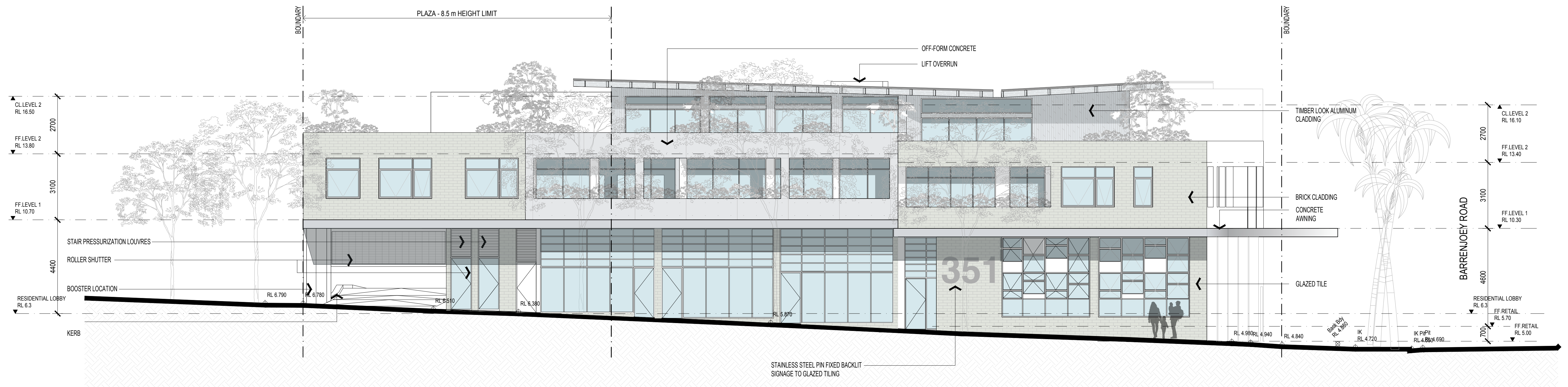
DRAWING NUMBER

A105

ISSUE

10

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STREET ELEVATION / ROBERTSON ROAD



STREET ELEVATION / ROBERTSON ROAD

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	07	20.04.27	ISSUE TO CONSULTANT
	06	20.04.21	STORM WATER ADAPTATION
	05	20.04.09	ISSUED TO CONSULTANT
	04	20.03.06	ISSUED TO COUNCIL
	03	20.03.06	ISSUED TO CONSULTANT
	02	20.02.20	ISSUED TO CLIENT
	01	19.10.15	DA ISSUE
	00		AMENDMENTS
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CLIENT
DEVELOPMENT LINK

PROJECT
MIXED USE DEVELOPMENT

351-353 BARRENJOEY ROAD, NEWPORT NSW 2106
LOT 65 & 66 SEC 5 DP 6248

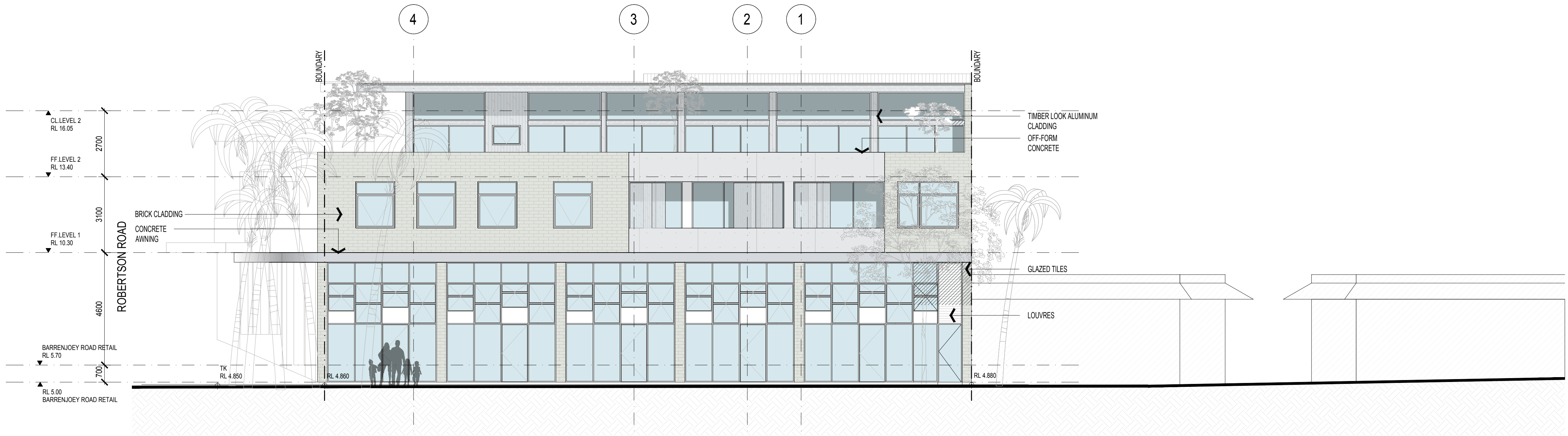
TITLE
SOUTH ELEVATION

SCALE: 1:100 @ A1
APPROVED: MN
DRAWN: PG
CHECKED: PG
DATE: JAN 2019
STATUS: DA

PROJECT NUMBER: 18057
DRAWING NUMBER: A300

ISSUE: 08

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STREET ELEVATION / BARRENJOEY ROAD



STREET ELEVATION / BARRENJOEY ROAD

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ISSUE	DATE	AMENDMENTS
06	20.04.27	ISSUE TO CONSULTANT
05	20.04.21	STORM WATER ADAPTATION
04	20.03.06	ISSUED TO COUNCIL
03	20.03.06	ISSUED TO CONSULTANT
02	20.02.20	ISSUED TO CLIENT
01	19.10.15	DA ISSUE

CLIENT
DEVELOPMENT LINK

PROJECT
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351-353 BARRENJOEY ROAD, NEWPORT NSW 2106
LOT 65 & 66 SEC 5 DP 6248

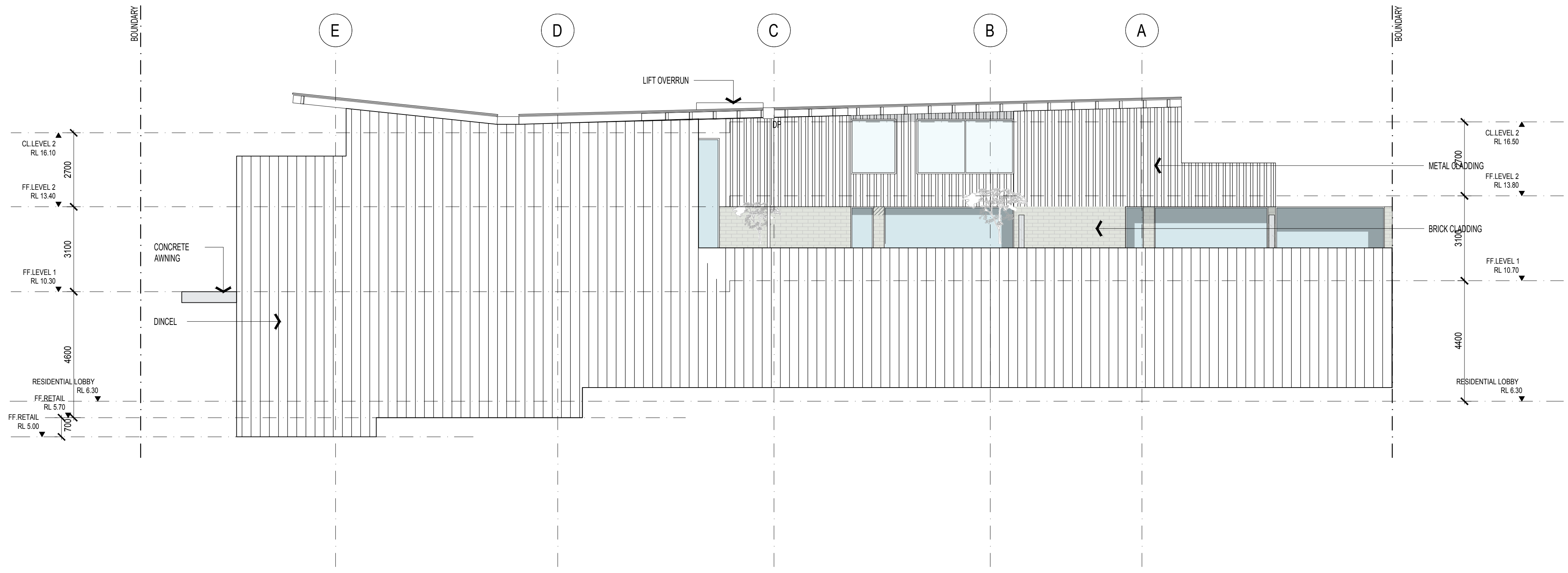
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DRAWN: PG
CHECKED: PG
DATE: JAN 2019
STATUS: DA

