

Review of Future Maintenance and Upkeep Cost for Brookvale Oval

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Prepared for the Warringah Council

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1. PROJECT BACKGROUND

The Warringah Council own and manage (on community land) Brookvale Park, which contains Brookvale Oval.

The Oval is the home of the Manly Warringah Sea Eagles NRL team and has been since they entered the competition in 1947.

The Oval consists of:

1. A playing surface to NRL standards.
2. General concourse seating (mostly timber benches).
3. A concrete concourse.
4. A large grassed hill on the eastern and northern edges of the playing surface.
5. Three grandstands.
 - 1970 Jane Try Stand (including changing rooms).
 - 1974 Southern Stand.
 - 1995 Ken Arthurson Stand (including a corporate space for up to approx 150 people).
6. Three stand alone toilet blocks.
7. Scoreboard with kiosk.

The Oval is primarily used by the Sea Eagles for approximately 12 home games per year, with the Club having a Licence to do so for another 5 years.

The Sea Eagles pay a rental fee of approximately \$350K per year which is what Council estimate it costs to maintain the Oval's facilities at their current standards, but does not include the cost of any asset renewals or depreciation

In 2008, the Sea Eagles applied to the State Government for funding to help give the Oval an uplift. This included (but is not limited to) improved access to and within the facility (particularly for wheelchair patrons), new flip-up seats to replace old bucket seats in the stands, renewing the existing changerooms, some additional corporate suites in the Ken Arthurson Stand, replacing roofs to the three grandstands, and replacing the kiosks and amenities scattered around the facility.

The Sea Eagles were able to \$6M from the State Government via the Department of Sport and Recreation. Warringah Council committed a further \$4M of funding from their general revenue, bringing the total available to improve the venue to \$10M.

Of the \$10M funding that was obtained from the State Government and Council, a portion of the funding has been spent to-date to address the priority maintenance projects as follows:

- In 2008/09, \$800K was spent on some essential revitalisation works, general catch-up renewals (e.g. painting and trip hazards) and new flip-up seats.

- In 2009/10, Council plans to spent \$3.2M on renewing the change rooms, part of the corporate space, and constructing new corporate suites in the Ken Arthurson Stand.
- Council are currently scoping for the 2010/11 maintenance program, and estimate the spending in the order of \$3M. The main focus will be on the essential works such as replacing roofs and improved access within the facility.

At the completion of the 2010/11 financial year, it is envisaged that \$6M of the \$10M funding will have been expended.

2. PROJECT OBJECTIVES

Council staff wish to undertake a review of facilities at Brookvale Oval to find answers to the following questions:

1. What are the assets that make up the facilities at Brookvale Oval?
2. How much are these assets worth (both “fair value” and a cost “to replace”)?
3. How much has historically been spent on maintaining facilities at Brookvale Oval?
4. What has been done to-date with the \$6M spent on maintenance and essential works, and how will this impact future maintenance and upkeep costs?
5. What should be done with the remaining \$4M of committed funding and how will these proposed works impact future maintenance and upkeep costs?
6. At the conclusion of the \$10M maintenance and redevelopment program, how much will it cost Council to maintain the facilities annually over a 5-10 year period?
7. What is an appropriate/realistic depreciation amount for the current level of assets?

In summary, the Council wish to identify the future costs of maintaining the facility at its current standard over the next 5-10 years.

To assist with this process, Council engaged a team of specialists to provide input into the review. Specifically the consulting team were to provide the following information:

1. A detailed technical survey of the Grandstands, change rooms, corporate spaces, public toilets, scoreboard, ancillary buildings, ticket booths, fencing and car park.
2. Preparation of a fully costed and itemized Ten-Year maintenance, capital and remedial works program identifying maintenance and capital works upgrades based on a visual walk through assessment.
3. Compliance assessments to the deemed to satisfy provisions of the BCA and AS1428.1-4 – Design for Access & Mobility.
4. Estimation of construction date (actual or estimated) and age of the building and plant component.
5. An estimate of fair value of the assets.
6. Current and future trends in the stadia redevelopment/development, and in particular NRL venues.
7. Industry dynamics as they relate to the ability for users to contribute to the maintenance and upkeep of stadiums.
8. Trends in stadia facility redevelopment which have facilitated far greater access/usage from community groups whilst still maintaining the core facilities required for the main tenants.

9. Opportunities for the attainment of funding to assist with any future redevelopment of Brookvale Oval.

3. KEY FINDINGS – MAINTENANCE AUDIT

The following information summarises the key findings from the detailed Maintenance, Condition and Compliance Audit Report undertaken by Dennis Hunt & Associates. A copy of their detailed Report is provided in Appendix 1.

3.1. Condition Summary

3.1.1. Southern Stand

The building consists of a two level building with public toilets and open standing room area to the ground level and tiered seating area with corporate boxes to the first floor level. The grandstand was constructed in 1979.

Seating capacity provides for 1424 seats to the grandstand and boxes.

From our assessment the building, plant and site components are generally in average condition for its age and the building constructed of solid brick with concrete floor, beams and columns and a steel roof. A detailed structural report on all three grandstands was undertaken in January 2009 by the NSW Department of Commerce and cost estimates prepared in April 2009 by quantity surveyors from the Government Architect's Office. The reports identified the following:

- Strengthening of beam and column junctions underneath the stairs is required.
- Expansion joint material requires replacement.
- Concrete spalling at the stand/stair joints requires rectification.
- Removal of rust and treatment of steelwork to the stand roof purlins is required.
- Roof gutters, fascia cappings and downpipes require replacement.
- Cleaning and painting of concrete beams and columns are recommended.

Our on-site inspection highlighted a number of observations namely:

- With the exception of the above structural items the building appears to be sound.
- Exterior elements including walls, fascia, doors, eaves and windows are in good condition with some external repainting required in the medium term.
- Retractable seating to the grandstand and boxes has been replaced more recently.
- The boxes require upgrade to lighting and ventilation. Re-carpeting and replacement of joinery items require replacement in the medium term.

- The public toilets whilst in good to average condition require replacement of single flush cisterns with dual flush units and replacement of lighting. Wall tiling in the male disabled sanitary compartment has delaminated.
- The disabled sanitary compartments in both the male and female toilets are undersized.
- Construction of a unisex disabled sanitary compartment is recommended.
- Steel roofing is likely to require replacement within the next 10 years.
- External light fittings and the electrical distribution board will also require replacement and provided with RCD protection.
- Sections of the asphalt paving underneath the stand is cracked and damaged in sections and recommended to be re-sheeted. Sections of brick pavers to the exterior of the toilets have subsided adjacent to the female toilet entrance.
- There is a lack of fire protection to the building with only one hose reel installed to the ground level and no extinguisher to the switchboard.
- There are concerns in relation to the balustrades to the front of the stands and the landings and stairs. Whilst the balustrades are set at the correct height the tensioned wire infill to the balustrades is not to BCA requirements.

3.1.2. Jane Try Stand

The building consists of a two level building with public change rooms, kiosk, coach's address, media and first aid rooms to the ground level and tiered seating area with corporate boxes to the first floor level. The grandstand was constructed in 1972.

The public seating area provides for 1912 seats and additional seating within the enclosed boxes.

From our assessment the building, plant and site components are generally in good to average condition for its age and the building constructed of solid brick with concrete floor, beams and columns and a steel roof. The ground level renovated spaces are in excellent condition. The 2009 structural report identified the following remedial repairs to the grandstand:

- Repairs to concrete cracking.
- Expansion joint material requires replacement.
- Concrete spalling requires rectification.
- Removal and rust treatment of the stand roof purlins is required.
- Roof sheeting, gutters, fascia cappings and downpipes require replacement.
- Cleaning and painting of concrete beams and columns are recommended.

Our on on-site inspection highlighted a number of observations namely:

- With the exception of the above structural items the building appears to be sound.
- Exterior elements including walls, fascia, doors, eaves and windows are in good condition following the more recent upgrade to the ground level spaces.
- Retractable seating to the grandstand and boxes has been replaced more recently.
- The boxes and the upper level access passage require completion of upgrades to lighting and floor coverings in the short term.
- Home, visitor, referee and cheer squad change rooms including sanitary and showers have been totally upgraded during 2009/10. The builder was attending to defects during our inspections.
- Components to the ground level kiosk require upgrading in the medium term.
- External light fittings and the electrical distribution board have all been replaced as part of the ground level upgrade works.
- There is a lack of fire protection to the building with one internal hose reel installed to the ground level change room passage and an external west elevation hydrant. Whilst the hose reel installed on Level 1 of the adjoining Ken Arthurson stand provides coverage to the southern end of the stand, an additional hose reel is required to provide coverage to the northern end of the grandstand.
- There are concerns in relation to the balustrades to the front of the stands and the landings and stairs. Whilst the balustrades are set at the correct height, similar to the Southern Stand, the tensioned wire infill to the balustrades is not to BCA requirements.
- The ramp to the north end of the building provides restricted disabled access to the first floor level, although allocated wheel chair spaces are not provided to any of the grandstand elevated seating areas.

3.1.3. Ken Arthurson Building

The building consists of a three level building with public toilets, kitchen and club shop to the ground level. Tiered seating is available on levels 1 and 2 along with seating and corporate boxes on level 3. A large function room with corporate suites and toilets are provided on level 1. The building was constructed in 1994 with level 3 boxes and seating areas constructed during 2009/10. The function room (Presidents Lounge) and north end toilets on level 1 was altered and partially upgraded within the past 12 months.

The public seating area provides for 844 seats on levels 1 and 2 and 87 seats to level 3. Enclosed boxes/suites are provided to levels 1 and 3.

From our assessment of the building, components are generally in good to average condition for their age and the building constructed of solid brick with concrete floor, beams and columns and a steel roof. The 2009 structural report identified the following remedial repairs to the grandstand:

- Expansion joint material requires replacement.
- Concrete spalling and cracking requires rectification to stair soffit and beam/staircase junctions .
- Treatment of surface rust to the grandstand roof purlins is required.
- Removal of angled roof sheeting and replacement of the front fascia cappings and downpipes require replacement.
- Cleaning and painting of concrete beams and columns are recommended.

Our on on-site inspection highlighted a number of observations namely:

- With the exception of the above structural items the building appears to be sound.
- Exterior elements including walls, fascia, doors, eaves and windows are in good condition.
- Retractable seating to the grandstand and boxes are in good condition.
- The level 1 function room has been renovated and expanded to the north side with new ceiling panels, lighting and new toilets. The south side of the room including the south toilets requires a similar upgrade in the short term.
- Level 2 consists of tiered seating and a kiosk in original condition.
- The corporate boxes to level 3 were in the process of construction at the time of the inspection. Level 3 will provide new corporate boxes, public toilets and glass balustraded seating area on completion.
- External ground level public lighting is recommended to be upgraded in the medium term.
- The main and the electrical distribution boards are in average condition and will not require replacement for some 15 years or more.
- Fire protection to the building consists of fire hydrants and fire hose reels supplemented by a recent installation of a fire indicator panel/evacuation warning system and smoke detectors to the new level 3 spaces.
- A dumb waiter used for transporting heated meals and beverages from the ground level kitchen to the first floor function room store is installed. Given the age and restrictions with the dumb waiter and lack of vertical lift access for the disabled, considerations should be

given to replacing the lift with a disabled person's passenger lift which can also be used for transporting goods.

- There are concerns in relation to the balustrades to the front of the stand to level 1 and 2 and the landings and stairs. Whilst the balustrades are set at the correct height, similar to the Southern Stand, the tensioned wire infill to the balustrades is not to BCA requirements.
- Currently there is no vertical lift access for the disabled or wheel chair users to gain access to the upper levels. The ramp to the north end of the Jane Try stand provides restricted disabled access to the first floor level, although allocated wheel chair spaces are not provided to any of the grandstand elevated seating areas.

3.1.4. Kiosk/Scoreboard

The building consists of a single level building with kiosk and electronic scoreboard over. The building was constructed in 1980 and a manually operated scoreboard appears to have been replaced with the current scoreboard panel. Whilst recent upgrades to the kiosk including floor tiles and repainting has been undertaken, upgrading of lighting and switchboard is recommended in the medium term along with provision of a hot water system for the sink.

3.1.5. Amenities

Public amenities are provided around the perimeter of the ground to the north west, north east and south east of the site. Designated wheel chair spaces have been installed along the new west boundary seating area.

The older north west amenities, which is 45 years old provide basic male and female sanitary facilities. Whilst the building is well maintained, consideration should be given to replacing the facility with a modern toilet facility catering for gender specific and unisex disabled sanitary facilities with at grade access. If these amenities are replaced, considerations should be given to constructing the facilities closer to the Jane Try stands northern ramp. The stand has no spectator sanitary facilities within the building and is dependent on the Arthurson stand public toilets to the southern end.

The north east amenities which is of similar age to the NW facility is more substantial and provides a unisex disabled sanitary compartment with at grade access available, although a new path connecting the disabled compartment to the ground is recommended. The amenities are recommended to be retained for at least 10 to 15 years.

Whilst the disabled sanitary compartment is new and lighting throughout has been recently upgraded, toilet cisterns to the male and female toilets are recommended to be replaced with dual flush recessed units.

The south east amenities are relatively new although without designated sanitary facilities for the disabled. Construction of a unisex disabled sanitary compartment is recommended.

3.1.6. Turnstiles/Ticket Boxes

Older style ticket boxes along the north boundary have been replaced with newer facilities catering for computerized ticket boxes and electronic turnstiles to the north, south west and south east entrances.

All of the new ticket boxes/turnstile enclosures are generally in good to excellent condition. Some maintenance is required to the north entrance facility.

3.1.7. Parks/Tractor Shed

A steel framed, steel clad storage shed has been constructed outside the perimeter of the ground adjacent to the caretaker's cottage. The shed whilst in average condition, is prone to vandalism. Lighting and the switchboard are recommended for replacement in the short term.

As the caretaker's cottage is proposed to be demolished, no assessment has been undertaken of the building.

3.1.8. Ground and Surrounds

No assessment has been made of the turf or irrigation system. A specialist turf management consultants is recommended for this assessment.

Retractable seating has been more recently installed along the western side of the ground providing four rows of seating. The remainder of the ground has three to four rows of timber bench seating. It is recommended that consideration be given to replacing the bench seats along the east, north and south perimeters of the ground with retractable seating. Replacement of the asphalt pavement with concrete pavement under seating is also recommended.

Asphalt paving and concrete kerb and channels in front or beneath the Southern and Jane Try stands requires re-sheeting and replacement respectively.

The playing surface is irrigated using bore water and storage tanks located to the north end of the ground. We were advised that the original 12,000 litre tank was installed some four years ago and a similar sized tank installed adjacent last year. Due to sludge build up the bore water and tank submersible pumps require ongoing inspection and clearing.

Steel fencing and gates to the perimeter of the site is relatively new and in good condition.

3.2. Estimated Maintenance Costs – 10 Year and Cyclical Programs

Total estimated maintenance costs for all buildings assessed are summarized as follows.

Year	10 Year Maintenance Program	Cyclical Maintenance Program	Total Maintenance Cost
Year 1	\$1,700,299.00	\$9,030.00	\$1,709,329.00
Year 2	\$254,100.00	\$12,150.00	\$266,250.00
Year 3	\$104,300.00	\$73,890.00	\$178,190.00
Year 4	\$2,200.00	\$77,640.00	\$79,840.00
Year 5	\$361,700.00	\$9,350.00	\$371,050.00
Year 6	\$2,900.00	\$100,300.00	\$103,200.00
Year 7	\$0.00	\$9,580.00	\$9,580.00
Year 8	\$76,000.00	\$78,810.00	\$154,810.00
Year 9	\$5,800.00	\$73,340.00	\$79,140.00
Year 10	\$50,050.00	\$10,980.00	\$61,030.00
Total Estimated 10 Year and Cyclical Maintenance Program Cost			\$3,012,419.00

Note:

Estimated costs are based on, May 2010 prices with no allowance for CPI or GST.

The above table is a summary of programmed/scheduled maintenance identified at the time of the survey. The following items are not included in the maintenance cost summary:

- Allowances for cleaning and unspecified maintenance;
- Allowances for the design documentation, tendering and supervision of the maintenance recommendations;
- Estimated costs have been estimated on the basis of collective implementation to ensure cost effective maintenance.

Estimated costs associated with the Government's Architects Office structural estimates for the three grandstands are based on April 2009 costs.

4. KEY FINDINGS – BUILDING CODE OF AUSTRALIA (BCA) COMPLIANCE AUDIT

The following information summarises the key findings from the detailed Maintenance, Condition and Compliance Audit Report undertaken by Dennis Hunt & Associates. A copy of their detailed Report is provided in Appendix 1.

4.1. BCA Compliance Summary

4.1.1. Southern Stand

The following BCA compliance items were identified:

- Glass to doors to the corporate boxes appear to be Grade A safety glass but are not labelled to AS1288 requirements.
- From on-site measurements the upper level stand does not have sufficient exit width for the number of people in occupation (stand seating and corporate boxes) and assumes that the west exit stairs shared with the adjoining stand forms part of the required exit width. It is recommended that Council check the original building permit and any modifications that may have been issued prior to installing additional exit stairs.
- Exits are clear at the point of discharge with unobstructed egress to road.
- There are concerns with the balustrades to both the stand seating area and stairs. The existing balustrades to the seating area consists of a solid metal base to a height of 600mm above the floor and three rows of tensioned wires and solid steel handrail over. The tensioned wire openings to all balustrades and stair railings do not comply with openings between the wire exceeding 125mm to the requirements of D2.16h(ii)A, The east end balustrade is protected by industrial glazing where the drop exceeds 4 meters and overcomes the requirements of D2.16h(ii)B. To provide for code requirements, the tensioned wires would need to be modified to ensure they meet the tension requirements of Table D2.16a and ensure a sphere of 125mm cannot pass between the wires.
- The ground level ramps leading to the public toilets do not comply with AS1428.1-4.
- The only fire services identified is a sole fire hose reel to the ground level adjacent to the public toilets. No fire hydrant is provided in or external to the building. An additional fire hose reel is installed on the level 1 landing to the Arthurson Stand exit stairs, however the hose reel installations would not provide sufficient coverage to the whole of the Southern Stand.
- Illuminated exit signs are not installed to the building. A single exit sign is installed to the adjoining stairs of the Arthurson stand. There is no emergency lighting installed to the corporate boxes or ground level toilets.

- An essential services log book was not cited. We were advised that active ESM components are inspected/tested and logged off site, however passive ESM items such as inspections of paths and travel and exits are not currently inspected and logged.
- Whilst there are sufficient male and female sanitary facilities provided for spectators, there is undersized disabled sanitary compartments within the male and female public toilets. Refer disabled access recommendations for the provision of a designated unisex sanitary facility.
- Room ceiling heights, natural lighting and ventilation generally comply with the code.

4.1.2. Jane Try Stand

The following BCA compliance items were identified:

- Glass to doors to the west end media room appear to be Grade A safety glass but are not labeled to AS1288 requirements.
- From on-site measurements the upper level stand does not have sufficient exit width for the number of people in occupation (stand seating and corporate boxes) and assumes that the south exit stairs shared with the adjoining stand and west stairs forms part of the required exit width. It is recommended that Council check the original building permit and any modifications that may have been issued prior to installing additional exit stairs.
- Exits are clear at the point of discharge with unobstructed egress to road. The gate to the north-west corner is recommended to be unlocked to provide safer egress.
- There are concerns with the balustrades to both the stand and stairs. Similar in design to the Southern Stand, the existing balustrades to the seating area consists of a solid metal base to a height of 600mm above the floor and three rows of tensioned wires and solid steel handrail over. The tensioned wire openings to all balustrades and stair railings do not comply with openings between the wire exceeding 125mm to the requirements of D2.16h(ii)A, whilst the east end balustrade whilst climbable has a drop of less than 4 meters and would meet the requirements of D2.16h(ii)B. To provide for code requirements, the tensioned wires would need to be modified to ensure they meet the tension requirements of Table D2.16a and ensure a sphere of 125mm cannot pass between the wires.
- The north end balustrade needs to be modified so that it is not climbable where the drop exceeds 4 meters. Installation of non-climbable panel is recommended for the full length.
- The ground level ramps leading to the north and west sides do not comply with AS1428.1-4.
- The fire services identified is a sole fire hydrant to the west elevation ground level and an internal hose reel recently installed to the ground level change room passage. An additional fire hose reel is

installed on the level 1 landing to the Arthurson Stand exit stairs, however the hose reel installations would not provide sufficient coverage to the whole of the Jane Try Stand. An additional fire hose reel is recommended to be installed to provide coverage to the northern end of the stand.

- Exit and emergency lighting has been installed within the recently upgraded ground level spaces and upper level corporate box passage. A single exit sign is installed to the adjoining stairs of the Arthurson stand. There is no emergency lighting installed to the corporate boxes or ground level toilets.
- An essential services log book was not cited. Active ESM's are logged off site.
- The only sanitary facilities provided to the building are for participants. These are sufficient for the number of players, referees and cheer girls. The nearest public sanitary facilities are located at ground level to the Arthurson stand. Additional public amenities are provided to the NW corner of the site.
- Room ceiling heights, natural lighting and ventilation generally comply with the code.

4.1.3. Ken Arthurson Stand

The following BCA compliance items were identified:

- Glass to doors to the level 1 function room appear to be Grade A safety glass but are not labeled to AS1288 requirements.
- From on-site measurements the upper level stand does not have sufficient exit width for the number of people in occupation (stand seating and corporate boxes). No allowance has been made for the additional exits provided by the Southern or Jane Try stands. It is recommended that Council check the original building permit and any modifications that may have been issued prior to installing additional exit stairs.
- Generally exits are clear at the point of discharge with unobstructed egress to road. The grille gates to the southern exit from the level 1 function room obstruct safe egress. The roller shutters to the top of the level 3 stairs should be locked in the open position during occupation.
- There are concerns with the balustrades to both the stand and stairs. The existing balustrades to the seating area consists of a solid concrete base to a height of 710mm above the floor and a single row of tensioned wire and solid steel handrail over. The tensioned wire openings to all balustrades and stair railings do not comply with openings between the wire exceeding 125mm to the requirements of D2.16h(ii)A. Where there is a drop of more than 4 meters the balustrade cannot be climbable to the requirements of D2.16h(ii)B. To provide for code requirements, the stand balustrades will require a solid panel to be installed between the concrete section and the hand rail and the tensioned wires to the stair

balustrades would need to be modified to ensure they meet the tension requirements of Table D2.16a and ensure a sphere of 125mm cannot pass between the wires.

- The fire services identified include fire hydrants to the ground level and level 2 (at both ends of the seating area) and an fire hose reel to the ground level and level 1 (at both ends of the seating area). Level 3 does not have a fire hydrant or hose reel and is dependent on the coverage provided by the level 2 fire services. Fire smoke detectors appear to be in the process of being installed to level 3. A fire indicator panel with emergency evacuation alarm is being installed to the ground level switchboard room.
- Exit lighting is installed to all of the exit stairs and to the level 1 and 3 function areas along with partial installation of emergency lighting to renovated spaces.
- An essential services log book was not cited. Active ESM's are logged off site.
- There are sufficient sanitary facilities provided to the ground level of the building along with sanitary facilities provided for the level 1 and 3 function spaces. The ground level disabled sanitary compartments within the male and female do not meet AS1428 requirements and provision of a unisex disabled compartment(s) is recommended.
- Room ceiling heights, natural lighting and ventilation generally comply with the code.

4.2. Estimated BCA Compliance Costs

The total estimated cost to address the BCA compliance issues raised in the previous section is \$250,300.

Please note that no allowance has been made for the design, documentation, tendering and supervision in the above cost estimate.

5. KEY FINDINGS – DISABLED ACCESS AND FACILITIES COMPLIANCE AUDIT

The following information summarises the key findings from the detailed Maintenance, Condition and Compliance Audit Report undertaken by Dennis Hunt & Associates. A copy of their detailed Report is provided in Appendix 1.

5.1. Disabled Access Compliance Summary

The grandstands and amenities were assessed against the requirements of AS1428.1-4 – Design for Access & Mobility and the Disability Discrimination Act. The following points summarise the key findings.

5.1.1. Southern Stand

The following disabled access compliance items were identified:

- There are no gates restricting access to the entrances to the stand.
- The ground level ramps leading to the public toilets does not meet code requirements and are recommended to be replaced with new ramps with the gradient requirements of 1:14, tactile indicators and handrails to both sides.
- Whilst vision strips are provided to all entry and aisle stair nosings, there are no tactile indicators for the vision impaired.
- Whilst handrails heights are generally to code, the rail diameter and extensions do not meet code requirements. There are no handrails to the stairs leading to the boxes. Grab rails along the aisle stairs would assist patrons especially ambulant disabled persons.
- Doorway widths to the building are to code.
- Passageway width to the top and bottom of the seating area are under code requirements, however there is limited scope to modify.
- A unisex disabled sanitary compartment is recommended to be constructed adjacent to the ground level toilets as the male and female disabled compartments are undersized and have incorrect componentry. Correct symbol/tactile signage is recommended adjacent to the proposed compartment.

5.1.2. Jane Try Stand

The following disabled access compliance items were identified:

- There are no gates restricting access to the entrances to the stand.
- The ground level ramps leading to the west and north elevations do not meet all code requirements and are recommended to have tactile indicators and correctly placed handrails. The northern ramp does not have a mid landing.
- Whilst vision strips are provided to all entry and aisle stair nosings, there are no tactile indicators for the vision impaired.

- Whilst handrails heights are generally to code the rail diameter and extensions do not meet code requirements. Whilst new stainless steel grab rails have been installed to select seating areas to the southern end of the stand, additional grab rails along the remaining aisle stairs
- would assist patron's especially ambulant disabled persons.
- Doorway widths to the building are to code.
- Passageway width to the top and bottom of the seating area are under code requirements, however there is limited scope to modify.
- Standard cubicle sanitary compartment are provided for participants at ground level but there is no disabled sanitary or shower facilities within the building.
- A directional disabled symbol sign is recommended at the base of the west exit stairs and north ramp directing the disabled to available sanitary facilities under the Arthurson stand.

5.1.3. Ken Arthurson Stand

The following disabled access compliance items were identified:

- A single and signed disabled person's car space is required in the off street car park adjacent to the west entrance. The space should be located within 60 meters from the entrance.
- A kerb ramp is recommended adjacent to the car space to enable wheel chair access to the entrance.
- The walkway from the car park to the east entrance is to the gradient requirements of then code.
- There are no gates restricting access to the entrances during occupation, however sufficient width should be provided for wheel chair access adjacent to the turnstiles.
- There are no vision strips provided to entry and aisle stair nosings, and no tactile indicators for the vision impaired.
- Whilst handrails heights are generally to code the rail diameter and extensions do not meet code requirements. Grab rails have been installed to seating areas and assist patrons especially ambulant disabled persons.
- Doorway widths to the building are to code.
- Passageway width to the top and bottom of the seating area are under code requirements, however there is limited scope to modify.
- Disabled sanitary compartments are provided for spectators to the male and female toilets at ground level but a unisex disabled compartment is recommended to be installed.
- There is a need to provide allocated wheelchair spaces to the stand level, ideally adjacent to existing seating. Where this is not possible, it is recommended that a row of wheel chair spaces is installed to level 1, assuming vertical lift access is provided to this

level. Wheel chair spaces are required to be provided at a ratio of 1 to every 100 standard seats. This is not likely to be possible due to constraints of the seating layout.

- At present the only wheel chair access is via the northern ramp of the Jane Try stand. This is far from ideal in that it is not assessable from the entrance and the lower aisle of the stand has width below code requirements. Serious consideration should be given to installing a disabled person's passenger lift between the ground and level 1. The present location of the dumb waiter should be considered as it provides reasonable access to the level 1 function room and will enable improved goods access from the kitchen. Alterations at ground level would also need to be made to allow wheel chair access through the present kitchen storage area.

5.1.4. Amenities

The following disabled access compliance items were identified:

- The north-west and south-east amenities are recommended to be provided with at-grade unisex disabled sanitary compartments. The provision of a disabled compartment to the north-west amenities is recommended to be deferred until the building is replaced, ideally closer to the Jane Try stand.
- The north -east amenities are recommended to have a path and gate installed opposite the entrance to the disabled compartment to provide lower grade access to the ground.

5.1.5. Ticket Boxes & Turnstiles

Ensure that all operating turnstiles provide sufficient width of access for wheel chairs. Ideally all ticket box window counters should be meet height requirements of the code.

5.1.6. Ground and Surrounds

If and when the bench seating to the perimeter of the ground is replaced with retractable seating, provide allocated wheel chair spaces at a ratio of 1 to every 100 seats to code requirements.

5.2. Estimated Disabled Access and Facilities Compliance Costs

The total estimated cost to address the disabled access and facilities compliance issues raised in the previous section is \$635,850.

Please note that no allowance has been made for the design, documentation, tendering and supervision in the above cost estimate.

6. TOTAL ESTIMATED 10 YEAR MAINTENANCE AND COMPLIANCE COSTS

The following table summarises the maintenance and compliance costs estimated over the next 10 years to maintain Brookvale Oval. The costs are based on the information outlined in Sections 3 to 5.

Component	Estimated Cost
10 Year Programmed and Cyclical Maintenance	\$3,012,419
Compliance Upgrades	\$886,150
<i>Sub Total</i>	\$3,898,569
Contingency	\$350,000
Builder's Margin	\$510,000
Design Documentation	\$640,000
Total	\$5,398,569

Note: The allowance for contract documentation, tendering and supervision is dependent on the packaging of works to be implemented and will vary according to the scope of the works and the process of maintenance and capital implementation.

7. ASSET REPLACEMENT VALUE

The following table summarises the replacement cost (as estimated by Davis Langdon) for the various assets that make up Brookvale Oval. A copy of Davis Langdon's full Report is provided in Appendix 2.

Asset Description	sqm	Cost/sqm	Total
Amenities Blocks (North)	99	\$2,323	\$221,411.60
Southern Stand	2,530	\$1,163	\$2,942,260.35
Jane Try Stand	2,879	\$1,250	\$3,598,500.00
Ken Arthurson Stand	2,492	\$1,456	\$10,702,171.78
Site specific assets (e.g. caretaker cottage, light towers, tractor store - see detailed Report in Appendix 2)			\$3,907,500.00
<i>Nett Construction Cost</i>			\$14,609,671.78
Preliminaries (12%)			\$1,753,160.01
Margins (4%)			\$584,386.87
<i>Construction Cost</i>			\$16,947,219.26
Contingencies (10%)			\$1,694,721.93
Design Fees (10%)			\$1,694,721.93
Total Replacement Cost			\$20,336,662.12

8. CURRENT TRENDS IN STADIA

8.1. NRL Stadia Development

Over the past decade, the standards required at stadiums used for national standard sport has increased significantly. This trend has direct relevance to Brookvale Oval, in that the facility must be able to provide suitable on and off-field facilities or it runs the risk of potentially not being considered for hosting major events in the future as the standards and expectations rise.

To provide some guidance to the Warringah Council with respect to the level of NRL facility improvement over recent years, a “snapshot” of stadia development is provided on the following pages. The research highlights the stadia development trend and that both NRL and spectator expectations are increasing over time.

The following table has been prepared based on information that is publically available and/or has been approved for release by the appropriate venue representatives. The information should be used as a guide only to venue development trends and should not be relied on solely for decision making purposes.

Venue and Club	Recent Upgrades	Upgrades Currently Under Construction	Future Planned Upgrades
Suncorp Stadium Brisbane Brisbane Broncos	Major redevelopment opened in 2003. The \$196m redevelopment included new east, north and south stands, a major refurbishment to the west stand, new roof, new entry plazas, train station and infrastructure upgrades.	A \$2m refurbishment of the west stand corporate areas is underway.	Other than ongoing refurbishment of the west stand no major capital works are currently planned.
Dairy Farmers Stadium Townsville Cowboy's	\$5m upgrade of eastern stand completed in 2008 with new lower tier built over the existing standing berm.	No works are currently under construction.	Dairy Farmers Stadium has been included as part of the FIFA World Cup bid and a new major redevelopment has been proposed. The redevelopment includes a new west stand, new lower tiers to the east, north and south and a new roof structure over all stands. The redevelopment proposal has been costed at \$160m. Legacy capacity is estimated at 27,000.
Skilled Park, Gold Coast Gold Coast Gold Coast Titans	New 27,500 seat stadium completed in 2008. The stadium development cost \$160m.	No works currently underway.	

Venue and Club	Recent Upgrades	Upgrades Currently Under Construction	Future Planned Upgrades
Energy Australia Stadium Newcastle Newcastle Knights	East Stand redevelopment completed in 2005.	The west stand is currently being redeveloped. The \$40m new stand is due to be completed for the commencement of the 2011 NRL season.	EAS has been included as part of the FIFA World Cup Bid. The World Cup bid envisages a \$90m redevelopment seeing the construction of a new north and south stand to complete the stadium. Legacy capacity is estimated at 30,000.
ANZ Stadium Canterbury Bulldogs	Completed for the 2000 Olympics the stadium was reconfigured after the Games into an 84,000 seat multi-purpose stadium. Post Olympic works included the reconfiguration of the lower seating bowl and the construction of a new upper tier in the north stand.	N/A	ANZ Stadium forms part of the FIFA World Cup bid. As part of this bid a new south stand upper tier is proposed increasing ground capacity to 88,000 seats.
Aussie Stadium South Sydney Sydney Roosters West Tigers	N/A	N/A	Aussie Stadium forms part of the FIFA World Cup bid. Part of this bid a new entry bridge and improved infrastructure is proposed to the venue precinct. In addition an extension to the roof structure is proposed and refurbishment of the corporate and media areas for the FIFA works.

Venue and Clubs	Recent Upgrades	Upgrades Currently Under Construction	Future Planned Upgrades
<p>Canberra Stadium Canberra Raiders</p>	<p>No works recently completed.</p>	<p>N/A</p>	<p>In 2009 Territory Venue and Events undertook a feasibility study for the future of Canberra Stadium and Manuka Oval. As a result of this report a recommendation for a new 27,000 seat stadium have been made to the ACT Government and form part of the 2018 – 2022 FIFA World Cup bid. The proposed new stadium is located to the east of the existing stadium and includes the ability to expand the venue to 44,000 seats (gross) for the FIFA World Cup. The budget for the new stadium is \$210m and is subject to the outcome of the World Cup Bid.</p>
<p>Parramatta Oval Parramatta Eels</p>	<p>In 2002 the grass hill areas were redeveloped into seating stands.</p>	<p>N/A</p>	<p>In 2007 plans were announced to redevelop the Southern Stand. No works have been carried out to this area to date.</p>

Venue and Club	Recent Upgrades	Upgrades Currently Under Construction	Future Planned Upgrades
WIN Stadium, Wollongong St George Dragons	Planning for the development of a new \$28.9m west stand is currently underway. The proposed new stand is scheduled to be completed for the 2012 NRL Season.	N/A	N/A
AAMI Park Stadium Melbourne Storm	\$267.5m stadium development completed in May 2010	N/A	N/A
CUA Stadium Penrith Panthers	No works recently completed	N/A	N/A
Members Equity Stadium No NRL Team	\$2m upgrades for the Western Force Super 14 team were completed for the 2010 season.	N/A	The WA Government has announced the development of a new \$160m redevelopment of Members Equity Stadium pending agreement with the local council and current operators. Official announcement of this redevelopment is expected later this year.
Blue Tongue Stadium, Gosford No permanent Team	Stadium completed in 2000	No works planned	N/A

Venue and Club	Recent Upgrades	Upgrades Currently Under Construction	Future Planned Upgrades
<p>Leichhardt Oval West Tigers</p>	<p>Stage 1 and 2 works completed between 2006-2008 to a value of \$2.86M.</p>	<p>Stage 3 (Latchem Robinson Grandstand) works including: a new function room and balconies; reconfiguration of some stadium seating; a new bar and kitchen area; toilets and a storage room; installation of a lift and additional stairs; new ballustrading to existing egress stairs; new emergency egress stairs; and new emergency egress gateways to the field, reroofing and minor landscaping works. Estimated costs are approx \$3M.</p>	<p>Council estimates that to fully complete all stages of the ground improvements it would take a further \$5M. The additional \$5M would cover new concourse seating, ground access improvements, scoreboard, toilets and catering facilities under a new grandstand at the rear of the hill.</p>

8.2. General Industry Trends

Other industry trends which have relevance to the ongoing operation and usage of Brookvale Oval that should be considered by Council when looking into the future of the venue, include:

1. *A high level of match-day/event flexibility is required.*

Sport, leisure and cultural events managers/promoters are requiring increasingly high levels of flexibility in relation to key income streams (e.g. signage, catering, merchandising, pouring rights, etc). In the mid-1990s many stadium managers negotiated long term agreements with signage, catering, merchandising and beverage organisations in exchange for capital investment in the facilities. Whilst at the time many of the deals were seen to be favourable, recent trends in the sporting event market have seen the managers/promoters of sports events wanting increased flexibility as part of the venue hire arrangements, often to meet the “events” own sponsorship commitments. “Clean stadiums” are now often an important re-requisite / condition for the successful attainment of “one-off” events and as such, the short-term capital injection benefits of longer term “rights” arrangements must be considered against the potential alienation of some events due to “sponsorship” or revenue conflicts.

2. *The emergence of training camp opportunities.*

The past 5 years has seen the emergence of regional venues being used for training camps. Whilst training camps are traditionally held prior to major sports tours (e.g. prior to World Cup campaigns), they are now also held as part of the regular training schedules for many elite sports groups/teams.

The training camps provide significant benefits to the local community and businesses as they are typically held over the period of up to a week and include several community sports development initiatives that involve the elite teams interacting with local sports participants and volunteers.

3. *The emergence of multi-use sports venues.*

Due to the significant costs associated with the development of sports stadiums and the fact that the facilities have often remained idle when events are not using the facilities, facility planners and designers have recently began to explore opportunities aimed at increasing the usage of such stadiums for other activities. Opportunities that have emerged as a result of this “multi-use” focus have included:

- ⇒ The “opening up” of stadiums to greater community usage when the facilities are not being used for major events. For example, stadium facilities are now used to host community functions, community service programs, community engagement programs, sports development initiatives and special education programs.
- ⇒ The development of the Sportshouse concept to accommodate local and regional sports groups in a “business incubator” type environment.
- ⇒ The development of “academies of sports” and targeted athlete programs aimed at provided a pathway for local athletes before they enter higher level/national sports development programs.

⇒ The greater usage of stadiums (particularly those at a regional level) as a venue to host local and regional sports competitions.

8.3. Industry Dynamics / Ability for Users to Pay

A key issue for all regional stadia managers/owners is the ability for user groups to contribute to the maintenance and upkeep of the venues they use. Based on the experience of the consulting team, the following industry dynamics can be advised with regard to users ability to pay:

- In all projects that Waypoint consultants have been involved that have looked into the real cost of maintaining regional stadium¹ venues, none have found that income from user fees are sufficient to cover costs associated with maintenance and upkeep of such venues.
- In projects that Waypoint consultants have been involved that have investigated how to redevelop regional stadiums, all have required as part of the funding strategy, contributions from the user groups and multiple levels of Government (e.g. Local and State Government; or Local, State and Federal Government).
- In projects that Waypoint consultants have been involved, no sports team in Australia has been able to fully fund facility maintenance and redevelopment at their "home venue".