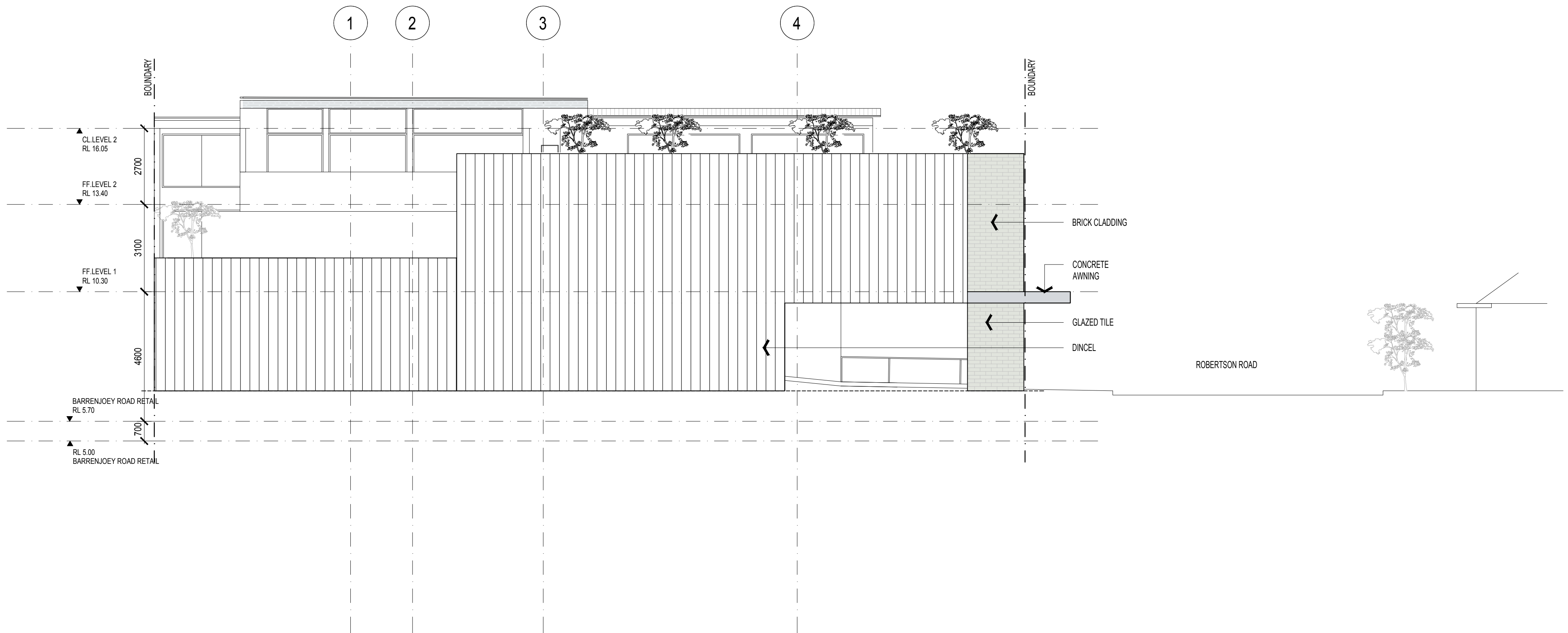
PROJECT NUMBER: 18057
DRAWING NUMBER: A301

ISSUE: 06





NORTH ELEVATION



WEST ELEVATION

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05	20.04.09	ISSUED TO CONSULTANT
04	20.03.06	ISSUED TO COUNCIL
03	20.03.06	ISSUED TO CONSULTANT
02	20.02.20	ISSUED TO CLIENT
01	19.10.15	DA ISSUE

CLIENT
DEVELOPMENT LINK

PROJECT
MIXED USE DEVELOPMENT

351-353 BARRENJOEY ROAD, NEWPORT NSW 2106
LOT 65 & 66 SEC 5 DP 6248

TITLE
NORTH AND WEST
ELEVATIONS

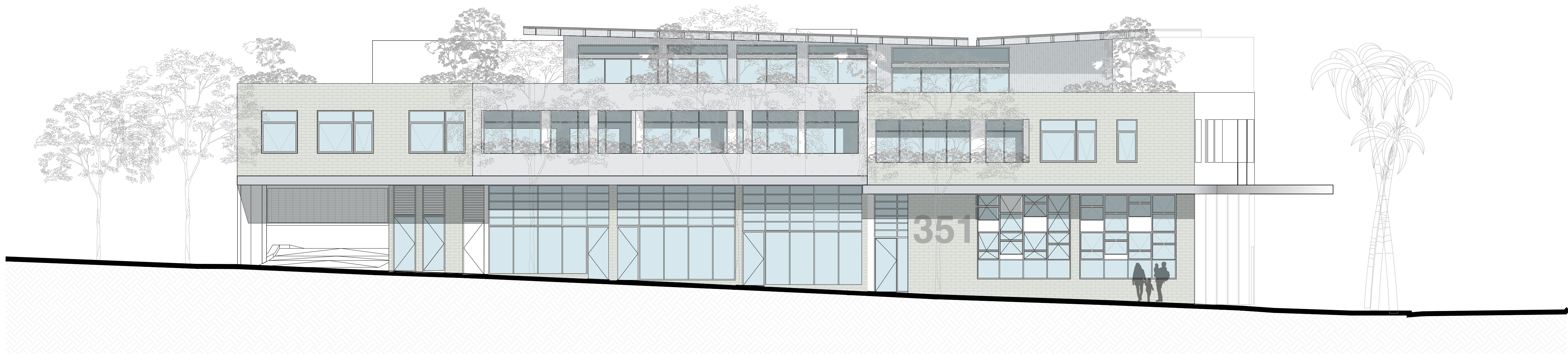
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APPROVED MN
DRAWN PG
CHECKED PG
DATE JAN 2019
STATUS DA

PROJECT NUMBER 18057
DRAWING NUMBER

A302

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07

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ISSUE	DATE	AMENDMENTS

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DEVELOPMENT LINK

PROJECT
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351-353 BARRENJOEY ROAD, NEWPORT NSW 2106

LOT 65 & 66 SEC 5 DP 6248

TITLE
MATERIAL AND FINISHES

SCALE 1:100 @ A1

APPROVED HH
DRAWN PG
CHECKED
DATE JAN 2019
STATUS DA

PROJECT NUMBER
18057

DRAWING NUMBER

A320

ISSUE

02

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BEFORE



AFTER

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ISSUE	DATE	AMENDMENTS

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LOT 65 & 66 SEC 5 DP 6248

TITLE
BEFORE & AFTER
PHOTOMONTAGE

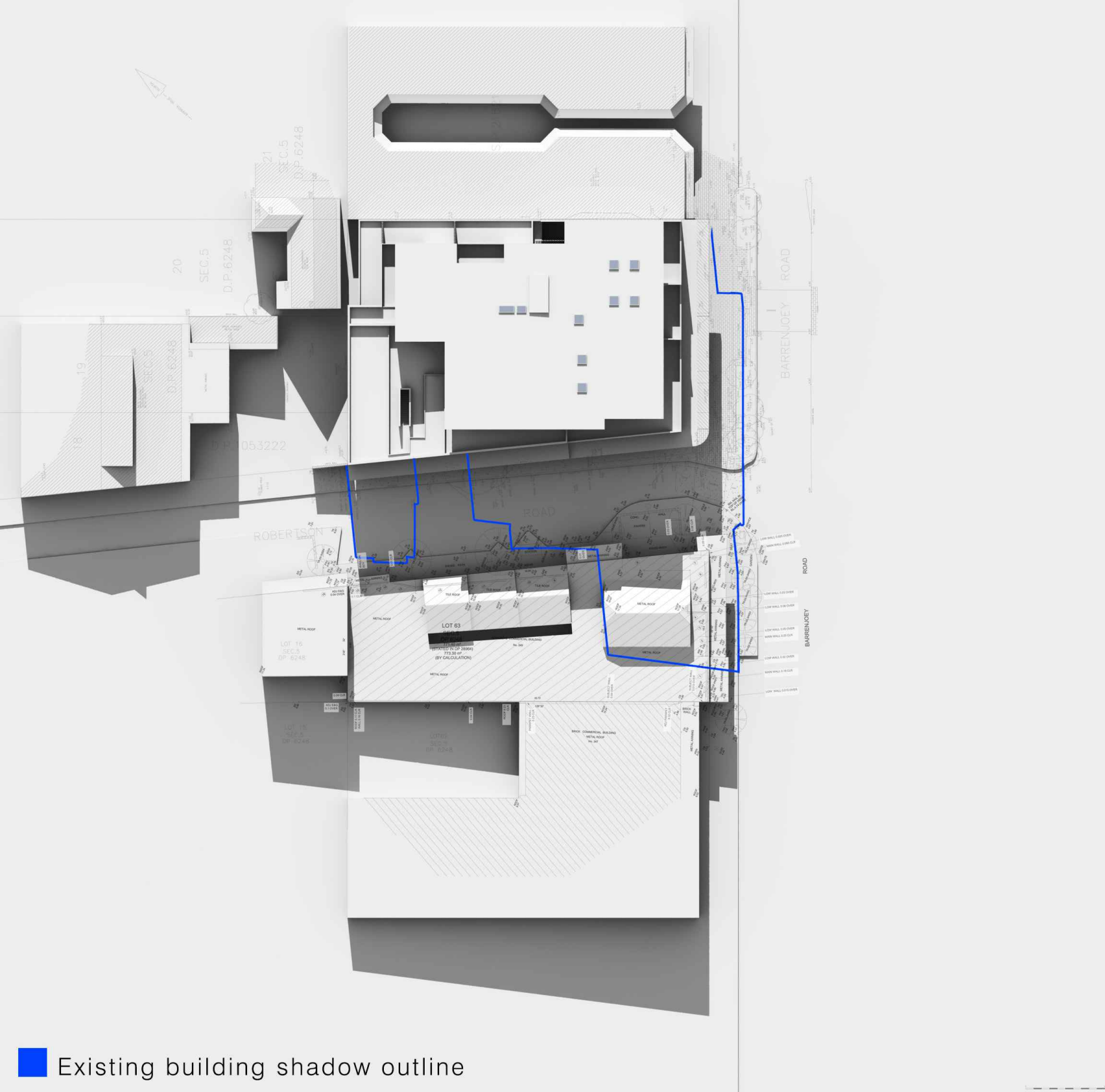
SCALE -
APPROVED
DRAWN HH
CHECKED PG
DATE JAN 2019
STATUS DA

PROJECT NUMBER
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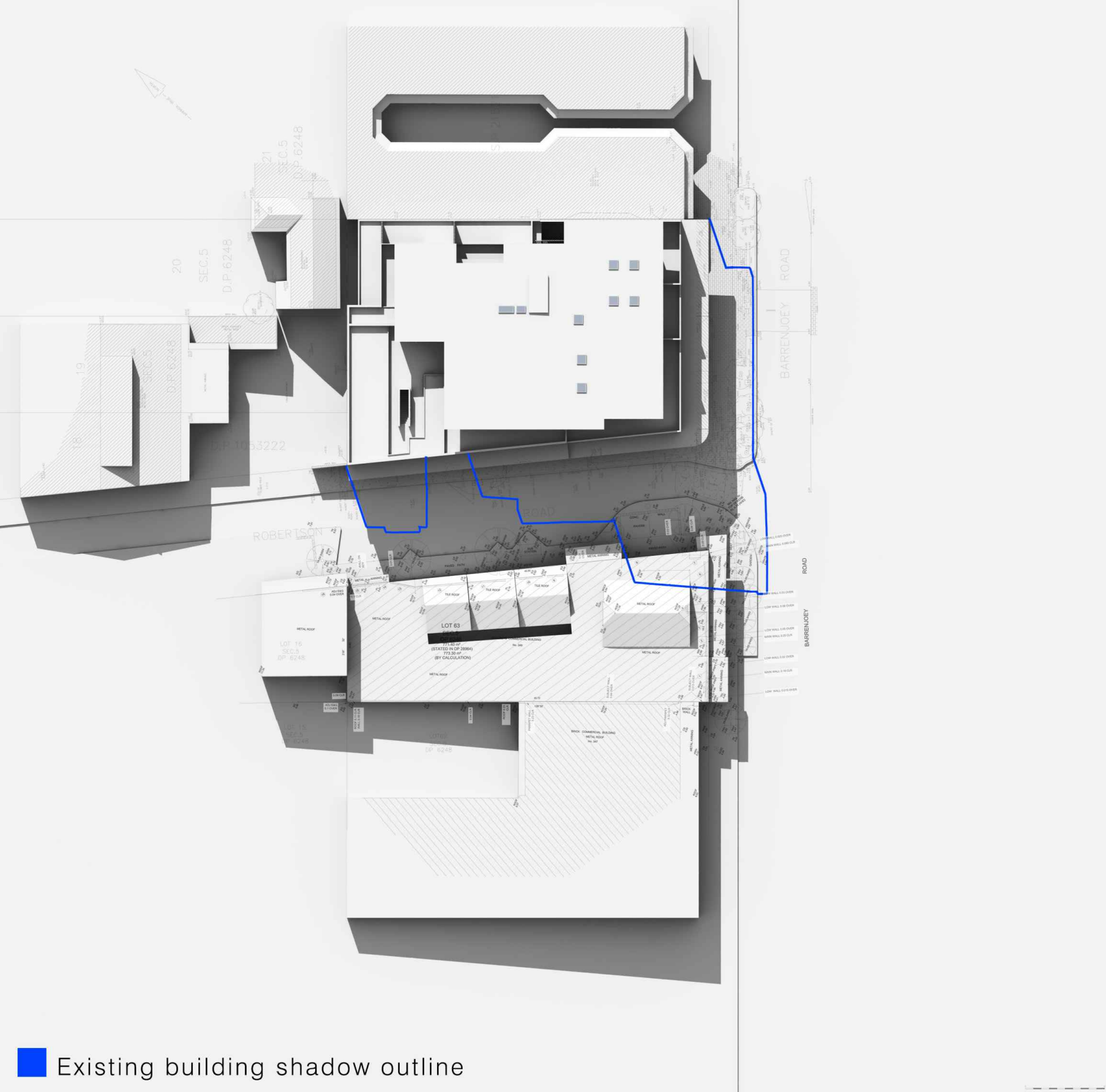
DRAWING NUMBER
A321

ISSUE
02





9:00am
21th JUNE



10:00am
21th JUNE



11:00am
21th JUNE

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02	20.05.04	REVISED DA ISSUE
01	19.10.15	DA ISSUE
ISSUE	DATE	AMENDMENTS

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DEVELOPMENT LINK

PROJECT
MIXED USE DEVELOPMENT
351-353 BARRENJOEY ROAD, NEWPORT NSW 2106
LOT 65 & 66 SEC 5 DP 6248

TITLE
SHADOW DIAGRAMS
SHEET 01

SCALE NTS
APPROVED
DRAWN
CHECKED PG
DATE JAN 2019
STATUS DA

PROJECT NUMBER
18057

DRAWING NUMBER
A400

ISSUE
02

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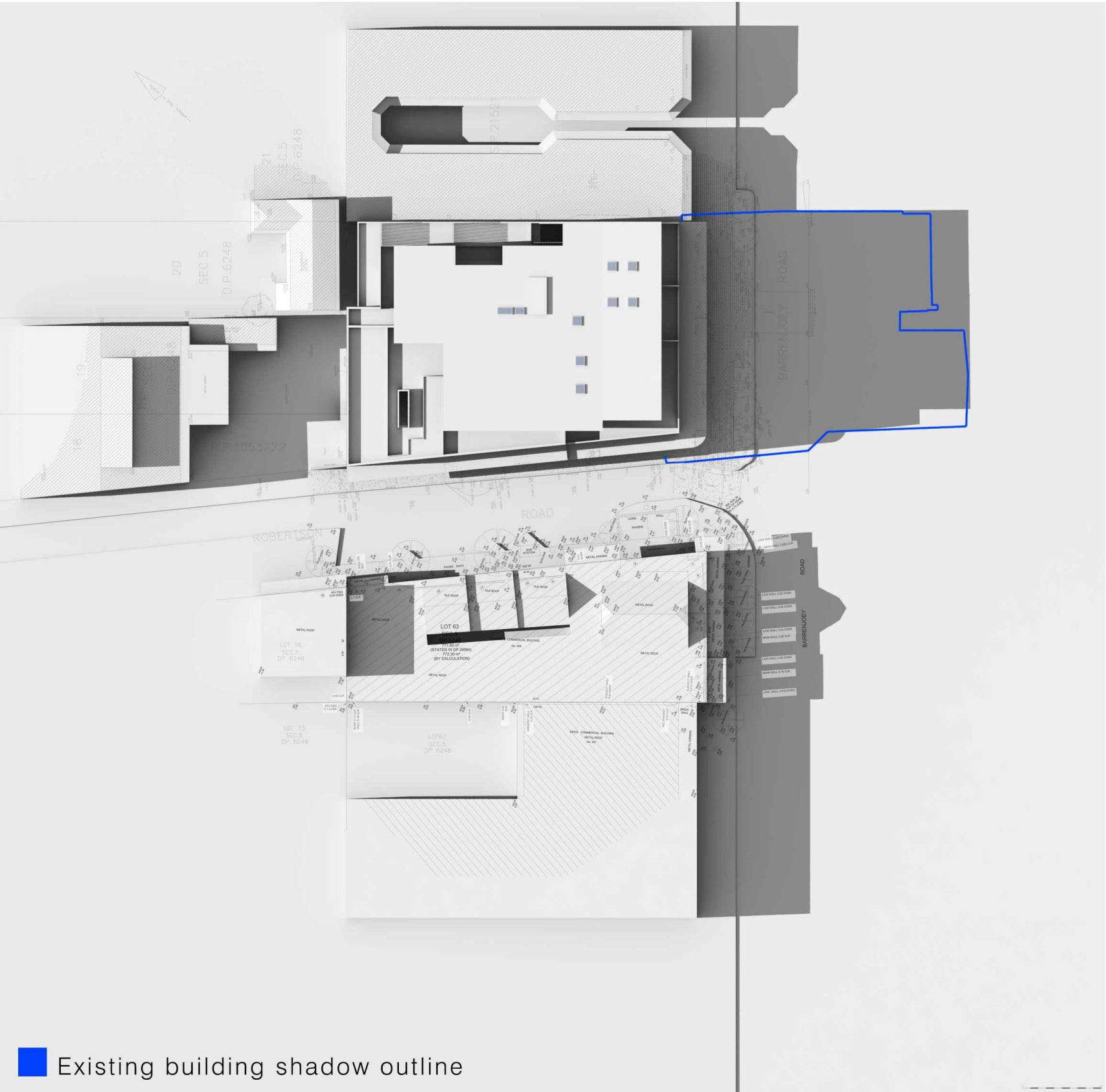
12:00pm
21th JUNE



1:00pm
21th JUNE



2:00pm
21th JUNE



3:00pm
21th JUNE

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351-353 BARRENJOEY ROAD, NEWPORT NSW 2106
LOT 65 & 66 SEC 5 DP 6248