Furthermore, discussions with stadia managers over recent years has confirmed the above dynamics across almost all regional stadium venues within Australia, and therefore it is reasonable to conclude that the findings of projects that Waypoint have been involved in, are consistent across most, if not all, regional stadium venues in Australia.

8.4. Trends / Potential Options to Improve Community Usage and Financial Returns from Brookvale Oval

In light of the information outlined in the previous Section, the following table summarises some of the key opportunities that could be investigated to improve community usage of Brookvale Oval and/or improve the financial returns to Council from the venue.

¹ Regional Stadiums are defined as venues such as Brookvale Oval which are used for national level sports competition, but do not include "major venues" such as Sydney Football Stadium, ANZ Stadium, SCG, MCG, Suncorp Stadium.

Potential Options for Improved Revenues	Potential Application to Brookvale Oval
Development of hotels, accommodation and function facilities into stadium precincts or new grandstands	<ul style="list-style-type: none"> • An opportunity may exist at Brookvale Oval to integrate a Hotel facility with the redevelopment of the facilities. • Unique economies can be achieved in sharing of facilities between the Hotel and the stadium(s) such as function/corporate hospitality space, food and beverage/catering facilities, recreation facilities and other ancillary facilities. • Innovative opportunities could also be investigated where by corporate suites for match day can be reconfigured as Hotel suites at other times. • Significant investigation will be required as to the viability, logistics, operation and standard of a Hotel on site before any firm decision could be made.
Development of “member” facilities (e.g. fitness and wellness centres) which can also be used by key tenants	<ul style="list-style-type: none"> • This model would involve either the establishment of new health and fitness facilities targeted just at external members or the establishment of a joint facility that is used by elite sporting clubs and athletes as well as the general public. • This facility could also integrate in with a Hotel facility • A health & fitness facility at Brookvale Oval would provide a significant point of integration between the facility and the general public as well as maximising use of the facility outside of event times. Sydney Football Stadium has achieved this with a significant base of members who come to the facility outside events to use the “health club” facilities. • As with the Hotel significant investigation into potential demand for the facilities as well as operational, management and viability planning will be required before a decision to proceed or otherwise could be made.

<p>Development of commercial services centres (e.g. specialised sports medicine)</p>	<ul style="list-style-type: none"> • The integration of complimentary specialised sports related businesses into stadium facilities provides another opportunity to attract people to the facilities outside events times and to increase the viability of the venue through new revenue streams • If the facilities are complimentary then they can also serve a useful purposes during events. Sports Medicine facilities for example can be used by stadium users during events providing the stadium with a “point of difference” in the facilities and services it can offer.
<p>Potential Options for Improved Outcomes to Key tenants</p>	
<p>Redefined corporate and member facilities such as high quality public, corporate and member areas which encourage secondary spend</p>	<ul style="list-style-type: none"> • In today's highly competitive corporate hospitality and membership markets stadia facilities need to provide tenant clubs with a point of difference in terms of corporate and member facilities. • No longer is it acceptable to present traditional corporate suites or function areas. • Today's stadia facilities need to be well planned entertainment and network areas that provide flexibility in terms of use and are used outside of normal events. • Technology and audio visual facilities are also integral to modern corporate and member facilities. • Arrowhead and Dolphins Stadiums provide unique examples of how this has been achieved. • Investigation of corporate and member facilities should also include operational solutions whereby clubs work together to provide increased services to members and corporate guests. • Member facilities, as with facilities at the Sydney Football Stadium, should allow the stadium and its users to engage with members on a regular basis providing a “true” member facility.

Potential Options for Improved Stadia Experience	
Family Friendly Facilities with “kids zones” and “Family zones”	<ul style="list-style-type: none"> • A potential point of difference in the increasingly competitive corporate hospitality market can be the inclusion of kids zones in or adjacent to corporate areas. These areas allow corporates juggling work and home life balance to bring their children to corporate hospitality. • Inclusion of family zones in member and general admission areas will also increase the ability of the venues to attract a broader family market.
Potential Options for Improved Community Benefit	
Development of “sports house” industry incubators.	<ul style="list-style-type: none"> • The development of a “Sports House” similar to the one developed at Skilled Stadium in Geelong, provides a unique opportunity for smaller sporting organisations to be housed together enabling them to share costs, skills and ideas. It also provides an opportunity for a lead tenant to act as a mentor to the smaller organisations. • The Sports House could also consider a partnership approach with a University providing a knowledge, skill and resource sharing arrangement providing students with hands on experience and sporting organisations with the most up to date research.
Development of multi-use function facilities.	<ul style="list-style-type: none"> • Provides the opportunity to open up corporate areas on non event times as a commercial function centre. • Integral to this aspect is ensuring in the design phase that the facilities are designed to operate in both event and non event modes.

8.5. Funding Opportunities

Based on the experience of the consulting team and research into stadium redevelopment projects across Australia, it is clear that stadium development funding is very difficult to obtain and is heavily reliant on contributions from all levels of Government.

Government contributions are only obtained if the projects can demonstrate:

- Positive economic impact;
- Positive community benefits;
- Multi-purpose usage;
- That the sustainability of club's using the facility will be improved; and
- Appropriate and responsible levels of funding from other key funding stakeholders such as the venue users, national sports body(s) and Local Council.

In some cases, funding partnerships for specific aspects of stadium redevelopment are possible (e.g. the development of a commercial gymnasium within a stadium), however our experience has found that these opportunities are often very difficult to finalise and more often than not, do not provide a sufficient rate of return to justify inclusion into the funding model.

In some instances where the stadium is positioned in a highly valued location, opportunities for commercial development (for example a hotel or office space) may be possible, but issues associated with land ownership, lease terms or accessibility during "event mode" often preclude investment from the private sector, even when the location "stacks up".

Other potential methods to raise funding include:

- Ticket levies on all spectators attending the venue;
- Selling rights to seats at the venue;
- Selling rights to the facility (e.g. food and beverage rights), in exchange for contribution to the fit out of the facility;
- Traditional fundraisers (such as purchasing a project tiles, etc); and
- Bequests.

In summary, whilst there are minimal formal funding programs aimed at assisting with the redevelopment of regional stadia, there are many examples of funding being provided for such redevelopments. This is particularly true if the requests are based on well-founded Feasibility Studies and Master Plans, which include documented evidence supporting the need for the redevelopment and the specific community/social, financial, environmental and sports development benefits that shall be derived as a result of the project being implemented.

Appendix 1

Dennis Hunt & Associates Report

Warringah Council

**CONDITION & COMPLIANCE
ASSESSMENT
OF
BROOKVALE OVAL FACILITIES**

Prepared by:

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May 2010

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1. INTRODUCTION

Dennis Hunt and Associates Pty Ltd were appointed by Warringah Council in conjunction with Waypoint Pty Ltd to undertake a condition and compliance assessment of buildings and site improvements at the Brookvale Oval, Pittwater Road, Brookvale, NSW. The following buildings and site assets were assessed:

- Southern Stand
- Ken Arthurson Stand
- Jane Try Stand
- Amenities
- Turnstiles and ticket boxes
- Tractor shed.
- Grounds & Surrounds.

The study provides a comprehensive technical appraisal of building assets including the following:

- A thorough on-site assessment of the building, plant and the immediate surrounds of the buildings.
- Determination of contingent maintenance liabilities, costed maintenance and identification of upgrades required to bring the facilities up to a condition standard commensurate with community expectation and industry best practice.
- Recommendations and preliminary cost estimates in relation to maintenance and upgrades and preparation of a ten-year program.
- An assessment of the building against Building Code of Australia requirements.
- An assessment of the building against the disabled access code AS1428.1-4 – Design for Access and Mobility.
- Recommendations and preliminary cost estimates in relation to compliance upgrades to the facilities.
- A technical report on the findings of our survey.

The survey and report was undertaken between the 2nd and 4th May, 2010 by Noel Howard, CPEng, MIE (Aust), Registered Building Practitioner.

2. BACKGROUND INFORMATION

The assessment was based on a visual walk-through survey along with measurements to quantify maintenance, compliance requirements and an assessment of available architectural design plans made available by Council.

The information from the survey has been captured to our DHA Building Maintenance database, based on Microsoft Access 2007.

The following asset components were inspected (where assessable) as part of the condition audit:

Architectural

- Flooring and floor coverings
- Walls and ceiling claddings
- Doors and windows
- Joinery fixtures including benches, cupboards
- Roofing, guttering and down pipes (where accessible)
- Glazing and paint coatings
- Grandstand seating and fixtures

- Paving, stairs, ramps, balustrades, hand rails and fencing
- Protective coatings and finishes.

Hydraulic and Fire Services

- Amenities and sanitary fixtures (toilets, showers, basins, urinals etc.)
- Plumbing fittings and fixtures (where visible)
- Storm water and wastes (where visible)
- Fire services
- Hot water services

Electrical

- Switchboards and control panels
- Power, light outlets, electrical fittings and fixtures
- General wiring, mains and meters (where visible)
- Emergency lighting and exit signs (where installed)

Mechanical

- Mechanical ventilation
- Heating and cooling systems

3. INSPECTION METHODOLOGY

CONDITION ASSESSMENT

The following provides an explanation of the various parameters incorporated in the condition assessment of all assets and the inspection methodology used.

Condition Factors

The condition factor of a building component is a rating of the current condition of the component with respect to its original (as-built) condition and the effect of destructive forces such as weathering, corrosion, age, usage, willful/ accidental damage, etc as defined in the table below. A condition factor has been assigned to each component of the buildings.

Condition Factors

Component Condition	Component Condition Factor
Excellent (>90% of new condition)	5
Very Good (75-90% of new condition)	4
Good (50-75% of new condition)	3
Fair (25-50% of new condition)	2
Poor (10-25% of new condition)	1
Failed	0

Quantity and Costs: Quantities included in the database are approximate and are required for the formulation of estimated costs and based on the visual inspection at the time of the survey. Estimated costs are based on May 2010 estimates with no adjustment made for GST or CPI.

Condition: Condition assessments data is included on the data sheets detailing building components, which are either:

- Satisfactory or do not require maintenance or replacement within the ten-year period (noted as OK) or
- Have a condition fault (items requiring repair)
- Will reach the end of its useful life within the ten year period (items requiring replacement)

Component replacement or rehabilitation may also be influenced by the other factors such as:

- Performance and/or structural integrity
- Public safety aspects
- Security to the building and site
- Aesthetics and community expectations.

COMPLIANCE ASSESSMENTS

The grandstands were assessed against the Deemed to Satisfy provision of the Building Code of Australia (BCA).

Estimated costs have been provided for non compliance items. As full design documentation, building permits or certificate of occupancies were not available as part of this assessment it is recommended that Council source previous permits, modifications and documentation prior to implementing BCA recommendations.

The grandstands and amenities were assessed against the requirements of AS1428.1-4, Design for Access and Mobility and the Disability Discrimination Act.

On-site measurements were taken of ramp, stairs and balustrade heights, doorway and passage widths, door handle heights, gate widths and latch heights, dimensions of disabled sanitary compartments and componentry and other components relevant to establish compliance with current code requirements.

Comments and compliance cost estimates are included in the Appendix.

4. DATABASE

All data has been down loaded to a *Microsoft Access 2007* software program to enable all relevant information to be extracted. The database allows maintenance recommendations to be grouped in the year or period of implementation.

The database has been divided into the following menus:

MAIN MENU - access to both specific building data input for the following:

- Condition Task Entry

Reports on all aspects of the facility which are available in sub menus including:

- Maintenance Reports
- Asset Information Reports

MAINTENANCE REPORTS

The menu provides all relevant maintenance reports in relation to maintenance of the assets including:

- Table 1 – Maintenance (Ten-Year) Program
- Table 3 – Cyclical Maintenance Program
- Data Sheets.

The Data Sheets reports provide details of all components of the buildings and their condition, irrespective of the maintenance recommendations.

Additional reports are available to assist with the implementation of maintenance and formulation of annual budget estimates.

BCA REPORTING

The menu provides all relevant reports in relation to BCA compliance recommendations.

DISABLED ACCESS REPORTING

The menu provides all relevant reports in relation to disabled access and facilities recommendations.

MAINTENANCE UPDATE MENU

For updating the Work Status and allocating a completion date to maintenance items. The database has been designed to allow Council to update the "*Work Status*" of all maintenance recommendations listed in the Maintenance Schedule to allow ongoing monitoring of the programs and for the preparation of annual maintenance budgets.

Maintenance cost reports for each of the programs provide details of the total cost of maintenance recommendations for all work that is "*Yet to Start*", "*Completed*", "*Underway*" or "*Deferred*".

5. SUMMARY OF THE CONDITION ASSESSMENT

Southern Grandstand

The building consists of a two level building with public toilets and open standing room area to the ground level and tiered seating area with corporate boxes to the first floor level. The grandstand was constructed in 1979.

Seating capacity provides for 1424 seats to the grandstand and boxes.

From our assessment the building, plant and site components are generally in average condition for its age and the building constructed of solid brick with concrete floor, beams and columns and a steel roof. A detailed structural report on all three grandstands was undertaken in January 2009 by the NSW Department of Commerce and cost estimates prepared in April 2009 by quantity surveyors from the Government Architect's Office. The reports identified the following:

- Strengthening of beam and column junctions underneath the stairs is required.
- Expansion joint material requires replacement.
- Concrete spalling at the stand/stair joints requires rectification.
- Removal of rust and treatment of steelwork to the stand roof purlins is required.
- Roof gutters, fascia cappings and downpipes require replacement.
- Cleaning and painting of concrete beams and columns are recommended.

Our on-site inspection highlighted a number of observations namely:

- With the exception of the above structural items the building appears to be sound.
- Exterior elements including walls, fascia, doors, eaves and windows are in good condition with some external repainting required in the medium term.
- Retractable seating to the grandstand and boxes has been replaced more recently.
- The boxes require upgrade to lighting and ventilation. Re-carpeting and replacement of joinery items require replacement in the medium term.
- The public toilets whilst in good to average condition require replacement of single flush cisterns with dual flush units and replacement of lighting. Wall tiling in the male disabled sanitary compartment has delaminated.
- The disabled sanitary compartments in both the male and female toilets are undersized. Construction of a unisex disabled sanitary compartment is recommended. Refer Disabled Access & Facility recommendations in section 7.0 of this report.
- Steel roofing is likely to require replacement within the next 10 years.
- External light fittings and the electrical distribution board will also require replacement and provided with RCD protection.
- Sections of the asphalt paving underneath the stand is cracked and damaged in sections and recommended to be re-sheeted. Sections of brick pavers to the exterior of the toilets have subsided adjacent to the female toilet entrance.
- There is a lack of fire protection to the building with only on hose reel installed to the ground level and no extinguisher to the switchboard.
- There are concerns in relation to the balustrades to the front of the stands and the landings and stairs. Whilst the balustrades are set at the correct height the tensioned wire infill to the balustrades is not to BCA requirements. Refer BCA recommendations in section 7.0.

Jane Try Stand

The building consists of a two level building with public change rooms, kiosk, coach's address, media and first aid rooms to the ground level and tiered seating area with corporate boxes to the first floor level. The grandstand was constructed in 1972.

The public seating area provides for 1912 seats and additional seating within the enclosed boxes.

From our assessment the building, plant and site components are generally in good to average condition for its age and the building constructed of solid brick with concrete floor, beams and columns and a steel roof. The ground level renovated spaces are in excellent condition. The 2009 structural report identified the following remedial repairs to the grandstand:

- Repairs to concrete cracking.
- Expansion joint material requires replacement.
- Concrete spalling requires rectification.
- Removal and rust treatment of the stand roof purlins is required.
- Roof sheeting, gutters, fascia cappings and downpipes require replacement.
- Cleaning and painting of concrete beams and columns are recommended.

Our on-site inspection highlighted a number of observations namely:

- With the exception of the above structural items the building appears to be sound.
- Exterior elements including walls, fascia, doors, eaves and windows are in good condition following the more recent upgrade to the ground level spaces.
- Retractable seating to the grandstand and boxes has been replaced more recently.
- The boxes and the upper level access passage require completion of upgrades to lighting and floor coverings in the short term.
- Home, visitor, referee and cheer squad change rooms including sanitary and showers have been totally upgraded during 2009/10. The builder was attending to defects during our inspections.
- Components to the ground level kiosk require upgrading in the medium term.
- External light fittings and the electrical distribution board have all been replaced as part of the ground level upgrade works.
- There is a lack of fire protection to the building with one internal hose reel installed to the ground level change room passage and an external west elevation hydrant. Whilst the hose reel installed on Level 1 of the adjoining Ken Arthurson stand provides coverage to the southern end of the stand, an additional hose reel is required to provide coverage to the northern end of the grandstand.
- There are concerns in relation to the balustrades to the front of the stands and the landings and stairs. Whilst the balustrades are set at the correct height, similar to the Southern Stand, the tensioned wire infill to the balustrades is not to BCA requirements. Refer BCA recommendations in section 7.0.
- The ramp to the north end of the building provides restricted disabled access to the first floor level, although allocated wheel chair spaces are not provided to any of the grandstand elevated seating areas. Refer disabled access and facility recommendations in section 7.0.

Ken Arthurson Stand

The building consists of a three level building with public toilets, kitchen and club shop to the ground level. Tiered seating is available on levels 1 and 2 along with seating and corporate boxes on level 3. A large function room with corporate suites and toilets are provided on level 1. The building was constructed in 1994 with level 3 boxes and seating areas constructed during 2009/10. The function room (Presidents Lounge) and north end toilets on level 1 was altered and partially upgraded within the past 12 months.

The public seating area provides for 844 seats on levels 1 and 2 and 87 seats to level 3. Enclosed boxes/suites are provided to levels 1 and 3.

From our assessment of the building, components are generally in good to average condition for their age and the building constructed of solid brick with concrete floor, beams and columns and a steel roof. The 2009 structural report identified the following remedial repairs to the grandstand:

- Expansion joint material requires replacement.
- Concrete spalling and cracking requires rectification to stair soffit and beam/staircase junctions .
- Treatment of surface rust to the grandstand roof purlins is required.
- Removal of angled roof sheeting and replacement of the front fascia cappings and downpipes require replacement.
- Cleaning and painting of concrete beams and columns are recommended.

Our on on-site inspection highlighted a number of observations namely:

- With the exception of the above structural items the building appears to be sound.
- Exterior elements including walls, fascia, doors, eaves and windows are in good condition.
- Retractable seating to the grandstand and boxes are in good condition.
- The level 1 function room has been renovated and expanded to the north side with new ceiling panels, lighting and new toilets. The south side of the room including the south toilets requires a similar upgrade in the short term.
- Level 2 consists of tiered seating and a kiosk in original condition.
- The corporate boxes to level 3 were in the process of construction at the time of the inspection. Level 3 will provide new corporate boxes, public toilets and glass balustraded seating area on completion
- External ground level public lighting is recommended to be upgraded in the medium term. The main and the electrical distribution boards are in average condition and will not require replacement for some 15 years or more.
- Fire protection to the building consists of fire hydrants and fire hose reels supplemented by a recent installation of a fire indicator panel/evacuation warning system and smoke detectors to the new level 3 spaces. Refer BCA recommendations in section 7.0.
- A dumb waiter used for transporting heated meals and beverages from the ground level kitchen to the first floor function room store is installed. Given the age and restrictions with the dumb waiter and lack of vertical lift access for the disabled, considerations should be given to replacing the lift with a disabled person's passenger lift which can also be used for transporting goods.
- There are concerns in relation to the balustrades to the front of the stand to level 1 and 2 and the landings and stairs. Whilst the balustrades are set at the correct height, similar to the Southern Stand, the tensioned wire infill to the balustrades is not to BCA requirements. Refer BCA recommendations in section 7.0.
- Currently there is no vertical lift access for the disabled or wheel chair users to gain access to the upper levels. The ramp to the north end of the Jane Try stand provides restricted disabled access to the first floor level, although allocated wheel chair spaces are not provided to any of the grandstand elevated seating areas. Refer disabled access and facility recommendations in section 7.0.

Kiosk/Scoreboard

The building consists of a single level building with kiosk and electronic scoreboard over. The building was constructed in 1980 and a manually operated scoreboard appears to have been replaced with the current scoreboard panel. Whilst recent upgrades to the kiosk including floor tiles and repainting has been undertaken, upgrading of lighting and switchboard is recommended in the medium term along with provision of a hot water system for the sink.

Amenities

Public amenities are provided around the perimeter of the ground to the north west, north east and south east of the site. Designated wheel chair spaces have been installed along the new west boundary seating area.

The older north west amenities, which is 45 years old provide basic male and female sanitary facilities. Whilst the building is well maintained, consideration should be given to replacing the facility with a modern toilet facility catering for gender specific and unisex disabled sanitary facilities with at grade access. If these amenities are replaced, considerations should be given to constructing the facilities closer to the Jane Try stands northern ramp. The stand has no spectator sanitary facilities within the building and is dependent on the Arthurson stand public toilets to the southern end.

The north east amenities which is of similar age to the NW facility is more substantial and provides a unisex disabled sanitary compartment with at grade access available, although a new path connecting the disabled compartment to the ground is recommended. The amenities are recommended to be retained for at least 10 to 15 years.

Whilst the disabled sanitary compartment is new and lighting throughout has been recently upgraded, toilet cisterns to the male and female toilets are recommended to be replaced with dual flush recessed units.

The south east amenities are relatively new although without designated sanitary facilities for the disabled. Construction of a unisex disabled sanitary compartment is recommended.

Turnstiles/Ticket Boxes

Older style ticket boxes along the north boundary have been replaced with newer facilities catering for computerized ticket boxes and electronic turnstiles to the north, south west and south east entrances.

All of the new ticket boxes/turnstile enclosures are generally in good to excellent condition. Some maintenance is required to the north entrance facility.

Parks/Tractor Shed

A steel framed, steel clad storage shed has been constructed outside the perimeter of the ground adjacent to the caretaker's cottage. The shed whilst in average condition, is prone to vandalism. Lighting and the switchboard are recommended for replacement in the short term.

As the caretaker's cottage is proposed to be demolished, no assessment has been undertaken of the building.

Ground and Surrounds

No assessment has been made of the turf or irrigation system. A specialist turf management consultants is recommended for this assessment.

Retractable seating has been more recently installed along the western side of the ground providing four rows of seating. The remainder of the ground has three to four rows of timber bench seating. It is recommended that consideration be given to replacing the bench seats along the east, north and south perimeters of the ground with retractable seating. Replacement of the asphalt pavement with concrete pavement under seating is also recommended.

Asphalt paving and concrete kerb and channels in front or beneath the Southern and Jane Try stands requires re-sheeting and replacement respectively.

The playing surface is irrigated using bore water and storage tanks located to the north end of the ground. We were advised that the original 12,000 litre tank was installed some four years ago and a similar sized tank installed adjacent last year. Due to sludge build up the bore water and tank submersible pumps require ongoing inspection and clearing.

Steel fencing and gates to the perimeter of the site is relatively new and in good condition.

Maintenance recommendations for all of the buildings and surrounds are detailed in Tables 1 and 3 of the Appendix.

6. MAINTENANCE PROGRAMS

Maintenance requirements catalogued in the Data Sheets have been allocated the required Condition Factor and Maintenance Year or period to enable long term least cost asset preservation maintenance programs to be compiled. Maintenance has been allocated to either the Maintenance Ten-Year program or the Cyclical Maintenance program.

MAINTENANCE TEN-YEAR AND CYCLICAL PROGRAMS

Maintenance recommendations have been generally incorporated into the Maintenance Ten-Year Program in Table 1 or the Cyclical Maintenance Program for cyclical maintenance and servicing in Table 3 . Total maintenance costs associated with the program for all buildings and the sites are shown in the Summary Table A below.

MAINTENANCE COSTS

Total estimated maintenance costs for all buildings assessed are summarized as follows:

Summary Table A – Maintenance Schedules

Year	Ten-Year Program	Cyclical Maintenance Program	Total
Year 1	\$1,700,299.00	\$9,030.00	\$1,709,329.00
Year 2	\$254,100.00	\$12,150.0	\$266,250.00
Year 3	\$104,300.00	\$73,890.00	\$178,190.00
Year 4	\$2,200.00	\$77,640.00	\$79,840.00
Year 5	\$361,700.00	\$9,350.00	\$371,050.00
Year 6	\$2,900.00	\$100,300.00	\$103,200.00
Year 7	\$0.00	\$9,580.00	\$9,580.00
Year 8	\$76,000.00	\$78,810.00	\$154,810.00
Year 9	\$5,800.00	\$73,340.00	\$79,140.00
Year 10	\$50,050.00	\$10,980.00	\$61,030.00
TOTAL ESTIMATED MAINTENANCE COST			\$3,012,419.00

Notes:

Estimated costs are based on, May 2010 prices with no allowance for CPI or GST; The above table is a summary of programmed/scheduled maintenance identified at the time of the survey. The following items are not included in the maintenance cost summary:

- Allowances for cleaning and unspecified maintenance;
- Allowances for the design documentation, tendering and supervision of the maintenance recommendations;
- Estimated costs have been estimated on the basis of collective implementation to ensure cost effective maintenance.
- Estimated costs associated with the Government's Architects Office structural estimates for the three grandstands are based on April 2009 costs.

7. SUMMARY OF THE COMPLIANCE ASSESSMENT

BUILDING CODE OF AUSTRALIA

The grandstands were inspected against the Deemed to Satisfy Provisions of the Building Code of Australia.

Southern Stand

The building, constructed of brick with concrete floor and steel roof is a Class 9b assembly building of Type B construction with a floor area of 1148 m².

The building is used as a spectator stand with tiered seating and corporate boxes to the upper level and standing room spectator area and toilets to the ground level.

The following BCA compliance items were identified:

- Glass to doors to the corporate boxes appear to be Grade A safety glass but are not labeled to AS1288 requirements.
- From on-site measurements the upper level stand does not have sufficient exit width for the number of people in occupation (stand seating and corporate boxes) and assumes that the west exit stairs shared with the adjoining stand forms part of the required exit width. It is recommended that Council check the original building permit and any modifications that may have been issued prior to installing additional exit stairs.
- Exits are clear at the point of discharge with unobstructed egress to road.
- There are concerns with the balustrades to both the stand seating area and stairs. The existing balustrades to the seating area consists of a solid metal base to a height of 600mm above the floor and three rows of tensioned wires and solid steel handrail over. The tensioned wire openings to all balustrades and stair railings do not comply with openings between the wire exceeding 125mm to the requirements of D2.16h(ii)A, The east end balustrade is protected by industrial glazing where the drop exceeds 4 meters and overcomes the requirements of D2.16h(ii)B. To provide for code requirements, the tensioned wires would need to be modified to ensure they meet the tension requirements of Table D2.16a and ensure a sphere of 125mm cannot pass between the wires.
- The ground level ramps leading to the public toilets do not comply with AS1428.1-4. Refer disabled access recommendations
- The only fire services identified is a sole fire hose reel to the ground level adjacent to the public toilets. No fire hydrant is provided in or external to the building. An additional fire hose reel is installed on the level 1 landing to the Arthurson Stand exit stairs, however the hose reel installations would not provide sufficient coverage to the whole of the Southern Stand.
- Illuminated exit signs are not installed to the building. A single exit sign is installed to the adjoining stairs of the Arthurson stand. There is no emergency lighting installed to the corporate boxes or ground level toilets.
- An essential services log book was not cited. We were advised that active ESM components are inspected/tested and logged off site, however passive ESM items such as inspections of paths and travel and exits are not currently inspected and logged.
- Whilst there are sufficient male and female sanitary facilities provided for spectators, there is undersized disabled sanitary compartments within the male and female public toilets. Refer disabled access recommendations for the provision of a designated unisex sanitary facility.
- Room ceiling heights, natural lighting and ventilation generally comply with the code.

Jane Try Stand

The building, constructed of brick with concrete floor and steel roof is a Class 9b assembly building of Type B construction with a floor area of 1740 m².

The building is used as a spectator stand with tiered seating and corporate boxes to the upper level and change rooms, kiosk, first aid and media room to the ground level.

The following BCA compliance items were identified:

- Glass to doors to the west end media room appear to be Grade A safety glass but are not labeled to AS1288 requirements.
- From on-site measurements the upper level stand does not have sufficient exit width for the number of people in occupation (stand seating and corporate boxes) and assumes that the south exit stairs shared with the adjoining stand and west stairs forms part of the required exit width. It is recommended that Council check the original building permit and any modifications that may have been issued prior to installing additional exit stairs.
- Exits are clear at the point of discharge with unobstructed egress to road. The gate to the north-west corner is recommended to be unlocked to provide safer egress.
- There are concerns with the balustrades to both the stand and stairs. Similar in design to the Southern Stand, the existing balustrades to the seating area consists of a solid metal base to a height of 600mm above the floor and three rows of tensioned wires and solid steel handrail over. The tensioned wire openings to all balustrades and stair railings do not comply with openings between the wire exceeding 125mm to the requirements of D2.16h(ii)A, whilst the east end balustrade whilst climbable has a drop of less than 4 meters and would meet the requirements of D2.16h(ii)B. To provide for code requirements, the tensioned wires would need to be modified to ensure they meet the tension requirements of Table D2.16a and ensure a sphere of 125mm cannot pass between the wires.
The north end balustrade needs to be modified so that it is not climbable where the drop exceeds 4 meters. Installation of non-climbable panel is recommended for the full length.
- The ground level ramps leading to the north and west sides do not comply with AS1428.1-4. Refer disabled access recommendations
- The fire services identified is a sole fire hydrant to the west elevation ground level and an internal hose reel recently installed to the ground level change room passage. An additional fire hose reel is installed on the level 1 landing to the Arthurson Stand exit stairs, however the hose reel installations would not provide sufficient coverage to the whole of the Jane Try Stand. An additional fire hose reel is recommended to be installed to provide coverage to the northern end of the stand.
- Exit and emergency lighting has been installed within the recently upgraded ground level spaces and upper level corporate box passage. A single exit sign is installed to the adjoining stairs of the Arthurson stand. There is no emergency lighting installed to the corporate boxes or ground level toilets.
- An essential services log book was not cited. Active ESM's are logged off site.
- The only sanitary facilities provided to the building are for participants. These are sufficient for the number of players, referees and cheer girls. The nearest public sanitary facilities are located at ground level to the Arthurson stand. Additional public amenities are provided to the NW corner of the site.
- Room ceiling heights, natural lighting and ventilation generally comply with the code.

Ken Arthuson Stand

The building, constructed of brick with concrete floor and steel roof is a Class 9b assembly building of Type A construction with a floor area of 2172 m².

The building is used as a spectator stand with tiered seating and corporate boxes to the upper levels 1, 2 and 3, function room and toilets to level 1 and public toilets, kitchen and club shop to the ground level.

The following BCA compliance items were identified:

- Glass to doors to the level 1 function room appear to be Grade A safety glass but are not labeled to AS1288 requirements.
- From on-site measurements the upper level stand does not have sufficient exit width for the number of people in occupation (stand seating and corporate boxes). No allowance has been made for the additional exits provided by the Southern or Jane Try stands. It is recommended that Council check the original building permit and any modifications that may have been issued prior to installing additional exit stairs.
- Generally exits are clear at the point of discharge with unobstructed egress to road. The grille gates to the southern exit from the level 1 function room obstruct safe egress. The roller shutters to the top of the level 3 stairs should be locked in the open position during occupation.
- There are concerns with the balustrades to both the stand and stairs. The existing balustrades to the seating area consists of a solid concrete base to a height of 710mm above the floor and a single row of tensioned wire and solid steel handrail over. The tensioned wire openings to all balustrades and stair railings do not comply with openings between the wire exceeding 125mm to the requirements of D2.16h(ii)A. Where there is a drop of more than 4 meters the balustrade cannot be climbable to the requirements of D2.16h(ii)B. To provide for code requirements, the stand balustrades will require a solid panel to be installed between the concrete section and the hand rail and the tensioned wires to the stair balustrades would need to be modified to ensure they meet the tension requirements of Table D2.16a and ensure a sphere of 125mm cannot pass between the wires.
- The fire services identified include fire hydrants to the ground level and level 2 (at both ends of the seating area) and an fire hose reel to the ground level and level 1 (at both ends of the seating area). Level 3 does not have a fire hydrant or hose reel and is dependent on the coverage provided by the level 2 fire services. Fire smoke detectors appear to be in the process of being installed to level 3. A fire indicator panel with emergency evacuation alarm is being installed to the ground level switchboard room.
- Exit lighting is installed to all of the exit stairs and to the level 1 and 3 function areas along with partial installation of emergency lighting to renovated spaces.
- An essential services log book was not cited. Active ESM's are logged off site.
- There are sufficient sanitary facilities provided to the ground level of the building along with sanitary facilities provided for the level 1 and 3 function spaces. The ground level disabled sanitary compartments within the male and female do not meet AS1428 requirements and provision of a unisex disabled compartment(s) is recommended.
- Room ceiling heights, natural lighting and ventilation generally comply with the code.

Note:

The BCA assessment is a visual inspection only. No design plans were available other than architectural floor plans, hence sourcing details of fire and sanitary services and other components of the building were reliant on the site inspections. Building materials, fire ratings or the capability of the mechanical air handling systems have not been assessed as part of this inspection.

No occupancy certificates or essential safety measures log books were available at the time of the survey to enable verification of ESM requirements. It is recommended that Council check if modifications may have been granted as part of the original building permits especially in regard to exit stair widths.

Recommendations and estimated capital costs relevant to the BCA assessment are included in the Appendix.

DISABLED ACCESS & FACILITIES

The grandstands and amenities were assessed against the requirements of AS1428.1-4 – Design for Access & Mobility and the Disability Discrimination Act.

Our inspection has been made to assess the following key requirements for disabled access:

- existence of designated disabled persons car space(s);
- distance of the car space to the entrance of the building;
- existence and slope of internal and external ramps and walkways to the entrance and within internal spaces;
- stairs and thresholds which inhibit access to or within the buildings or site;
- vertical access to upper levels of the building (where in excess of one level);
- doorway widths and latch type;
- circulation spaces and passageways;
- existence of disabled sanitary compartments, shower facilities and their componentry;
- public reception and counter provisions (where provided).

Access Ramps, Walkways and Car Spaces

Exterior access to the main entrance is required to provide a continuous accessible path of travel for disabled persons.

Where off street public car parking is provided, designated and signed car space(s) for the disabled is recommended to be installed as close to and within 60 meters of the entrance of the building at a ratio of 1 to every 100 standard spaces.

Kerb ramps with tactile indicators are required with smooth surfaced at grade or sloped walkway (max 1:20 gradient) accessed from the car park and street to the entrance. Access ramps are to be to max 1:14 gradient and fitted with handrails set at min. 1000mm apart to code requirements.

Sanitary and Shower Facilities for the Disabled

In addition to standard sanitary pan cubicles, the building is required to provide a disabled sanitary compartment. Where standard shower or communal shower facilities are installed a disabled sanitary compartment or a shared sanitary/shower compartment is required.

Babies change facilities are also recommended to be installed to all facilities ideally within or adjacent to the disabled sanitary compartment or to the male and female toilets.

Internal Access & Signage

Access within the building needs to comply in respect of widths of passageways, door widths and circulation spaces, door handle heights, etc to code requirements.

Signage and directional signage is recommended to indicate the location of proposed disabled toilet/showers and babies change facilities. Signage should be in the correct colour (blue on white) in symbol/tactile (Braille) form and mounted adjacent to the door to code requirements.

Interior and exterior stair treads are required to meet tread and riser dimensions and to have strips to the stair nosings and tactile indicators to stair and ramp landings for the vision impaired. Hand rail design and heights also require to meet Code requirements.

Southern Stand

The following disabled access compliance items were identified:

- There are no gates restricting access to the entrances to the stand.
- The ground level ramps leading to the public toilets does not meet code requirements and are recommended to be replaced with new ramps with the gradient requirements of 1:14, tactile indicators and handrails to both sides.
- Whilst vision strips are provided to all entry and aisle stair nosings, there are no tactile indicators for the vision impaired.
- Whilst handrails heights are generally to code, the rail diameter and extensions do not meet code requirements. There are no handrails to the stairs leading to the boxes. Grab rails along the aisle stairs would assist patrons especially ambulant disabled persons.
- Doorway widths to the building are to code.
- Passageway width to the top and bottom of the seating area are under code requirements, however there is limited scope to modify.
- A unisex disabled sanitary compartment is recommended to be constructed adjacent to the ground level toilets as the male and female disabled compartments are undersized and have incorrect componentry. Correct symbol/tactile signage is recommended adjacent to the proposed compartment.

Jane Try Stand

The following disabled access compliance items were identified:

- There are no gates restricting access to the entrances to the stand.
- The ground level ramps leading to the west and north elevations do not meet all code requirements and are recommended to have tactile indicators and correctly placed handrails. The northern ramp does not have a mid landing.
- Whilst vision strips are provided to all entry and aisle stair nosings, there are no tactile indicators for the vision impaired.
- Whilst handrails heights are generally to code the rail diameter and extensions do not meet code requirements. Whilst new stainless steel grab rails have been installed to select seating areas to the southern end of the stand, additional grab rails along the remaining aisle stairs would assist patron's especially ambulant disabled persons.
- Doorway widths to the building are to code.
- Passageway width to the top and bottom of the seating area are under code requirements, however there is limited scope to modify.
- Standard cubicle sanitary compartment are provided for participants at ground level but there is no disabled sanitary or shower facilities within the building.
- A directional disabled symbol sign is recommended at the base of the west exit stairs and north ramp directing the disabled to available sanitary facilities under the Arthurson stand.

Ken Arthurson Stand

The following disabled access compliance items were identified:

- A single and signed disabled person's car space is required in the off street car park adjacent to the west entrance. The space should be located within 60 meters from the entrance.
- A kerb ramp is recommended adjacent to the car space to enable wheel chair access to the entrance.
- The walkway from the car park to the east entrance is to the gradient requirements of then code.
- There are no gates restricting access to the entrances during occupation, however sufficient width should be provided for wheel chair access adjacent to the turnstiles.
- There are no vision strips provided to entry and aisle stair nosings, and no tactile indicators for the vision impaired.

- Whilst handrails heights are generally to code the rail diameter and extensions do not meet code requirements. Grab rails have been installed to seating areas and assist patrons especially ambulant disabled persons.
- Doorway widths to the building are to code.
- Passageway width to the top and bottom of the seating area are under code requirements, however there is limited scope to modify.
- Disabled sanitary compartments are provided for spectators to the male and female toilets at ground level but a unisex disabled compartment is recommended to be installed.
- There is a need to provide allocated wheelchair spaces to the stand level, ideally adjacent to existing seating. Where this is not possible, it is recommended that a row of wheel chair spaces is installed to level 1, assuming vertical lift access is provided to this level. Wheel chair spaces are required to be provided at a ratio of 1 to every 100 standard seats. This is not likely to be possible due to constraints of the seating layout.
- At present the only wheel chair access is via the northern ramp of the Jane Try stand. This is far from ideal in that it is not assessable from the entrance and the lower aisle of the stand has width below code requirements. Serious consideration should be given to installing a disabled person's passenger lift between the ground and level 1. The present location of the dumb waiter should be considered as it provides reasonable access to the level 1 function room and will enable improved goods access from the kitchen. Alterations at ground level would also need to be made to allow wheel chair access through the present kitchen storage area.

Amenities

The following disabled access compliance items were identified:

The north-west and south-east amenities are recommended to be provided with at-grade unisex disabled sanitary compartments. The provision of a disabled compartment to the north-west amenities is recommended to be deferred until the building is replaced, ideally closer to the Jane Try stand.

The north -east amenities are recommended to have a path and gate installed opposite the entrance to the disabled compartment to provide lower grade access to the ground.

Ticket Boxes & Turnstiles

Ensure that all operating turnstiles provide sufficient width of access for wheel chairs. Ideally all ticket box window counters should be meet height requirements of the code.

Ground and Surrounds

If and when the bench seating to the perimeter of the ground is replaced with retractable seating, provide allocated wheel chair spaces at a ratio of 1 to every 100 seats to code requirements.

Recommendations and estimated capital costs relevant to the disabled access and facilities assessment are included in the Appendix.

COMPLIANCE COSTS

Total estimated compliance costs for the assessed buildings are summarized as follows:

Summary Table B – Compliance Upgrades

Compliance	Estimated Costs
Building Code of Australia	\$250,300.00
Disabled Access & Facilities	\$635,850.00
TOTAL	\$886,150.00

Note:

No allowance has been made for the design, documentation, tendering and supervision of the above recommendations.

8. MAINTENANCE & COMPLIANCE UPGRADE PROGRAM**Summary Table C – Maintenance & Compliance Upgrades**

Component	Estimated Costs
Maintenance Programs	\$3,012,419.00
Compliance Upgrades	\$886,150.00
SUB TOTAL	\$3,898,569.00
Contingency	\$350,000.00
Builder's Margin	\$510,000.00
Design documentation	\$640,000.00
TOTAL	\$5,398,569.00

Note: The allowance for contract documentation, tendering and supervision is dependent on the packaging of works to be implemented and will vary according to the scope of the works and the process of maintenance and capital implementation.

APPENDIX

BUILDING REGISTER

BUILDING REGISTER

NUMBER SITE

- 1 Brookvale Oval Southern Stand
- 2 Brookvale Oval Jane Try Stand
- 3 Brookvale Oval Ken Arthurson Link Stand
- 4 Brookvale Oval Northern Turnstiles
- 5 Brookvale Oval North Western Turnstiles
- 6 Brookvale Oval Score Board & Kiosk
- 7 Brookvale Oval South East Turnstiles & Ticket Box
- 8 Brookvale Oval South West Turnstiles
- 9 Brookvale Oval Tractor Shed
- 10 Brookvale Oval NE Amenities
- 11 Brookvale Oval NW Amenities
- 12 Brookvale Oval SE Amenities
- 13 Brookvale Oval Ground & Surrounds

PHOTOGRAPHS



Photo 1

Brookvale Oval Assessment 2010

View of main entrance to the south west corner of the oval



Photo 2

Brookvale Oval Assessment 2010

View of the Jane Try stand (RHS) and Ken Athurson stand (LHS) facing the ground

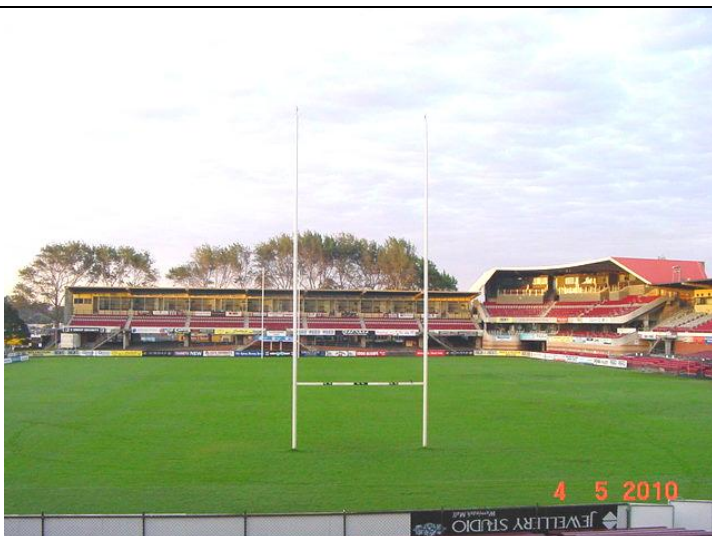


Photo 3

Brookvale Oval Assessment 2010

View of the Southern stand (LHS) and Ken Athurson stand (RHS) facing the ground



Photo 4

**Brookvale Oval Assessment 2010
Southern Stand**

View of the north elevation showing
exit stairs to the east end



Photo 5

**Brookvale Oval Assessment 2010
Southern Stand**

View of the north elevation showing
exit stairs to the west end

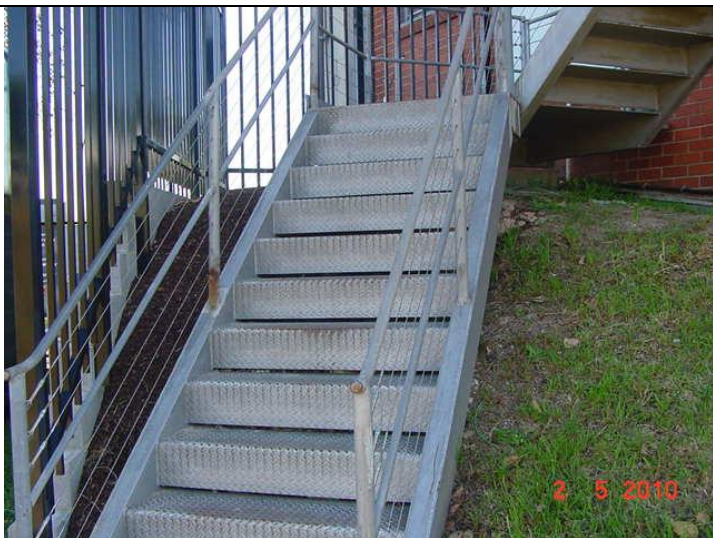


Photo 6

**Brookvale Oval Assessment 2010
Southern Stand**

View of the east elevation exit stairs



Photo 7

**Brookvale Oval Assessment 2010
Southern Stand**

View of the lower aisle with sufficient width. The balustrade does not meet D2.16h(ii)A requirements of the BCA as openings to the tensioned wires exceed 125mm



Photo 8

**Brookvale Oval Assessment 2010
Southern Stand**

View of missing grate to the lower aisle



Photo 9

**Brookvale Oval Assessment 2010
Southern Stand**

View of surface corrosion to the steel balustrades



Photo 10

**Brookvale Oval Assessment 2010
Southern Stand**

View of seating aisle with nosing delineation but no tactile indicators

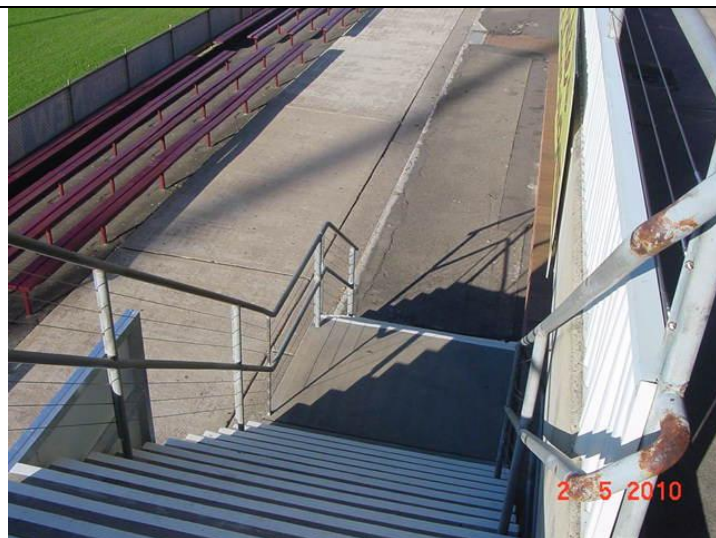


Photo 11

**Brookvale Oval Assessment 2010
Southern Stand**

View of exit stairs with nosing delineation but no tactile indicators. Tension wires to the stair handrails exceed 125mm



Photo 12

**Brookvale Oval Assessment 2010
Southern Stand**

View of recently installed retractable seating with enclosed corporate boxes at the rear



Photo 13

**Brookvale Oval Assessment 2010
Southern Stand**

View of top aisle with steps restricting access

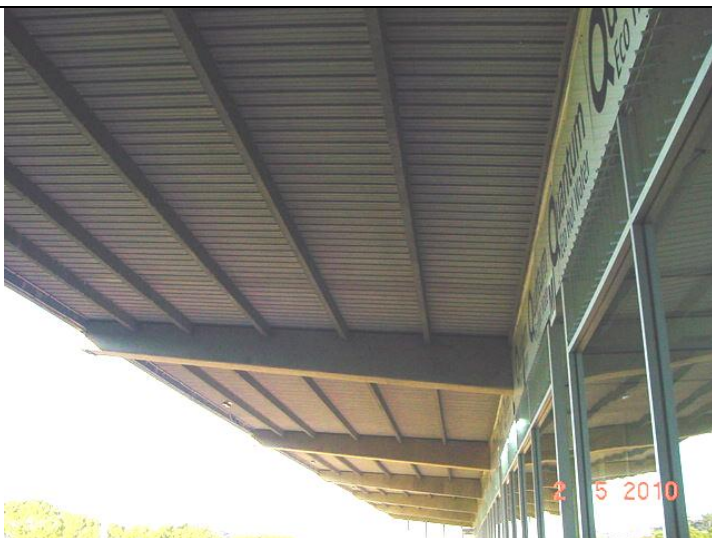


Photo 14

**Brookvale Oval Assessment 2010
Southern Stand**

View of roof portals and roof purlins.
Refer structural report

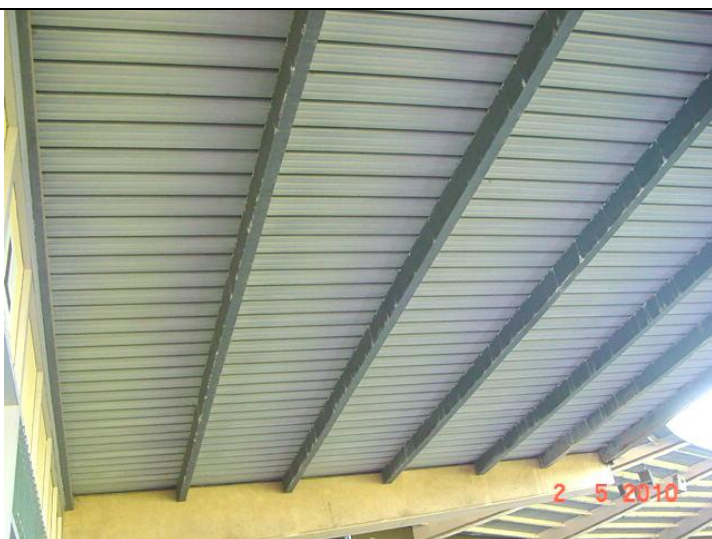


Photo 15

**Brookvale Oval Assessment 2010
Southern Stand**

View of roof purlins requiring repainting



Photo 16

**Brookvale Oval Assessment 2010
Southern Stand**

View of typical corporate box seating



Photo 17

**Brookvale Oval Assessment 2010
Southern Stand**

View of typical corporate box fit-out with cold water supply only



Photo 18

**Brookvale Oval Assessment 2010
Southern Stand**

View of original lighting and fans to the corporate boxes which are recommended to be replaced in the short term



Photo 19

**Brookvale Oval Assessment 2010
Southern Stand**

View of electrical distribution board
in one of the corporate boxes



Photo 20

**Brookvale Oval Assessment 2010
Southern Stand**

View of the rear (south side) of the
stand



Photo 21

**Brookvale Oval Assessment 2010
Southern Stand**

View of illuminated exit sign west
end above the Athurson stand exit.
No other exit signs are provided to
the stand



Photo 22

**Brookvale Oval Assessment 2010
Southern Stand**

View of patched concrete to the underside of the stand which is recommended to be painted



Photo 23

**Brookvale Oval Assessment 2010
Southern Stand**

View of damaged asphalt paving adjacent to the ground level toilet access path



Photo 24

**Brookvale Oval Assessment 2010
Southern Stand**

View of raised block paving adjacent to the female toilet entrance



Photo 25

**Brookvale Oval Assessment 2010
Southern Stand**

View of lighting to the exterior of the ground level toilets



Photo 26

**Brookvale Oval Assessment 2010
Southern Stand**

View of cracked asphalt pavement under the stand



Photo 27

**Brookvale Oval Assessment 2010
Southern Stand**

View of undersized disabled sanitary compartment in the ground level male (and female) toilets



Photo 28

**Brookvale Oval Assessment 2010
Southern Stand**

View of basins, vanity and babies change table to the ground level female toilets



Photo 29

**Brookvale Oval Assessment 2010
Southern Stand**

View of northern exit stairs and adjoining ramp to the ground level toilets. The ramp does not comply with AS1428.1-4 and the stairs do not comply with the BCA



Photo 30

**Brookvale Oval Assessment 2010
Southern Stand**

View of exposed concrete reinforcement to the front aisle. Refer structural report



Photo 31

**Brookvale Oval Assessment 2010
Arthurson Stand**

View of three level stand showing level three boxes which are currently under construction



Photo 32

**Brookvale Oval Assessment 2010
Arthurson Stand**

View of Level 2 showing recently installed retractable seating

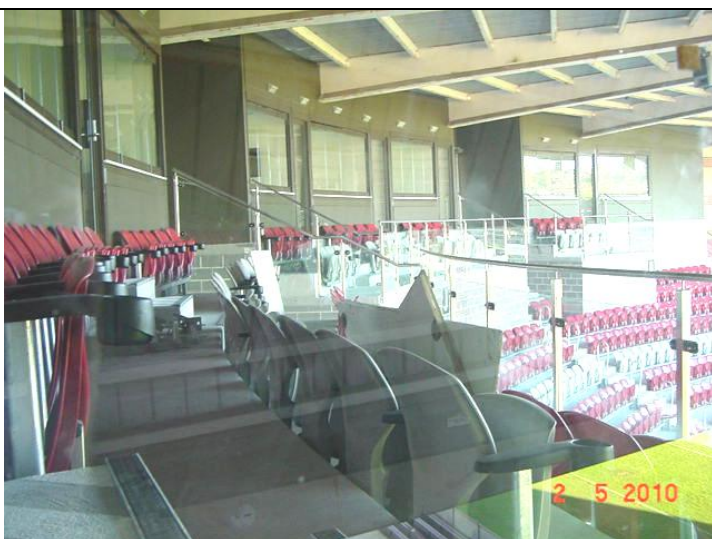


Photo 33

**Brookvale Oval Assessment 2010
Arthurson Stand**

View of Level 3 seating with glass balustrades

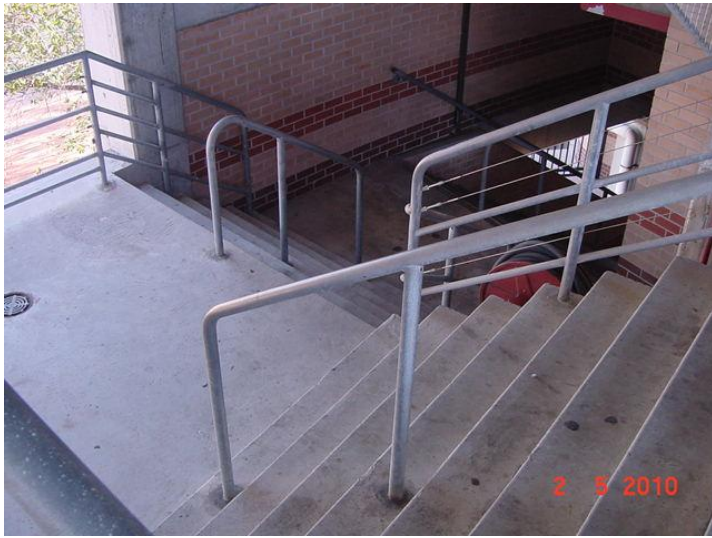


Photo 34

**Brookvale Oval Assessment 2010
Arthurson Stand**

View of exit stairs to the south end below Level 1. The tension wire balustrades and stair handrails do not comply with D2.16h(ii)A of the BCA with openings exceeding 125mm. Installation of additional tensioned wires meeting Table D2.16a requirements to exit stair balustrades where the drop is less than 4 meters is recommended

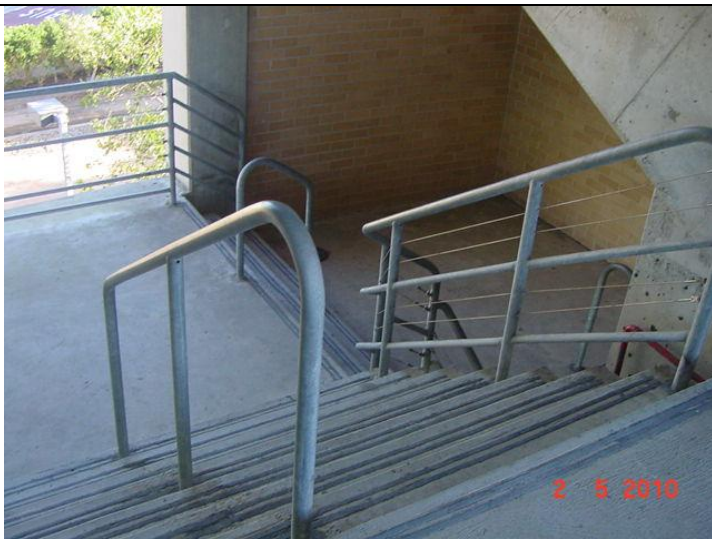


Photo 35

**Brookvale Oval Assessment 2010
Arthurson Stand**

View of exit stairs to the south end below Level 2 with similar handrail openings to stairs and landings



Photo 36

**Brookvale Oval Assessment 2010
Arthurson Stand**

View of fire hose reel and hydrant to the north end of Level 2



Photo 37

**Brookvale Oval Assessment 2010
Arthurson Stand**

View of Level 2 aisle stairs without delineation of the stair nosings or tactile indicators to AS1428.1-4 requirements. The front and side stair balustrade does not comply with D2.16h(ii)A of the BCA with openings exceeding 125mm between the horizontal wires. Where the concrete section of the balustrade is less than 760mm in height and has a drop of 4 meters or more, the balustrade must meet D2.16h(ii)B requirements and not facilitate climbing.

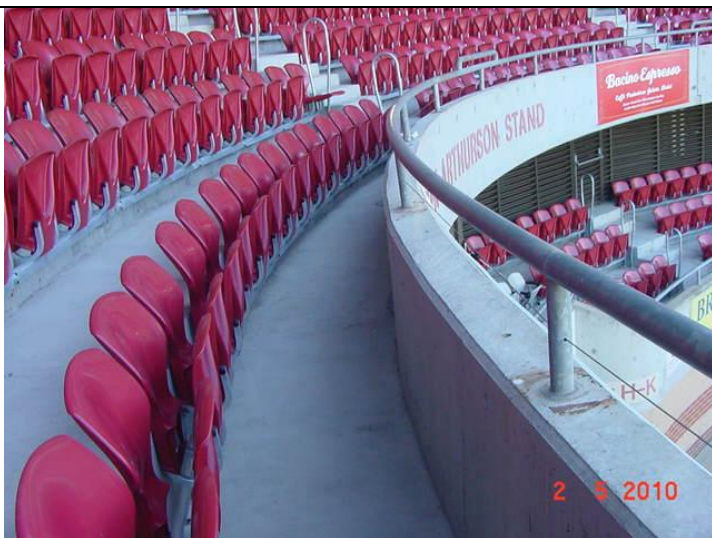


Photo 38

**Brookvale Oval Assessment 2010
Arthurson Stand**

View of Level 2 front aisle with correct height balustrade but with openings exceeding 125mm between the horizontal wires. The concrete section of the balustrade is less than 760mm and does not meet D2.16h(ii)B requirements where the drop exceed 4 meters. Consideration should be given to installing a transparent panel or glazing between the concrete balustrade and the hand rail.

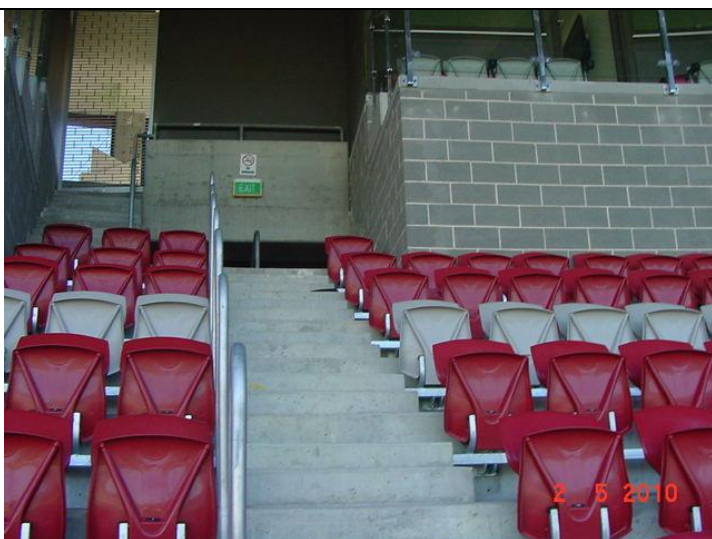


Photo 39

**Brookvale Oval Assessment 2010
Arthurson Stand**

View of Level 2 aisle with support rails. Level 3 seating area with glass balustrades



Photo 40

**Brookvale Oval Assessment 2010
Arthurson Stand**

View of corroding exit sign to the stand. All original fittings are corroding due to sea air exposure



Photo 41

**Brookvale Oval Assessment 2010
Arthurson Stand**

View of corrosion to the roof frames and purlins (south end) which are recommended to be rust treated and a high build epoxy applied. Refer structural report for details



Photo 42

**Brookvale Oval Assessment 2010
Arthurson Stand**

View of corrosion to the roof framing to the centre section



Photo 43

**Brookvale Oval Assessment 2010
Arthurson Stand**

View of corrosion to the roof framing to the centre section



Photo 44

**Brookvale Oval Assessment 2010
Arthurson Stand**

View of corrosion to the roof frames and purlins (north end)



Photo 45

**Brookvale Oval Assessment 2010
Arthurson Stand**

View of corroded exit sign to Level 2 central exit stairs. The roller shutter to the Level 3 exit stairs are recommended to be locked in the open position when Level 3 is in occupation to ensure egress is not blocked



Photo 46

**Brookvale Oval Assessment 2010
Arthurson Stand**

View of similar balustrade to the north end of Level 2. The side stair balustrade does not comply with D2.16h(ii)A of the BCA with openings exceeding 125mm between the horizontal wires. Where the concrete section of the balustrade is less than 760mm in height and has a drop of 4 meters or more, the balustrade must meet D2.16h(ii)B requirements and not facilitate climbing.



Photo 47

**Brookvale Oval Assessment 2010
Arthurson Stand**

View of surface corrosion to the north end splayed roof. The splayed roofing is also recommended in the structural report to be replaced



Photo 48

**Brookvale Oval Assessment 2010
Arthurson Stand**

View of exit sign and roller shutter to Level 2 north exit stair. The shutter is recommended to be locked in the open position when Level 2 is in occupation to ensure egress is not blocked

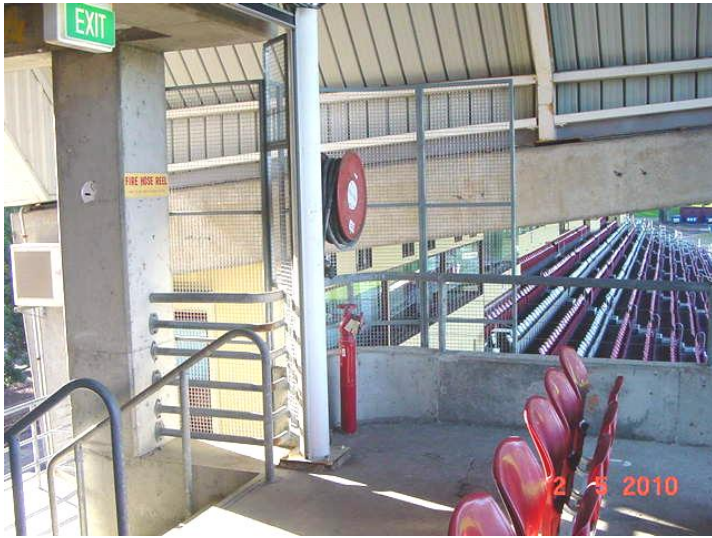


Photo 49

**Brookvale Assessment 2010
Arthurson Stand**

View of north exits stairs from Level 2 along with exit sign, fire hose reel and hydrant

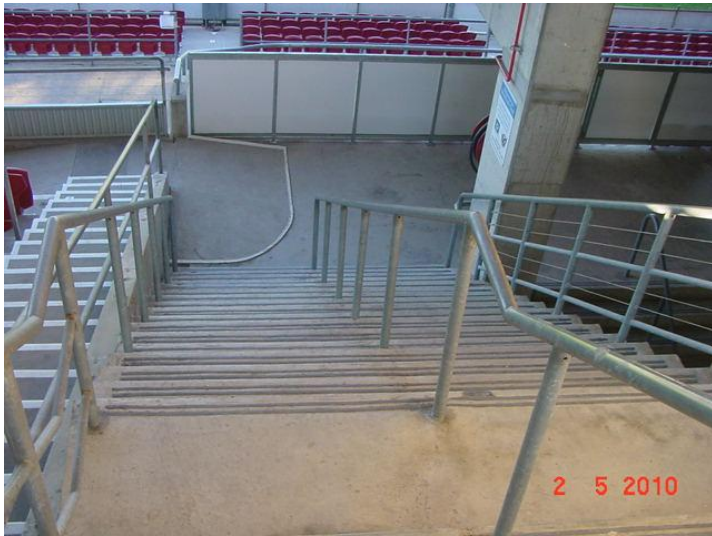


Photo 50

**Brookvale Assessment 2010
Arthurson Stand**

View of exit stairs to north end showing adjacent Try Stand at Level 1 landing



Photo 51

**Brookvale Assessment 2010
Arthurson Stand**

View of recently modified President's Lounge (north end) in good condition with new carpet, ceiling and lighting



Photo 52

**Brookvale Assessment 2010
Arthurson Stand**

View of un-renovated President's Lounge (south end) in average condition with older carpet, original ceiling (with warped panels) and lighting



Photo 53

**Brookvale Assessment 2010
Arthurson Stand**

View of original bar to the recently modified President's Lounge in good condition



Photo 54

**Brookvale Assessment 2010
Arthurson Stand**

View of original electrical distribution board to the recently modified President's Lounge in good condition



Photo 55

**Brookvale Assessment 2010
Arthurson Stand**

View of new retractable seating to Level 1 of the stand



Photo 56

**Brookvale Assessment 2010
Arthurson Stand**

View of fire hose reel to Level 1 north exit stairs. An additional fire hose reel is required to provide coverage to the northern end of the Jane Try stand



Photo 57

**Brookvale Assessment 2010
Arthurson Stand**

View of fire hose reel and hydrant to the ground level (adjacent to the north end stairs)



Photo 58

**Brookvale Assessment 2010
Arthurson Stand**

View of fire hose reel to the ground level (adjacent to the south end kitchen entry)



Photo 59

**Brookvale Assessment 2010
Arthurson Stand**

View of original light fittings at ground level which is recommended for replacement in the short term

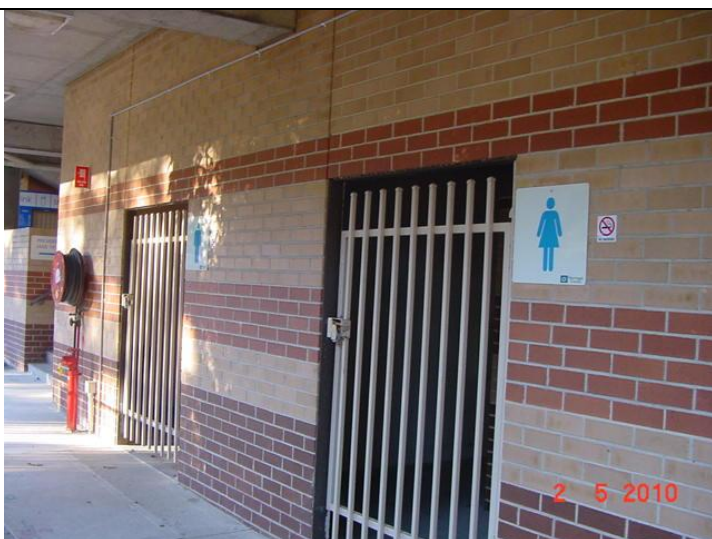


Photo 60

**Brookvale Assessment 2010
Arthurson Stand**

View of entrance grilles to the male and female public toilets. Undersized disabled sanitary compartments are installed



Photo 61

**Brookvale Assessment 2010
Arthurson Stand**

View of standard exit surveillance camera to the SW corner



Photo 62

**Brookvale Assessment 2010
Arthurson Stand**

View of the original main electrical switchboard to the stand



Photo 63

**Brookvale Assessment 2010
Arthurson Stand**

View of more recently installed fire indicator panel in the switchboard room

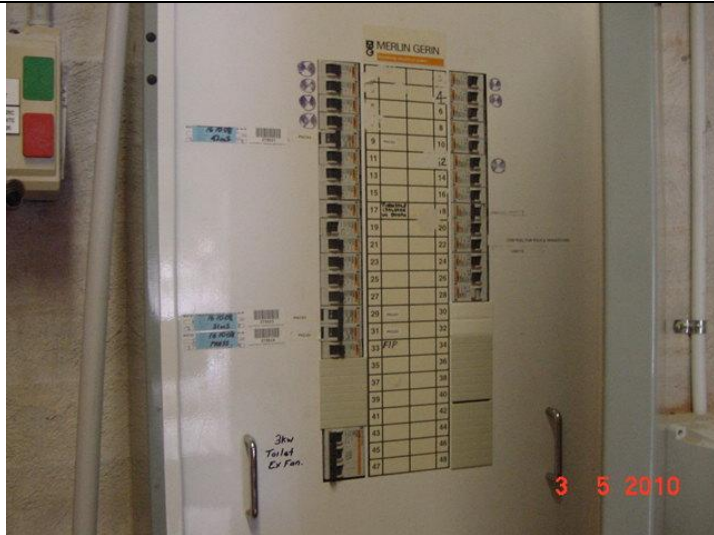


Photo 64

**Brookvale Assessment 2010
Arthurson Stand**

View of original electrical distribution board to the ground floor switchboard room



Photo 65

**Brookvale Assessment 2010
Arthurson Stand**

View of low height balustrade (under 1000mm) to a low level exit stair landing. The rails are recommended to be raised a minimum 1000mm above the landing.



Photo 66

**Brookvale Assessment 2010
Arthurson Stand**

View of ground level kitchen showing dishwashing and re-heat equipment. The kitchen is not used for cooking.



Photo 67

**Brookvale Assessment 2010
Arthurson Stand**

View of ground level kitchen original electrical distribution board



Photo 68

**Brookvale Assessment 2010
Arthurson Stand**

View of original gal steel canopy over the dishwasher



Photo 69

**Brookvale Assessment 2010
Arthurson Stand**

View of padlocked grille blocking safe egress from the south exit of the President's Lounge. The grille gates are recommended to be removed



Photo 70

**Brookvale Assessment 2010
Arthurson Stand**

View of upper Level 3 passage (under construction) showing new lighting, emergency and exit lighting. Coverage of existing fire hose reels and hydrants located at each end on Level 2 require to extend to the new Level 3 spaces



Photo 71

**Brookvale Assessment 2010
Arthurson Stand**

View of recently constructed box to Level 3

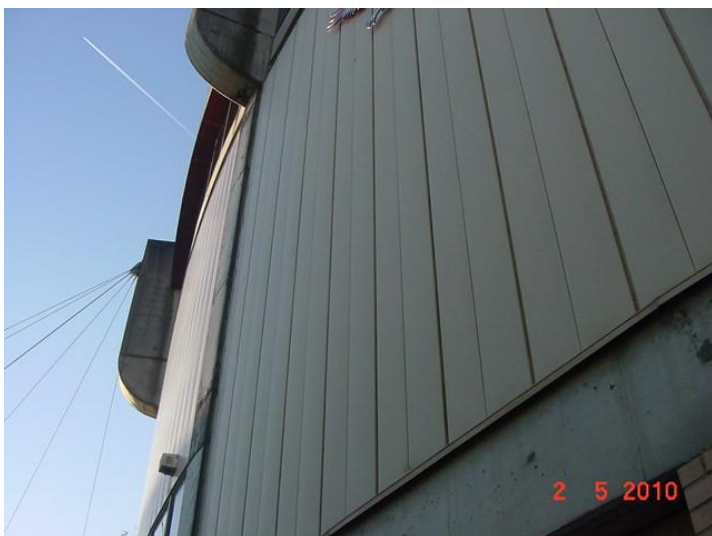


Photo 72

**Brookvale Assessment 2010
Arthurson Stand**

View of external colourbond cladding to the rear of the stadium



Photo 73

Brookvale Assessment 2010 Jane Try Stand

View of seating area viewed from the south end showing new retractable seating and recently installed corporate seating areas



Photo 74

Brookvale Assessment 2010 Jane Try Stand

View of the front balustrade to the stand which does not comply with D2.16h(ii)A with openings exceeding 125mm. Whilst the balustrade is climbable the drop is less than 4.0m as stipulated in D2.16h(ii)B. Additional wires with higher tensioning is required to Table D2.16a. Note delineation of the stair nosing, but no tactile indicators to the base of the stairs (only to the ramps).



Photo 75

Brookvale Assessment 2010 Jane Try Stand

View of recently installed chrome steel support rails.



Photo 76

Brookvale Assessment 2010 Jane Try Stand

View of front exit stairs with delineation of stair nosings but no tactile indicators. The stair balustrades have tension wires whilst the landings have wires and weldmesh



Photo 77

Brookvale Assessment 2010 Jane Try Stand

View of the front balustrade to the stand viewed from the north end. Wheel chair access is gained from the northern ramp (shown below). Access to the Arthurson stand is via this front aisle, which does not provide a clear 1000mm width of passage due to the protrusions of the lower steps



Photo 78

Brookvale Assessment 2010 Jane Try Stand

View of the north elevation ramp. The length of the ramp and the design of the hand rails do not comply with AS1428/1-4. Tactile indicators are also required. Access from the car park or other parts of the ground to the base of the ramp does not comply with the Code. Note stand balustrade along the tiered seating does not comply with the BCA although drop is less than 4 meters.