TITLE
SHADOW DIAGRAMS
SHEET 02

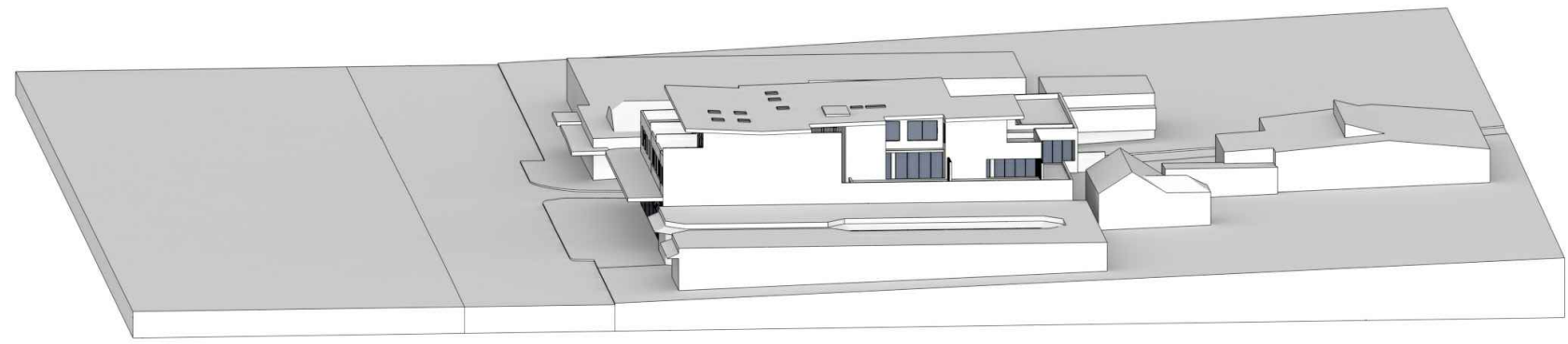
SCALE NTS
APPROVED
DRAWN
CHECKED PG
DATE JAN 2019
STATUS DA

PROJECT NUMBER
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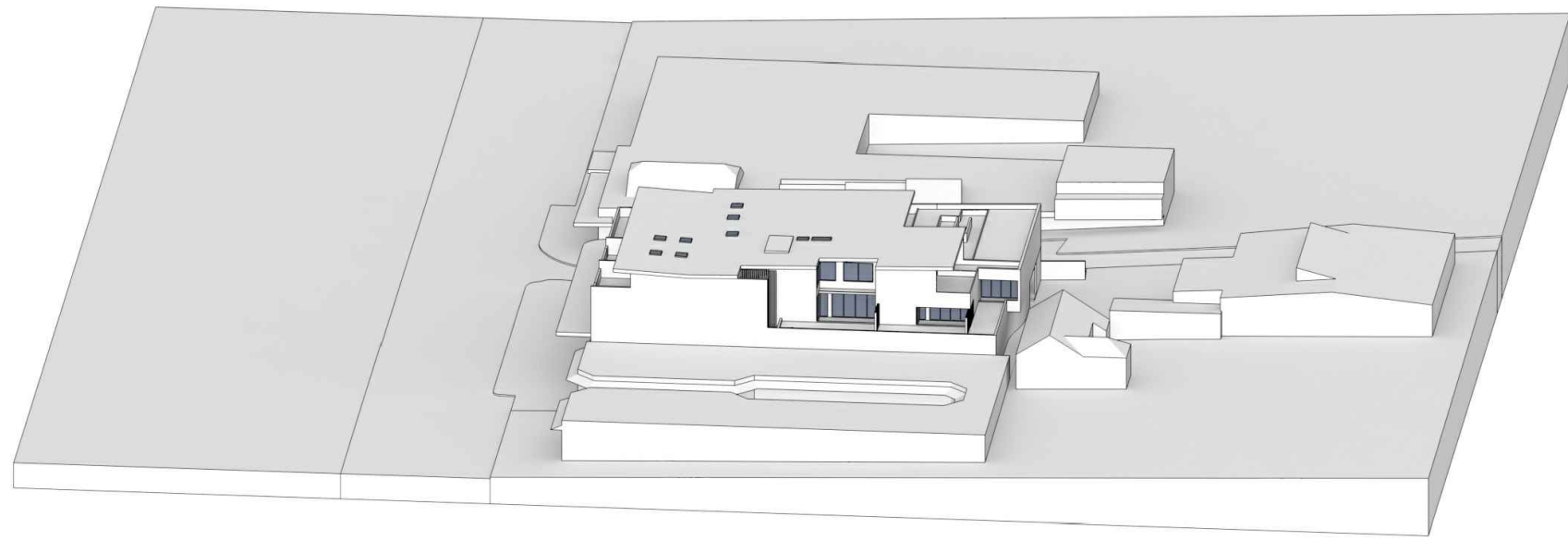
DRAWING NUMBER
A401