Photo 79

Brookvale Assessment 2010 Jane Try Stand

View of north elevation ramp. Ramp length is required to be a maximum of 9 meters with mid landing. Hand rails require to be modified to AS1428.1-4 and tactile indicators installed

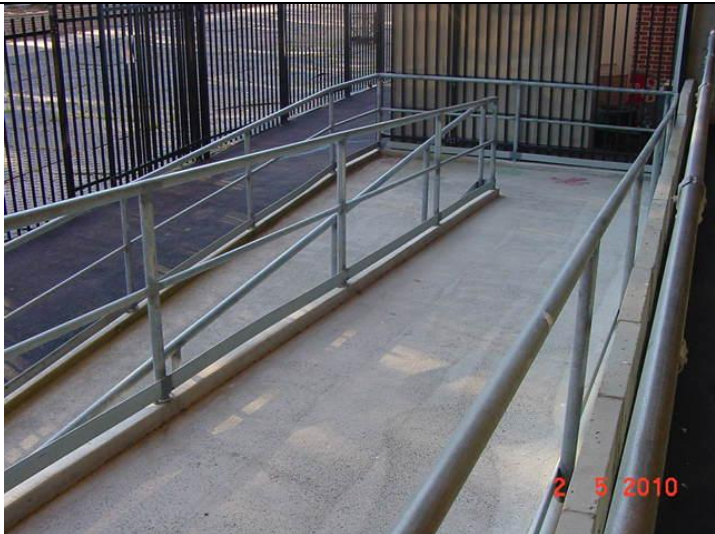


Photo 80

Brookvale Assessment 2010 Jane Try Stand

View of south elevation ramp. Configuration of the ramps is to Code but handrails do not meet Code requirements and tactile indicators are required at the top, base and landing. The handrail to the RHS of the mid landing has insufficient offset from the wall



Photo 81

Brookvale Assessment 2010 Jane Try Stand

View of rear path showing support rails along the sloped section but not to Code



Photo 82

Brookvale Assessment 2010 Jane Try Stand

View of release handles to rear exit gates. Padlock is required to be removed during occupation



Photo 83

Brookvale Assessment 2010 Jane Try Stand

View of concrete portals and steel purlins over the seating area. The roof required replacement and purlins require treatment and repainting (refer structural report)



Photo 84

Brookvale Assessment 2010 Jane Try Stand

View of concrete portal over the seating area



Photo 85

Brookvale Assessment 2010 Jane Try Stand

View of enclosed box to the top of the stand (south end)

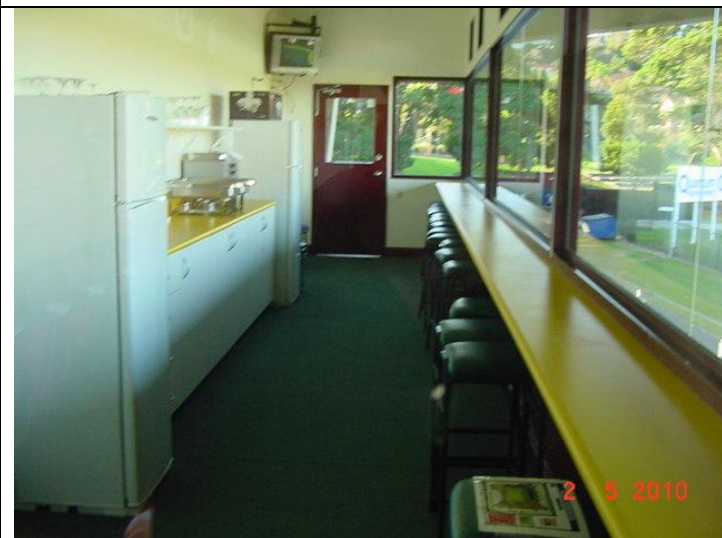


Photo 86

Brookvale Assessment 2010 Jane Try Stand

View of enclosed box to the top of the stand (north end)



Photo 87

Brookvale Assessment 2010 Jane Try Stand

View of split system condenser to the boxes



Photo 88

Brookvale Assessment 2010 Jane Try Stand

View of split system condenser to the boxes



Photo 89

Brookvale Assessment 2010 Jane Try Stand

View of rear steel exit stairs from the rear of the stand and corporate box passage. Stairs require delineation of the stair nosings and tactile indicators. Balustrades require to meet BCA requirements to reduce openings to 125mm

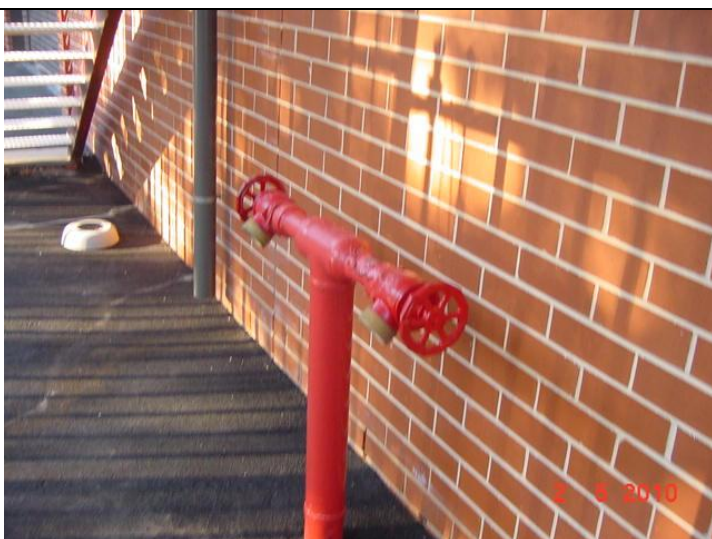


Photo 90

Brookvale Assessment 2010 Jane Try Stand

View of fire hydrants to the rear west elevation wall at ground level



Photo 91

Brookvale Assessment 2010 Jane Try Stand

View of recently installed gas instantaneous HWS units to the rear west elevation wall at ground level



Photo 92

Brookvale Assessment 2010 Jane Try Stand

View of recently installed HD electric mains pressure HWS units to the rear west elevation wall at ground level servicing the home change rooms. Additional units are installed adjacent to the visitor change room

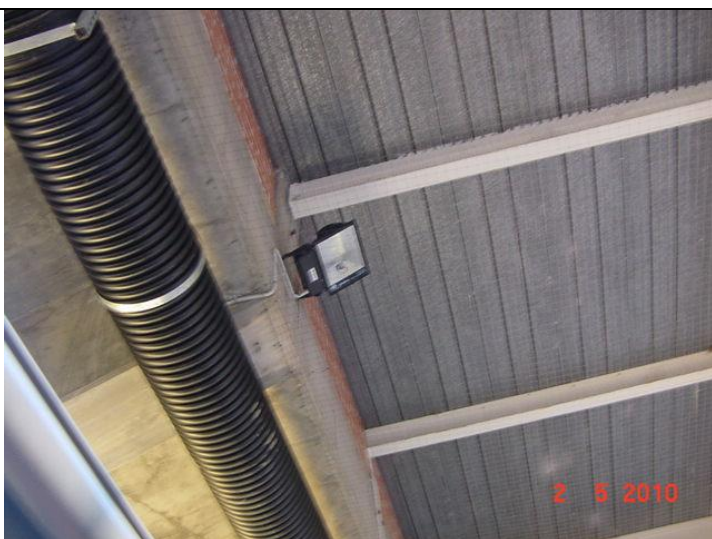


Photo 93

Brookvale Assessment 2010 Jane Try Stand

View of recently installed flood lighting to the west elevation



Photo 94

Brookvale Assessment 2010 Jane Try Stand

View of recently installed flood lighting to the west elevation

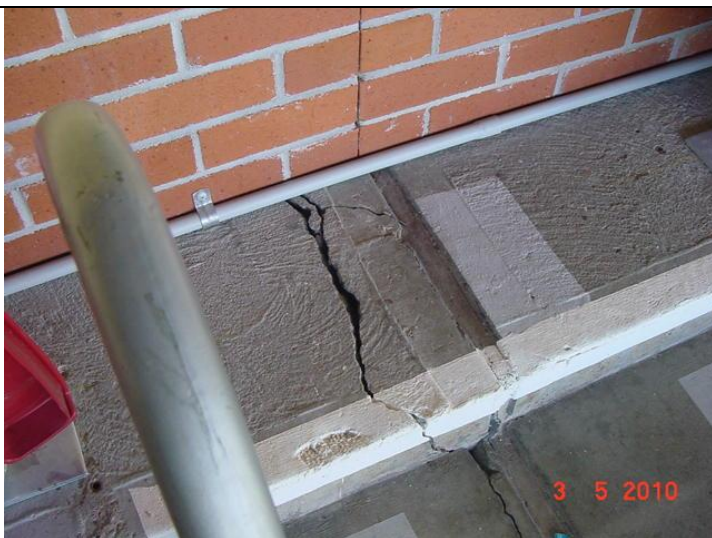


Photo 95

Brookvale Assessment 2010 Jane Try Stand

View of concrete tier cracking identified in the structural report



Photo 96

Brookvale Assessment 2010 Jane Try Stand

View of upper level passage providing access to the boxes. It is recommended that the glass to the low level passage windows meet AS1288 equipments



Photo 97

Brookvale Assessment 2010 Jane Try Stand

View of new exit sign to the first floor passage



Photo 98

Brookvale Assessment 2010 Jane Try Stand

View of counter to the un-renovated ground floor kiosk



Photo 99

Brookvale Assessment 2010 Jane Try Stand

View of exhaust canopy to the ground floor kiosk. Filters require regular cleaning



Photo 100

Brookvale Assessment 2010 Jane Try Stand

View of original sink cupboard and adjoining wash basin without hands-free tap to the ground floor kiosk



Photo 101

Brookvale Assessment 2010 Jane Try Stand

View of original ACB switchboards, security alarm panel and fire blanket to the ground floor kiosk



Photo 102

Brookvale Assessment 2010 Jane Try Stand

View of



Photo 103

Brookvale Assessment 2010 Jane Try Stand

View of recently renovated ground floor change room



Photo 104

Brookvale Assessment 2010 Jane Try Stand

View of recently renovated showers to the ground floor home change room



Photo 105

Brookvale Assessment 2010 Jane Try Stand

View of recently installed ice bath to the ground floor home change rooms



Photo 106

Brookvale Assessment 2010 Jane Try Stand

View of ice bath refrigerant unit



Photo 107

Brookvale Assessment 2010 Jane Try Stand

View of coaches address room to the ground floor



Photo 108

Brookvale Assessment 2010 Jane Try Stand

View of new main electrical switchboard to the rear of the stand



Photo 109

**Brookvale Assessment 2010
Scoreboard/Kiosk**

View of scoreboard and kiosk to the northern end of the ground



Photo 110

**Brookvale Assessment 2010
Scoreboard/Kiosk**

View of kiosk serving area to the ground level



Photo 111

**Brookvale Assessment 2010
Scoreboard/Kiosk**

View of renovated kiosk showing new floor tiles and aluminium shutters



Photo 112

**Brookvale Assessment 2010
Scoreboard/Kiosk**

View of fire extinguishers and fire blanket to the kiosk



Photo 113

**Brookvale Assessment 2010
Scoreboard/Kiosk**

View of sink with hot water from the boiling water unit. Installation of a hot water unit is recommended



Photo 114

**Brookvale Assessment 2010
Scoreboard/Kiosk**

View of original gal steel exhaust hood and old filters recommended to be replaced with a new ss exhaust canopy and fan



Photo 115

**Brookvale Assessment 2010
Scoreboard/Kiosk**

View of original lighting recommended for replacement and melted plastic ceiling vent



Photo 116

**Brookvale Assessment 2010 NE
Amenities**

View of solid brick public male, female and disabled toilet block with concrete roof. The building is in good condition for its age



Photo 117

**Brookvale Assessment 2010 NE
Amenities**

View of entrance to the disabled sanitary compartment and babies change. Access is external to the ground and the gradient of the north path exceeds AS1428.1-4 requirements. A gate is recommended to be installed into the adjacent fence to allow access from the oval and with a low gradient access path



Photo 118

Brookvale Assessment 2010 NE Amenities

View of standard WC cubicles in good condition



Photo 119

Brookvale Assessment 2010 NE Amenities

View of original urinal and floor tiles to the male toilets



Photo 120

Brookvale Assessment 2010 NE Amenities

View of standard ss basins



Photo 121

Brookvale Oval Assessment 2010 North West Turnstiles

View of more recently constructed
ticket box/turnstile enclosure



Photo 122

Brookvale Oval Assessment 2010 North West Turnstiles

View of corrosion to roof beams



Photo 123

Brookvale Oval Assessment 2010 Northern Ticket Box

View of old ticket box to the NW of
the site



Photo 124

Brookvale Oval Assessment 2010 Northern Ticket Box

View of old ticket box to the NE of
the site



Photo 125

Brookvale Oval Assessment 2010 SE Amenities

View of west elevation of the public
male and female toilets



Photo 126

Brookvale Oval Assessment 2010 SE Amenities

View of female toilet cubicles in
good condition. There is no disabled
sanitary compartment to the
amenities



Photo 127

**Brookvale Oval Assessment 2010
SE Amenities**

View of ss basins to the female toilets



Photo 128

**Brookvale Oval Assessment 2010
SE Amenities**

View of ss pan and dual flush cistern
in good condition



Photo 129

**Brookvale Oval Assessment 2010
SE Turnstiles**

View of new turnstile enclosure at
the SE entrance



Photo 130

**Brookvale Oval Assessment 2010
SE Ticket Box**

View of new ticket box at the SE
entrance



Photo 131

**Brookvale Oval Assessment 2010
SW Ticket Box**

View of 2 no. ticket boxes at the
Arthurson stand entrance



Photo 132

**Brookvale Oval Assessment 2010
Tractor Shed**

View of colourbond steel parks
storage shed in average condition



Photo 133

Brookvale Oval Assessment 2010 Caretaker's Cottage

View of old cottage due to be demolished. The building was not included in the assessment

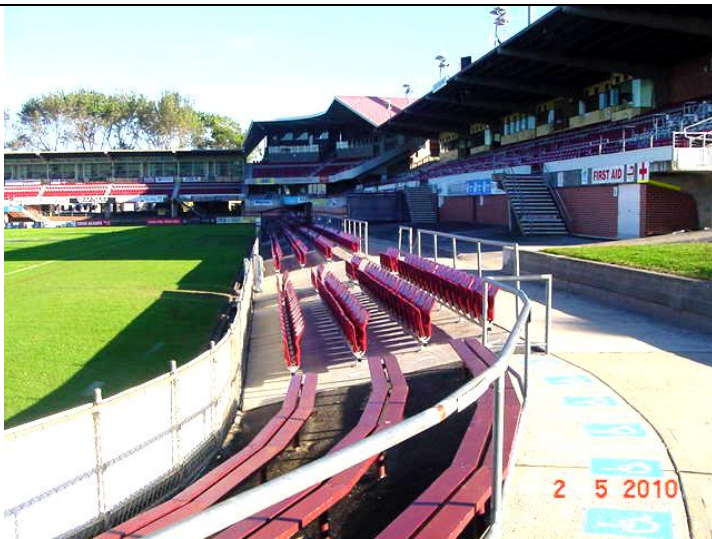


Photo 134

Brookvale Oval Assessment 2010 Oval Surrounds

View of recently installed retractable seating along the west side of the ground and adjacent timber bench seating installed to the remainder of the ground



Photo 135

Brookvale Oval Assessment 2010 Oval Surrounds

View of timber bench seating to the northern end of the ground. Replacement of the bench seats with retractable seating is recommended in the medium term



Photo 136

Brookvale Oval Assessment 2010 Oval Surrounds

View of western end seating and allocated disabled wheelchair spaces to AS1428 requirements. Similar disabled seating spaces are required to the elevated grand stands



Photo 137

Brookvale Oval Assessment 2010 Oval Surrounds

View of allocated wheel chair spaces to the NW corner of the ground



Photo 138

Brookvale Oval Assessment 2010 Oval Surrounds

View of perimeter fencing in good condition



Photo 139

**Brookvale Oval Assessment 2010
Oval Surrounds**

View of subsided pavement to the SE side of the Southern stand



Photo 140

**Brookvale Oval Assessment 2010
Oval Surrounds**

View of cracked pavement to the SE side of the Southern stand



Photo 141

**Brookvale Oval Assessment 2010
Oval Surrounds**

View of 2 no. 12000 litre bore water tanks (original tank installed 4 years ago) along with irrigation pump and below ground bore pump



Photo 142

**Brookvale Oval Assessment 2010
Oval Surrounds**

View of electrical kiosk to the south
east corner of the site

TABLE 1 - MAINTENANCE TEN YEAR PROGRAM

TABLE 1 - MAINTENANCE TEN-YEAR PROGRAM

id	COMPONENT	CONDITION	CON FAC	QTY	COST
Brookvale Oval Southern Stand					
MAINTENANCE YEAR 1					
<u>BOXES</u>					
5947	INTERIOR WALLS	Replace missing handles to cupboards	0	6	\$500.00
5951	WINDOWS/DOORS	Repair/replace door closer to No. 3 box	2	1	\$350.00
<u>GRANDSTAND</u>					
5976	STRUCTURE	Clean and repaint concrete columns and beams - refer Structural report		400 m2	\$26,000.00
5982	HYDRAULIC CONDITION	Replace missing grate to bottom aisle drain pit		1	\$200.00
5981	STRUCTURE	Scaffolding and preliminaries for stand repair works - refer Structural report		1	\$36,630.00
5979	STRUCTURE	Remove rust and repaint steel roof purlins with high build epoxy - refer Structural report. Approx allowance including access equipment		776 m	\$60,000.00
5977	STRUCTURE	Replace expansion joint material - refer Structural report		38 m	\$2,660.00
5975	STRUCTURE	Repair concrete spalling at stand/stair joints - refer Structural report		8	\$4,120.00

id	COMPONENT	CONDITION	CON FAC	QTY	COST
5938	EXTERIOR WALLS	Galvanised steel balustrade to front aisle - treat corrosion	3		\$400.00
5978	STRUCTURE	Strengthen beam and column junction underneath stairs - refer Structural report		1	\$10,000.00

GRANDSTAND - GROUND LEVEL

5954	PAVING CONDITION	Resheet asphalt to ground level	2	880 m2	\$22,000.00
5955	CEILING	Repaint concrete under floor of seating area	2	950 m2	\$18,000.00

PUBLIC TOILETS - GROUND LEVEL

5957	PAVING CONDITION	Relay raised/sunken brick pavers outside female entrance		1m2	\$300.00
5972	INTERIOR WALLS	Reinstate missing and drummy wall tiles to disabled sanitary compartment	0	1 m2	\$500.00

ROOF

5935	ROOFING	Replace roof gutters, fascia cappings and downpipes - refer Structural report			\$25,600.00
6346	STRUCTURE	Install safe access roof walkways	0	80 m	\$12,800.00
5944	STRUCTURE	Install retractable access ladder and access manhole to roof (above boxes)	0	1	\$3,800.00
5945	STRUCTURE	Install safety access anchors and harness support cable to roof	0	6	\$2,500.00

id	COMPONENT	CONDITION	CON FAC	QTY	COST
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MAINTENANCE YEAR 2

BOXES

5983	HWS CONDITION	Install hot water units or sink units to each box		12	\$8,400.00
5914	FLOOR CONDITION	Carpet to boxes - replace	3	210 m2	\$16,800.00
5913	ELECTRICAL / COMMUNICATION CONDITION	Replace recessed fluorescent lighting to boxes	2	24	\$9,600.00
5917	HEAT / COOL CONDITION	Ceiling exhaust fans to boxes - replace		24	\$8,400.00
5948	ELECTRICAL / COMMUNICATION CONDITION	Ceiling fans - replace	2	12	\$4,800.00

GRANDSTAND - GROUND LEVEL

5980	HYDRAULIC CONDITION	Installation of 15,000 litre rainwater harvesting tank for public toilet use - refer Structural report		1	\$12,000.00
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PUBLIC TOILETS - GROUND LEVEL

5960	HYDRAULIC CONDITION	Replace single flush cisterns with dual flush units	2	14	\$7,000.00
5962	ELECTRICAL / COMMUNICATION CONDITION	Lighting - replace	2	10	\$4,000.00

id	COMPONENT	CONDITION	CON FAC	QTY	COST
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MAINTENANCE YEAR 5

BOXES

5946	HYDRAULIC CONDITION	Replace sinks and tapsets	3	12	\$14,400.00
5916	INTERIOR WALLS	Laminated benches and cupboards - replace	3	60 m	\$48,000.00

GRANDSTAND - GROUND LEVEL

5969	ELECTRICAL / COMMUNICATION CONDITION	Phillips lighting to exterior public toilets - replace	3	4	\$1,600.00
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SE STORE

5971	ELECTRICAL / COMMUNICATION CONDITION	Replace security light outside store	3	1	\$400.00
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MAINTENANCE YEAR 10

BOXES

5949	SWITCHBOARD CONDITION	NHP electrical sub board to west end box - replace	3	1	\$5,000.00
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id	COMPONENT	CONDITION	CON FAC	QTY	COST
TOTAL COST - Brookvale Oval Southern Stand					\$366,760.00

id	COMPONENT	CONDITION	CON FAC	QTY	COST
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Brookvale Oval Jane Try Stand

MAINTENANCE YEAR 1

ALL

5988	FLOOR CONDITION	Replace expansion joint material - refer Structural report		38 m	\$2,660.00
5990	ELECTRICAL / COMMUNICATION CONDITION	Provision of solar panels to 50% of roof area - refer Structural report		458 m2	\$503,800.00
5989	STRUCTURE	Provision of access for camera crews - refer Structural report		1	\$45,000.00
5992	STRUCTURE	Crane and access hire and preliminaries - refer Structural report		1	\$175,560.00

GRANDSTAND

5986	STRUCTURE	Repair concrete spalling, cracks and paint concrete columns and beams - refer Structural report		400m2	\$42,100.00
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KIOSK

6028	FIRE SERVICE CONDITION	CO2 extinguisher - ok Dry powder extinguisher - missing	0	1	\$300.00
6022	HYDRAULIC CONDITION	Sink, cupboard and taps - replace	2	1	\$1,500.00
6020	HYDRAULIC CONDITION	VC basin - install new basin and hands-free tap	0	1	\$1,300.00

id	COMPONENT	CONDITION	CON FAC	QTY	COST
<u>ROOF</u>					
6345	STRUCTURE	Install safe access roof walkways	0	80 m	\$12,800.00
5987	ROOFING	Replace roofing and roof purlins - refer Structural report		915 m2	\$268,900.00
5995	STRUCTURE	Install retractable access ladder and access manhole to roof (above boxes)	0	1	\$3,800.00
5996	STRUCTURE	Install safety access anchors and harness support cable to roof	0	6	\$2,500.00

MAINTENANCE YEAR 2

BOXES

5832	ELECTRICAL / COMMUNICATION CONDITION	Replace original downlights to small boxes. Low voltage downlights - ok		12	\$4,200.00
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FIRST FLOOR PASSAGE

6003	ELECTRICAL / COMMUNICATION CONDITION	Replace downlights	2	7	\$2,800.00
5830	FLOOR CONDITION	Perelli rubber passage flooring - replace with vinyl		40 m2	\$3,400.00

GRANDSTAND

6004	EXTERIOR WALLS	Galvanised steel hand rails - paint	3	136 m	\$1,800.00
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id	COMPONENT	CONDITION	CON FAC	QTY	COST
5991	HYDRAULIC CONDITION	Installation of 15,000 litre rainwater harvesting tank for public toilet use - refer Structural report		1	\$12,000.00

MAINTENANCE YEAR 3

BOXES

5833	FLOOR CONDITION	Carpet to boxes - replace	3	120 m2	\$9,600.00
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MAINTENANCE YEAR 5

BOXES

5858	INTERIOR WALLS	Repaint walls to boxes		308 m2	\$5,000.00
5860	CEILING	Repaint ceilings to boxes		120 m2	\$2,000.00
5859	HEAT / COOL CONDITION	Split system air conditioning - replace 3 units		3	\$10,500.00

KIOSK

6029	SECURITY SYSTEM CONDITION	NES alarm panel and sensors - replace	3	1	\$3,000.00
6030	SWITCHBOARD CONDITION	Clipsal distribution switchboard - replace	2	1	\$3,500.00
6031	ELECTRICAL / COMMUNICATION CONDITION	Lighting - replace	2	3	\$1,200.00

id	COMPONENT	CONDITION	CON FAC	QTY	COST
6021	INTERIOR WALLS	Laminated benches and shelves - replace	3	10 m	\$8,500.00

MAINTENANCE YEAR 6

HWS STORE

6040	HWS CONDITION	Rheem 310 litre HD electric HWS units - replace	3	1	\$2,900.00
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MAINTENANCE YEAR 8

CHANGE ROOM CENTRAL PASSAGE

6049	FLOOR CONDITION	Carpet - replace	5	42 m2	\$3,500.00
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CHANGE ROOM HOME & VISITORS

5855	FLOOR CONDITION	Carpet - replace	5	300 m2	\$24,000.00
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CHEER GIRL CHANGE ROOM

6058	FLOOR CONDITION	Carpet - replace	5	13 m2	\$1,050.00
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COACH'S ADDRESS ROOM

6079	FLOOR CONDITION	Carpet - replace	5	54 m2	\$4,300.00
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MEDIA CENTRE & LOBBY AREA

6084	FLOOR CONDITION	Carpet - replace	5	44 m2	\$3,500.00
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id	COMPONENT	CONDITION	CON FAC	QTY	COST
<u>REFEREE ROOM</u>					
5985	FLOOR CONDITION	Carpet - replace		8 m2	\$650.00

MAINTENANCE YEAR 9

HWS STORE

6039	HWS CONDITION	Rheem 310 litre HD electric HWS units - replace	4	2	\$5,800.00
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MAINTENANCE YEAR 10

BOXES

5993	HEAT / COOL CONDITION	Split system air conditioning - replace 1 unit		1	\$4,000.00
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FIRST FLOOR PASSAGE

5997	SWITCHBOARD CONDITION	Merlin Gerin distribution switchboard - replace	3	1	\$5,000.00
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TOTAL COST - Brookvale Oval Jane Try Stand

\$1,182,420.00

id	COMPONENT	CONDITION	CON FAC	QTY	COST
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Brookvale Oval Ken Arthurson Link Stand

MAINTENANCE YEAR 1

GRANDSTAND

6264	STRUCTURE	Provisional allowance for rectification at link roof beams to adjacent concrete beams of west and south stands - refer Structural report		1	\$60,000.00
6262	STRUCTURE	Remove angled roof sheeting, remove rust and paint beams and purlins, replace roofing and front fascia - refer Structural report		1	\$146,875.00
6261	STRUCTURE	Concrete spalling repairs - refer Structural report		1	\$4,000.00
6263	STRUCTURE	Replace front 2 to 3 purlins if necessary with the above works (no cost allowance) - refer Structural report		1	
6260	STRUCTURE	Crane and access hire and preliminaries - refer Structural report		1	\$176,324.00
6257	FLOOR CONDITION	Replace expansion joint material - refer Structural report		40 m	\$2,800.00

GROUND LEVEL KITCHEN

6394	FIRE SERVICE CONDITION	Fire extinguisher and blanket missing - replace	0	2	\$450.00
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GROUND LEVEL SHOP

6331	CEILING	Mineral fibre ceiling - warped and damaged - replace panels	2	40 m2	\$1,500.00
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id	COMPONENT	CONDITION	CON FAC	QTY	COST
<u>LEVEL 1 - SOUTH STORE ROOM</u>					
6377	INTERIOR WALLS	Retile east wall	0	1 m2	\$500.00
6376	ELECTRICAL / COMMUNICATION CONDITION	Replace lighting	2	1	\$400.00
<u>ROOF</u>					
6344	STRUCTURE	Install safe access roof walkways	0	60 m	\$9,600.00
6343	STRUCTURE	Install safety access anchors and harness support cable to roof	0	6	\$2,500.00
6342	STRUCTURE	Install retractable access ladder (to AS1657) and access manhole to roof (above Level 3 passage)	0	1	\$3,800.00
MAINTENANCE YEAR 2					
<u>GROUND LEVEL KITCHEN STORE</u>					
6403	HEAT / COOL CONDITION	Old cool room - replace	2	1	\$20,000.00
<u>GROUND LEVEL TOILETS</u>					
6312	ELECTRICAL / COMMUNICATION CONDITION	Replace lighting	2	15	\$6,000.00
6313	ELECTRICAL / COMMUNICATION CONDITION	Install additional lighting		6	\$2,400.00

id	COMPONENT	CONDITION	CON FAC	QTY	COST
<u>LEVEL 1 - PRESIDENTS LOUNGE SOUTH END TOILETS</u>					
6371	STRUCTURE	Renovate male and female toilets	2	2	\$55,000.00
<u>LEVEL 1 - PRESIDENTS LOUNGE</u>					
6353	INTERIOR WALLS	Laminated bar top - replace	3	10 m	\$3,000.00
6350	CEILING	Suspended ceiling panels to north end and over central bar area - replace	2	200 m2	\$8,000.00
6349	ELECTRICAL / COMMUNICATION CONDITION	Recessed fluoro fittings to south end - replace downlights with recessed fluorescents fittings	2	23	\$12,700.00
<u>LEVEL 1 - SOUTH STORE ROOM</u>					
6378	LIFT CONDITION	Consideration to installing a disabled passenger/goods lift and removal of dumb waiter - refer disabled access recommendations	0	1	
<u>LEVEL 1 - SUITES/BOXES</u>					
6381	CEILING	Mineral fibre ceiling panels - replace	3	45 m2	\$1,700.00
6386	EMERGENCY & EXIT LIGHTING CONDITION	Install emergency lighting	0	3	\$1,200.00
6385	ELECTRICAL / COMMUNICATION CONDITION	Replace old incandescent downlights with low voltage downlights	2	4	\$1,200.00

id	COMPONENT	CONDITION	CON FAC	QTY	COST
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MAINTENANCE YEAR 3

EXTERIOR

6340	ELECTRICAL / COMMUNICATION CONDITION	Replace 4x20w surface mounted fluorescent lighting to west elevation walkways and base of stairs	2	20	\$11,000.00
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GRANDSTAND LEVEL 1

6273	EMERGENCY & EXIT LIGHTING CONDITION	Exit signs to top of stairs - some corroding - replace	3	4	\$1,600.00
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GRANDSTAND LEVEL 2

6281	EMERGENCY & EXIT LIGHTING CONDITION	Exit signs to top of stairs - some corroding - replace	3	2	\$800.00
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GROUND LEVEL KITCHEN

6396	HEAT / COOL CONDITION	Kirby cool room fan units - refer cool room replacement. Service	3	2	\$600.00
6395	HEAT / COOL CONDITION	Cool rooms - replace Refer BCA non compliance recommendations	3	2	\$30,000.00
6393	ELECTRICAL / COMMUNICATION CONDITION	Install additional lighting	0	4	\$2,000.00

id	COMPONENT	CONDITION	CON FAC	QTY	COST
6392	ELECTRICAL / COMMUNICATION CONDITION	Replace lighting	2	7	\$3,500.00
6391	HYDRAULIC CONDITION	Gal steel exhaust canopy over dishwasher - replace with stainless steel canopy and fan	2	1	\$4,000.00

GROUND LEVEL KITCHEN STORE

6402	ELECTRICAL / COMMUNICATION CONDITION	Replace lighting and install additional fittings	2	4	\$2,000.00
6400	STRUCTURE	Space requires upgrade including wall lining and flooring	2	1	\$12,000.00
6401	SECURITY SYSTEM CONDITION	Challenger alarm system - replace	2	1	\$4,500.00

LEVEL 2 - KIOSK

6290	ELECTRICAL / COMMUNICATION CONDITION	Replace lighting	2	2	\$900.00
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MAINTENANCE YEAR 4

LEVEL 2 - KIOSK

6288	INTERIOR WALLS	Replace wall tiles	2	12 m2	\$2,200.00
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id	COMPONENT	CONDITION	CON FAC	QTY	COST
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MAINTENANCE YEAR 5

GRANDSTAND LEVEL 1

6274	FIRE SERVICE CONDITION	Hose reels to stair landings - replace	3	2	\$600.00
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GRANDSTAND LEVEL 2

6282	FIRE SERVICE CONDITION	Hose reels to stair landings - replace	3	2	\$600.00
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GROUND LEVEL SHOP

6335	ELECTRICAL / COMMUNICATION CONDITION	Replace lighting	3	3	\$1,350.00
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GROUND LEVEL TOILETS

6311	ELECTRICAL / COMMUNICATION CONDITION	Replace hand dryers	3	10	\$4,000.00
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LEVEL 1 - SUITES/BOXES

6383	FLOOR CONDITION	Replace carpet	3	45 m2	\$3,600.00
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id	COMPONENT	CONDITION	CON FAC	QTY	COST
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MAINTENANCE YEAR 8

GROUND LEVEL KITCHEN

6387	FLOOR CONDITION	Tiled floor - replace with vinyl	3	72 m2	\$9,500.00
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LEVEL 1 - PRESIDENTS LOUNGE

6266	FLOOR CONDITION	Carpet to north end - replaced recently. Replace	5	260 m2	\$21,000.00
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LEVEL 3 - BOXES, PASSAGE & TOILETS

6297	FLOOR CONDITION	Replace carpet to boxes	5	105 m2	\$8,500.00
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MAINTENANCE YEAR 10

GROUND LEVEL KITCHEN

6390	SWITCHBOARD CONDITION	Merlin Gerin electrical distribution switchboard - replace	3	1	\$6,500.00
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LEVEL 1 - PRESIDENTS LOUNGE

6356	SWITCHBOARD CONDITION	Merlin Gerin electrical distribution switchboard - replace	3	1	\$5,500.00
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TOTAL COST - Brookvale Oval Ken Arthurson Link Stand

\$656,199.00

id	COMPONENT	CONDITION	CON FAC	QTY	COST
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Brookvale Oval Northern Turnstiles

MAINTENANCE YEAR 1

INTERIOR

5899	STRUCTURE	Galvanised steel roof frame - treat rust and cold gal	3		\$500.00
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MAINTENANCE YEAR 2

INTERIOR

6134	ELECTRICAL / COMMUNICATION CONDITION	Replace interior fluorescent light	2	1	\$400.00
6136	INTERIOR WALLS	Replace laminated benches to ticket boxes	2	2.5	\$1,300.00

TOTAL COST - Brookvale Oval Northern Turnstiles

\$2,200.00

id	COMPONENT	CONDITION	CON FAC	QTY	COST
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Brookvale Oval North Western Turnstiles

MAINTENANCE YEAR 1

EXTERIOR

6142	ROOFING	Replace downpipe to west end turnstile	2	1	\$150.00
6254	ROOFING	Replace spouting to east end turnstile	2	5.0 m	\$300.00
6255	ROOFING	Replace downpipe to east end turnstile	2	1	\$150.00
6141	ROOFING	Replace spouting to west end turnstile	2	7.0 m	\$400.00

MAINTENANCE YEAR 5

EXTERIOR

6143	ROOFING	Replace roof to west side turnstile	2	16 m2	\$1,500.00
6256	ROOFING	Replace roof to east side turnstile	2	12 m2	\$1,150.00

TOTAL COST - Brookvale Oval North Western Turnstiles

\$3,650.00

id	COMPONENT	CONDITION	CON FAC	QTY	COST
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Brookvale Oval Score Board & Kiosk

MAINTENANCE YEAR 1

EXTERIOR KIOSK

6099	EXTERIOR WALLS	Galvanised steel entry rails to south elevation - straighten west rail	2	1	\$300.00
6118	SECURITY SYSTEM CONDITION	Wall mounted surveillance camera - check operation	3	1	\$200.00
6107	ELECTRICAL / COMMUNICATION CONDITION	Timer switch box to west wall - refix loose box to wall	2	1	\$100.00
6117	FENCE CONDITION	Replace chain mesh gate to NE corner	2	1	\$500.00
6116	FENCE CONDITION	Replace corroded mesh to LPG bottle enclosure	0	5 m2	\$600.00

INTERIOR KIOSK

6129	CEILING	Replace melted plastic ceiling vent	0	1	\$200.00
6125	FIRE SERVICE CONDITION	Fire blanket - replace	2	1	\$100.00
6124	FIRE SERVICE CONDITION	CO2 and dry powder extinguishers - clean off grease	4	2	\$50.00

id	COMPONENT	CONDITION	CON FAC	QTY	COST
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MAINTENANCE YEAR 2

EXTERIOR KIOSK

6110	ELECTRICAL / COMMUNICATION CONDITION	Security lights and sensor to NW wall - replace	2	1	\$300.00
6109	WINDOWS/DOORS	Replace rusted grille to north window	1	1	\$500.00
6103	PAVING CONDITION	Rescreed or replace rough surfaced concrete paving to surrounds	2	80 m2	\$6,800.00

INTERIOR KIOSK

6128	ELECTRICAL / COMMUNICATION CONDITION	Lighting - replace fluorescent fittings	2	5	\$2,000.00
6126	HEAT / COOL CONDITION	Galvanised steel exhaust canopy - replace canopy and fan	2	1	\$4,000.00

MAINTENANCE YEAR 3

INTERIOR KIOSK

6130	HYDRAULIC CONDITION	Sink and taps - replace	2	1	\$1,200.00
6122	INTERIOR WALLS	Laminated counter and shelf unit - replace	3	11 m	\$9,000.00
6131	HWS CONDITION	Install hot water unit	0	1	\$1,500.00

id	COMPONENT	CONDITION	CON FAC	QTY	COST
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MAINTENANCE YEAR 10

EXTERIOR KIOSK

5900	ROOFING	Roofing and fascia cappings to kiosk - replace	3	108 m2	\$9,800.00
5901	ROOFING	Box gutter - replace with down pipes	3	15 m	\$1,500.00
6108	SWITCHBOARD CONDITION	Clipsal electrical distribution switchboard - replace	2	1	\$3,000.00

TOTAL COST - Brookvale Oval Score Board & Kiosk

\$41,650.00

Brookvale Oval South East Turnstiles & Ticket Box

MAINTENANCE YEAR 3

INTERIOR TURNSTILES

6150	FLOOR CONDITION	Vinyl flooring bubbling - replace	2	18 m2	\$1,400.00
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TOTAL COST - Brookvale Oval South East Turnstiles & Ticket Box

\$1,400.00

id	COMPONENT	CONDITION	CON FAC	QTY	COST
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Brookvale Oval South West Turnstiles

MAINTENANCE YEAR 3

INTERIOR

5909	INTERIOR WALLS	Lighting - replace	3	2	\$800.00
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TOTAL COST - Brookvale Oval South West Turnstiles					\$800.00
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id	COMPONENT	CONDITION	CON FAC	QTY	COST
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Brookvale Oval Tractor Shed

MAINTENANCE YEAR 1

EXTERIOR

5923	EXTERIOR WALLS	Remove graffiti to exterior walls and doors	2	12 m2	\$200.00
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INTERIOR

6170	FLOOR CONDITION	Concrete floor - clean paint spills and stains	3	60 m2	\$500.00
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MAINTENANCE YEAR 3

EXTERIOR

6166	ROOFING	Replace gutters	3	21 m	\$1,100.00
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6167	ROOFING	Replace downpipes	3	2	\$400.00
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6168	ELECTRICAL / COMMUNICATION CONDITION	Security lights - replace	3	2	\$600.00
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INTERIOR

6171	SWITCHBOARD CONDITION	Clipsal ACB switchboard - replace	2	1	\$1,000.00
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id	COMPONENT	CONDITION	CON FAC	QTY	COST
6172	ELECTRICAL / COMMUNICATION CONDITION	Lighting - replace fluorescents	2	2	\$800.00

MAINTENANCE YEAR 10

INTERIOR

6175	ROOFING	Translucent roofing - replace	3	12 m2	\$750.00
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TOTAL COST - Brookvale Oval Tractor Shed

\$5,350.00

id	COMPONENT	CONDITION	CON FAC	QTY	COST
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Brookvale Oval NE Amenities

MAINTENANCE YEAR 1

EXTERIOR

6186	EXTERIOR WALLS	Remove graffiti to female sign, meter box and east wall	2	2 m2	\$50.00
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MAINTENANCE YEAR 2

INTERIOR FEMALE TOILETS

6198	HYDRAULIC CONDITION	VC pans and concealed single flush cisterns - replace with dual flush units	2	6	\$3,600.00
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INTERIOR MALE TOILETS

6191	HYDRAULIC CONDITION	VC pans and concealed single flush cisterns - replace with dual flush units	2	5	\$3,000.00
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TOTAL COST - Brookvale Oval NE Amenities

\$6,650.00

id	COMPONENT	CONDITION	CON FAC	QTY	COST
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Brookvale Oval NW Amenities

MAINTENANCE YEAR 3

FEMALE TOILETS

6211	HYDRAULIC CONDITION	Replace all cisterns	3	4	\$2,000.00
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MALE TOILETS

6206	HYDRAULIC CONDITION	Replace all cisterns	3	4	\$2,000.00
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MAINTENANCE YEAR 5

ALL

6204	STRUCTURE	Upgrade/replace amenities and include disabled sanitary compartment		40 m2	\$78,000.00
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EXTERIOR

5929	ELECTRICAL / COMMUNICATION CONDITION	Replace security lights	3	2	\$800.00
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TOTAL COST - Brookvale Oval NW Amenities

\$82,800.00

id	COMPONENT	CONDITION	CON FAC	QTY	COST
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Brookvale Oval SE Amenities

MAINTENANCE YEAR 1

MALE TOILETS

6223	HYDRAULIC CONDITION	Stainless steel urinals - remove graffiti	5	1 m2	\$20.00
6228	HYDRAULIC CONDITION	Remove graffiti to door frames	2	4	\$50.00

MAINTENANCE YEAR 5

FEMALE TOILETS

6233	HYDRAULIC CONDITION	Fluorescent lighting - replace	4	4	\$1,600.00
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MALE TOILETS

6226	HYDRAULIC CONDITION	Fluorescent lighting - replace	4	4	\$1,600.00
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TOTAL COST - Brookvale Oval SE Amenities

\$3,270.00

id	COMPONENT	CONDITION	CON FAC	QTY	COST
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Brookvale Oval Ground & Surrounds

MAINTENANCE YEAR 1

STANDING AREAS

6243	PAVING CONDITION	Replace cracked and subsided pavement to NE corner of Southern Stand	0	4 m2	\$600.00
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MAINTENANCE YEAR 2

STANDING AREAS

6240	PAVING CONDITION	Resheet asphalt to west side of ground (in front of Jane Try stand)	2	475 m2	\$14,500.00
6241	PAVING CONDITION	Replace old concrete kerb and channel to west side of ground (in front of Jane Try stand)	2	92 m	\$6,000.00
6242	PAVING CONDITION	Replace old concrete kerb and channel to south side of ground (in front of Southern stand)	2	81 m	\$5,300.00

MAINTENANCE YEAR 5

OVAL SEATING AREA

6237		Replace timber bench seats to the north, south and west of the ground with Sebel retractable seating	3	601	\$62,000.00
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id	COMPONENT	CONDITION	CON FAC	QTY	COST
6239	PAVING CONDITION	Replace asphalt with concrete under proposed seats to the north, south and west of the ground (to support seats)	3	1368 m2	\$106,800.00

MAINTENANCE YEAR 10

BORE WATER TANK ENCLOSURE

6405	PLANT TYPE	Submersible bore and tank pumps - replace (subject to extent and frequency of maintenance)		2	\$9,000.00
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TOTAL COST - Brookvale Oval Ground & Surrounds

\$204,200.00

The above costs include all Urgent Maintenance recommendations but exclude costs associated with the Cyclical Maintenance Schedule.

Estimates are based on May 2010 costs and exclude GST and CPI adjustments with no allowance for documentation, supervision or builder's margin.

TABLE 3 - CYCLICAL MAINTENANCE PROGRAM

TABLE 3 - CYCLIC MAINTENANCE SCHEDULE

ID	CYCL PER	COMPONENT	CONDITION	CON FAC	QTY	COST
Brookvale Oval Southern Stand						
MAINTENANCE YEAR 1						
<u>GRANDSTAND</u>						
5912	6 MONTHLY	ELECTRICAL / COMMUNICATION CONDITION	Exit and emergency lighting - refer BCA recommendations. Inspect/test/log to stairs	0	6	\$300.00
<u>GRANDSTAND - GROUND LEVEL</u>						
5968	6 MONTHLY	FIRE SERVICE CONDITION	Fire hose reel to ground level - replace Refer BCA recommendations. Inspect/test/log	2	1	\$20.00
MAINTENANCE YEAR 3						
<u>GRANDSTAND</u>						
5941	3 YEARLY	FLOOR CONDITION	Concrete grandstand seating area and aisles - pressure clean	4	780 m2	\$5,400.00
MAINTENANCE YEAR 4						

ID	CYCL PER	COMPONENT	CONDITION	CON FAC	QTY	COST
<u>BOXES</u>						
5942	4 YEARLY	EXTERIOR WALLS	Repaint exterior wall panels under windows	5	80 m2	\$1,300.00
5950	4 YEARLY	INTERIOR WALLS	Repaint interior walls to boxes	3	210 m2	\$3,400.00
5952	4 YEARLY	WINDOWS/DOORS	Repaint timber door and frame between No. 1 and 2 boxes	5	1	\$250.00
<u>GRANDSTAND</u>						
5939	4 YEARLY	EXTERIOR WALLS	Galvanised steel balustrade to front aisle - paint	3	92 m	\$1,200.00
5940	4 YEARLY	FLOOR CONDITION	Concrete stairs to boxes - repaint	5	45 m2	\$900.00
5953	4 YEARLY	FLOOR CONDITION	Repaint stair nosings to aisles	4	125 m	\$1,200.00
5937	4 YEARLY	EXTERIOR WALLS	Repaint upper level aisle steel balustrades	5	230 m	\$2,500.00
<u>PUBLIC TOILETS - GROUND LEVEL</u>						
5956	4 YEARLY	FENCE CONDITION	Repaint entry partitions to toilets	5	50m2	\$800.00
5963	4 YEARLY	INTERIOR WALLS	Interior walls - repaint and fill cracks	4	170 m2	\$3,000.00
5967	4 YEARLY	CEILING	Ceiling - repaint	5	110 m2	\$1,800.00
<u>SE STORE</u>						
5970	4 YEARLY	WINDOWS/DOORS	Repaint exterior doors and grilles	5	4	\$1,000.00

ID	CYCL PER	COMPONENT	CONDITION	CON FAC	QTY	COST
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Brookvale Oval Jane Try Stand

MAINTENANCE YEAR 1

CHANGE ROOM HOME & VISITORS

5851	YEARLY	PLANT TYPE	Ice bath and condenser unit - service	5	1	\$500.00
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KIOSK

6019	MONTHLY	HEAT / COOL CONDITION	Stainless steel exhaust canopy - clean filters (by club)	3	4	
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CHANGE ROOM CENTRAL PASSAGE

6047	6 MONTHLY	FIRE SERVICE CONDITION	Fire hose reel - ok Inspect/test/log	5	1	\$20.00
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6048	6 MONTHLY	EMERGENCY & EXIT LIGHTING CONDITION	Exit and emergency lighting - ok Inspect/test/log	5	3	\$150.00
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CHANGE ROOM HOME & VISITORS

5841	6 MONTHLY	ELECTRICAL / COMMUNICATION CONDITION	Exit and emergency lighting - ok Inspect/test/log	5	8	\$400.00
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ID	CYCL PER	COMPONENT	CONDITION	CON FAC	QTY	COST
FIRST FLOOR PASSAGE						
5998	6 MONTHLY	EMERGENCY & EXIT LIGHTING CONDITION	Exit and emergency lighting - ok	Inspect/test/log	5 3	\$150.00
HWS STORE						
6041	6 MONTHLY	EMERGENCY & EXIT LIGHTING CONDITION	Emergency lighting - ok	Inspect/test/log	5 1	\$50.00
KIOSK						
6032	6 MONTHLY	EMERGENCY & EXIT LIGHTING CONDITION	Exit sign - ok	Inspect/test/log	4 1	\$50.00
6027	6 MONTHLY	FIRE SERVICE CONDITION	Fire blanket - ok	Inspect/log	4 1	\$10.00
KIOSK STORE						
6012	6 MONTHLY	EMERGENCY & EXIT LIGHTING CONDITION	Exit sign - ok	Inspect/test/log	5 1	\$50.00
MAINTENANCE YEAR 2						
KIOSK STORE						
6009	6 YEARLY	WINDOWS/DOORS	Door and frame - repaint		3 1	\$250.00

ID	CYCL PER	COMPONENT	CONDITION	CON FAC	QTY	COST
6010	6 YEARLY	INTERIOR WALLS	Walls - repaint	3	50 m2	\$800.00

NE STORE

6015	6 YEARLY	WINDOWS/DOORS	Doors and frame - repaint	3	2	\$500.00
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MAINTENANCE YEAR 3

BOXES

5860	6 YEARLY	CEILING	Repaint ceilings to boxes		120 m2	\$2,000.00
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BOXES

5858	3 YEARLY	INTERIOR WALLS	Repaint walls to boxes		308 m2	\$5,000.00
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COACH'S ADDRESS ROOM

6077	3 YEARLY	INTERIOR WALLS	Walls - repaint	5	75 m2	\$1,200.00
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FIRST FLOOR PASSAGE

6002	3 YEARLY	INTERIOR WALLS	Repaint walls	5	170 m2	\$2,700.00
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GRANDSTAND

6006	3 YEARLY	FLOOR CONDITION	Concrete grandstand seating area and aisles - pressure clean	4	850 m2	\$5,900.00
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MEDIA CENTRE & LOBBY AREA

6082	3 YEARLY	INTERIOR WALLS	Walls - repaint	5	110 m2	\$1,750.00
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ID	CYCL PER	COMPONENT	CONDITION	CON FAC	QTY	COST
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MAINTENANCE YEAR 4

BOXES

5827	4 YEARLY	EXTERIOR WALLS	External walls to boxes - repaint		150 m2	\$2,400.00
6000	4 YEARLY	WINDOWS/DOORS	Repaint doors to boxes	5	18	\$4,500.00

CHANGE ROOM CENTRAL PASSAGE

6044	4 YEARLY	INTERIOR WALLS	Walls - repaint	5	60 m2	\$960.00
6045	4 YEARLY	WINDOWS/DOORS	Doors and frames to all rooms off passage - repaint	5	7	\$1,750.00

CHANGE ROOM HOME & VISITORS

5838	4 YEARLY	INTERIOR WALLS	Walls - repaint	5	610 m2	\$9,700.00
5845	4 YEARLY	WINDOWS/DOORS	Doors and frames - repaint	5	8	\$2,000.00

CHEER GIRL CHANGE ROOM

6062	4 YEARLY	INTERIOR WALLS	Walls - repaint	5	28 m2	\$450.00
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COACH'S ADDRESS ROOM

6089	4 YEARLY	WINDOWS/DOORS	Doors and frames - repaint	5	3	\$750.00
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EXTERIOR

6036	4 YEARLY	EXTERIOR WALLS	Steel exit stairs to west elevation - repaint	4	1	\$1,500.00
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ID	CYCL PER	COMPONENT	CONDITION	CON FAC	QTY	COST
6033	4 YEARLY	WINDOWS/DOORS	Exterior doors - repaint west elevation and east change room exit doors and frames	5	13	\$3,250.00

FIRST FLOOR PASSAGE

5999	4 YEARLY	WINDOWS/DOORS	Repaint exit doors	5	2	\$500.00
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GRANDSTAND

6007	4 YEARLY	EXTERIOR WALLS	Repaint hand rails to media area	5	17 m	\$200.00
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KIOSK

6023	4 YEARLY	CEILING	Ceiling - repaint	4	36 m2	\$600.00
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6025	4 YEARLY	INTERIOR WALLS	Painted walls - repaint	4	42 m2	\$700.00
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6026	4 YEARLY	WINDOWS/DOORS	Door and frame - repaint	4	1	\$250.00
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MEDICAL ROOMS

6055	4 YEARLY	INTERIOR WALLS	Walls - repaint	5	35 m2	\$500.00
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REFEREE ROOM

5821	4 YEARLY	INTERIOR WALLS	Walls - repaint	5	25 m2	\$400.00
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MAINTENANCE YEAR 6

ASADA

6068	6 YEARLY	CEILING	Ceiling - repaint	5	8 m2	\$150.00
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ID	CYCL PER	COMPONENT	CONDITION	CON FAC	QTY	COST
6067	6 YEARLY	INTERIOR WALLS	Walls - repaint	5	25 m2	\$450.00
<u>CHANGE ROOM CENTRAL PASSAGE</u>						
6046	6 YEARLY	CEILING	Ceiling - repaint	5	42 m2	\$670.00
<u>CHANGE ROOM HOME & VISITORS</u>						
5850	6 YEARLY	CEILING	Ceilings - repaint	5	440 m2	\$7,050.00
<u>CHEER GIRL CHANGE ROOM</u>						
6063	6 YEARLY	CEILING	Ceiling - repaint	5	22 m2	\$350.00
<u>COACH'S ADDRESS ROOM</u>						
6078	6 YEARLY	INTERIOR WALLS	Ceiling - repaint	5	42 m2	\$700.00
<u>FIRST AID ROOM</u>						
6073	6 YEARLY	CEILING	Ceiling - repaint	5	21 m2	\$350.00
6072	6 YEARLY	INTERIOR WALLS	Walls - repaint	5	48 m2	\$770.00
<u>FIRST FLOOR PASSAGE</u>						
6001	6 YEARLY	CEILING	Repaint ceiling	5	40 m2	\$640.00
<u>MEDIA CENTRE & LOBBY AREA</u>						
6083	6 YEARLY	INTERIOR WALLS	Ceiling - repaint	5	44 m2	\$700.00

ID	CYCL PER	COMPONENT	CONDITION	CON FAC	QTY	COST
<u>MEDICAL ROOMS</u>						
6056	6 YEARLY	CEILING	Ceiling - repaint	5	30 m2	\$480.00
<u>NE STORE</u>						
6016	6 YEARLY	INTERIOR WALLS	Walls - repaint	5	90m2	\$1,400.00
<u>REFEREE ROOM</u>						
5984	6 YEARLY	CEILING	Ceiling - repaint	5	24m2	\$400.00

ID	CYCL PER	COMPONENT	CONDITION	CON FAC	QTY	COST
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Brookvale Oval Ken Arthurson Link Stand

MAINTENANCE YEAR 1

GROUND LEVEL KITCHEN

6396	YEARLY	HEAT / COOL CONDITION	Kirby cool room fan units - refer cool room replacement. Service	3	2	\$600.00
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GROUND LEVEL MAIN SWITCHBOARD ROOM

6406	YEARLY	FIRE SERVICE CONDITION	Wormald fire indicator panel and evacuation control unit - Annual service	5	1	\$500.00
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GROUND LEVEL MAIN SWITCHBOARD ROOM

6324	WEEKLY	FIRE SERVICE CONDITION	Wormald fire indicator panel and evacuation control unit - installed as part of recent additions/renovations. Inspect/test/log	5	1	\$900.00
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EXTERIOR

6336	6 YEARLY	WINDOWS/DOORS	Repaint doors to SW and NW corners to ground level	2	2	\$500.00
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LEVEL 1 - SOUTH STORE ROOM

6375	6 YEARLY	CEILING	Repaint ceiling	2	12 m2	\$250.00
6373	6 YEARLY	FLOOR CONDITION	Repaint walls	2	12 m2	\$250.00

ID	CYCL PER	COMPONENT	CONDITION	CON FAC	QTY	COST
<u>GROUND LEVEL MAIN SWITCHBOARD ROOM</u>						
6325	6 MONTHLY	SECURITY SYSTEM CONDITION	Challenger alarm panel - ok	4	1	\$20.00
<u>GROUND LEVEL TOILETS</u>						
6314	6 MONTHLY	EMERGENCY & EXIT LIGHTING CONDITION	Exit signs - ok Inspect/test/log	4	3	\$150.00
<u>LEVEL 1 - PRESIDENTS LOUNGE</u>						
6359	6 MONTHLY	EMERGENCY & EXIT LIGHTING CONDITION	Exit and emergency lighting - ok Inspect/test/log	5	10	\$500.00
<u>LEVEL 1 - PRESIDENTS LOUNGE NORTH END TOILETS</u>						
6370	6 MONTHLY	EMERGENCY & EXIT LIGHTING CONDITION	Emergency lighting - ok Inspect/test/log	5	2	\$100.00
<u>LEVEL 1 - SOUTH STORE ROOM</u>						
6407	6 MONTHLY	LIFT CONDITION	Service lift motor and controls	0	1	\$700.00
<u>LEVEL 3 - BOXES, PASSAGE & TOILETS</u>						
6300	6 MONTHLY	EMERGENCY & EXIT LIGHTING CONDITION	Exit signs and emergency lighting - Inspect/test/log	5	11	\$550.00

ID	CYCL PER	COMPONENT	CONDITION	CON FAC	QTY	COST
LEVEL 2 - KIOSK						
6292	4 YEARLY	CEILING	Repaint ceiling	2	8 m2	\$200.00
6286	4 YEARLY	INTERIOR WALLS	Repaint walls	2	8 m2	\$200.00
6291	4 YEARLY	WINDOWS/DOORS	Repaint door and frame	2	1	\$250.00

MAINTENANCE YEAR 2

GROUND LEVEL MAIN SWITCHBOARD ROOM

6326	6 YEARLY	WINDOWS/DOORS	Repaint doors and frames	3	2	\$500.00
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MAINTENANCE YEAR 3

GROUND LEVEL SHOP

6333	6 YEARLY	WINDOWS/DOORS	Repaint door and frame	3	1	\$250.00
6334	6 YEARLY	INTERIOR WALLS	Repaint counter	3	2 m2	\$50.00
6329	6 YEARLY	INTERIOR WALLS	Repaint walls	3	25 m2	\$400.00

GROUND LEVEL KITCHEN

6388	4 YEARLY	INTERIOR WALLS	Repaint upper walls to kitchen	4	70m2	\$1,200.00
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GRANDSTAND LEVEL 1

6271	3 YEARLY	FLOOR CONDITION	Concrete floor to seating areas - pressure clean	5	160 m2	\$1,200.00
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ID	CYCL PER	COMPONENT	CONDITION	CON FAC	QTY	COST
<u>GRANDSTAND LEVEL 2</u>						
6279	3 YEARLY	FLOOR CONDITION	Concrete floor to seating areas - pressure clean	5	430 m2	\$3,000.00
<u>GRANDSTAND LEVEL 3</u>						
6304	3 YEARLY	FLOOR CONDITION	Concrete floor - pressure clean	5	55 m2	\$400.00
<u>GROUND LEVEL TOILETS</u>						
6308	3 YEARLY	INTERIOR WALLS	Repaint interior walls to male and female toilets	4	610 m2	\$9,800.00
6315	3 YEARLY	EMERGENCY & EXIT LIGHTING CONDITION	Repaint WC doors and frames	4	57	\$11,400.00
6318	3 YEARLY	INTERIOR WALLS	Repaint WC partitions	4	58	\$7,300.00

MAINTENANCE YEAR 4

GRANDSTAND LEVEL 1

6275	4 YEARLY	WINDOWS/DOORS	Repaint timber door to central stair mid landing	5	1	\$250.00
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GRANDSTAND LEVEL 2

6283	4 YEARLY	WINDOWS/DOORS	Repaint timber door to central stair mid landing	5	1	\$250.00
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LEVEL 1 - PRESIDENTS LOUNGE

6352	4 YEARLY	WINDOWS/DOORS	Repaint painted doors and frames	5	6	\$1,500.00
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ID	CYCL PER	COMPONENT	CONDITION	CON FAC	QTY	COST
6347	4 YEARLY	INTERIOR WALLS	Repaint walls	5	248 m2	\$4,000.00
<u>LEVEL 1 - PRESIDENTS LOUNGE NORTH END TOILETS</u>						
6361	4 YEARLY	WINDOWS/DOORS	Repaint door and frames	5	5	\$1,250.00
<u>LEVEL 1 - SUITES/BOXES</u>						
6382	4 YEARLY	INTERIOR WALLS	Repaint walls	4	42 m2	\$700.00
<u>LEVEL 3 - BOXES, PASSAGE & TOILETS</u>						
6293	4 YEARLY	INTERIOR WALLS	Repaint walls to passage and boxes	5	350 m2	\$5,600.00

MAINTENANCE YEAR 6

GRANDSTAND LEVEL 3

6307	6 YEARLY	INTERIOR WALLS	Repaint west (rear) wall of boxes	5	65 m2	\$1,200.00
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GROUND LEVEL TOILETS

6316	6 YEARLY	EMERGENCY & EXIT LIGHTING CONDITION	Repaint ceiling	4	260 m2	\$4,200.00
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LEVEL 1 - PRESIDENTS LOUNGE NORTH END TOILETS

6366	6 YEARLY	CEILING	Repaint ceiling	5	35 m2	\$600.00
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ID	CYCL PER	COMPONENT	CONDITION	CON FAC	QTY	COST
LEVEL 3 - BOXES, PASSAGE & TOILETS						
6298	6 YEARLY	CEILING	Repaint ceilings	5	240 m2	\$3,900.00

Brookvale Oval Northern Turnstiles

MAINTENANCE YEAR 4

INTERIOR

6138	4 YEARLY	EXTERIOR WALLS	Repaint steel rails adjacent to turnstiles	5	28 m	\$300.00
6135	4 YEARLY	WINDOWS/DOORS	Repaint doors and frames to ticket boxes	5	2	\$500.00

Brookvale Oval North Western Turnstiles

MAINTENANCE YEAR 6

EXTERIOR

5933	6 YEARLY	EXTERIOR WALLS	Repaint walls to old turnstiles (2 no.)	4	60 m2	\$950.00
6140	6 YEARLY	EXTERIOR WALLS	Repaint doors and frames to old turnstiles	4	14	\$2,800.00

ID	CYCL PER	COMPONENT	CONDITION	CON FAC	QTY	COST
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Brookvale Oval Score Board & Kiosk

MAINTENANCE YEAR 1

SCOREBOARD

6119	YEARLY	HYDRAULIC CONDITION	Irrigation and bore pump controls to ladder access - check/test	4	1	\$300.00
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INTERIOR KIOSK

6127	MONTHLY	HEAT / COOL CONDITION	Galvanised steel exhaust canopy - clean filters (by club)	2	2	
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EXTERIOR KIOSK

6093	6 MONTHLY	HYDRAULIC CONDITION	Grease trap - clear	3	1	\$400.00
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MAINTENANCE YEAR 4

SCOREBOARD

6112	6 YEARLY	STRUCTURE	Repaint steel frame to rear of scoreboard	4	184 m	\$2,000.00
6115	6 YEARLY	WINDOWS/DOORS	Treat corrosion and paint gal steel grille to ladder enclosure	3	1	\$250.00
6114	6 YEARLY	WINDOWS/DOORS	Repaint door and frame to ladder enclosure	4	1	\$250.00
6113	6 YEARLY	EXTERIOR WALLS	Repaint cladding to ladder enclosure	4	6 m2	\$100.00

ID	CYCL PER	COMPONENT	CONDITION	CON FAC	QTY	COST
EXTERIOR KIOSK						
6104	4 YEARLY	WINDOWS/DOORS	Repaint north entry door and frame	4	1	\$250.00
6100	4 YEARLY	STRUCTURE	Repaint timber frame to kiosk	5	22 m	\$400.00

MAINTENANCE YEAR 6

EXTERIOR KIOSK

6105	6 YEARLY	EXTERIOR WALLS	Repaint painted fascia and reinstate advert signs	5	32 m2	\$550.00
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Brookvale Oval South East Turnstiles & Ticket Box

MAINTENANCE YEAR 1

INTERIOR TICKET BOX

6154	6 MONTHLY	FIRE SERVICE CONDITION	CO2 extinguisher - ok Inspect/test/log	5	1	\$20.00
6159	6 MONTHLY	EMERGENCY & EXIT LIGHTING CONDITION	Exits sign - Inspect/test/log	5	1	\$50.00

INTERIOR TURNSTILES

6155	6 MONTHLY	FIRE SERVICE CONDITION	CO2 extinguisher - ok Inspect/test/log	5	1	\$20.00
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ID	CYCL PER	COMPONENT	CONDITION	CON FAC	QTY	COST
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Brookvale Oval South West Turnstiles

MAINTENANCE YEAR 1

EXTERIOR

5907	YEARLY	WINDOWS/DOORS	Roller shutters - clean	4	2	\$50.00
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MAINTENANCE YEAR 4

EXTERIOR

5906	4 YEARLY	WINDOWS/DOORS	Doors and frames - repaint	5	2	\$500.00
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ID	CYCL PER	COMPONENT	CONDITION	CON FAC	QTY	COST
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Brookvale Oval Tractor Shed

MAINTENANCE YEAR 1

INTERIOR

6173	6 MONTHLY	FIRE SERVICE CONDITION	CO2 extinguisher - ok	Inspect/test/log	5	1	\$20.00
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MAINTENANCE YEAR 3

EXTERIOR

6169	6 YEARLY	WINDOWS/DOORS	Repaint timber door		3	1	\$250.00
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ID	CYCL PER	COMPONENT	CONDITION	CON FAC	QTY	COST
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Brookvale Oval NE Amenities

MAINTENANCE YEAR 3

INTERIOR FEMALE TOILETS

6199	3 YEARLY	WINDOWS/DOORS	Repaint WC doors	5	6	\$1,200.00
6200	3 YEARLY	INTERIOR WALLS	Repaint WC partitions	5	48 m2	\$760.00

INTERIOR MALE TOILETS

6192	3 YEARLY	WINDOWS/DOORS	Repaint WC doors	5	5	\$1,000.00
6193	3 YEARLY	INTERIOR WALLS	Repaint WC partitions	5	40 m2	\$650.00

MAINTENANCE YEAR 4

EXTERIOR

6183	4 YEARLY	WINDOWS/DOORS	Repaint exterior doors and frames to north elevation	5	2	\$500.00
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INTERIOR DISABLED SANITARY COMPARTMENT

6182	4 YEARLY	CEILING	Repaint ceiling	5	8 m2	\$200.00
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INTERIOR MALE & FEMALE TOILETS

5926	4 YEARLY	CEILING	Repaint ceiling	4	103 m2	\$1,600.00
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ID	CYCL PER	COMPONENT	CONDITION	CON FAC	QTY	COST
6202	4 YEARLY	CEILING	Repaint ceilings	5	68 m2	\$1,100.00

Brookvale Oval NW Amenities

MAINTENANCE YEAR 2

EXTERIOR

5932	6 YEARLY	ROOFING	Concrete Roof - repaint fascia and eaves	2	32 m	\$400.00
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FEMALE TOILETS

6213	3 YEARLY	WINDOWS/DOORS	Repaint doors to WC's	3	2	\$400.00
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MALE & FEMALE TOILETS

6214	3 YEARLY	CEILING	Repaint ceilings	3	32 m2	\$520.00
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MALE TOILETS

6208	3 YEARLY	WINDOWS/DOORS	Repaint doors to WC's	3	2	\$400.00
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ID	CYCL PER	COMPONENT	CONDITION	CON FAC	QTY	COST
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Brookvale Oval SE Amenities

MAINTENANCE YEAR 3

FEMALE TOILETS

6234	3 YEARLY	HYDRAULIC CONDITION	Repaint WC doors	5	6	\$1,200.00
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MALE & FEMALE TOILETS

6222	3 YEARLY	CEILING	Repaint ceilings	5	95 m2	\$1,500.00
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MALE TOILETS

6227	3 YEARLY	HYDRAULIC CONDITION	Repaint WC doors	5	5	\$1,000.00
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MAINTENANCE YEAR 6

EXTERIOR

6219	6 YEARLY	CEILING	Repaint eaves to west elevation	5	27 m2	\$450.00
6218	6 YEARLY	ROOFING	Concrete roof - ok Repaint fascia	5	60 m	\$800.00

ID	CYCL PER	COMPONENT	CONDITION	CON FAC	QTY	COST
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Brookvale Oval Ground & Surrounds

MAINTENANCE YEAR 1

LEVEL 1 - SOUTH STORE ROOM

6246	YEARLY	HYDRAULIC CONDITION	275 kg dumbwaiter - service		1	\$800.00
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MAINTENANCE YEAR 2

BORE WATER TANK ENCLOSURE

6251	2 YEARLY	PLANT TYPE	Submersible tank pump - remove and clear of sludge	3	1	\$500.00
6250	2 YEARLY	PLANT TYPE	Submersible bore pump - remove and clear of sludge	3	1	\$500.00

NOTE:

Estimates are based on May 2010 costs and exclude GST and CPI adjustments with no allowance for documentation, supervision or builder's margin.

Maintenance Year denotes the year that the works commences.

DATA SHEETS

DATA SHEETS

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
1 Brookvale Oval Southern Stand								
BOXES								
5913	Replace recessed fluorescent lighting to boxes	1979	2	2			24	\$9,600.00
5914	Carpet to boxes - replace	2000	3	2			210 m2	\$16,800.00
5915	Retractable seating - ok	2009	5					
5916	Laminated benches and cupboards - replace	2000	3	5			60 m	\$48,000.00
5917	Ceiling exhaust fans to boxes - replace	2000		2			24	\$8,400.00
5942	Repaint exterior wall panels under windows	2009	5		Y4	4	80 m2	\$1,300.00
5943	Aluminium windows and doors - ok	2000	5					
5946	Replace sinks and tapsets	2000	3	5			12	\$14,400.00
5947	Replace missing handles to cupboards	2000	0	1			6	\$500.00
5948	Ceiling fans - replace	2000	2	2			12	\$4,800.00
5949	NHP electrical sub board to west end box - replace	1995	3	10			1	\$5,000.00
5950	Repaint interior walls to boxes	2009	3		Y4	4	210 m2	\$3,400.00

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
5951	Repair/replace door closer to No. 3 box	2000	2	1			1	\$350.00
5952	Repaint timber door and frame between No. 1 and 2 boxes	2009	5		Y4	4	1	\$250.00
5983	Install hot water units or sink units to each box			2			12	\$8,400.00

GRANDSTAND

5910	Retractable seating - ok	2009	5					
5912	Exit and emergency lighting - refer BCA recommendations. Inspect/test/log to stairs		0		m6	1	6	\$300.00
5937	Repaint upper level aisle steel balustrades	2009	5		Y4	4	230 m	\$2,500.00
5938	Galvanised steel balustrade to front aisle - treat corrosion	1979	3	1				\$400.00
5939	Galvanised steel balustrade to front aisle - paint	1979	3		Y4	4	92 m	\$1,200.00
5940	Concrete stairs to boxes - repaint	2009	5		Y4	4	45 m2	\$900.00
5941	Concrete grandstand seating area and aisles - pressure clean	2009	4		Y3	3	780 m2	\$5,400.00
5953	Repaint stair nosings to aisles	2009	4		Y4	4	125 m	\$1,200.00
5975	Repair concrete spalling at stand/stair joints - refer Structural report	1979		1			8	\$4,120.00
5976	Clean and repaint concrete columns and beams - refer Structural report	1979		1			400 m2	\$26,000.00
5977	Replace expansion joint material - refer Structural report	1979		1			38 m	\$2,660.00

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
5978	Strengthen beam and column junction underneath stairs - refer Structural report	1979		1			1	\$10,000.00
5979	Remove rust and repaint steel roof purlins with high build epoxy - refer Structural report. Approx allowance including access equipment	1979		1			776 m	\$60,000.00
5981	Scaffolding and preliminaries for stand repair works - refer Structural report			1			1	\$36,630.00
5982	Replace missing grate to bottom aisle drain pit			1			1	\$200.00

GRANDSTAND - GROUND LEVEL

5980	Installation of 15,000 litre rainwater harvesting tank for public toilet use - refer Structural report			2			1	\$12,000.00
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GRANDSTAND - GROUND LEVEL

5954	Resheet asphalt to ground level	1979	2	1			880 m2	\$22,000.00
5955	Repaint concrete under floor of seating area	1979	2	1			950 m2	\$18,000.00
5968	Fire hose reel to ground level - replace Refer BCA recommendations. Inspect/test/log	2079	2		m6	1	1	\$20.00
5969	Phillips lighting to exterior public toilets - replace	2000	3	5			4	\$1,600.00

PUBLIC TOILETS - GROUND LEVEL

5956	Repaint entry partitions to toilets	2009	5		Y4	4	50m2	\$800.00
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ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
5957	Relay raised/sunken brick pavers outside female entrance	2000		1			1m2	\$300.00
5958	Ceramic tiled floors - ok	2000	5					
5959	Laminated vanities and basins - ok	2000	5					
5960	Replace single flush cisterns with dual flush units	1979	2	2			14	\$7,000.00
5961	Laminated toilet partitions and doors - ok	2000	4					
5962	Lighting - replace	1979	2	2			10	\$4,000.00
5963	Interior walls - repaint and fill cracks	2009	4		Y4	4	170 m2	\$3,000.00
5964	Mirrors -ok	2009	5					
5965	Stainless steel urinals and cisterns - ok	2000	4					
5966	VC basins and pans - ok	1979	4					
5967	Ceiling - repaint	2009	5		Y4	4	110 m2	\$1,800.00
5972	Reinstate missing and drummy wall tiles to disabled sanitary compartment	1979	0	1			1 m2	\$500.00
5973	Undersized disabled sanitary compartments to male and female - refer disabled access recommendations	1979					2	
5974	Plastic babies change table - ok	2000						
ROOF								
5935	Replace roof gutters, fascia cappings and downpipes - refer Structural report	1979		1				\$25,600.00

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
5936	Roofing to stand (16 years old) - ok	1979	3				1220 m2	
5944	Install retractable access ladder and access manhole to roof (above boxes)		0	1			1	\$3,800.00
5945	Install safety access anchors and harness support cable to roof		0	1			6	\$2,500.00
6346	Install safe access roof walkways		0	1			80 m	\$12,800.00
<u>SE STORE</u>								
5970	Repaint exterior doors and grilles	2009	5		Y4	4	4	\$1,000.00
5971	Replace security light outside store	2000	3	5			1	\$400.00

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
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2 Brookvale Oval Jane Try Stand

ALL

5988	Replace expansion joint material - refer Structural report	1972					38 m	\$2,660.00
5989	Provision of access for camera crews - refer Structural report						1	\$45,000.00
5990	Provision of solar panels to 50% of roof area - refer Structural report						458 m2	\$503,800.00
5992	Crane and access hire and preliminaries - refer Structural report						1	\$175,560.00

ASADA

6067	Walls - repaint	2010	5		Y6	6	25 m2	\$450.00
6068	Ceiling - repaint	2010	5		Y6	6	8 m2	\$150.00
6069	Carpet - ok	2010	5					
6070	Lighting - ok	2010	5					

BOXES

5827	External walls to boxes - repaint	2009			Y4	4	150 m2	\$2,400.00
5831	Emergency lighting - refer BCA recommendations.							

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
5832	Replace original downlights to small boxes. Low voltage downlights - ok	1972		2			12	\$4,200.00
5833	Carpet to boxes - replace	2005	3	3			120 m2	\$9,600.00
5858	Repaint walls to boxes	2009		5	Y3	3	308 m2	\$5,000.00
5859	Split system air conditioning - replace 3 units	2005		5			3	\$10,500.00
5860	Repaint ceilings to boxes	2009		5	Y6	3	120 m2	\$2,000.00
5993	Split system air conditioning - replace 1 unit	2009		10			1	\$4,000.00
6000	Repaint doors to boxes	2009	5		Y4	4	18	\$4,500.00

CHANGE ROOM CENTRAL PASSAGE

6044	Walls - repaint	2010	5		Y4	4	60 m2	\$960.00
6045	Doors and frames to all rooms off passage - repaint	2010	5		Y4	4	7	\$1,750.00
6046	Ceiling - repaint	2010	5		Y6	6	42 m2	\$670.00
6047	Fire hose reel - ok Inspect/test/log	2010	5		m6	1	1	\$20.00
6048	Exit and emergency lighting - ok Inspect/test/log	2010	5		m6	1	3	\$150.00
6049	Carpet - replace	2010	5	8			42 m2	\$3,500.00

CHANGE ROOM HOME & VISITORS

5838	Walls - repaint	2010	5		Y4	4	610 m2	\$9,700.00
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ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
5839	Lighting - ok	2010	5					
5840	Exhaust fans - ok	2010	5					
5841	Exit and emergency lighting - ok	Inspect/test/log	2010	5	m6	1	8	\$400.00
5842	Wash basins/troughs - ok	2010	5					
5843	WC pans, urinals and cisterns - ok	2010	5					
5844	Vandal proof shower roses and tapsets - ok	2010	5					
5845	Doors and frames - repaint	2010	5		Y4	4	8	\$2,000.00
5846	Urinals - ok	2010	5					
5847	Ceramic floor and wall tiles - ok	2010	5					
5850	Ceilings - repaint	2010	5		Y6	6	440 m2	\$7,050.00
5851	Ice bath and condenser unit - service	2010	5		y	1	1	\$500.00
5855	Carpet - replace	2010	5	8			300 m2	\$24,000.00
6050	Toilet partitions and doors - ok	2010	5					
6066	Mirrors - ok	2010	5					
<u>CHEER GIRL CHANGE ROOM</u>								
6058	Carpet - replace	2010	5	8			13 m2	\$1,050.00
6059	Tiled walls - ok	2010	5					

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
6060	VC basin - ok	2010	5					
6061	Benches and trough and taps - ok	2010	5					
6062	Walls - repaint	2010	5		Y4	4	28 m2	\$450.00
6063	Ceiling - repaint	2010	5		Y6	6	22 m2	\$350.00
6064	Lighting - ok	2010	5					
6065	Mirrors - ok	2010	5					
6071	Lighting - ok	2010	5					

COACH'S ADDRESS ROOM

6077	Walls - repaint	2010	5		Y3	3	75 m2	\$1,200.00
6078	Ceiling - repaint	2010	5		Y6	6	42 m2	\$700.00
6079	Carpet - replace	2010	5	8			54 m2	\$4,300.00
6081	Lighting - ok	2010	5					
6088	Projector - ok	2010	5					
6089	Doors and frames - repaint	2010	5		Y4	4	3	\$750.00

EXTERIOR

6033	Exterior doors - repaint west elevation and east change room exit doors and frames	2010	5		Y4	4	13	\$3,250.00
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ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
6034	Rinnai gas instantaneous HWS units - ok	2010	5				4	
6035	Rheem 310 litre HD electric HWS units - ok	2010	5				4	
6036	Steel exit stairs to west elevation - repaint	2010	4		Y4	4	1	\$1,500.00
6037	Main electrical switchboard in ss cabinet to west elevation - ok	2010	5				1	
6090	Electrical distribution switchboard to west elevation - ok	2010	5				1	

FIRST AID ROOM

6072	Walls - repaint	2010	5		Y6	6	48 m2	\$770.00
6073	Ceiling - repaint	2010	5		Y6	6	21 m2	\$350.00
6074	Vinyl - ok	2010	5					
6075	Laminated benches and cupboards - ok	2010	5					
6076	Lighting - ok	2010	5					

FIRST FLOOR PASSAGE

5830	Perelli rubber passage flooring - replace with vinyl	1972			2		40 m2	\$3,400.00
5997	Merlin Gerin distribution switchboard - replace	2000	3	10			1	\$5,000.00
5998	Exit and emergency lighting - ok Inspect/test/log	2009	5		m6	1	3	\$150.00
5999	Repaint exit doors	2009	5		Y4	4	2	\$500.00

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
6001	Repaint ceiling	2009	5		Y6	6	40 m2	\$640.00
6002	Repaint walls	2009	5		Y3	3	170 m2	\$2,700.00
6003	Replace downlights	1972	2	2			7	\$2,800.00

GRANDSTAND

5826	Retractable seating - ok	2009	5					
5829	Emergency lighting - refer BCA recommendations.							
5986	Repair concrete spalling, cracks and paint concrete columns and beams - refer Structural report	1972			1		400m2	\$42,100.00
5991	Installation of 15,000 litre rainwater harvesting tank for public toilet use - refer Structural report				2		1	\$12,000.00
6004	Galvanised steel hand rails - paint	1972	3	2			136 m	\$1,800.00
6005	Colourbond steel panels - ok	1972	4					
6006	Concrete grandstand seating area and aisles - pressure clean	2009	4		Y3	3	850 m2	\$5,900.00
6007	Repaint hand rails to media area	2009	5		Y4	4	17 m	\$200.00

HWS STORE

6038	Rheem 310 litre HD electric HWS units - ok	2010	5				1	
6039	Rheem 310 litre HD electric HWS units - replace	2007	4	9			2	\$5,800.00

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
6040	Rheem 310 litre HD electric HWS units - replace	2004	3	6			1	\$2,900.00
6041	Emergency lighting - ok Inspect/test/log	2010	5		m6	1	1	\$50.00
6042	Lighting - ok	2010	5					
6043	Exhaust fan - ok	2010	5					
<u>KIOSK</u>								
6018	Ceramic tiled floor - ok	1995	4					
6019	Stainless steel exhaust canopy - clean filters (by club)	1995	3		M	1	4	
6020	VC basin - install new basin and hands-free tap	1995	0	1			1	\$1,300.00
6021	Laminated benches and shelves - replace	1995	3	5			10 m	\$8,500.00
6022	Sink, cupboard and taps - replace	1995	2	1			1	\$1,500.00
6023	Ceiling - repaint	2005	4		Y4	4	36 m2	\$600.00
6024	Ceramic tiled walls - ok	1995	4					
6025	Painted walls - repaint	2005	4		Y4	4	42 m2	\$700.00
6026	Door and frame - repaint	2005	4		Y4	4	1	\$250.00
6027	Fire blanket - ok Inspect/log	2005	4		m6	1	1	\$10.00
6028	CO2 extinguisher - ok Dry powder extinguisher - missing	2005	0	1			1	\$300.00
6029	NES alarm panel and sensors - replace	1995	3	5			1	\$3,000.00