ISSUE
02

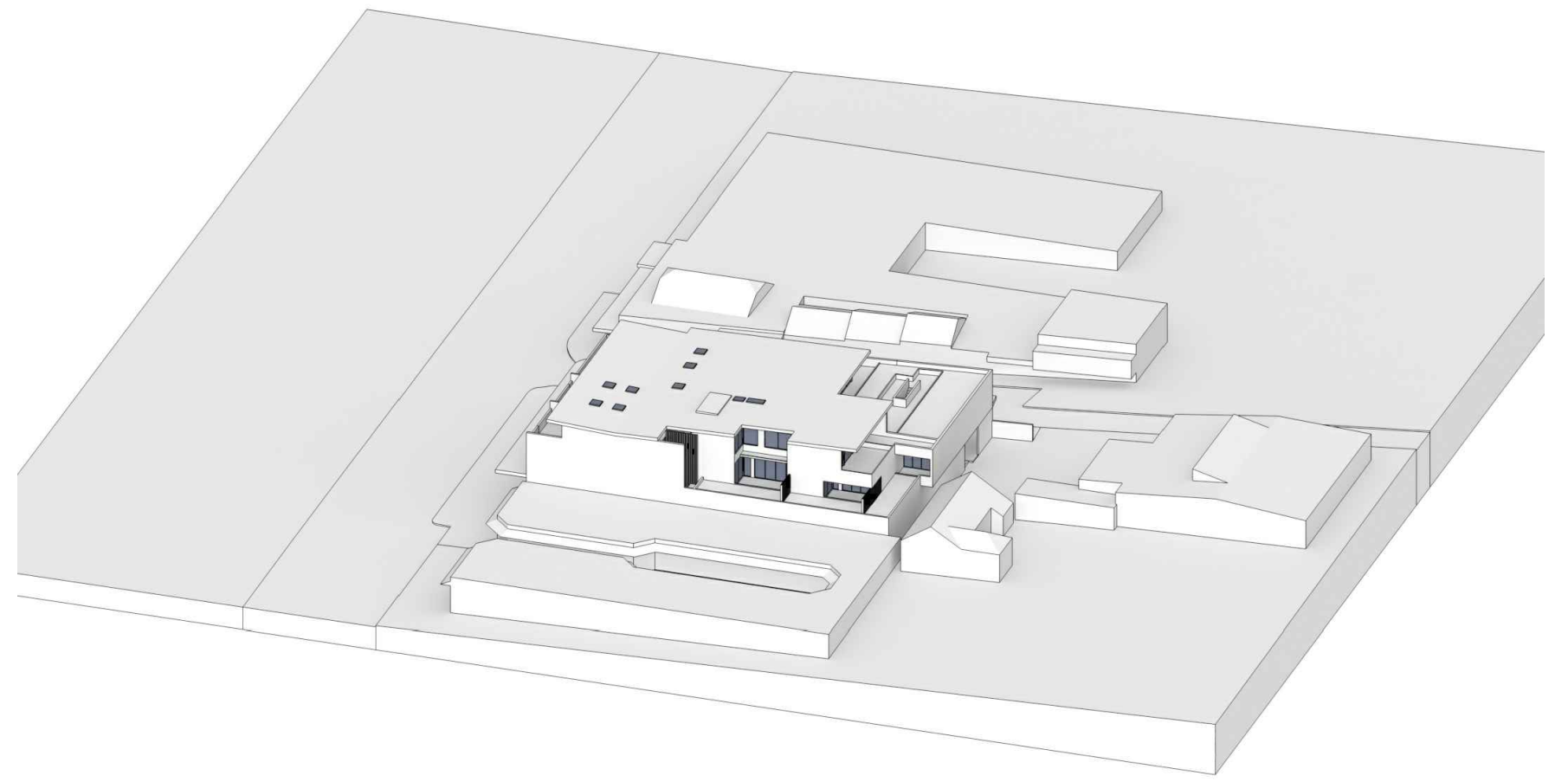
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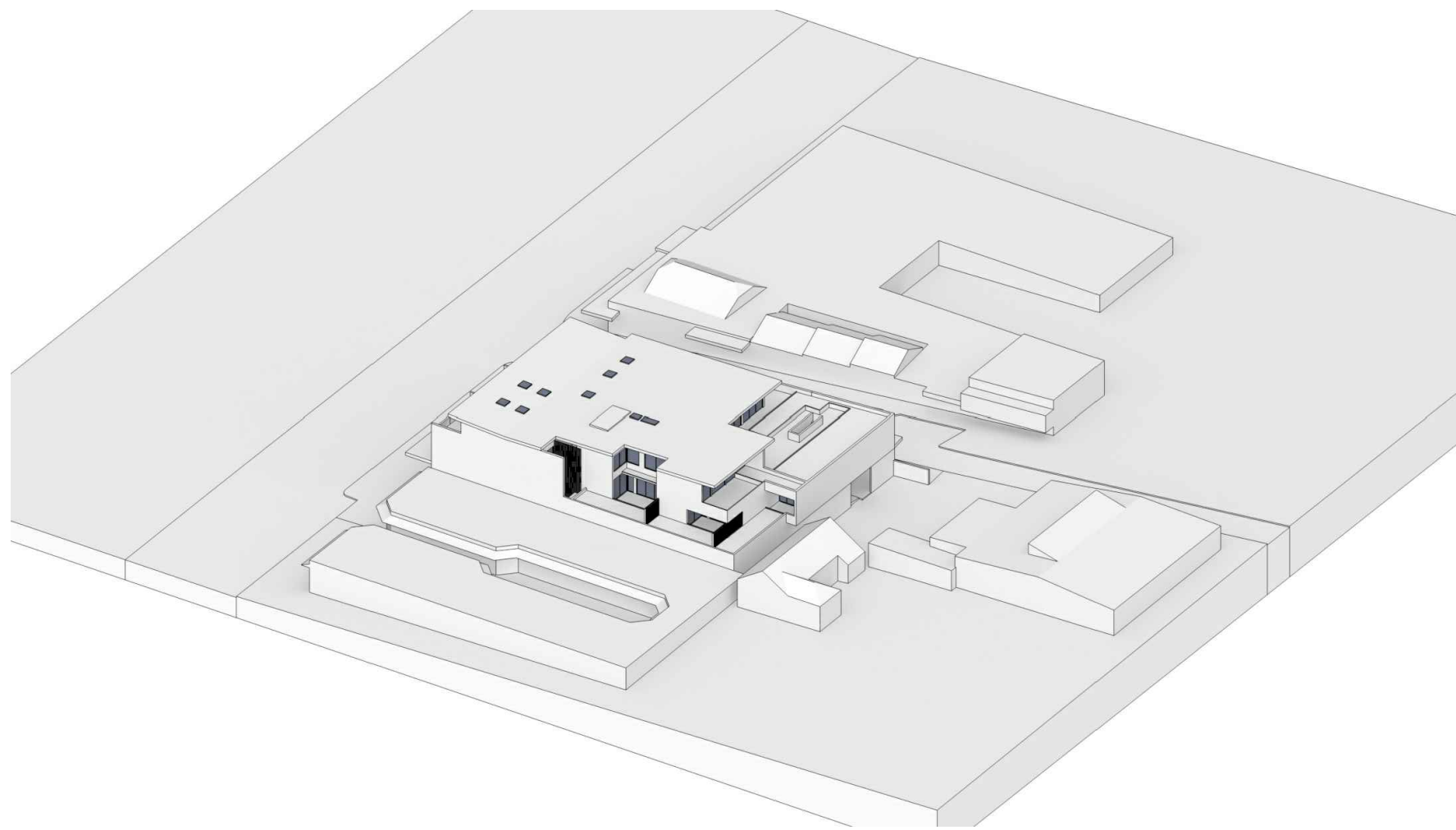
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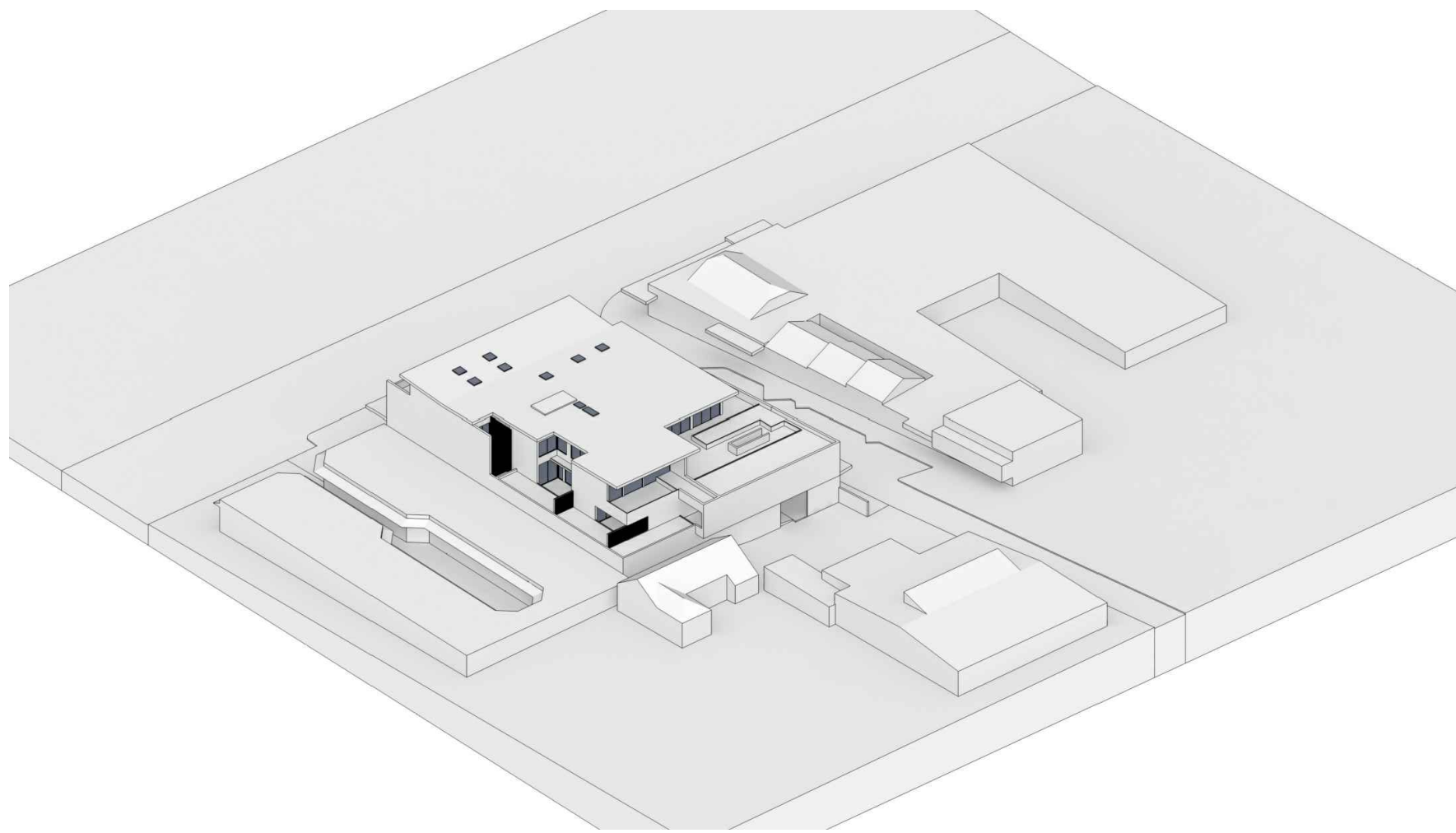
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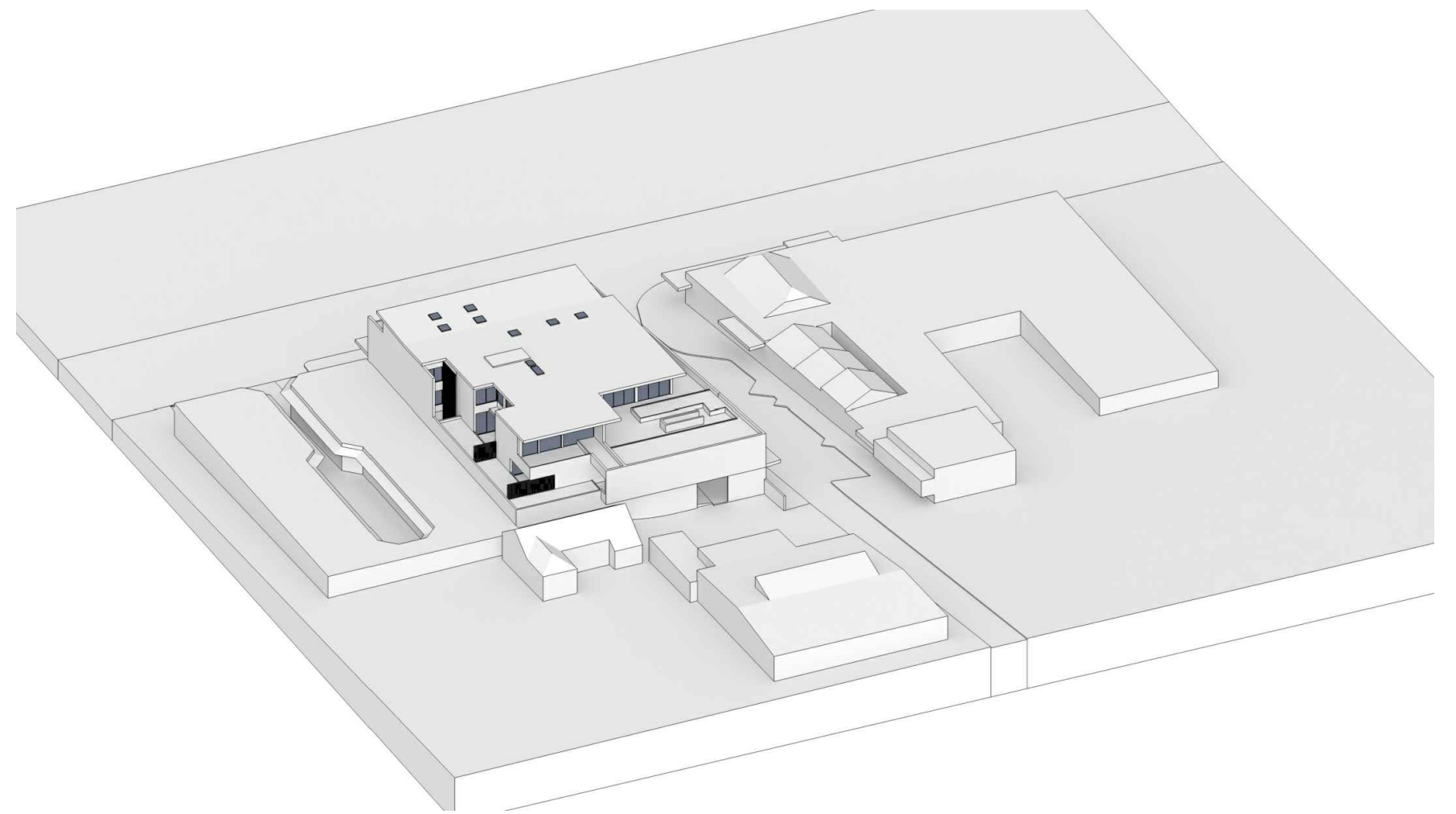
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11:00am



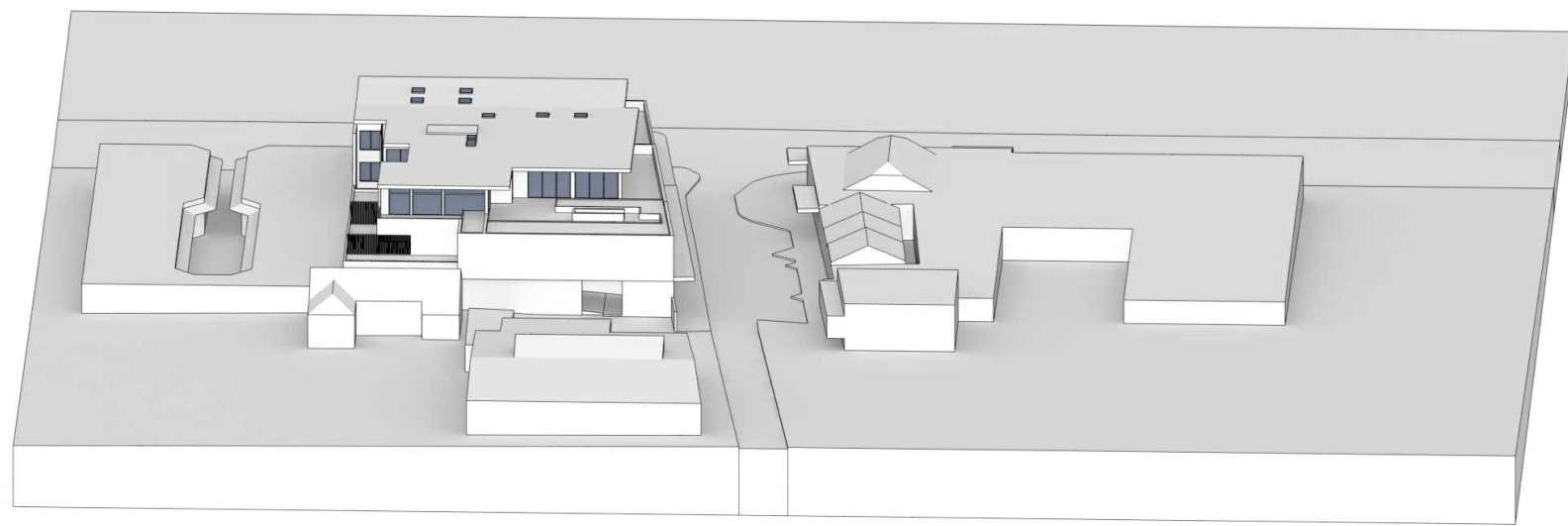
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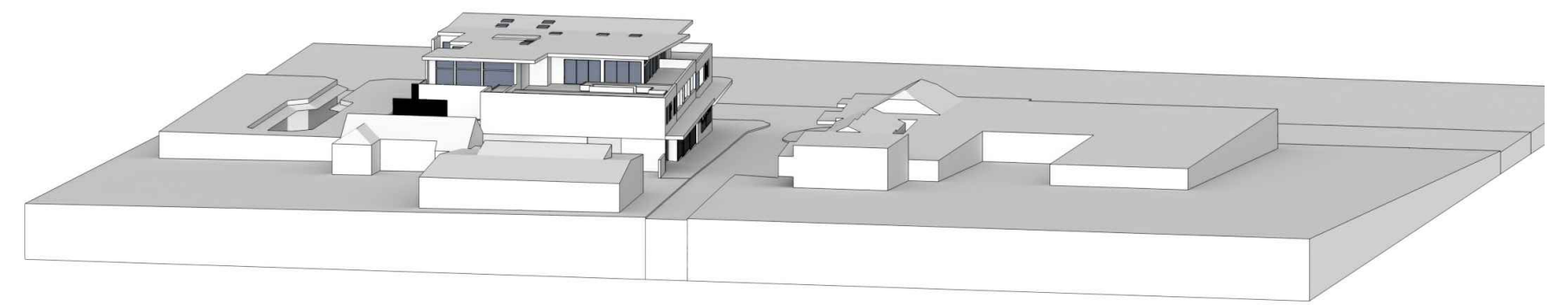
1:00pm



2:00pm



3:00pm



4:00pm

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01	19.10.15	DA ISSUE
ISSUE	DATE	AMENDMENTS

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PROJECT
MIXED USE DEVELOPMENT

351-353 BARRENJOEY ROAD, NEWPORT NSW 2106
LOT 65 & 66 SEC 5 DP 6248

TITLE
SOLAR STUDIES

SCALE
APPROVED
DRAWN
CHECKED
DATE
STATUS

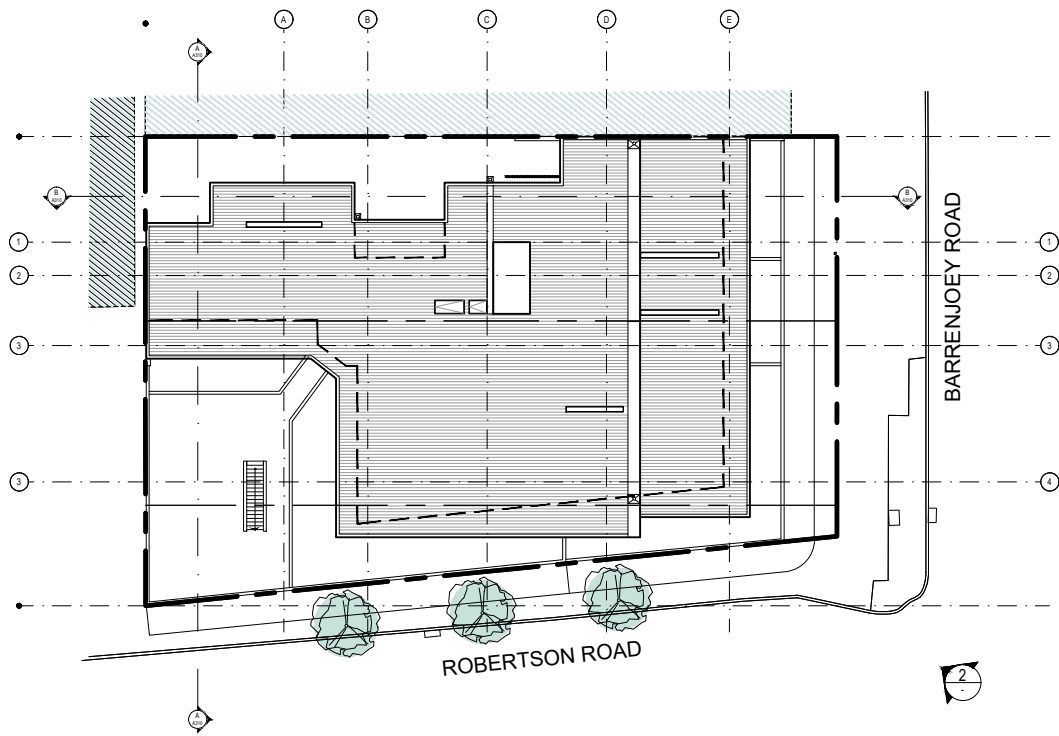
NTS
PG
JAN 2019
DA

PROJECT NUMBER
18057

DRAWING NUMBER
A405

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02

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1 SITE & ROOF PLAN



2 PHOTOMONTAGE

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ISSUE	DATE	AMENDMENTS

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LOTS 65,66 - D.P.6248
351-353 Barrenjoey Rd
TITLE
NOTIFICATION PLAN



PROJECT NUMBER		DRAWING NUMBER	
18057		N 01	
APPROVED	SCALE N.T.S.	ISSUE	
DRAWN -	DATE 2019		01
CHECKED	STATUS DA		

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MIXED USE DEVELOPMENT

351-353 Barrenjoey Road, Newport NSW 2106

Development Application

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Drawing Schedule

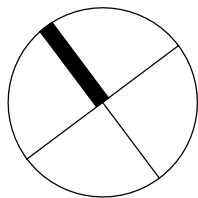
Drawing Number	Drawing Title	Scale
000	Landscape Coversheet	N/A
101	Landscape Plan - Ground Floor & Level 1	1:100
102	Landscape Plan - Level 2	1:100
501	Landscape Details	AS SHOWN