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
6030	Clipsal distribution switchboard - replace	1995	2	5			1	\$3,500.00
6031	Lighting - replace	1995	2	5			3	\$1,200.00
6032	Exit sign - ok Inspect/test/log	2005	4		m6	1	1	\$50.00

KIOSK STORE

6008	Lighting - ok	2010	5					
6009	Door and frame - repaint	2005	3		Y6	2	1	\$250.00
6010	Walls - repaint	2005	3		Y6	2	50 m2	\$800.00
6011	Exhaust fan - ok	2010	5				1	
6012	Exit sign - ok Inspect/test/log	2010	5		m6	1	1	\$50.00

MEDIA CENTRE & LOBBY AREA

6082	Walls - repaint	2010	5		Y3	3	110 m2	\$1,750.00
6083	Ceiling - repaint	2010	5		Y6	6	44 m2	\$700.00
6084	Carpet - replace	2010	5	8			44 m2	\$3,500.00
6085	Laminated benches - ok	2010	5					
6086	Lighting - ok	2010	5					
6087	Laminated benches - ok	2010	5					

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
<u>MEDICAL ROOMS</u>								
6051	Vinyl flooring - ok	2010	5					
6052	Tiled walls - ok	2010	5					
6053	VC basin - ok	2010	5					
6054	Benches and sink and taps - ok	2010	5					
6055	Walls - repaint	2010	5		Y4	4	35 m2	\$500.00
6056	Ceiling - repaint	2010	5		Y6	6	30 m2	\$480.00
6057	Lighting - ok	2010	5					
<u>NE STORE</u>								
6014	Lighting - ok	2010	5					
6015	Doors and frame - repaint	2005	3		Y6	2	2	\$500.00
6016	Walls - repaint	2005	5		Y6	6	90m2	\$1,400.00
6017	Exhaust fan - ok	2010	5				1	
<u>REFEREE ROOM</u>								
5821	Walls - repaint	2010	5		Y4	4	25 m2	\$400.00
5822	Lighting - ok	2010	5					

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
5823	Wall mounted exhaust fan - ok	2010	5					
5824	Wash trough - ok	2010	5					
5825	WC pan and cistern - ok	2010	5					
5984	Ceiling - repaint	2010	5		Y6	6	24m2	\$400.00
5985	Carpet - replace	2010		8			8 m2	\$650.00

ROOF

5987	Replace roofing and roof purlins - refer Structural report	1972		1			915 m2	\$268,900.00
5995	Install retractable access ladder and access manhole to roof (above boxes)		0	1			1	\$3,800.00
5996	Install safety access anchors and harness support cable to roof		0	1			6	\$2,500.00
6345	Install safe access roof walkways		0	1			80 m	\$12,800.00

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
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3 Brookvale Oval Ken Arthurson Link Stand

EXTERIOR

6336	Repaint doors to SW and NW corners to ground level	2005	2		Y6	1	2	\$500.00
6337	Unpainted brick walls - ok	1994	5					
6338	Concrete paving - ok	1994	4					
6339	Colourbond steel wall claddings - ok	1994	4					
6340	Replace 4x20w surface mounted fluorescent lighting to west elevation walkways and base of stairs	1994	2	3			20	\$11,000.00

GRANDSTAND

6257	Replace expansion joint material - refer Structural report	1994			1		40 m	\$2,800.00
6260	Crane and access hire and preliminaries - refer Structural report	1994			1		1	\$176,324.00
6261	Concrete spalling repairs - refer Structural report	1994			1		1	\$4,000.00
6262	Remove angled roof sheeting, remove rust and paint beams and purlins, replace roofing and front fascia - refer Structural report	1994			1		1	\$146,875.00
6263	Replace front 2 to 3 purlins if necessary with the above works (no cost allowance) - refer Structural report	1994			1		1	

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
6264	Provisional allowance for rectification at link roof beams to adjacent concrete beams of west and south stands - refer Structural report	1994					1	\$60,000.00
6265	Retractable seating - ok	2009	5					
<u>GRANDSTAND LEVEL 1</u>								
6269	Concrete and galvanised steel balustrade to front and sides of seating area - refer BCA recommendations	1994	4					
6270	Galvanised steel stair and landing handrails - refer BCA recommendations	1994	4					
6271	Concrete floor to seating areas - pressure clean	1994	5		Y3	3	160 m2	\$1,200.00
6272	Fluorescent lighting - ok	2009	5					
6273	Exit signs to top of stairs - some corroding - replace	1994	3	3			4	\$1,600.00
6274	Hose reels to stair landings - replace	1994	3	5			2	\$600.00
6275	Repaint timber door to central stair mid landing	2009	5		Y4	4	1	\$250.00
6276	Aluminium windows and doors - ok	1994	5					
<u>GRANDSTAND LEVEL 2</u>								
6277	Concrete and galvanised steel balustrade to front and sides of seating area - refer BCA recommendations	1994	4					
6278	Galvanised steel stair and landing handrails - refer BCA recommendations	1994	4					

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
6279	Concrete floor to seating areas - pressure clean	1994	5		Y3	3	430 m2	\$3,000.00
6280	Fluorescent lighting - ok	2000	3					
6281	Exit signs to top of stairs - some corroding - replace	1994	3	3			2	\$800.00
6282	Hose reels to stair landings - replace	1994	3	5			2	\$600.00
6283	Repaint timber door to central stair mid landing	2009	5		Y4	4	1	\$250.00
6284	Aluminium windows and doors - ok	1994	5					
6285	Unpainted block walls - ok	1994	5					

GRANDSTAND LEVEL 3

6303	Stainless steel and glass balustrades - ok	2010	5					
6304	Concrete floor - pressure clean	2010	5		Y3	3	55 m2	\$400.00
6305	Retractable seating - ok	2010	5					
6306	Wall mounted lighting - ok	2010	5					
6307	Repaint west (rear) wall of boxes	2010	5		Y6	6	65 m2	\$1,200.00

GROUND LEVEL KITCHEN

6387	Tiled floor - replace with vinyl	1994	3	8			72 m2	\$9,500.00
6388	Repaint upper walls to kitchen	2005	4		Y4	3	70m2	\$1,200.00
6389	Stainless steel benches and sinks - ok	1994	4					

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
6390	Merlin Gerin electrical distribution switchboard - replace	1994	3	10			1	\$6,500.00
6391	Gal steel exhaust canopy over dishwasher - replace with stainless steel canopy and fan	1994	2	3			1	\$4,000.00
6392	Replace lighting	1994	2	3			7	\$3,500.00
6393	Install additional lighting	1994	0	3			4	\$2,000.00
6394	Fire extinguisher and blanket missing - replace		0	1			2	\$450.00
6395	Cool rooms - replace Refer BCA non compliance recommendations	1994	3	3			2	\$30,000.00
6396	Kirby cool room fan units - refer cool room replacement. Service	1994	3	3	Y	1	2	\$600.00
6397	Ceramic tiled walls - ok	1994	4					
6398	Dumbwaiter - refer Level 1 recommendations	1994	2				1	

GROUND LEVEL KITCHEN STORE

6399	Unpainted brick walls - ok	1994						
6400	Space requires upgrade including wall lining and flooring	1994	2	3			1	\$12,000.00
6401	Challenger alarm system - replace	1994	2	3			1	\$4,500.00
6402	Replace lighting and install additional fittings	1994	2	3			4	\$2,000.00
6403	Old cool room - replace	1994	2	2			1	\$20,000.00

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
<u>GROUND LEVEL MAIN SWITCHBOARD ROOM</u>								
6322	Main electrical switchboard - ok	1994	3				1	
6323	Distribution switchboard - ok	1994	4				1	
6324	Wormald fire indicator panel and evacuation control unit - installed as part of recent additions/renovations. Inspect/test/log	2010	5		w	1	1	\$900.00
6325	Challenger alarm panel - ok	1994	4		m6	1	1	\$20.00
6326	Repaint doors and frames	2009	3		Y6	2	2	\$500.00
6327	Ceiling - ok	1994	4					
6328	Brick walls - ok	1994	4					
6406	Wormald fire indicator panel and evacuation control unit - Annual service	2010	5		Y	1	1	\$500.00
<u>GROUND LEVEL SHOP</u>								
6329	Repaint walls	2008	3		Y6	3	25 m2	\$400.00
6330	Vinyl flooring - ok	1994	4					
6331	Mineral fibre ceiling - warped and damaged - replace panels	1994	2	1			40 m2	\$1,500.00
6332	Aluminium shutters - ok	1994	4					
6333	Repaint door and frame	1994	3		Y6	3	1	\$250.00

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
6334	Repaint counter	2008	3		Y6	3	2 m2	\$50.00
6335	Replace lighting	1994	3	5			3	\$1,350.00
<u>GROUND LEVEL TOILETS</u>								
6308	Repaint interior walls to male and female toilets	2008	4		Y3	3	610 m2	\$9,800.00
6309	Stainless steel urinals - ok	1994	3					
6310	Stainless steel basins - ok	1994	4					
6311	Replace hand dryers	1994	3	5			10	\$4,000.00
6312	Replace lighting	1994	2	2			15	\$6,000.00
6313	Install additional lighting	1994		2			6	\$2,400.00
6314	Exit signs - ok Inspect/test/log	2005	4		m6	1	3	\$150.00
6315	Repaint WC doors and frames	2008	4		Y3	3	57	\$11,400.00
6316	Repaint ceiling	2008	4		Y6	6	260 m2	\$4,200.00
6317	Concrete floors - ok	1994						
6318	Repaint WC partitions	2008	4		Y3	3	58	\$7,300.00
6319	Gal steel entry grilles - ok	1994	4					
6320	Dual flush cisterns - ok	2008	5					
6321	Babies change table - ok	2008	5					

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
<u>LEVEL 1 - PRESIDENTS LOUNGE SOUTH END TOILETS</u>								
6371	Renovate male and female toilets	1994	2	2			2	\$55,000.00
<u>LEVEL 1 - PRESIDENTS LOUNGE</u>								
6266	Carpet to north end - replaced recently. Replace	2009	5	8			260 m2	\$21,000.00
6267	Recessed fluro fittings to north end - replaced	2009	5					
6268	Suspended ceiling panels to north end - replaced	2009	5					
6347	Repaint walls	2010	5		Y4	4	248 m2	\$4,000.00
6349	Recessed fluro fittings to south end - replace downlights with recessed fluorescents fittings	1994	2	2			23	\$12,700.00
6350	Suspended ceiling panels to north end and over central bar area - replace	1994	2	2			200 m2	\$8,000.00
6351	Aluminium windows and doors - ok	1994	5					
6352	Repaint painted doors and frames	2009	5		Y4	4	6	\$1,500.00
6353	Laminated bar top - replace	1994	3	2			10 m	\$3,000.00
6354	Stainless steel sinks and taps - ok	2009	5				2	
6355	Stainless steel sinks bench - ok	1994	4					
6356	Merlin Gerin electrical distribution switchboard - replace	1994	3	10			1	\$5,500.00
6357	Operable wall - ok	1994	4					

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
6358	Ceramic tiles to bar area - ok	1994	4					
6359	Exit and emergency lighting - ok Inspect/test/log	2009	5		m6	1	10	\$500.00

LEVEL 1 - PRESIDENTS LOUNGE NORTH END TOILETS

6360	Toilet upgraded 2009/10	2009	5				3	
6361	Repaint door and frames	2009	5		Y4	4	5	\$1,250.00
6362	VC pans, urinals and basins - ok	2009	5					
6363	Electric hand dryers - ok	2009	5					
6364	Ceramic tiled floors - ok	2009	5					
6365	Ceramic tiled walls - ok	2009	5					
6366	Repaint ceiling	2009	5		Y6	6	35 m2	\$600.00
6367	Mirrors - ok	2009	5					
6368	Toilet partitions - ok	2009	5					
6369	Lighting - ok	2009	5					
6370	Emergency lighting - ok Inspect/test/log	2009	5		m6	1	2	\$100.00

LEVEL 1 - SOUTH STORE ROOM

6372	Tiled floor - ok	1994	4					
6373	Repaint walls	1994	2		Y6	1	12 m2	\$250.00

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
6375	Repaint ceiling	1994	2		Y6	1	12 m2	\$250.00
6376	Replace lighting	1994	2	1			1	\$400.00
6377	Retile east wall	1994	0	1			1 m2	\$500.00
6378	Consideration to installing a disabled passenger/goods lift and removal of dumb waiter - refer disabled access recommendations	1994	0	2			1	
6407	Service lift motor and controls	1994	0		M6	1	1	\$700.00

LEVEL 1 - SUITES/BOXES

6379	Laminated benches and cupboards - ok	1994	5					
6380	Recessed low voltage down lights - ok	1994	4					
6381	Mineral fibre ceiling panels - replace	1994	3	2			45 m2	\$1,700.00
6382	Repaint walls	2009	4		Y4	4	42 m2	\$700.00
6383	Replace carpet	1994	3	5			45 m2	\$3,600.00
6384	Stainless steel sinks and tapsets - ok	1994	4					
6385	Replace old incandescent downlights with low voltage downlights	1994	2	2			4	\$1,200.00
6386	Install emergency lighting	1994	0	2			3	\$1,200.00

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
<u>LEVEL 2 - KIOSK</u>								
6286	Repaint walls	2005	2		Y4	1	8 m2	\$200.00
6287	Tiled floor - ok	1994	4					
6288	Replace wall tiles	1994	2	4			12 m2	\$2,200.00
6289	Stainless steel benches - ok	1994	4					
6290	Replace lighting	1994	2	3			2	\$900.00
6291	Repaint door and frame	2005	2		Y4	1	1	\$250.00
6292	Repaint ceiling	2005	2		Y4	1	8 m2	\$200.00
<u>LEVEL 3 - BOXES, PASSAGE & TOILETS</u>								
6293	Repaint walls to passage and boxes	2010	5		Y4	4	350 m2	\$5,600.00
6294	Tiled floors to toilets - ok	2010	5					
6295	VC pans, urinals and basins to toilets - ok	2010	5					
6296	Laminated benches and cupboards to boxes - ok	2010	5					
6297	Replace carpet to boxes	2010	5	8			105 m2	\$8,500.00
6298	Repaint ceilings	2010	5		Y6	6	240 m2	\$3,900.00
6299	Lighting - ok	2010	5					
6300	Exit signs and emergency lighting - Inspect/test/log	2010	5		m6	1	11	\$550.00

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
6301	Aluminium windows and doors - ok	2010	5					
6302	Mirrors to toilets - ok	2010	5					
<u>ROOF</u>								
6342	Install retractable access ladder (to AS1657) and access manhole to roof (above Level 3 passage)		0	1			1	\$3,800.00
6343	Install safety access anchors and harness support cable to roof		0	1			6	\$2,500.00
6344	Install safe access roof walkways		0	1			60 m	\$9,600.00

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
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4 Brookvale Oval Northern Turnstiles

EXTERIOR

5896	Unpainted brick walls - ok	1990	4					
5897	Roller shutters - ok	1990	4					
5898	Steel roof and fascia gutters - ok	1990	4					
6133	North entry fluorescent lights - ok	2009	5				2	

INTERIOR

5899	Galvanised steel roof frame - treat rust and cold gal	1990	3	1				\$500.00
6132	Concrete floor - ok	1990	5					
6134	Replace interior fluorescent light	1990	2	2			1	\$400.00
6135	Repaint doors and frames to ticket boxes	2009	5		Y4	4	2	\$500.00
6136	Replace laminated benches to ticket boxes	1990	2	2			2.5	\$1,300.00
6137	Steel gates - ok	2009	5					
6138	Repaint steel rails adjacent to turnstiles	2009	5		Y4	4	28 m	\$300.00
6139	Turnstiles - ok	2005	4				2	

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
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5 Brookvale Oval North Western Turnstiles

EXTERIOR

5933	Repaint walls to old turnstiles (2 no.)	2009	4		Y6	6	60 m2	\$950.00
6140	Repaint doors and frames to old turnstiles	2009	4		Y6	6	14	\$2,800.00
6141	Replace spouting to west end turnstile	1990	2	1			7.0 m	\$400.00
6142	Replace downpipe to west end turnstile	1990	2	1			1	\$150.00
6143	Replace roof to west side turnstile	1990	2	5			16 m2	\$1,500.00
6254	Replace spouting to east end turnstile	1990	2	1			5.0 m	\$300.00
6255	Replace downpipe to east end turnstile	1990	2	1			1	\$150.00
6256	Replace roof to east side turnstile	1990	2	5			12 m2	\$1,150.00

INTERIOR

6144 No recommended maintenance to interior

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
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6 Brookvale Oval Score Board & Kiosk

EXTERIOR KIOSK

5900	Roofing and fascia cappings to kiosk - replace	1980	3	10			108 m2	\$9,800.00
5901	Box gutter - replace with down pipes	1980	3	10			15 m	\$1,500.00
5902	Galvanised steel grilles to doors - ok	1980	3				2	
6091	Unpainted brick walls - ok	1980	3					
6093	Grease trap - clear	1980	3		M6	1	1	\$400.00
6099	Galvanised steel entry rails to south elevation - straighten west rail	1980	2	1			1	\$300.00
6100	Repaint timber frame to kiosk	2009	5		Y4	4	22 m	\$400.00
6101	Corrugated metal eave linings - ok	1980	4					
6102	Fluorescent security lights - ok	2009	5				3	
6103	Rescreed or replace rough surfaced concrete paving to surrounds	1980	2	2			80 m2	\$6,800.00
6104	Repaint north entry door and frame	2009	4		Y4	4	1	\$250.00
6105	Repaint painted fascia and reinstate advert signs	2009	5		Y6	6	32 m2	\$550.00
6106	Electrical box to west wall - no access						1	

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
6107	Timer switch box to west wall - refix loose box to wall	1980	2	1			1	\$100.00
6108	Clipsal electrical distribution switchboard - replace	1980	2	10			1	\$3,000.00
6109	Replace rusted grille to north window	1980	1	2			1	\$500.00
6110	Security lights and sensor to NW wall - replace	1980	2	2			1	\$300.00
6116	Replace corroded mesh to LPG bottle enclosure	1980	0	1			5 m2	\$600.00
6117	Replace chain mesh gate to NE corner	1980	2	1			1	\$500.00
6118	Wall mounted surveillance camera - check operation	2000	3	1			1	\$200.00

INTERIOR KIOSK

6092	Interior recently upgraded with new floor tiles and repainting	2009						
6121	Ceramic tiled floor - ok	2009	5					
6122	Laminated counter and shelf unit - replace	1980	3	3			11 m	\$9,000.00
6123	Colourbond ceiling - ok	2009	5					
6124	CO2 and dry powder extinguishers - clean off grease	2005	4	1			2	\$50.00
6125	Fire blanket - replace	1990	2	1			1	\$100.00
6126	Galvanised steel exhaust canopy - replace canopy and fan	1980	2	2			1	\$4,000.00
6127	Galvanised steel exhaust canopy - clean filters (by club)	1980	2		m	1	2	

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
6128	Lighting - replace fluorescent fittings	1980	2	2			5	\$2,000.00
6129	Replace melted plastic ceiling vent	1980	0	1			1	\$200.00
6130	Sink and taps - replace	1980	2	3			1	\$1,200.00
6131	Install hot water unit		0	3			1	\$1,500.00

SCOREBOARD

6111	No assessment of electronic score board						1	
6112	Repaint steel frame to rear of scoreboard	2000	4		Y6	4	184 m	\$2,000.00
6113	Repaint cladding to ladder enclosure	2009	4		Y6	4	6 m2	\$100.00
6114	Repaint door and frame to ladder enclosure	2009	4		Y6	4	1	\$250.00
6115	Treat corrosion and paint gal steel grille to ladder enclosure	1980	3		Y6	4	1	\$250.00
6119	Irrigation and bore pump controls to ladder access - check/test	2006	4		Y	1	1	\$300.00
6120	Ladder access to roof - no longer used (does not comply to AS1657)	1980	3				1	

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
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7 Brookvale Oval South East Turnstiles & Ticket Box

EXTERIOR TICKET BOX

6146	Colourbond steel walls - ok	2009	5					
6147	Colourbond steel roof and gutters - ok	2009	5					

EXTERIOR TURNSTILES

5903	Colourbond steel walls - ok	2009	5					
5904	Colourbond steel roof and gutters - ok	2009	5					
6145	Roller shutters to turnstiles - ok							

INTERIOR TICKET BOX

5905	Lamipanel walls to ticket box - ok	2009	5					
6148	Laminated benches - ok	2009	5					
6149	Vinyl flooring - ok	2009	5					
6151	Lighting - ok	2009	5					
6153	Teco split system air conditioner - ok	2009	5				1	
6154	CO2 extinguisher - ok Inspect/test/log	2009	5		m6	1	1	\$20.00
6156	Hager electrical switchboard - ok	2009	5				1	

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
6157	Aluminium windows - ok	2009	5					
6158	Steel floor and frame - ok	2009	5					
6159	Exits sign - Inspect/test/log	2009	5		m6	1	1	\$50.00

INTERIOR TURNSTILES

6150	Vinyl flooring bubbling - replace	2009	2	3			18 m2	\$1,400.00
6152	Lighting - ok	2009	5					
6155	CO2 extinguisher - ok Inspect/test/log	2009	5		m6	1	1	\$20.00
6160	Turnstiles - ok	2009	5				5	

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
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8 Brookvale Oval South West Turnstiles

EXTERIOR

5906	Doors and frames - repaint	2009	5		Y4	4	2	\$500.00
5907	Roller shutters - clean	1994	4		Y	1	2	\$50.00
5908	Unpainted brick walls - ok	1994	4					
6163	Roof - refer stand	1994						

INTERIOR

5909	Lighting - replace	1994	3	3			2	\$800.00
6161	SS benches - ok	1994	5					
6162	Concrete floor - ok	1994	4					
6404	Turnstiles - ok	2005	4					

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
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9 Brookvale Oval Tractor Shed

EXTERIOR

5923	Remove graffiti to exterior walls and doors		2	1			12 m2	\$200.00
6164	Colourbond steel walls - ok	1990	3					
6165	Colourbond steel roof - ok	1990	3					
6166	Replace gutters	1990	3	3			21 m	\$1,100.00
6167	Replace downpipes	1990	3	3			2	\$400.00
6168	Security lights - replace	1990	3	3			2	\$600.00
6169	Repaint timber door	1990	3		Y6	3	1	\$250.00

INTERIOR

6170	Concrete floor - clean paint spills and stains	1990	3	1			60 m2	\$500.00
6171	Clipsal ACB switchboard - replace	1990	2	3			1	\$1,000.00
6172	Lighting - replace fluorescents	1990	2	3			2	\$800.00
6173	CO2 extinguisher - ok Inspect/test/log	2009	5		m6	1	1	\$20.00
6174	Galvanised steel frame - ok	1990	4					
6175	Translucent roofing - replace	1990	3	10			12 m2	\$750.00

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
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10 Brookvale Oval NE Amenities

EXTERIOR

5924	Unpainted brick walls - ok	1965	4					
5927	Galvanised steel entry grilles - ok	2000	5				2	
6183	Repaint exterior doors and frames to north elevation	2009	5		Y4	4	2	\$500.00
6185	Concrete roof - ok	1965	3					
6186	Remove graffiti to female sign, meter box and east wall	2009	2	1			2 m2	\$50.00
6187	Security lights - ok	2005	4				1	

INTERIOR DISABLED SANITARY COMPARTMENT

6176	VC pans and dual flush cistern - ok	2009	5					
6177	Stainless steel basin and tap - ok	2009	5					
6178	Retractable babies change table - ok	2009	5					
6179	Unpainted brick walls - ok	1965	4					
6180	Ceramic tiled floor - ok	2009	5					
6181	Light fitting - ok	2009	5				1	
6182	Repaint ceiling	2009	5		Y4	4	8 m2	\$200.00

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
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6184	Stainless steel grab rail - ok	2009	5				1	
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INTERIOR FEMALE TOILETS

6195	Interior lights - ok	2009	5				5	
6197	Stainless steel basins - ok	1965	3				2	
6198	VC pans and concealed single flush cisterns - replace with dual flush units	1965	2	2			6	\$3,600.00
6199	Repaint WC doors	1965	5		Y3	3	6	\$1,200.00
6200	Repaint WC partitions	1965	5		Y3	3	48 m2	\$760.00
6201	Unpainted brick walls - ok	1965	4					

INTERIOR MALE & FEMALE TOILETS

5925	Replace cracked tiles at entrances	1965	2				4	\$400.00
5926	Repaint ceiling	2009	4		Y4	4	103 m2	\$1,600.00
6202	Repaint ceilings	2009	5		Y4	4	68 m2	\$1,100.00

INTERIOR MALE TOILETS

6188	Interior lights - ok	2009	5				6	
6189	Stainless steel urinals - ok	1965	3				2	
6190	Stainless steel basins - ok	1965	3				2	

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
6191	VC pans and concealed single flush cisterns - replace with dual flush units	1965	2	2			5	\$3,000.00
6192	Repaint WC doors	1965	5		Y3	3	5	\$1,000.00
6193	Repaint WC partitions	1965	5		Y3	3	40 m2	\$650.00
6194	Unpainted brick walls - ok	1965	4					

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
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11 Brookvale Oval NW Amenities

ALL

6204	Upgrade/replace amenities and include disabled sanitary compartment	1965		5			40 m2	\$78,000.00
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EXTERIOR

5928	Unpainted brick walls - ok	1965	3					
5929	Replace security lights	2000	3	5			2	\$800.00
5930	Galvanised entry grilles - ok	1990	4				4	
5932	Concrete Roof - repaint fascia and eaves	2005	2		Y6	2	32 m	\$400.00

FEMALE TOILETS

6209	Concrete floor - ok	1980	3					
6210	Stainless steel basins - ok	1980	3				2	
6211	Replace all cisterns	1980	3	3			4	\$2,000.00
6212	VC pans - ok	1980	3				2	
6213	Repaint doors to WC's	2005	3		Y3	2	2	\$400.00

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
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MALE & FEMALE TOILETS

6214	Repaint ceilings	2005	3		Y3	2	32 m2	\$520.00
6215	Unpainted brick walls - ok	1965	3					
6216	Fluorescent lighting - ok	2009	5				4	

MALE TOILETS

5931	Concrete floor - ok	1980	3					
6203	Stainless steel urinal - ok	1980	3				1	
6205	Stainless steel basins and taps - ok	1980	3				2	
6206	Replace all cisterns	1980	3	3			4	\$2,000.00
6207	VC pans - ok	1980	3				2	
6208	Repaint doors to WC's	2005	3		Y3	2	2	\$400.00

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
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12 Brookvale Oval SE Amenities

EXTERIOR

5934	Concrete paving - ok	2000	5					
6217	Unpainted brick walls - ok	2000	5					
6218	Concrete roof - ok Repaint fascia	2009	5		Y6	6	60 m	\$800.00
6219	Repaint eaves to west elevation	2009	5		Y6	6	27 m2	\$450.00
6220	Galvanised steel grilles at entrances - ok	2000	5				4	
6221	Vandalite security lighting - ok	2000	5				10	

FEMALE TOILETS

6231	Stainless steel pans and dual flush cisterns - ok	2000	5				6	
6232	Stainless steel basins - ok	2000	5				4	
6233	Fluorescent lighting - replace	2000	4	5			4	\$1,600.00
6234	Repaint WC doors	2009	5		Y3	3	6	\$1,200.00
6236	Unpainted brick walls and WC partitions - ok	2000	5					

MALE & FEMALE TOILETS

6222	Repaint ceilings	2009	5		Y3	3	95 m2	\$1,500.00
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ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
<u>MALE TOILETS</u>								
6223	Stainless steel urinals - remove graffiti	2000	5	1			1 m2	\$20.00
6224	Stainless steel pans and dual flush cisterns - ok	2000	5				5	
6225	Stainless steel basins - ok	2000	5				2	
6226	Fluorescent lighting - replace	2000	4	5			4	\$1,600.00
6227	Repaint WC doors	2009	5		Y3	3	5	\$1,000.00
6228	Remove graffiti to door frames	2009	2	1			4	\$50.00
6229	Unpainted brick walls and WC partitions - ok	2000	5					

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
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13 Brookvale Oval Ground & Surrounds

BORE WATER TANK ENCLOSURE

6247	Chain mesh enclosure - ok	2006	4					
6248	Plastic 12000 litre tank (installed 2006) - ok	2006	3				1	
6249	Plastic 12000 litre tank (installed 2009) - ok	2009	4				1	
6250	Submersible bore pump - remove and clear of sludge	2006	3		Y2	2	1	\$500.00
6251	Submersible tank pump - remove and clear of sludge	2006	3		Y2	2	1	\$500.00
6405	Submersible bore and tank pumps - replace (subject to extent and frequency of maintenance)	2006		10			2	\$9,000.00

LEVEL 1 - SOUTH STORE ROOM

6246	275 kg dumbwaiter - service				y	1	1	\$800.00
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OVAL SEATING AREA

6237	Replace timber bench seats to the north, south and west of the ground with Sebel retractable seating		3	5			601	\$62,000.00
6238	Retractable seating to west side of ground - ok	2009	5				173	
6239	Replace asphalt with concrete under proposed seats to the north, south and west of the ground (to support seats)		3	5			1368 m2	\$106,800.00

ID	CONDITION	YEAR MAINT /INSTALL.	CON FACT	MAINT YEAR	CYCL PER	MAINT LIFE	QTY	COST
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6245	Galvanised steel rails to wheelchair spaces - ok		5					
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STANDING AREAS

6240	Resheet asphalt to west side of ground (in front of Jane Try stand)		2	2			475 m2	\$14,500.00
6241	Replace old concrete kerb and channel to west side of ground (in front of Jane Try stand)		2	2			92 m	\$6,000.00
6242	Replace old concrete kerb and channel to south side of ground (in front of Southern stand)		2	2			81 m	\$5,300.00
6243	Replace cracked and subsided pavement to NE corner of Southern Stand		0	1			4 m2	\$600.00
6244	New concrete disabled wheel chair spaces to west side of ground - ok		5					

CHECK LIST - BUILDING CODE OF AUSTRALIA ASSESSMENT

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
Brookvale Oval Southern Stand						
USE:	Spectator stand	RISE IN STOREYS:	2			
BUILDING FLOOR AREA:	1148 m2	MAIN SOCIAL ROOM FLOOR AREA:	N/a	NO PERSONS ACCOMMODATED:	1424	
EXTERNAL WALLS:	Brick	INTERNAL WALLS:	Brick and stud	FLOORS:	Concrete	ROOF: Steel
B1.3.1	Materials & Forms of construction (glazing only)	Glazing in framed doors to AS 1288	Glass to boxes entry doors appear to be safety glass but not labelled.	Check and label all safety glass to boxes doors to AS1288 requirements	N	
B1.3.2	Materials & Forms of construction (glazing only)	Side panels which are <300mm from door and can be mistaken for door in path of travel:	N/a			
C1.1.1	Type of Construction required	Rise in storey of 1: Type C; 2:Type B; 3 or more: Type A	Type B with rise in storeys of 2			
C1.1.2	Type of Construction required	Construction: FRL (fire rating) of building elements:	> 3 m		C	
C2.12.1	Separation of Equipment	Boilers, batteries (Spec C1.1 but ?120/120/120)			C	
C2.13.1	Electricity Supply System	Elect. substation within the building (FRL 120/120/120 & self-closing door - /120/30	N/a			
C3.2.1	Protection of Openings in External Walls	No requirement unless wall/opening is < 3m from side or rear boundary	> 3 m to side and rear boundary.		C	
C3.2.2	Protection of Openings in External Walls	No requirement unless wall / opening 6m from other side of road or another building	> 6 m		C	

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
D1.10.1	Discharge from Exits	Exit to be clear at point of discharge (eg: car spaces, bollards & permanent obstructions)	Gates open during occupation of the oval		C	
D1.10.2	Discharge from Exits	Path of travel to the road satisfactory	yes		C	
D1.10.3	Discharge from Exits	Where >500 persons, does 2/3 of the width of egress discharge at main foyer	N/a		C	
D1.2.1	Number of Exits to Exterior	Number of exits provided (2 exits required where storey accommodates > 50 persons)	> 2 exits		C	
D1.3.1	Fire - Isolated Exits	Every exit must be fire isolated unless exit is part of an open spectator stand	Open spectator stand with open stairs		C	
D1.3.2	Fire - Isolated Exits	Every exit must be fire isolated unless it connects or passes through 3 or more storeys	N/a - stairs do not pass through more than 2 storeys			
D1.4.1	Exit Travel Distances	One exit: 20m of travel to an exit for building accommodating < 50 persons	N/a			
D1.4.2	Exit Travel Distances	Two or more exits: 40m max. to one of those exits for building accom > 50 persons			C	
D1.5.1	Distance between Alternate exits	Uniformly distributed			C	
D1.5.2	Distance between Alternate exits	More than 9m apart			C	
D1.5.3	Distance between Alternate exits	Not more than 60m apart	Max distance to exits < 60 m		C	

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
D1.5.4	Distance between Alternate exits	Alternative paths of travel do not converge such that they become < 6m apart			C	
D1.6.1	Dimensions of Exits	Unobstructed height of exit passage throughout > 2m	> 2m exit passage height		C	
D1.6.2	Dimensions of Exits	Unobstructed height of doorway > 1980mm	> 1980 mm door height		C	
D1.6.3	Dimensions of Exits	Unobstructed width of exit passage > 1m	> 1000mm exit passage width. Steps protrude on width to lower aisle of stand		C	
D1.6.4	Dimensions of Exits	Total width of egress compared to number of persons in occupation	Total stair exit width including Arthurson stand south stairs is 10.28m	Provide additional 1.92m width of exit for an occupancy of 1424 persons	N	\$14,000.00
D1.9.1	Travel by non-Fire-Isolated Stairways or Ramps	Distance from any point on top floor to point of exit to exterior < 80m	< 80 m		C	
D1.9.2	Travel by non-Fire-Isolated Stairways or Ramps	Discharges at a point <20m from external exit (one exit provided)-base of stairs to exit	N/a		C	
D1.9.3	Travel by non-Fire-Isolated Stairways or Ramps	Discharges at a point <40m from one of (two exits provided) - base of stairs to exits	< 40 m		C	
D2.10.1	Pedestrian Ramps (non disabled persona ramp)	Gradient < 1.8 (1:14 for disabled ramps)	Public toilet ramp does not comply with AS1428.1-4.	Refer disabled access recommendations	C	
D2.10.2	Pedestrian Ramps (non disabled persona ramp)	Floor surface has a non-slip finish			C	

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
D2.13.1	Treads and Risers to Stairways	A stairway is OK if has not more than 18 or less than 2 risers in each flight	< 18 risers		C	
D2.13.2	Treads and Risers to Stairways	Riser has max. 190mm & min 115mm - Going has max. 355mm & min 250mm	Entry stairs - 255mm goings and 170mm risers. Aisle stairs - 370mm goings and 150mm risers	Limited scope to modify	C	
D2.13.3	Treads and Risers to Stairways	Risers and goings: 2R + G gives max. of 700mm & min. of 550mm			C	
D2.13.4	Treads and Risers to Stairways	Going and risers are constant throughout one flight			C	
D2.13.5	Treads and Risers to Stairways	Risers do not have openings greater than 125mm between treads	Concrete stair risers - closed. Steel stair risers < 125mm		C	
D2.13.6	Treads and Risers to Stairways	Treads have a non-slip finish or non-skid strip near edge of nosings			C	
D2.13.7	Treads and Risers to Stairways	Treads of solid construction (not mesh) if stairway >10m high or connects >3 storey	N/a			
D2.13.8	Treads and Risers to Stairways	Not more than 36 risers in consec. flights without a change in direction of at least 300			C	
D2.13.9	Treads and Risers to Stairways	No stepped quarter landings provided to required stairway			C	
D2.14.1	Landings	Maximum gradient of 1:50			C	
D2.14.2	Landings	>750mm long with non slip finish etc.			C	

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
D2.15.1	Thresholds	Landing to be provided where ground level or balcony is > 190mm below floor			C	
D2.16.1	Balustrades	Balustrade required where drop is >1m			C	
D2.16.2	Balustrades	Balustrade in front of fixed seating to a balcony etc within an auditorium complies	Front balustrade to stand and stair landings does not comply with Code	Refer D2.16.3 and 4	N	
D2.16.3	Balustrades	Height of balustrade above floor (min 1.0m)	North (front) balustrades - 1060mm. East stair landing balustrade - 990mm. North stair midlanding balustrades - 910mm	Raise height of east stair landing to 1000mm and north exit stair midlanding	N	\$600.00
D2.16.4	Balustrades	Height balustrade above stair treads (min 865mm)	> 865mm		C	
D2.16.5	Balustrades	Appropriate openings provided to balustrade (125mm)	Tensioned wire openings to all balustrades and stair railings do not comply with D2.16h(ii)A. Drop does not exceed 4 meters	Alter all balustrades to comply with relevant clauses of D2.16h(ii)A of the BCA	N	\$43,000.00
D2.17.1	Handrails (enclosed stairs)	Located along at least one side of the stairway which is < 2m width			C	
D2.17.2	Handrails (enclosed stairs)	Located along each side for stairway which is > 2m width	Southern stand stairs < 2000mm in width. Arthurson south exit stair has central handrail		C	
D2.17.3	Handrails (enclosed stairs)	Fixed at a height >865mm above nosing	> 865 mm		C	
D2.18.1	Fixed Platforms, Walkways, Stairways & Ladders	Lift motor rooms, plant-rooms, fixed platforms etc, comply with AS1657	Access required to roof with approved access ladder to AS1657	Refer allowance in maintenance program	N	

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
D2.19.1	Doorways & Doors (which are required exits)	Not be fitted with revolving door	N/a			
D2.19.2	Doorways & Doors (which are required exits)	Not be fitted with sliding door (requires to lead directly to open space)	N/a			
D2.19.3	Doorways & Doors (which are required exits)	Not be fitted with a door that is power operated (unless openable on power failure etc)	N/a			
D2.20.1	Swinging doors in a required exit	Encroaches <500mm on the width of a required stairway, passage at any part of swing	N/a			
D2.20.2	Swinging doors in a required exit	Encroaches <100mm when fully opened on the required width of the required exit	N/a			
D2.21.1	Operation of Door Latch	Readily open without the use of a key from the side that faces a person seeking egress	Padlocked roller shutters to boxes entrances	Shutters recommended to be locked in the open position during occupation	N	
D2.21.2	Operation of Door Latch	Single hand downward action or pushing action (located between 900mm & 1.2m)	D pull handles to boxes		C	
D2.21.3	Operation of Door Latch	Swings in the direction of egress unless exempt (<200m ² & door serves WC or airlock)			C	
D2.23.1	Signs on Fire/Smoke Doors	Signage provided to req. fire door providing direct access to a fire-isolated stairway	N/a			
D2.23.2	Signs on Fire/Smoke Doors	Signage provided to req. smoke door	N/a			