PLANT SCHEDULE

Botanic Name		Common Name	Mature Size	Pot Size	Density	Qty
GROUND FLOOR						
STREET TREES						
TL	Tristaniopsis 'Luscious'	Water Gum	9 x 7	75L	As Shown	3
SHRUBS & ACCENTS						
Ae	Aspidista elatior	Cast Iron Plant	.7 x .7	300mm	As Shown	6
PX	Philodendron 'Xanadu'	Xanadu Philodendron	1 x 1	300mm	As Shown	4
Ss	Spathiphyllum 'Sensation'	Peace Lily	1 x 1	300mm	As Shown	8
GRASSES & GROUND COVERS						
DSF	Dichondra Silver Falls	Silver Falls	.1 x .7	300mm	4/lm	36
LEVEL 1						
TREES						
TL	Tristaniopsis 'Luscious'	Water Gum	9 x 7	75L	As Shown	3
SHRUBS & ACCENTS						
AsM	Acmena smithii var. Minor	Dwarf Lilly Pilly	3 x 2	300mm	As Shown	41
Mc	Macrozamia communis	Cycad	2 x 2	300mm	As Shown	6
Wf	Westringia fruticosa 'Aussie Box'	Aussie Box	0.9 x 0.9	300mm	As shown	16
GRASSES & GROUND COVERS						
TJ	Trachelospermum jasminoides	Star Jasmine	0.4 x 1.5	150mm	4/lm	135
LEVEL 2						
TREES						
TL	Tristaniopsis 'Luscious'	Water Gum	9 x 7	75L	As Shown	4
SHRUBS & ACCENTS						
Aa	Agave attenuata	Agave	1 x 1	300mm	As Shown	5
AI	Alcantarea imperialis 'Rubra'	Imperial Bromeliad	1 x 1	300mm	As shown	11
AsM	Acmena smithii var. Minor	Dwarf Lilly Pilly	3 x 2	300mm	As Shown	53
Ri	Raphiolepis indica 'Oriental Pearl'	Indian Hawthorne	1 x 1	300mm	As shown	19
GRASSES & GROUND COVERS						
Cg	Carpobrotus glaucascens	Pig Face	0.2 x 1	150mm	4/lm	122
LEG	Lirope muscari 'Evergreen Giant'	Lirope	0.6 x 0.5	150mm	5/m2	7
LT	Lomandra 'Tanika'	Spiny-head mat-rush	0.5 x 1	150mm	5/m2	10

C	STREET TREES ADDED	JM	NM	24.09.2019
B	FOR COMMENT	SM	NM	29.08.2019
A	FOR COMMENT	SM	NM	29.08.2019
Issue	Revision Description	Drawn	Check	Date

LEGEND



Client:
DEVELOPMENT LINK

Project:
Mixed Use Development
351-353 Barrenjoey Road
Newport NSW 2106

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Landscape Architects

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Drawing Name:
Landscape Coversheet

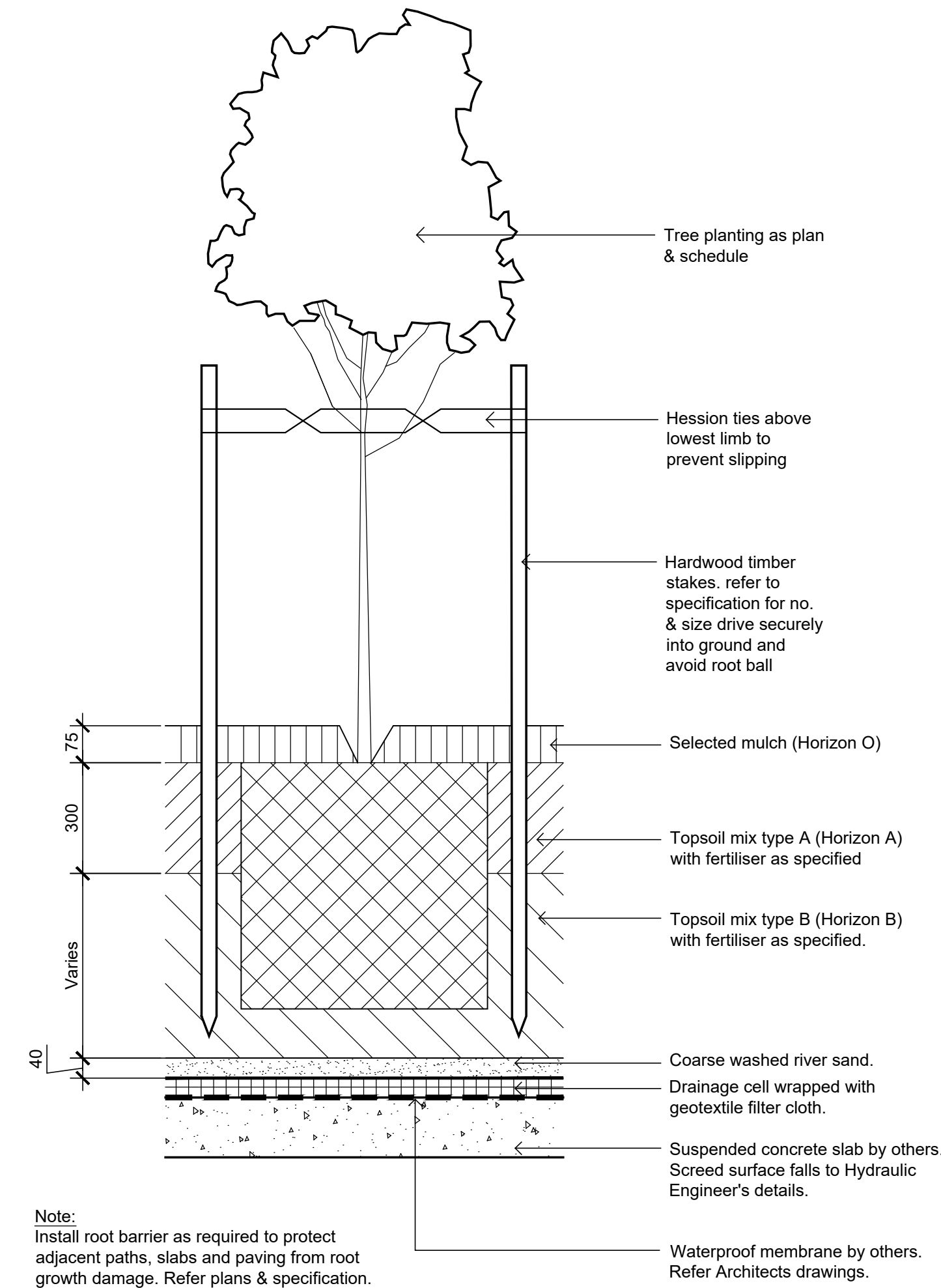
Scale:
Job Number:
Drawing Number:
Issue:
SS19-4170
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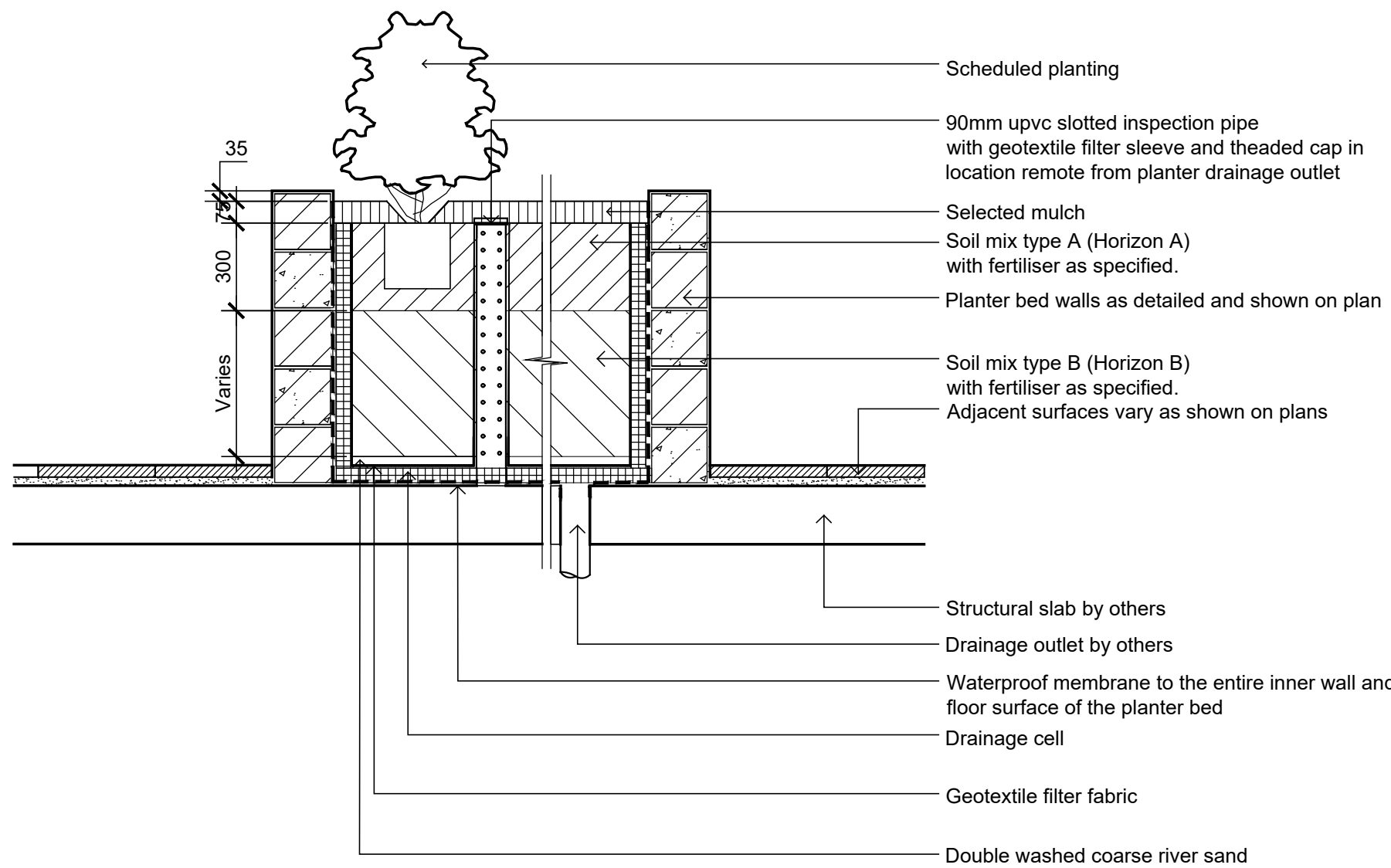
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C	STREET TREES ADDED	JM	NM	24.09.2019
B	FOR COMMENT	SM	NM	29.08.2019
A	FOR COMMENT	SM	NM	29.08.2019
Issue	Revision Description	Drawn	Check	Date