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
D2.8.1	Enclosure of Space under Stairs/Ramps	Enclosed space under non fire-isolated stairway is of approved construction	N/a		C	
D2.9.1	Width of Stairways	Stairways greater than 2m in width are divided by a handrail	n/a - < 2m stair widths			
E1.3.1	Fire Hydrants	Hydrants provided where area >500m ² & <1000m ² , internal or external	Hydrant required where floor area > 1000m ² and any part of floor is >60m from external hydrant. No hydrant installed	Install hydrant point to allow coverage of floor within 60m of hydrant	N	\$13,000.00
E1.3.2	Fire Hydrants	Internal hydrant: Two storey; one hydrant may serve one sole-occupancy unit			N	
E1.3.3	Fire Hydrants	Location & coverage (i.e. <4m from exit & reaches 36m of all points on floor)	Hydrants > 36m	Refer E1.3.1	N	
E1.3.4	Fire Hydrants	Cabinet & signage provided	N/a			
E1.4.1	Fire Hose Reels	Hose Reel provided where internal hydrants installed (i.e. located adjacent)	N/a			
E1.4.2	Fire Hose Reels	Hose Reel required where floor area >500m ² or greater than 2 storey	Ground level fire hose reel located on external wall of public toilets. Hose reels also installed at ground and level 1 in the Arthurson stand.	Refer E1.4.3	C	
E1.4.3	Fire Hose Reels	Location & coverage (i.e. <4m from exit & hose extends to all areas of floor)	Existing hose reels does not provide correct coverage	Install additional hose reel to level 1 to east end of Southern stand	N	\$5,000.00

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
E1.4.4	Fire Hose Reels	Cabinet & signage	No hose reel cabinets to existing hose reel	Install 1 no. Cabinet	N	\$700.00
E1.6.1	Portable Fire Extinguishers	Switchboards, emergency services (dry chemical)	No dry chemical extinguisher adjacent to distribution s/b in No.12 box	Install extinguisher and sign	N	\$300.00
E1.6.2	Portable Fire Extinguishers	Kitchens with fryers (foam, wet chemical, dry chemical)	N/a			
E1.6.3	Portable Fire Extinguishers	Water type extinguisher where hose reel not installed in occupied fire compartments < 500m2	N/a			
E1.6.4	Portable Fire Extinguishers	Fire blanket to kitchen	N/a - no cooking appliances			
E1.6.5	Portable Fire Extinguishers	All extinguishers are sign posted, mounted & visible	N/a			
E4.2.1	Emergency Lighting	Required in every fire isolated stairway or required non fire isolated stairway	N/a			
E4.2.2	Emergency Lighting	Required where floor area >300m2 & exit from unit doesn't open to road or ext. stairway	No emergency lighting installed	Install emergency lighting or exit signs to boxes and public toilets	N	\$9,000.00
E4.2.3	Emergency Lighting	Required to every storey to every room which has public access	Refer above		N	
E4.5.1	Exit Signs (illuminated)	Door providing direct egress to encl. stairway, passage or ramp which are required exits	Exit sign to Arthurson stand south stair only	Install exit signs to stair exits if building to be used at night	N	
E4.5.2	Exit Signs (illuminated)	Horizontal exit (thru fire wall)	N/a			

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
E4.5.3	Exit Signs (illuminated)	Door serving as, forming part of, a required exit in a storey req. to have EML (E4.2)	Refer above		N	
E4.6.1	Directional Exit Signs	Directional exit signs provided where exit not readily apparent	Refer above		N	
F2.3	Sanitary & Other Facilities	Total number of WC's, urinals and basins	Ground level toilets - 5 male wc/25 urinals/8 basin, 7 female wc/5 basin, 2 disabled wc's and 2 basins. Sufficient sanitary installation		C	
F2.5.1	Construction of Sanitary Compartments	Partitions to extend 1.8m above the floor	Toilet partitions > 1.8m		C	
F2.5.2	Construction of Sanitary Compartments	Enclosed compartment: door opens outward, or slides, or readily removable	Toilet doors are not removable or open outwards	Replace door hinges to allow doors to be removed	N	\$2,800.00
F3.1.1	Room Sizes & Heights	<100 persons - 2.4m min.	Boxes		C	
F3.1.2	Room Sizes & Heights	>100 persons - 2.7m min.	Stand		C	
F3.1.3	Room Sizes & Heights	2.4m if commercial kitchen	N/a			
F3.1.4	Room Sizes & Heights	2.1m if bathroom, airlock, sanitary compartment, store, garage			C	
F4.2.1	Natural Lighting - Windows	Window area >10% of floor area of room with external clearance of 1m to boundary			C	
F4.4.1	Artificial Lighting	Provided in required stairways, passageways	N/a			

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
F4.4.2	Artificial Lighting	Where natural lighting not provided - to all rooms frequently occupied, corridors etc			C	
F4.5.1	Ventilation to Rooms	Natural ventilation provided (YES/NO)			C	
F4.5.2	Ventilation to Rooms	Mech. ventilation or air conditioning syst provided (refer AS1668.2 & AS/NZS 3666.1)	Exhaust ventilated to boxes		C	
F4.6.1	Natural Ventilation	Openable windows > 5% (1/20th) of floor area of the room	N/a			
F4.8.1	Restrictions on position of Water Closets / Urinal	Doesn't open onto, kitchen, public dinning room, room for public assembly	N/a			
G1.2.1	Refrigerated Chambers (Walk-in Freezers/Coolrooms)	Refrigerated chamber	N/a			
ESTIMATED COST						\$88,400.00

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
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Brookvale Oval Jane Try Stand

USE:	Spectator stand and change rooms	RISE IN STOREYS:	2				
BUILDING FLOOR AREA:	1740 m2	MAIN SOCIAL ROOM FLOOR AREA:	526 m2	NO PERSONS ACCOMMODATED:	1912 stand, 120 boxes, 420 ground level		
EXTERNAL WALLS:	Brick and concrete	INTERNAL WALLS:	Brick and stud	FLOORS:	Concrete	ROOF:	Steel

B1.3.1	Materials & Forms of construction (glazing only)	Glazing in framed doors to AS 1288	Glazed doors to Media room lobby not labelled safety glass to AS1288		N	
B1.3.2	Materials & Forms of construction (glazing only)	Side panels which are <300mm from door and can be mistaken for door in path of travel:	Low level glass to first floor passage not labelled and covered with bars.	Check and label all glass to first floor passage windows to AS1288 requirements	N	
C1.1.1	Type of Construction required	Rise in storey of 1: Type C; 2:Type B; 3 or more: Type A	Type B with rise in storeys of 2			
C1.1.2	Type of Construction required	Construction: FRL (fire rating) of building elements:	> 3 m		C	
C2.12.1	Separation of Equipment	Boilers, batteries (Spec C1.1 but \neq 120/120/120)			C	
C2.13.1	Electricity Supply System	Elect. substation within the building (FRL 120/120/120 & self-closing door - /120/30	N/a			
C3.2.1	Protection of Openings in External Walls	No requirement unless wall/opening is < 3m from side or rear boundary	> 3 m to side and rear boundary.		C	

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
C3.2.2	Protection of Openings in External Walls	No requirement unless wall / opening 6m from other side of road or another building	> 6 m		C	
D1.10.1	Discharge from Exits	Exit to be clear at point of discharge (eg: car spaces, bollards & permanent obstructions)	Gates open during occupation of the oval. Locked gate to NW ground level obstructs egress	Remove lock to gate - refer disabled access recommendations	C	
D1.10.2	Discharge from Exits	Path of travel to the road satisfactory	yes		C	
D1.10.3	Discharge from Exits	Where >500 persons, does 2/3 of the width of egress discharge at main foyer	N/a		C	
D1.2.1	Number of Exits to Exterior	Number of exits provided (2 exits required where storey accommodates > 50 persons)	> 2 exits		C	
D1.3.1	Fire - Isolated Exits	Every exit must be fire isolated unless exit is part of an open spectator stand	Open spectator stand with open stairs		C	
D1.3.2	Fire - Isolated Exits	Every exit must be fire isolated unless it connects or passes through 3 or more storey	N/a - stairs do not pass through more than 2 storeys			
D1.4.1	Exit Travel Distances	One exit: 20m of travel to an exit for building accommodating < 50 persons	N/a			
D1.4.2	Exit Travel Distances	Two or more exits: 40m max. to one of those exits for building accom > 50 persons	> 2 exits		C	
D1.5.1	Distance between Alternate exits	Uniformly distributed			C	
D1.5.2	Distance between Alternate exits	More than 9m apart			C	

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
D1.5.3	Distance between Alternate exits	Not more than 60m apart	Max distance to exits < 60 m		C	
D1.5.4	Distance between Alternate exits	Alternative paths of travel do not converge such that they become < 6m apart			C	
D1.6.1	Dimensions of Exits	Unobstructed height of exit passage throughout > 2m	> 2m exit passage height		C	
D1.6.2	Dimensions of Exits	Unobstructed height of doorway > 1980mm	> 1980 mm door height		C	
D1.6.3	Dimensions of Exits	Unobstructed width of exit passage >1m	> 1000mm exit passage width. Steps protrude on width to lower aisle of stand		C	
D1.6.4	Dimensions of Exits	Total width of egress compared to number of persons in occupation	Total ground level change rooms, coach's, media room exit width is 5.58m (420 persons require 3.83m). Refer D1.6d(i)	Ground level has sufficient exit width	C	
D1.6.4	Dimensions of Exits	Total width of egress compared to number of persons in occupation	Total box level exit width is 1.22m to west stairs (120 persons require 1.20m). Refer D1.6c	Corporate box level has sufficient exit width	C	
D1.6.4	Dimensions of Exits	Total width of egress compared to number of persons in occupation	Total stand stair exit width is 10.53m (1912 persons require 16.25m). Refer D1.6d(i)	Provide additional 5.72m width of exit for stand seating capacity of 1912 persons Ground level has sufficient exit width	N	\$22,000.00
D1.9.1	Travel by non-Fire-Isolated Stairways or Ramps	Distance from any point on top floor to point of exit to exterior < 80m	< 80 m		C	
D1.9.2	Travel by non-Fire-Isolated Stairways or Ramps	Discharges at a point <20m from external exit (one exit provided)-base of stairs to exit	N/a		C	

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
D1.9.3	Travel by non-Fire-Isolated Stairways or Ramps	Discharges at a point <40m from one of (two exits provided) - base of stairs to exits	< 40 m		C	
D2.10.1	Pedestrian Ramps (non disabled persona ramp)	Gradient < 1.8 (1:14 for disabled ramps)	Gradient of ramps generally complies	Refer disabled access recommendations	C	
D2.10.2	Pedestrian Ramps (non disabled persona ramp)	Floor surface has a non-slip finish			C	
D2.13.1	Treads and Risers to Stairways	A stairway is OK if has not more than 18 or less than 2 risers in each flight	< 18 risers		C	
D2.13.2	Treads and Risers to Stairways	Riser has max. 190mm & min 115mm - Going has max. 355mm & min 250mm	Entry stairs (east) - 260mm goings and 160mm risers. Aisle stairs - 390mm goings and 150mm risers. West stairs - 290mm goings & 175mm risers	Limited scope to modify	C	
D2.13.3	Treads and Risers to Stairways	Risers and goings: 2R + G gives max. of 700mm & min. of 550mm			C	
D2.13.4	Treads and Risers to Stairways	Going and risers are constant throughout one flight			C	
D2.13.5	Treads and Risers to Stairways	Risers do not have openings greater than 125mm between treads	Concrete stair risers - closed. Steel stair risers < 125mm		C	
D2.13.6	Treads and Risers to Stairways	Treads have a non-slip finish or non-skid strip near edge of nosings			C	
D2.13.7	Treads and Risers to Stairways	Treads of solid construction (not mesh) if stairway >10m high or connects >3 storey	N/a			

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
D2.13.8	Treads and Risers to Stairways	Not more than 36 risers in consec. flights without a change in direction of at least 300			C	
D2.13.9	Treads and Risers to Stairways	No stepped quarter landings provided to required stairway			C	
D2.14.1	Landings	Maximum gradient of 1:50			C	
D2.14.2	Landings	>750mm long with non slip finish etc.			C	
D2.15.1	Thresholds	Landing to be provided where ground level or balcony is > 190mm below floor			C	
D2.16.1	Balustrades	Balustrade required where drop is >1m			C	
D2.16.2	Balustrades	Balustrade in front of fixed seating to a balcony etc within an auditorium complies	Front and side balustrade to stand and stair landings does not comply with Code	Refer D2.16.3 and 4	N	
D2.16.3	Balustrades	Height of balustrade above floor (min 1.0m)	East (front) balustrades - 1060mm. East and west stair landing balustrade - 1000mm.		N	
D2.16.4	Balustrades	Height balustrade above stair treads (min 865mm)	> 865mm		C	
D2.16.5	Balustrades	Appropriate openings provided to balustrade (125mm)	Tensioned wire openings to all balustrades and stair railings do not comply. Drop does not exceed 4 meters	Alter all balustrades to comply with relevant clauses of D2.16h(ii)A of the BCA	N	\$38,000.00
D2.17.1	Handrails (enclosed stairs)	Located along at least one side of the stairway which is < 2m width			C	

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
D2.17.2	Handrails (enclosed stairs)	Located along each side for stairway which is > 2m width	Jane Try stand stairs < 2000mm in width. Arthurson north exit stair has central handrail		C	
D2.17.3	Handrails (enclosed stairs)	Fixed at a height >865mm above nosing	> 865 mm		C	
D2.18.1	Fixed Platforms, Walkways, Stairways & Ladders	Lift motor rooms, plant-rooms, fixed platforms etc, comply with AS1657	Access required to roof with approved access ladder to AS1657	Refer allowance in maintenance program	N	
D2.19.1	Doorways & Doors (which are required exits)	Not be fitted with revolving door	N/a			
D2.19.2	Doorways & Doors (which are required exits)	Not be fitted with sliding door (requires to lead directly to open space)	N/a			
D2.19.3	Doorways & Doors (which are required exits)	Not be fitted with a door that is power operated (unless openable on power failure etc)	N/a			
D2.20.1	Swinging doors in a required exit	Encroaches <500mm on the width of a required stairway, passage at any part of swing	N/a			
D2.20.2	Swinging doors in a required exit	Encroaches <100mm when fully opened on the required width of the required exit	N/a			
D2.21.1	Operation of Door Latch	Readily open without the use of a key from the side that faces a person seeking egress	Padlocked gate to NW ground level	Refer above	N	
D2.21.2	Operation of Door Latch	Single hand downward action or pushing action (located between 900mm & 1.2m)			C	

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
D2.21.3	Operation of Door Latch	Swings in the direction of egress unless exempt (<200m2 & door serves WC or airlock)			C	
D2.23.1	Signs on Fire/Smoke Doors	Signage provided to req. fire door providing direct access to a fire-isolated stairway	N/a			
D2.23.2	Signs on Fire/Smoke Doors	Signage provided to req. smoke door	N/a			
D2.8.1	Enclosure of Space under Stairs/Ramps	Enclosed space under non fire-isolated stairway is of approved construction	N/a		C	
D2.9.1	Width of Stairways	Stairways greater than 2m in width are divided by a handrail	n/a - < 2m stair widths			
E1.3.1	Fire Hydrants	Hydrants provided where area >500m2 & <1000m2, internal or external	Hydrant required where floor area > 1000m2 and any part of floor is >60m from external hydrant. Fire hydrants located to rear west elevation at ground level	Install hydrant point to allow coverage of floor within 60m of hydrant	N	\$9,000.00
E1.3.2	Fire Hydrants	Internal hydrant: Two storey; one hydrant may serve one sole-occupancy unit			N	
E1.3.3	Fire Hydrants	Location & coverage (i.e. <4m from exit & reaches 36m of all points on floor)	Hydrants located at ground levels > 36m	Refer E1.3.1	N	
E1.3.4	Fire Hydrants	Cabinet & signage provided	N/a			
E1.4.1	Fire Hose Reels	Hose Reel provided where internal hydrants installed (i.e. located adjacent)	N/a			

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
E1.4.2	Fire Hose Reels	Hose Reel required where floor area >500m2 or greater than 2 storey	Ground level fire hose reel located in change room passage. Hose reel on 1st level stair landing to Arthurson stand. None to north end of stand		N	
E1.4.3	Fire Hose Reels	Location & coverage (i.e. <4m from exit & hose extends to all areas of floor)	Existing hose reels does not provide correct coverage	Install hose reel to the north end of the grandstand seating area	N	\$5,000.00
E1.4.4	Fire Hose Reels	Cabinet & signage	No hose reel cabinet to existing hose reel in change room passage	Install 1 no. Cabinet	N	\$700.00
E1.6.1	Portable Fire Extinguishers	Switchboards, emergency services (dry chemical)	Dry chemical extinguisher adjacent to distribution s/b in kiosk is missing	Install extinguisher to the ground level kiosk	N	\$300.00
E1.6.2	Portable Fire Extinguishers	Kitchens with fryers (foam, wet chemical, dry chemical)	N/a			
E1.6.3	Portable Fire Extinguishers	Water type extinguisher where hose reel not installed in occupied fire compartments < 500m2	N/a			
E1.6.4	Portable Fire Extinguishers	Fire blanket to kitchen	Fire blanket provided to the ground level kiosk		C	
E1.6.5	Portable Fire Extinguishers	All extinguishers are sign posted, mounted & visible			C	
E4.2.1	Emergency Lighting	Required in every fire isolated stairway or required non fire isolated stairway	N/a			

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
E4.2.2	Emergency Lighting	Required where floor area >300m ² & exit from unit doesn't open to road or ext. stairway	Emergency lighting installed to ground level spaces and first floor passage as part of recent renovations	No emergency lighting to grandstand	C	
E4.2.3	Emergency Lighting	Required to every storey to every room which has public access	Refer above		C	
E4.5.1	Exit Signs (illuminated)	Door providing direct egress to encl. stairway, passage or ramp which are required exits	Exit signs installed to recently renovated spaces. No exit signs installed to grandstand east exits	Install exit signs to east stair exits if building to be used at night	N	
E4.5.2	Exit Signs (illuminated)	Horizontal exit (thru fire wall)	N/a			
E4.5.3	Exit Signs (illuminated)	Door serving as, forming part of, a required exit in a storey req. to have EML (E4.2)	Refer above		N	
E4.6.1	Directional Exit Signs	Directional exit signs provided where exit not readily apparent	Refer above		N	
F2.3	Sanitary & Other Facilities	Total number of WC's, urinals and basins	Ground level participant facilities (change rooms) - 8 player & referee wc/8 urinals/8 basins/troughs. 1 wc/1 basin female cheer leaders change room		C	
F2.5.1	Construction of Sanitary Compartments	Partitions to extend 1.8m above the floor	Toilet partitions > 1.8m		C	
F2.5.2	Construction of Sanitary Compartments	Enclosed compartment: door opens outward, or slides, or readily removable			C	
F3.1.1	Room Sizes & Heights	<100 persons - 2.4m min.			C	

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
F3.1.2	Room Sizes & Heights	>100 persons - 2.7m min.	Stand		C	
F3.1.3	Room Sizes & Heights	2.4m if commercial kitchen			C	
F3.1.4	Room Sizes & Heights	2.1m if bathroom, airlock, sanitary compartment, store, garage			C	
F4.2.1	Natural Lighting - Windows	Window area >10% of floor area of room with external clearance of 1m to boundary			C	
F4.4.1	Artificial Lighting	Provided in required stairways, passageways			C	
F4.4.2	Artificial Lighting	Where natural lighting not provided - to all rooms frequently occupied, corridors etc			C	
F4.5.1	Ventilation to Rooms	Natural ventilation provided (YES/NO)			C	
F4.5.2	Ventilation to Rooms	Mech. ventilation or air conditioning syst provided (refer AS1668.2 & AS/NZS 3666.1)				
F4.6.1	Natural Ventilation	Openable windows > 5% (1/20th) of floor area of the room			C	
F4.8.1	Restrictions on position of Water Closets / Urinal	Doesn't open onto, kitchen, public dinning room, room for public assembly	N/a			
G1.2.1	Refrigerated Chambers (Walk-in Freezers/Coolrooms)	Refrigerated chamber	N/a			

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
ESTIMATED COST						\$75,000.00

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
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Brookvale Oval Ken Arthurson Link Stand

USE: Spectator stand, corporate boxes and functi RISE IN STOREYS: 3
 BUILDING FLOOR AREA: 2172 m2 MAIN SOCIAL ROOM FLOOR AREA: 413 m2 Level 1 lounge NO PERSONS ACCOMMODATED: 1449 (3 levels) with 931 seats
 EXTERNAL WALLS: Brick and steel INTERNAL WALLS: Brick and concrete FLOORS: Concrete ROOF: Steel

B1.3.1	Materials & Forms of construction (glazing only)	Glazing in framed doors to AS 1288	Low level glass to Level 1 entrance doors. Glass not labelled	Check and label all glass to Level 1 doors to AS1288 requirements	N	
B1.3.1	Materials & Forms of construction (glazing only)	Glazing in framed doors to AS 1288	Low level glass to Level 1 side panels. Glass not labelled	Check and label all glass to Level 1 side panels to AS1288 requirements	N	
C1.1.1	Type of Construction required	Rise in storey of 1: Type C; 2:Type B; 3 or more: Type A	Type A with rise in storeys of 3			
C1.1.2	Type of Construction required	Construction: FRL (fire rating) of building elements:	> 3 m		C	
C2.12.1	Separation of Equipment	Boilers, batteries (Spec C1.1 but ? 120/120/120)	N/a			
C2.13.2	Electricity Supply System	Main switchboard located within the building which sustains emergency equipment	Main electrical switchboard at ground level in enclosure with FRL120/120/120		C	
C3.2.1	Protection of Openings in External Walls	No requirement unless wall/opening is < 3m from side or rear boundary	> 3 m to side and rear boundary.		C	

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
C3.2.2	Protection of Openings in External Walls	No requirement unless wall / opening 6m from other side of road or another building	> 6 m		C	
D1.10.1	Discharge from Exits	Exit to be clear at point of discharge (eg: car spaces, bollards & permanent obstructions)	South exit from Presidents Lounge obstructed by padlocked grilles	Remove grilles to south exit	C	\$300.00
D1.10.2	Discharge from Exits	Path of travel to the road satisfactory	Assuming grilles and gates are locked in open position during occupation		C	
D1.10.3	Discharge from Exits	Where >500 persons, does 2/3 of the width of egress discharge at main foyer	Yes		C	
D1.2.1	Number of Exits to Exterior	Number of exits provided (2 exits required where storey accommodates > 50 persons)	> 2 exits		C	
D1.3.1	Fire - Isolated Exits	Every exit must be fire isolated unless exit is part of an open spectator stand	Open spectator stand with open stairs		C	
D1.3.2	Fire - Isolated Exits	Every exit must be fire isolated unless it connects or passes through 3 or more storey	N/a - stairs do not pass through more than 2 storeys			
D1.4.1	Exit Travel Distances	One exit: 20m of travel to an exit for building accommodating < 50 persons	N/a			
D1.4.2	Exit Travel Distances	Two or more exits: 40m max. to one of those exits for building accom > 50 persons	> 2 exits		C	
D1.5.1	Distance between Alternate exits	Uniformly distributed			C	

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
D1.5.2	Distance between Alternate exits	More than 9m apart			C	
D1.5.3	Distance between Alternate exits	Not more than 60m apart	Max distance to exits < 60 m		C	
D1.5.4	Distance between Alternate exits	Alternative paths of travel do not converge such that they become < 6m apart			C	
D1.6.1	Dimensions of Exits	Unobstructed height of exit passage throughout > 2m	> 2m exit passage height		C	
D1.6.2	Dimensions of Exits	Unobstructed height of doorway > 1980mm	> 1980 mm door height		C	
D1.6.3	Dimensions of Exits	Unobstructed width of exit passage >1m	> 1000mm exit passage width. Steps protrude on width to lower aisle of stand		C	
D1.6.4	Dimensions of Exits	Total width of egress compared to number of persons in occupation	Total Level 3 width is 4.0m to Level 2 (192 persons require 1.92m). Refer D1.6c	Level 3 corporate boxes has sufficient exit width to Level 2	C	
D1.6.4	Dimensions of Exits	Total width of egress compared to number of persons in occupation	Total stand stair exit is 9.55m (1449 persons require 12.4m). Refer D1.6d(i). Does not include exit widths to Southern or Jane Try stands	Check Certificate of Occupancy. No cost allowance	N	\$0.00
D1.9.1	Travel by non-Fire-Isolated Stairways or Ramps	Distance from any point on top floor to point of exit to exterior < 80m	< 80 m from Level 3 to ground		C	
D1.9.2	Travel by non-Fire-Isolated Stairways or Ramps	Discharges at a point <20m from external exit (one exit provided)-base of stairs to exit	N/a		C	

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
D1.9.3	Travel by non-Fire-Isolated Stairways or Ramps	Discharges at a point <40m from one of (two exits provided) - base of stairs to exits	< 40 m		C	
D2.10.1	Pedestrian Ramps (non disabled persona ramp)	Gradient < 1.8 (1:14 for disabled ramps)	N/a			
D2.10.2	Pedestrian Ramps (non disabled persona ramp)	Floor surface has a non-slip finish	N/a			
D2.13.1	Treads and Risers to Stairways	A stairway is OK if has not more than 18 or less than 2 risers in each flight	< 18 risers		C	
D2.13.2	Treads and Risers to Stairways	Riser has max. 190mm & min 115mm - Going has max. 355mm & min 250mm	Entry stairs - 280mm goings and 165mm risers.		C	
D2.13.3	Treads and Risers to Stairways	Risers and goings: 2R + G gives max. of 700mm & min. of 550mm			C	
D2.13.4	Treads and Risers to Stairways	Going and risers are constant throughout one flight			C	
D2.13.5	Treads and Risers to Stairways	Risers do not have openings greater than 125mm between treads	Concrete stair risers - closed.		C	
D2.13.6	Treads and Risers to Stairways	Treads have a non-slip finish or non-skid strip near edge of nosings			C	
D2.13.7	Treads and Risers to Stairways	Treads of solid construction (not mesh) if stairway >10m high or connects >3 storey	N/a			
D2.13.8	Treads and Risers to Stairways	Not more than 36 risers in consec. flights without a change in direction of at least 300			C	

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
D2.13.9	Treads and Risers to Stairways	No stepped quarter landings provided to required stairway			C	
D2.14.1	Landings	Maximum gradient of 1:50			C	
D2.14.2	Landings	>750mm long with non slip finish etc.			C	
D2.15.1	Thresholds	Landing to be provided where ground level or balcony is > 190mm below floor			C	
D2.16.1	Balustrades	Balustrade required where drop is >1m			C	
D2.16.2	Balustrades	Balustrade in front of fixed seating to a balcony etc within an auditorium complies		Refer D2.16.3 and 4	C	
D2.16.3	Balustrades	Height of balustrade above floor (min 1.0m)	Balustrades to front of Level 1 & 2 seating areas - 1030mm. Level 3 balustrades - 1200mm		C	
D2.16.3	Balustrades	Height of balustrade above floor (min 1.0m)	Balustrade to Level 1 mid stair landing - 990mm	Raise height of landing balustrade to 1000mm over 3.0m length	N	\$500.00
D2.16.4	Balustrades	Height balustrade above stair treads (min 865mm)	900-1030mm		C	
D2.16.5	Balustrades	Appropriate openings provided to balustrade (125mm)	Tensioned wire openings to all Level 1 & 2 balustrades to front and sides of seating do not comply	Alter all balustrades to comply with relevant clauses of D2.16 of the BCA. Allow glazed panels between concrete balustrades and hand rail	N	\$38,000.00

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
D2.16.5	Balustrades	Appropriate openings provided to balustrade (125mm)	Solid safety glass provided to Level 3 balustrades		C	
D2.16.5	Balustrades	Appropriate openings provided to balustrade (125mm)	Tensioned wire openings to all Level 1 & 2 stair and landing balustrades do not comply (openings > 125mm)	Alter all balustrades to comply with relevant clauses of D2.16 of the BCA. Install tensioned wire to Table D2.16a	N	\$40,000.00
D2.17.1	Handrails (enclosed stairs)	Located along at least one side of the stairway which is < 2m width			C	
D2.17.2	Handrails (enclosed stairs)	Located along each side for stairway which is > 2m width			C	
D2.17.3	Handrails (enclosed stairs)	Fixed at a height >865mm above nosing	> 865 mm		C	
D2.18.1	Fixed Platforms, Walkways, Stairways & Ladders	Lift motor rooms, plant-rooms, fixed platforms etc, comply with AS1657	Access required to roof with approved access ladder to AS1657	Refer allowance in maintenance program	N	
D2.19.1	Doorways & Doors (which are required exits)	Not be fitted with revolving door	N/a			
D2.19.2	Doorways & Doors (which are required exits)	Not be fitted with sliding door (requires to lead directly to open space)	N/a			
D2.19.3	Doorways & Doors (which are required exits)	Not be fitted with a door that is power operated (unless openable on power failure etc)	N/a			
D2.20.1	Swinging doors in a required exit	Encroaches <500mm on the width of a required stairway, passage at any part of swing	N/a			

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
D2.20.2	Swinging doors in a required exit	Encroaches <100mm when fully opened on the required width of the required exit	N/a			
D2.21.1	Operation of Door Latch	Readily open without the use of a key from the side that faces a person seeking egress	Padlocked grille to south exit of Presidents Lounge is not readily openable	Refer D1.10.1	N	
D2.21.1	Operation of Door Latch	Readily open without the use of a key from the side that faces a person seeking egress	Level 3 exits have roller shutters at top of exit stairs	Ensure shutters are locked in open position during occupation of Level 3	N	
D2.21.2	Operation of Door Latch	Single hand downward action or pushing action (located between 900mm & 1.2m)	Level 1 and 2 doors fitted with levers or D pulls. Ground floor toilets have opened grilles during occupation		C	
D2.21.3	Operation of Door Latch	Swings in the direction of egress unless exempt (<200m ² & door serves WC or airlock)			C	
D2.23.1	Signs on Fire/Smoke Doors	Signage provided to req. fire door providing direct access to a fire-isolated stairway	No information on fire doors - refer Certificate of Occupancy			
D2.23.2	Signs on Fire/Smoke Doors	Signage provided to req. smoke door	No information on smoke doors - refer Certificate of Occupancy			
D2.8.1	Enclosure of Space under Stairs/Ramps	Enclosed space under non fire-isolated stairway is of approved construction			C	
D2.9.1	Width of Stairways	Stairways greater than 2m in width are divided by a handrail	All stairs in excess of 2m stair widths have central handrail		C	

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
E1.3.1	Fire Hydrants	Hydrants provided where area >500m2 & <1000m2, internal or external	2 no. fire hydrants located at ground level and 2 no. located on Level 2. With floor levels within 60m		C	
E1.3.2	Fire Hydrants	Internal hydrant: Two storey; one hydrant may serve one sole-occupancy unit			C	
E1.3.3	Fire Hydrants	Location & coverage (i.e. <4m from exit & reaches 36m of all points on floor)			C	
E1.3.4	Fire Hydrants	Cabinet & signage provided	Not recommended			
E1.4.1	Fire Hose Reels	Hose Reel provided where internal hydrants installed (i.e. located adjacent)	Fire hose reels installed adjacent to Level 2 hydrants		C	
E1.4.2	Fire Hose Reels	Hose Reel required where floor area >500m2 or greater than 2 storey	2 no. hose reels at ground level and 2 no. hose reels at Level 2. No hose reel to Level 3	Provide hose reel or water extinguishers in lieu to Level 3	C	\$5,000.00
E1.4.3	Fire Hose Reels	Location & coverage (i.e. <4m from exit & hose extends to all areas of floor)			C	
E1.4.4	Fire Hose Reels	Cabinet & signage	No hose reel cabinets to existing hose reels	Install cabinets with Fire Hose Reel sign where required	N	\$2,800.00
E1.5	Fire Sprinklers	Sprinkler system required in buildings > 25m in height (all Classes) and to stages in theatres and halls (refer H1.2)	N/a - building < 25m in height			
E1.6.1	Portable Fire Extinguishers	Switchboards, emergency services (dry chemical)	Dry chemical extinguisher required adjacent to main and all distribution s/boards	Ensure all missing extinguishers are reinstalled adjacent to all switchboards	N	

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
E1.6.2	Portable Fire Extinguishers	Kitchens with fryers (foam, wet chemical, dry chemical)	Dry powder extinguisher missing in ground level kitchen although no fryer installed	Replace	N	\$300.00
E1.6.3	Portable Fire Extinguishers	Water type extinguisher where hose reel not installed in occupied fire compartments < 500m2	N/a			
E1.6.4	Portable Fire Extinguishers	Fire blanket to kitchen	Fire blanket missing to ground level kitchen and none installed to Level 3 kiosk	Install fire blankets	C	
E1.6.5	Portable Fire Extinguishers	All extinguishers are sign posted, mounted & visible			C	
E4.2.1	Emergency Lighting	Required in every fire isolated stairway or required non fire isolated stairway	No fire isolated stairway	Check Certificate of Occupancy for non-fire isolated stair requirements		
E4.2.2	Emergency Lighting	Required where floor area >300m2 & exit from unit doesn't open to road or ext. stairway	Emergency lighting installed to renovated Level 1 function room and Level 3	Consideration to installing emergency lighting to balance of building. Refer to Building Surveyor	N	
E4.2.3	Emergency Lighting	Required to every storey to every room which has public access	Refer above		N	
E4.5.1	Exit Signs (illuminated)	Door providing direct egress to encl. stairway, passage or ramp which are required exits	Exit signs installed to all exit stairs and recently constructed Level 3 spaces and Level 1 function room		C	
E4.5.2	Exit Signs (illuminated)	Horizontal exit (thru fire wall)	Refer Certificate of Occupancy re horizontal exits through fire walls			

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
E4.5.3	Exit Signs (illuminated)	Door serving as, forming part of, a required exit in a storey req. to have EML (E4.2)			C	
E4.6.1	Directional Exit Signs	Directional exit signs provided where exit not readily apparent	Provided		C	
F2.3	Sanitary & Other Facilities	Total number of WC's, urinals and basins	Ground level & Levels 1 & 3 spectator facilities - Male -12 wc/33 urinals/9 basins. Female - 56 wc/21 basins, Disabled - 3 wc/3 basins		C	
F2.5.1	Construction of Sanitary Compartments	Partitions to extend 1.8m above the floor	Toilet partitions > 1.8m		C	
F2.5.2	Construction of Sanitary Compartments	Enclosed compartment: door opens outward, or slides, or readily removable		Ensure WC doors are removable		
F3.1.1	Room Sizes & Heights	<100 persons - 2.4m min.			C	
F3.1.2	Room Sizes & Heights	>100 persons - 2.7m min.	Stand		C	
F3.1.3	Room Sizes & Heights	2.4m if commercial kitchen			C	
F3.1.4	Room Sizes & Heights	2.1m if bathroom, airlock, sanitary compartment, store, garage			C	
F4.2.1	Natural Lighting - Windows	Window area >10% of floor area of room with external clearance of 1m to boundary			C	
F4.4.1	Artificial Lighting	Provided in required stairways, passageways			C	

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
F4.4.2	Artificial Lighting	Where natural lighting not provided - to all rooms frequently occupied, corridors etc			C	
F4.5.1	Ventilation to Rooms	Natural ventilation provided (YES/NO)			C	
F4.5.2	Ventilation to Rooms	Mech. ventilation or air conditioning syst provided (refer AS1668.2 & AS/NZS 3666.1)				
F4.6.1	Natural Ventilation	Openable windows > 5% (1/20th) of floor area of the room			C	
F4.8.1	Restrictions on position of Water Closets / Urinal	Doesn't open onto, kitchen, public dinning room, room for public assembly	N/a			
G1.2.1	Refrigerated Chambers (Walk-in Freezers/Coolrooms)	Refrigerated chamber	Exterior light switches to kitchen cool rooms. Kitchen Store cool room does not comply	Refer replacement of cool rooms to maintenance program	N	
ESTIMATED COST						<u>\$86,900.00</u>

BUILDING COMPLIANCE - CHECK LIST

ITEM	CLAUSE NAME	CLAUSE DESCRIPTION	ACTUAL / COMMENT	RECOMMENDATION	C/N	COST
TOTAL ESTIMATED COST						<hr/> \$250,300.00 <hr/>

LEGEND: C - denoted compliant, N - denotes non compliance

Cost is a preliminary estimated cost based on May 2010 estimates with no allowance for CPI, GST, design/documentation, supervision or builder's Margin

CHECK LIST – DISABLED ACCESS & FACILITIES ASSESSMENT

DISABLED ACCESS AND FACILITIES CHECK LIST

SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
Brookvale Oval Southern Stand						
1.1	GROUND LEVEL	Car Park	Designated parking available for persons with disabilities	3800 wide x 5400 length	Refer Ken Arthurson Stand re off street car park provisions	
1.2	GROUND LEVEL	Car Park	Number of disabled car spaces	1 space per 100	Refer Ken Arthurson Stand re off street car park provisions	
1.3	GROUND LEVEL	Car Park	Is space within 60 m of entrance to building		Refer Ken Arthurson Stand re off street car park provisions	
1.4	GROUND LEVEL	Car Park	Size		Refer Ken Arthurson Stand re off street car park provisions	
1.5	GROUND LEVEL	Car Park	Sign	International symbol	Refer Ken Arthurson Stand re off street car park signage provisions	
1.6	GROUND LEVEL	Car Park	Ramped kerb access to the building from car park	Yes / No	Refer Ken Arthurson Stand re off street car park kerb ramp provisions	
1.7	ALL	Car Park	Are tactile indicators provided to stairs, ramps, pedestrian crossings in car park	Yes / No	No tactile indicators to all stairs and ramps to building. Install 18 m ss screw down stud type tactiles	N \$25,000.00
2.1	ALL	Walkways, ramps & landings	Location of walkway		From entrance to base of stairs	
2.2	ALL	Walkways, ramps & landings	Is walkway a continuous accessible path of travel	Yes / No	Yes	C
2.3	ALL	Walkways, ramps & landings	Width	1000 mm	> 1000 mm	C
2.4	ALL	Walkways, ramps & landings	Vertical Clearance	2000 mm	> 2000 mm	C