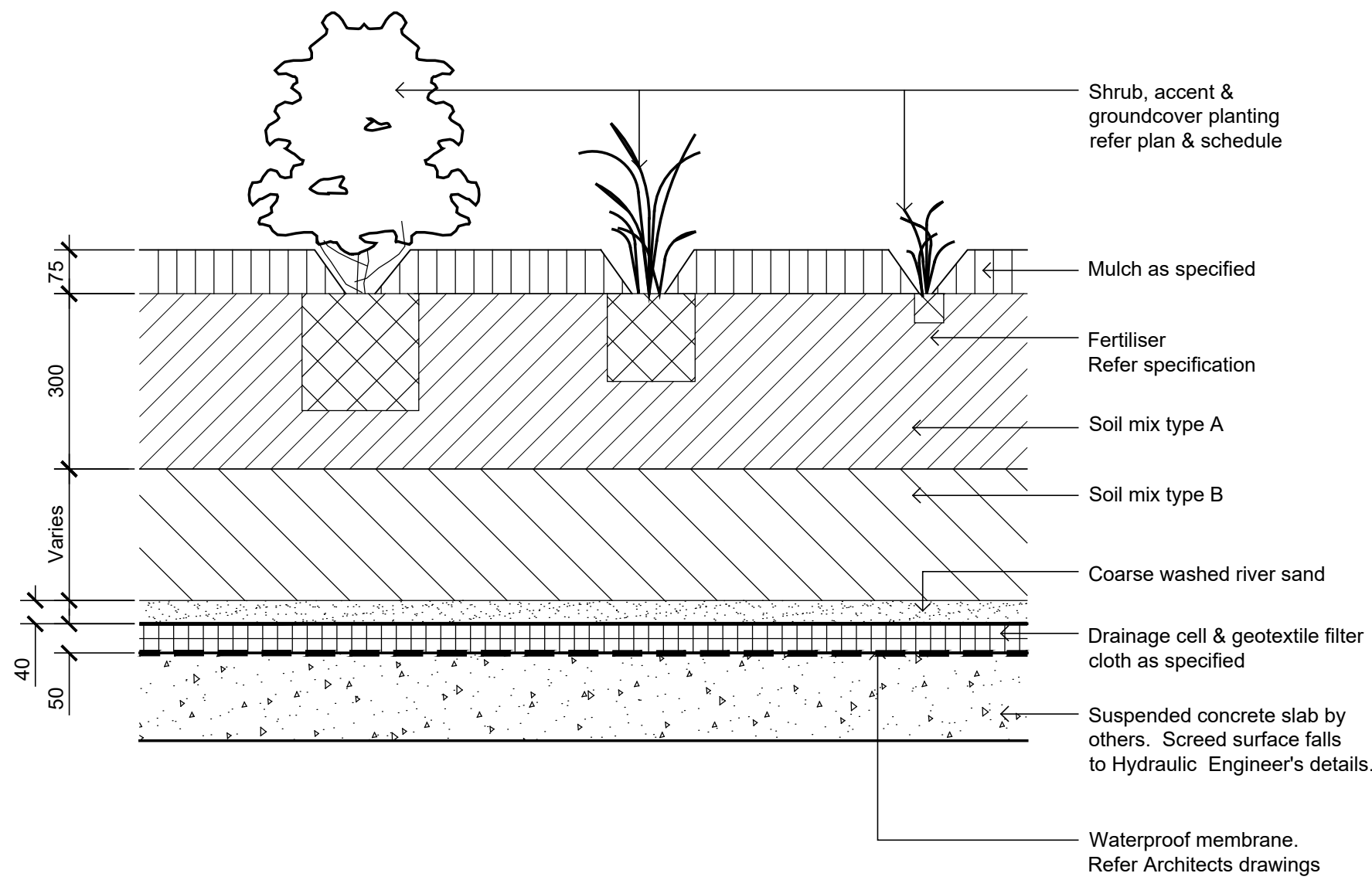
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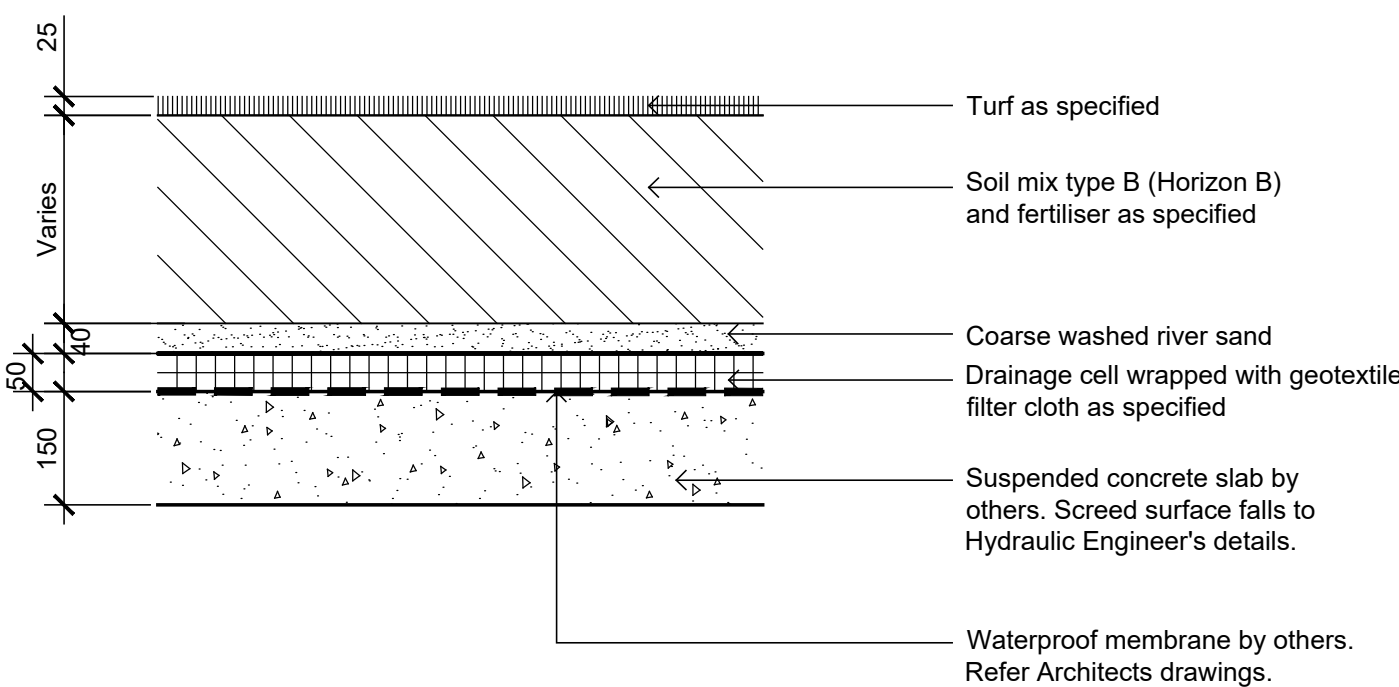
Detail 75-200L Tree Planting on Structure
1:10



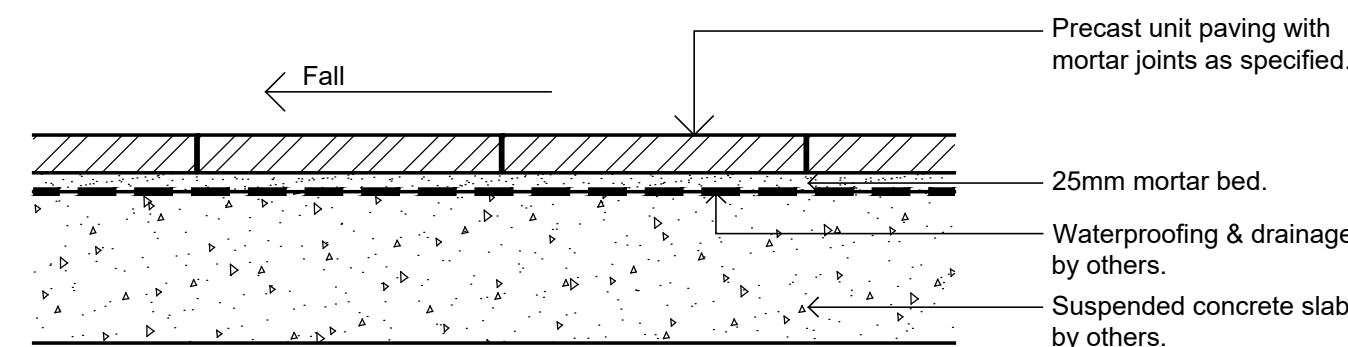
Section - Typical Raised Planter Bed on Structure
1:20
Inspection riser pipe



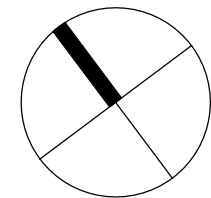
Detail Shrub Accent & Groundcover Planting on Structure
1:10



Detail Turf on Suspended Structure
1:10



PRECAST UNIT PAVERS ON SUSPENDED SLAB
SCALE 1:10



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DEVELOPMENT APPLICATION

Drawing Name:
Landscape Details

Scale: **AS SHOWN**
Job Number: Drawing Number: Issue:

SS19-4170

501 C

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