DISABLED ACCESS AND FACILITIES CHECK LIST

	SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
2.5	ALL	Walkways, ramps & landings	Walkway gradient	1:33 (3%) max	< 3%	C	
2.9	ALL	Walkways, ramps & landings	Cross fall	< 1: 40 (2.5%)	Walkway > 1:40. No recommendation if wheelchair access provided to Ken Arthurson Stand		
2.10	ALL	Walkways, ramps & landings	Type of walkway	Smooth hard surface	Brick and concrete	C	
2.11	GROUND LEVEL	Walkways, ramps & landings	Kerb ramp provided or at grade	Yes / No	Kerb ramp to base of toilet ramps	C	
2.12	GROUND LEVEL	Walkways, ramps & landings	Kerb ramp grade	1: 8 (12.5%)	< 1:8	C	
2.13	GROUND LEVEL	Walkways, ramps & landings	Kerb ramp length	1520 max	< 1520 mm	C	
2.14	GROUND LEVEL	Walkways, ramps & landings	Kerb ramp width	1000 min	> 1000 mm	C	
3.1	GROUND LEVEL	Gate	Is there a gate restricting access to the building	Yes / No	N/a		
4.1	ALL	Ramp / Landing / Step (Ext)	Ramp/ at grade / step ramp / step	Ramp /at grade/step ramp	Exterior stairs to grandstand and ramps to public toilets		
4.2	ALL	Ramp / Landing / Step (Ext)	Raised threshold	< 5mm	< 5mm to public toilet entrances	C	
4.5	GROUND LEVEL	Ramp / Landing / Step (Ext)	Ramp gradient (1:14 max)	1:14 (7%)	< 1:14 to ramps	C	
4.6	GROUND LEVEL	Ramp / Landing / Step (Ext)	Ramp length	9m	> 9.0 m Construct new toilet ramps with hand rails to Code	N	\$18,000.00

DISABLED ACCESS AND FACILITIES CHECK LIST

	SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
4.10	ALL	Ramp / Landing / Step (Ext)	No. of ext doors without steps	At least one door for use by public in a continuous path of travel	Only public toilets are without steps, remainder accessible via stairs	N	
6.1	GROUND LEVEL	Ramp Handrails	Provided?	To all ramps at min of 1000 mm apart	Handrails to one side of public toilet ramps - install new handrails to both side to Code. Refer 4.6	N	
6.2	GROUND LEVEL	Ramp Handrails	Handrail height	865 - 1000 mm	900 mm	C	
6.3	GROUND LEVEL	Ramp Handrails	Handrail diameter.	30 -40 mm	40mm	C	
6.4	GROUND LEVEL	Ramp Handrails	Handrail clearance to wall	> 50 mm	N/a		
6.5	GROUND LEVEL	Ramp Handrails	Length of ramp w/o handrail	All	None. Refer 4.6	N	
7.1	GROUND LEVEL	Doorways	Width	760 mm (min.)	780 mm to disabled sanitary compartments	C	
8.1	ALL	Circulation Space	Complying		Ok to public toilets	C	
9.1	ALL	Distance between doors in passageways	Complying	> 1340 mm total clearance b/n doors	N/a		
10.1	GRANDSTAND	Corridors	Wide enough for 1 wheel chair to travel	1200 mm wide	Top and bottom aisles to grandstand - 1000 to 1100 mm with steps to top aisle. Limited scope to modify	N	
10.2	GRANDSTAND	Corridors	2 wheel chairs to pass	1800 mm wide	No. Limited scope to modify	N	

DISABLED ACCESS AND FACILITIES CHECK LIST

SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
10.3	GRANDSTAND	Corridors	Are there obstructions to the corridor width	Steps to top aisle. Limited scope to modify	N	
10.4	GRANDSTAND	Corridors	Sufficient space for wheel chair to turn 360 deg	2250 mm	No. Steps to top aisle	N
11.1	GRANDSTAND	Door Glazing	Glazed doors in building		Glass doors to boxes	
11.2	GRANDSTAND	Door Glazing	Glass height - Min	1000 mm	Ok	C
11.3	GRANDSTAND	Door Glazing	Glass height - max	1600 mm	Ok	C
11.4	GRANDSTAND	Door Glazing	Glass width - min	150 mm	Ok	C
11.5	GRANDSTAND	Door Glazing	Clearance - max	200 mm	Ok	C
12.1	GRANDSTAND	Door Handles	Lever type		D pull handles to boxes	C
12.2	GRANDSTAND	Door Handles	Clearance	35 - 40 mm		C
12.3	GRANDSTAND	Door Handles	Height	900 - 1100 mm	1100 mm	C
14.1	GRANDSTAND	Stairways	Open Riser	Should not be open riser	All stairs are closed concrete or steel risers	C
14.4	GRANDSTAND	Stairways	Strips to nosing and tactile indicators to top, base and landings	Painted white line to nosing & raised tactiles for vision impaired	Vision strips to concrete aisle stair nosings provided to seating aisles	C

DISABLED ACCESS AND FACILITIES CHECK LIST

	SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
14.4	GRANDSTAND	Stairways	Strips to nosing and tactile indicators to top, base and landings	Painted white line to nosing & raised tactiles for vision impaired	No vision strips to top aisle steps. Paint strips to top aisle steps	N	\$300.00
14.4	GRANDSTAND	Stairways	Strips to nosing and tactile indicators to top, base and landings	Painted white line to nosing & raised tactiles for vision impaired	Vision strips to concrete stair nosings. No vision strips to east end steel stairs. Paint strips to east stairs	N	\$300.00
14.5	GRANDSTAND	Stairways	Handrail installed	Yes	Handrails provided to all stairs. No hand rails to top aisle or boxes steps. Install	N	\$2,000.00
14.7	GRANDSTAND	Stairways	Height above nosing	865 - 1000 mm	Existing hand rails - 1000 mm	C	
14.8	GRANDSTAND	Stairways	Rail extension	300 mm (min)	No extensions - install	N	\$1,200.00
14.9	GRANDSTAND	Stairways	Tread width	275 - 300mm	255 mm. Limited scope to modify	N	
14.10	GRANDSTAND	Stairways	Riser	150 - 165mm	165 mm	C	
15.1	GROUND LEVEL	Sanitary Facilities	WC provided	Unisex or combined WC and washroom for each sex	Disabled sanitary compartments provided in male and female but undersized. Recommend provision of unisex compartment	C	\$28,000.00
15.2	GROUND LEVEL	Sanitary Facilities	Male / Female / Unisex		One to both male and female	C	

DISABLED ACCESS AND FACILITIES CHECK LIST

	SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
15.3	GROUND LEVEL	Sanitary Facilities	Dimensions of WC	X = 800 (min)	700 mm - undersized. Convert to standard cubicles	N	
15.4	GROUND LEVEL	Sanitary Facilities	Dimensions of WC	Y = 1200 (min)	1050 mm - undersized	N	
15.5	GROUND LEVEL	Sanitary Facilities	Dimensions of WC	A = 1600 (min)	1760 mm	C	
15.6	GROUND LEVEL	Sanitary Facilities	Dimensions of WC	B = 2000 (min)	1750 mm- undersized	C	
15.7	GROUND LEVEL	Sanitary Facilities	Basin	Hand basin provided inside or outside the WC	Inside	C	
15.8	GROUND LEVEL	Sanitary Facilities	Basin height	770 - 800 mm	740 mm. Basin too low	N	
15.9	GROUND LEVEL	Sanitary Facilities	Tap position	300 mm	300 mm	C	
15.10	GROUND LEVEL	Sanitary Facilities	WC Grab rail	Required to option A or option B detail	A type rail	C	
15.11	GROUND LEVEL	Sanitary Facilities	WC Grab rail	Grab rail height	800 mm	C	
15.12	GROUND LEVEL	Sanitary Facilities	Mirror height	H1 = 900 mm	Incorrect mirror. Refer 15.1	N	

DISABLED ACCESS AND FACILITIES CHECK LIST

SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
16.1	GROUND LEVEL	Shower Facilities	Dimensions of shower	C = 1160 (min)	N/a	
17.1	ALL	Floor surface to ramps, walkways & landings	Wet locations (ext)	Textured finish or exposed aggregate, asphalt, rough stone or brick, slip resistant tiles	Ok	C
17.2	ALL	Floor surface to ramps, walkways & landings	Dry locations (int)	No slippery or high gloss finish	Ok	C
18.1	GROUND LEVEL	Signage	International symbols	Provide in accordance with Clause 14 - white on blue	None to male and female disabled WC's. Install symbol tactile signage adjacent to proposed compartment. Refer 15.1	N
19.1	GRANDSTAND	Seating in places of entertainment	Space width in row	800 mm at end of row or by removing seats	None provided. Refer provision of spaces to the Ken Arthurson stand	N
20.1	ALL	Hearing Augmentation	Loop	Cover 10% of total area	N/a	
21.1	ALL	Reception	Reception counter	Accessible counter section < 870 mm above the floor	N/a	
22.1	ALL	Lifts	Lift available between floors		No vertical lift access to the seating area or boxes. Refer Ken Arthurson stand	N
24.1	ALL	Halls/Auditoriums/Theatres/Stadium	Can all areas available to the public be accessed by a person with disabilities	Yes	Not to grandstand or boxes	N

DISABLED ACCESS AND FACILITIES CHECK LIST

	SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
24.2	ALL	Halls/Auditoriums/Theatres/Stadium	Are recessed door handles avoided	Yes	Yes	C	
24.3	ALL	Halls/Auditoriums/Theatres/Stadium	Are corridors provided with passing space for wheelchairs	Yes	No	N	
24.4	ALL	Halls/Auditoriums/Theatres/Stadium	Are there pictorial signs to car park, entry, recep, stage, lifts, lounges, toilets, phones, dressing	Yes	No. Refer Ken Arthurson stand	N	
24.5	ALL	Halls/Auditoriums/Theatres/Stadium	Is there directional signs to wheel chair seating and induction loop	Yes	No. Refer Ken Arthurson stand	N	
24.6	ALL	Halls/Auditoriums/Theatres/Stadium	Is there a directory map of the hall/auditor/theatre/stadium at 1227-1709 above floor	Yes	No. Refer Ken Arthurson stand	N	
24.7	ALL	Halls/Auditoriums/Theatres/Stadium	Are there specific areas in auditorium, stadium or theatre for people with wheel chairs	Yes	No. Refer Ken Arthurson stand	N	
24.8	ALL	Halls/Auditoriums/Theatres/Stadium	Are these provided at a ratio of 1 to 100 seats (with a min. of 2 provided)	Yes	No. Refer Ken Arthurson stand	N	
24.11	ALL	Halls/Auditoriums/Theatres/Stadium	Is there a choice of level, price or sightlines	Yes	Only choice is oval fence line allocated disabled seat spaces. None provided at stand level. Refer Ken Arthurson stand	N	
24.12	ALL	Halls/Auditoriums/Theatres/Stadium	Can allocated space adjacent to general seating	Yes	N/a		

DISABLED ACCESS AND FACILITIES CHECK LIST

	SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST	
24.12	ALL	Halls/Auditoriums/Theatres/Stadium	Can allocated space adjacent to general seating	Yes	No. Refer Ken Arthurson stand	N		
24.16	GROUND LEVEL	Halls/Auditoriums/Theatres/Stadium	Is babies change facility provided	Yes	Provided to male and female toilets. Recommended to proposed unisex compartment	C		
24.19	ALL	Halls/Auditoriums/Theatres/Stadium	Are designated non-smoking areas ventilated	Yes	No	N		
24.21	ALL	Halls/Auditoriums/Theatres/Stadium	Are circulation areas well lit and free from glare	Yes	Lighting not suitable for night time use	N		
Estimated Cost								\$74,800.00

DISABLED ACCESS AND FACILITIES CHECK LIST

SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST	
<h3>Brookvale Oval Jane Try Stand</h3>							
1.1	GROUND LEVEL	Car Park	Designated parking available for persons with disabilities	3800 wide x 5400 length	No car park provided in vicinity of the north elevation ramp - Consideration to installing gate opposite ramp	N	
1.2	GROUND LEVEL	Car Park	Number of disabled car spaces	1 space per 100	Refer Ken Arthurson Stand re off street car park provisions		
1.3	GROUND LEVEL	Car Park	Is space within 60 m of entrance to building		Refer Ken Arthurson Stand re off street car park provisions		
1.4	GROUND LEVEL	Car Park	Size		Refer Ken Arthurson Stand re off street car park provisions		
1.5	GROUND LEVEL	Car Park	Sign	International symbol	Refer Ken Arthurson Stand re off street car park signage provisions		
1.6	GROUND LEVEL	Car Park	Ramped kerb access to the building from car park	Yes / No	Refer Ken Arthurson Stand re off street car park kerb ramp provisions		
1.7	ALL	Car Park	Are tactile indicators provided to stairs, ramps, pedestrian crossings in car park	Yes / No	No tactile indicators to all stairs and ramps to building. Install 34 m ss screw down stud type tactiles	N	\$48,000.00
2.1	ALL	Walkways, ramps & landings	Location of walkway		West of building		
2.2	ALL	Walkways, ramps & landings	Is walkway a continuous accessible path of travel	Yes / No	Yes	C	
2.3	ALL	Walkways, ramps & landings	Width	1000 mm	> 1000 mm	C	

DISABLED ACCESS AND FACILITIES CHECK LIST

	SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
2.4	ALL	Walkways, ramps & landings	Vertical Clearance	2000 mm	> 2000 mm	C	
2.5	ALL	Walkways, ramps & landings	Walkway gradient	1:33 (3%) max	< 3%	C	
2.9	ALL	Walkways, ramps & landings	Cross fall	< 1: 40 (2.5%)	Ok	C	
2.10	ALL	Walkways, ramps & landings	Type of walkway	Smooth hard surface	Asphalt	C	
2.11	GROUND LEVEL	Walkways, ramps & landings	Kerb ramp provided or at grade	Yes / No	N/a	C	
2.12	GROUND LEVEL	Walkways, ramps & landings	Kerb ramp grade	1: 8 (12.5%)	N/a	C	
2.13	GROUND LEVEL	Walkways, ramps & landings	Kerb ramp length	1520 max	N/a	C	
2.14	GROUND LEVEL	Walkways, ramps & landings	Kerb ramp width	1000 min	N/a	C	
3.1	GROUND LEVEL	Gate	Is there a gate restricting access to the building	Yes / No	Gate to NW corner restricts access to north elevation ramp - remove lock and lower latch	N	\$300.00
4.1	ALL	Ramp / Landing / Step (Ext)	Ramp/ at grade / step ramp / step	Ramp /at grade/step ramp	Exterior stairs to grandstand and ramps to west and north elevations		
4.2	GROUND LEVEL	Ramp / Landing / Step (Ext)	Raised threshold	< 5mm	< 5mm to entrances	C	
4.5	GROUND LEVEL	Ramp / Landing / Step (Ext)	Ramp gradient (1:14 max)	1:14 (7%)	< 1:14 to ramps	C	
4.6	GROUND LEVEL	Ramp / Landing / Step (Ext)	Ramp length	9m	9 m length to west ramp. 13m long to north ramp.	C	

DISABLED ACCESS AND FACILITIES CHECK LIST

	SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
4.10	GROUND LEVEL	Ramp / Landing / Step (Ext)	No. of ext doors without steps	At least one door for use by public in a continuous path of travel	Ok	C	
5.1	CHANGE ROOM PASSAGE	Ramp / Landing (Interior)	Ramps location		Ramp to passage is not for disabled person use		
5.2	CHANGE ROOM PASSAGE	Ramp / Landing (Interior)	Ramp gradient (1:14 max)	1:14 (7%)	N/a		
5.3	CHANGE ROOM PASSAGE	Ramp / Landing (Interior)	Ramp length	9m	< 9 m		
6.1	GROUND LEVEL	Ramp Handrails	Provided?	To all ramps at min of 1000 mm apart	Handrails to exterior ramps	C	
6.2	GROUND LEVEL	Ramp Handrails	Handrail height	865 - 1000 mm	980 to 1000 mm to exterior ramps	C	
6.3	GROUND LEVEL	Ramp Handrails	Handrail diameter.	30 -40 mm	50 mm to exterior ramps	N	
6.4	GROUND LEVEL	Ramp Handrails	Handrail clearance to wall	> 50 mm	< 50mm clearance to section of the west ramp handrail	N	
6.6	GROUND LEVEL	Ramp Handrails	Handrail extension	300 mm	None. Install ramp handrails extensions	N	\$1,200.00
7.1	GROUND LEVEL	Doorways	Width	760 mm (min.)	> 760 mm	C	
8.1	ALL	Circulation Space	Complying		Ok	C	
9.1	ALL	Distance between doors in passageways	Complying	> 1340 mm total clearance b/n doors	N/a		

DISABLED ACCESS AND FACILITIES CHECK LIST

SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
10.1	GRANDSTAND	Corridors	Wide enough for 1 wheel chair to travel	1200 mm wide	Bottom aisle to grandstand between 840 and 1240 mm with steps protruding to aisle. Limited scope to modify	N
10.2	GRANDSTAND	Corridors	2 wheel chairs to pass	1800 mm wide	No. Limited scope to modify	N
10.3	GRANDSTAND	Corridors	Are there obstructions to the corridor width		Steps to bottom aisle. Limited scope to modify	N
10.4	GRANDSTAND	Corridors	Sufficient space for wheel chair to turn 360 deg	2250 mm	N/a	
11.1	GRANDSTAND	Door Glazing	Glazed doors in building		Glass doors to Media Centre	
11.2	GRANDSTAND	Door Glazing	Glass height - Min	1000 mm	Ok	C
11.3	GRANDSTAND	Door Glazing	Glass height - max	1600 mm	Ok	C
11.4	GRANDSTAND	Door Glazing	Glass width - min	150 mm	Ok	C
11.5	GRANDSTAND	Door Glazing	Clearance - max	200 mm	Ok	C
12.1	GRANDSTAND	Door Handles	Lever type		Generally lever	C
12.2	GRANDSTAND	Door Handles	Clearance	35 - 40 mm		C
12.3	GRANDSTAND	Door Handles	Height	900 - 1100 mm	1050 mm	C

DISABLED ACCESS AND FACILITIES CHECK LIST

	SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
14.1	GRANDSTAND	Stairways	Open Riser	Should not be open riser	All east exterior stairs are closed concrete risers	C	
14.1	EXTERIOR	Stairways	Open Riser	Should not be open riser	All west exit stairs are open steel risers. No recommendation	N	
14.4	GRANDSTAND	Stairways	Strips to nosing and tactile indicators to top, base and landings	Painted white line to nosing & raised tactiles for vision impaired	Vision strips to concrete stair nosings.	C	
14.4	GRANDSTAND	Stairways	Strips to nosing and tactile indicators to top, base and landings	Painted white line to nosing & raised tactiles for vision impaired	Vision strips to concrete stair nosings provided to seating aisles	C	
14.4	EXTERIOR	Stairways	Strips to nosing and tactile indicators to top, base and landings	Painted white line to nosing & raised tactiles for vision impaired	All west exit stairs have no vision strips to nosings. Paint nosings	N	\$400.00
14.5	GRANDSTAND	Stairways	Handrail installed	Yes	Handrails provided to east stairs.	C	
14.5	EXTERIOR	Stairways	Handrail installed	Yes	Handrails provided to west stairs.	C	
14.7	GRANDSTAND	Stairways	Height above nosing	865 - 1000 mm	Handrails provided to east stairs at 1030mm height	C	
14.7	EXTERIOR	Stairways	Height above nosing	865 - 1000 mm	Handrails provided to west stairs at 1030mm height	C	
14.8	EXTERIOR	Stairways	Rail extension	300 mm (min)	No extensions to east stair hand rails - install	N	\$400.00

DISABLED ACCESS AND FACILITIES CHECK LIST

	SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
14.8	GRANDSTAND	Stairways	Rail extension	300 mm (min)	No extensions to east stair hand rails - install	N	\$1,200.00
14.9	EXTERIOR	Stairways	Tread width	275 - 300mm	290 mm to west stairs.	C	
14.9	GRANDSTAND	Stairways	Tread width	275 - 300mm	260 mm to east stairs. 390mm to stand aisle steps. Limited scope to modify	N	
14.10	GRANDSTAND	Stairways	Riser	150 - 165mm	160 mm to east stairs. 150mm to stand aisle steps.	C	
14.10	EXTERIOR	Stairways	Riser	150 - 165mm	175 mm to west stairs.	C	
15.1	ALL	Sanitary Facilities	WC provided	Unisex or combined WC and washroom for each sex	Only sanitary facilities for players and referees. No recommendation for a disabled sanitary facility	C	
17.1	ALL	Floor surface to ramps, walkways & landings	Wet locations (ext)	Textured finish or exposed aggregate, asphalt, rough stone or brick, slip resistant tiles	Ok	C	
17.2	ALL	Floor surface to ramps, walkways & landings	Dry locations (int)	No slippery or high gloss finish	Ok	C	
18.1	ALL	Signage	International symbols	Provide in accordance with Clause 14 - white on blue	Install directional signage to the west elevation directing disabled to the Athurson stand facilities	N	\$500.00

DISABLED ACCESS AND FACILITIES CHECK LIST

SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST	
19.1	GRANDSTAND	Seating in places of entertainment	Space width in row	800 mm at end of row or by removing seats	None provided to stand seating whilst ramp is provided to the north elevation. Refer Athurson stand recommendations	N	
20.1	ALL	Hearing Augmentation	Loop	Cover 10% of total area	N/a		
21.1	ALL	Reception	Reception counter	Accessible counter section < 870 mm above the floor	N/a		
22.1	ALL	Lifts	Lift available between floors		No vertical lift access to the seating area or boxes. Restricted ramp access only. Refer Ken Arthurson stand	N	
24.1	ALL	Halls/Auditoriums/Theatres/Stadium	Can all areas available to the public be accessed by a person with disabilities	Yes	To bottom aisle of stand but not to seating area or boxes	N	
24.3	ALL	Halls/Auditoriums/Theatres/Stadium	Are corridors provided with passing space for wheelchairs	Yes	Not to bottom aisle	N	
24.4	ALL	Halls/Auditoriums/Theatres/Stadium	Are there pictorial signs to car park, entry, recep, stage, lifts, lounges, toilets, phones, dressing	Yes	No. Refer Ken Arthurson stand	N	
24.5	ALL	Halls/Auditoriums/Theatres/Stadium	Is there directional signs to wheel chair seating and induction loop	Yes	No. Refer Ken Arthurson stand	N	
24.6	ALL	Halls/Auditoriums/Theatres/Stadium	Is there a directory map of the hall/auditor/theatre/stadium at 1227-1709 above floor	Yes	No. Refer Ken Arthurson stand	N	

DISABLED ACCESS AND FACILITIES CHECK LIST

	SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST	
24.7	ALL	Halls/Auditoriums/Theatres/Stadium	Are there specific areas in auditorium, stadium or theatre for people with wheel chairs	Yes	No. Refer Ken Arthurson stand	N		
24.8	ALL	Halls/Auditoriums/Theatres/Stadium	Are these provided at a ratio of 1 to 100 seats (with a min. of 2 provided)	Yes	No. Refer Ken Arthurson stand	N		
24.11	ALL	Halls/Auditoriums/Theatres/Stadium	Is there a choice of level, price or sightlines	Yes	Only choice at oval fence line allocated disabled seat spaces. None provided at stand level. Refer Ken Arthurson stand	N		
24.12	ALL	Halls/Auditoriums/Theatres/Stadium	Can allocated space adjacent to general seating	Yes	No. Refer Ken Arthurson stand	N		
24.12	ALL	Halls/Auditoriums/Theatres/Stadium	Can allocated space adjacent to general seating	Yes	N/a			
24.16	GROUND LEVEL	Halls/Auditoriums/Theatres/Stadium	Is babies change facility provided	Yes	Provided to male and female toilets. Recommended to proposed unisex compartment	C		
24.19	ALL	Halls/Auditoriums/Theatres/Stadium	Are designated non-smoking areas ventilated	Yes	No	N		
24.21	ALL	Halls/Auditoriums/Theatres/Stadium	Are circulation areas well lit and free from glare	Yes	Lighting not suitable for night time use	N		
Estimated Cost								\$52,000.00

DISABLED ACCESS AND FACILITIES CHECK LIST

SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST	
Brookvale Oval Ken Arthurson Link Stand							
1.1	GROUND LEVEL	Car Park	Designated parking available for persons with disabilities	3800 wide x 5400 length	No designated space to the west end car park adjacent to the main entrance	N	
1.2	GROUND LEVEL	Car Park	Number of disabled car spaces	1 space per 100	Install 1 no space to west car park with signs	N	\$1,200.00
1.3	GROUND LEVEL	Car Park	Is space within 60 m of entrance to building		N/a		
1.4	GROUND LEVEL	Car Park	Size		N/a		
1.5	GROUND LEVEL	Car Park	Sign	International symbol	N/a		
1.6	GROUND LEVEL	Car Park	Ramped kerb access to the building from car park	Yes / No	Only vehicle ramp. Install kerb ramp	N	\$1,200.00
1.7	ALL LEVELS	Car Park	Are tactile indicators provided to stairs, ramps, pedestrian crossings in car park	Yes / No	No tactile indicators to all stairs to building for the vision impaired. Install 93 m ss screw down stud type tactiles to stairs and 34 m to stand aisle stairs	N	\$178,000.00
2.1	GROUND LEVEL	Walkways, ramps & landings	Location of walkway		From entrance to base of stairs		
2.2	GROUND LEVEL	Walkways, ramps & landings	Is walkway a continuous accessible path of travel	Yes / No	Yes	C	
2.3	GROUND LEVEL	Walkways, ramps & landings	Width	1000 mm	> 1000 mm	C	
2.4	GROUND LEVEL	Walkways, ramps & landings	Vertical Clearance	2000 mm	> 2000 mm	C	

DISABLED ACCESS AND FACILITIES CHECK LIST

	SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
2.5	GROUND LEVEL	Walkways, ramps & landings	Walkway gradient	1:33 (3%) max	< 3%	C	
2.9	GROUND LEVEL	Walkways, ramps & landings	Cross fall	< 1: 40 (2.5%)	Walkway < 1:40.	C	
2.10	GROUND LEVEL	Walkways, ramps & landings	Type of walkway	Smooth hard surface	Concrete	C	
2.11	GROUND LEVEL	Walkways, ramps & landings	Kerb ramp provided or at grade	Yes / No	None - refer 1.6	N	
2.12	GROUND LEVEL	Walkways, ramps & landings	Kerb ramp grade	1: 8 (12.5%)	N/a		
2.13	GROUND LEVEL	Walkways, ramps & landings	Kerb ramp length	1520 max	N/a		
2.14	GROUND LEVEL	Walkways, ramps & landings	Kerb ramp width	1000 min	N/a		
3.1	GROUND LEVEL	Gate	Is there a gate restricting access to the building	Yes / No	Gates/shutters open during occupation		
3.2	GROUND LEVEL	Gate	Width	> 760 mm	> 760 mm	C	
3.3	GROUND LEVEL	Gate	Latch height	900 - 1000 mm	N/a		
4.1	ALL LEVELS	Ramp / Landing / Step (Ext)	Ramp/ at grade / step ramp / step	Ramp /at grade/step ramp	Stairs to all levels		
4.2	ALL LEVELS	Ramp / Landing / Step (Ext)	Raised threshold	< 5mm	< 5mm to public accessible spaces	C	
4.5	ALL LEVELS	Ramp / Landing / Step (Ext)	Ramp gradient (1:14 max)	1:14 (7%)	No ramps		

DISABLED ACCESS AND FACILITIES CHECK LIST

	SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
4.6	ALL LEVELS	Ramp / Landing / Step (Ext)	Ramp length	9m	N/a		
4.10	ALL LEVELS	Ramp / Landing / Step (Ext)	No. of ext doors without steps	At least one door for use by public in a continuous path of travel	Only ground level spaces are without step access. Refer lift recommendation	N	
5.1	ALL LEVELS	Ramp / Landing (Interior)	Ramps location		N/a		
6.1	ALL LEVELS	Ramp Handrails	Provided?	To all ramps at min of 1000 mm apart	N/a		
7.1	GROUND LEVEL	Doorways	Width	760 mm (min.)	> 760 mm to public accessible spaces	C	
8.1	ALL LEVELS	Circulation Space	Complying		Ok	C	
9.1	ALL LEVELS	Distance between doors in passageways	Complying	> 1340 mm total clearance b/n doors	N/a		
10.1	ALL LEVELS	Corridors	Wide enough for 1 wheel chair to travel	1200 mm wide	< 1200mm to level 1 & 2 grandstand aisles. Level 3 passage - 1400mm. Restricted wheelchair access to these spaces. No recommendation	N	
10.2	ALL LEVELS	Corridors	2 wheel chairs to pass	1800 mm wide	No. Limited scope to modify	N	
10.3	ALL LEVELS	Corridors	Are there obstructions to the corridor width		None	C	
10.4	ALL LEVELS	Corridors	Sufficient space for wheel chair to turn 360 deg	2250 mm	No. Steps to top aisle	N	
11.1	LEVELS 1 & 3	Door Glazing	Glazed doors in building		Glass doors to levels 1 and 3		

DISABLED ACCESS AND FACILITIES CHECK LIST

	SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
11.2	LEVELS 1 & 3	Door Glazing	Glass height - Min	1000 mm	Ok	C	
11.3	LEVELS 1 & 3	Door Glazing	Glass height - max	1600 mm	Ok	C	
11.4	LEVELS 1 & 3	Door Glazing	Glass width - min	150 mm	Ok	C	
11.5	LEVELS 1 & 3	Door Glazing	Clearance - max	200 mm	Ok	C	
12.1	ALL LEVELS	Door Handles	Lever type		D pull handles and levers	C	
12.2	ALL LEVELS	Door Handles	Clearance	35 - 40 mm		C	
12.3	ALL LEVELS	Door Handles	Height	900 - 1100 mm	900 -1100mm	C	
14.1	ALL LEVELS	Stairways	Open Riser	Should not be open riser	All entry stairs and stand aisle stairs		
14.1	ALL LEVELS	Stairways	Open Riser	Should not be open riser	All stairs are closed concrete risers	C	
14.4	ALL LEVELS	Stairways	Strips to nosing and tactile indicators to top, base and landings	Painted white line to nosing & raised tactiles for vision impaired	Black tread strips entry stairs. No white line vision strips. No strips to Level 3 stairs. Install/paint vision strips to all stairs	N	\$6,000.00
14.5	ALL LEVELS	Stairways	Handrail installed	Yes	Handrails provided to all stairs.	C	

DISABLED ACCESS AND FACILITIES CHECK LIST

	SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
14.7	ALL LEVELS	Stairways	Height above nosing	865 - 1000 mm	865 - 1000mm	C	
14.8	ALL LEVELS	Stairways	Rail extension	300 mm (min)	No extensions stair handrails - install	N	\$26,500.00
14.9	ALL LEVELS	Stairways	Tread width	275 - 300mm	Entry stairs - 275mm. Aisle stairs - 260mm. Marginal	C	
14.10	ALL LEVELS	Stairways	Riser	150 - 165mm	Entry stairs - 130mm. Aisle stairs - 180mm. Limited scope to modify	N	
15.1	LEVEL 3 TOILETS	Sanitary Facilities	WC provided	Unisex or combined WC and washroom for each sex	None to level 3 toilets. Level 3 not accessible for wheel chair access. No recommendation	N	
15.1	LEVEL 1 NORTH END TOILETS	Sanitary Facilities	WC provided	Unisex or combined WC and washroom for each sex	Disabled sanitary compartment provided to the north end off Presidents Lounge	C	
15.1	GROUND LEVEL	Sanitary Facilities	WC provided	Unisex or combined WC and washroom for each sex	Disabled sanitary compartments provided in male and female ground level public toilets but undersized. Recommend provision of unisex compartment in store room adjacent to Main electrical switchboard	C	\$28,000.00
15.2	GROUND LEVEL	Sanitary Facilities	Male / Female / Unisex		One to both male and female	C	
15.2	LEVEL 1 NORTH END TOILETS	Sanitary Facilities	Male / Female / Unisex		Unisex	C	

DISABLED ACCESS AND FACILITIES CHECK LIST

	SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
15.3	LEVEL 1 NORTH END TOILETS	Sanitary Facilities	Dimensions of WC	X = 800 (min)	800mm	C	
15.3	GROUND LEVEL	Sanitary Facilities	Dimensions of WC	X = 800 (min)	Undersized. Convert to standard cubicles	N	
15.4	LEVEL 1 NORTH END TOILETS	Sanitary Facilities	Dimensions of WC	Y = 1200 (min)	1860mm	C	
15.4	GROUND LEVEL	Sanitary Facilities	Dimensions of WC	Y = 1200 (min)	Undersized	N	
15.5	LEVEL 1 NORTH END TOILETS	Sanitary Facilities	Dimensions of WC	A = 1600 (min)	1900mm	C	
15.5	GROUND LEVEL	Sanitary Facilities	Dimensions of WC	A = 1600 (min)	Undersized	N	
15.6	GROUND LEVEL	Sanitary Facilities	Dimensions of WC	B = 2000 (min)	Undersized	N	
15.6	LEVEL 1 NORTH END TOILETS	Sanitary Facilities	Dimensions of WC	B = 2000 (min)	2660mm	C	
15.7	LEVEL 1 NORTH END TOILETS	Sanitary Facilities	Basin	Hand basin provided inside or outside the WC	Inside		
15.7	GROUND LEVEL	Sanitary Facilities	Basin	Hand basin provided inside or outside the WC	N/a		

DISABLED ACCESS AND FACILITIES CHECK LIST

	SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
15.8	LEVEL 1 NORTH END TOILETS	Sanitary Facilities	Basin height	770 - 800 mm	860mm. Basin set too high - lower to 800mm max	N	\$400.00
15.8	GROUND LEVEL	Sanitary Facilities	Basin height	770 - 800 mm	N/a		
15.9	GROUND LEVEL	Sanitary Facilities	Tap position	300 mm	N/a		
15.9	LEVEL 1 NORTH END TOILETS	Sanitary Facilities	Tap position	300 mm	< 300mm	C	
15.10	GROUND LEVEL	Sanitary Facilities	WC Grab rail	Required to option A or option B detail	A type rail	C	
15.10	LEVEL 1 NORTH END TOILETS	Sanitary Facilities	WC Grab rail	Required to option A or option B detail	A type rail	C	
15.11	LEVEL 1 NORTH END TOILETS	Sanitary Facilities	WC Grab rail	Grab rail height	800 mm	C	
15.11	GROUND LEVEL	Sanitary Facilities	WC Grab rail	Grab rail height	Undersized	N	
15.12	LEVEL 1 NORTH END TOILETS	Sanitary Facilities	Mirror height	H1 = 900 mm	800mm	C	
15.12	GROUND LEVEL	Sanitary Facilities	Mirror height	H1 = 900 mm	N/a		

DISABLED ACCESS AND FACILITIES CHECK LIST

	SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
15.12	LEVEL 1 NORTH END TOILETS	Sanitary Facilities	Mirror height	H1 = 900 mm	1700mm. Marginal	C	
16.1	ALL LEVELS	Shower Facilities	Dimensions of shower	C = 1160 (min)	No showers - no requirements		
17.1	ALL LEVELS	Floor surface to ramps, walkways & landings	Wet locations (ext)	Textured finish or exposed aggregate, asphalt, rough stone or brick, slip resistant tiles	Ok	C	
17.2	ALL LEVELS	Floor surface to ramps, walkways & landings	Dry locations (int)	No slippery or high gloss finish	Ok	C	
18.1	GROUND LEVEL	Signage	International symbols	Provide in accordance with Clause 14 - white on blue	None to ground level WC. Install symbol/tactile signage to proposed unisex entry. Refer 15.1	N	
18.1	LEVEL 1 NORTH END TOILETS	Signage	International symbols	Provide in accordance with Clause 14 - white on blue	Symbol/tactile signage installed to President Lounge north toilet.	C	
19.1	GRANDSTAND	Seating in places of entertainment	Space width in row	800 mm at end of row or by removing seats	None provided. Consideration recommended to be given to the provision of disabled wheel chair spaces at Level 1 central stair landing (as a minimum) at 1 to every 100 seats	N	\$6,000.00
19.1	ALL LEVELS	Seating in places of entertainment	Space width in row	800 mm at end of row or by removing seats			
20.1	ALL LEVELS	Hearing Augmentation	Loop	Cover 10% of total area	N/a		

DISABLED ACCESS AND FACILITIES CHECK LIST

SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
21.1	ALL LEVELS	Reception	Reception counter	Accessible counter section < 870 mm above the floor	N/a	
22.1	ALL LEVELS	Lifts	Lift available between floors		No vertical lift access to the upper level grandstand seating area. Consideration to replacing the dumb waiter with a disabled person's passenger lift to Level 1 and providing vertical access to Presidents Lounge spaces	N \$180,000.00
24.1	ALL LEVELS	Halls/Auditoriums/Theatres/Stadium	Can all areas available to the public be accessed by a person with disabilities	Yes	No. Refer 22.1	N
24.2	ALL LEVELS	Halls/Auditoriums/Theatres/Stadium	Are recessed door handles avoided	Yes	Yes	C
24.3	ALL LEVELS	Halls/Auditoriums/Theatres/Stadium	Are corridors provided with passing space for wheelchairs	Yes	Not to seating aisles or Level 3 passage - no recommendation	N
24.4	ALL LEVELS	Halls/Auditoriums/Theatres/Stadium	Are there pictorial signs to car park, entry, recep, stage, lifts, lounges, toilets, phones, dressing	Yes	None. Provide	N \$6,000.00
24.5	ALL LEVELS	Halls/Auditoriums/Theatres/Stadium	Is there directional signs to wheel chair seating and induction loop	Yes	None at present. Provide directional signage once lift installed	N
24.6	ALL LEVELS	Halls/Auditoriums/Theatres/Stadium	Is there a directory map of the hall/auditor/theatre/stadium at 1227-1709 above floor	Yes	None. Provide	N \$2,500.00
24.7	ALL LEVELS	Halls/Auditoriums/Theatres/Stadium	Are there specific areas in auditorium, stadium or theatre for people with wheel chairs	Yes	None. Refer 19.1	N

DISABLED ACCESS AND FACILITIES CHECK LIST

	SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
24.8	ALL LEVELS	Halls/Auditoriums/Theatres/Stadium	Are these provided at a ratio of 1 to 100 seats (with a min. of 2 provided)	Yes	No. Refer 19.1	N	
24.11	ALL LEVELS	Halls/Auditoriums/Theatres/Stadium	Is there a choice of level, price or sightlines	Yes	None. Limited scope to install	N	
24.12	ALL LEVELS	Halls/Auditoriums/Theatres/Stadium	Can allocated space adjacent to general seating	Yes	None. Limited scope to install	N	
24.16	ALL LEVELS	Halls/Auditoriums/Theatres/Stadium	Is babies change facility provided	Yes	Provided to ground level public toilets and Level 1 north toilets	C	
24.17	LEVEL 1	Halls/Auditoriums/Theatres/Stadium	Is lounge and waiting areas accessible for wheel chair users	Yes	Not at present. Refer 22.1	N	
24.20	ALL LEVELS	Halls/Auditoriums/Theatres/Stadium	Are handrails provided to circulation areas	Yes	No only stairs	N	
24.21	ALL LEVELS	Halls/Auditoriums/Theatres/Stadium	Are circulation areas well lit and free from glare	Yes	Stairs and stand seating areas would require improved lighting for night time use	N	
24.21	ALL LEVELS	Halls/Auditoriums/Theatres/Stadium	Are circulation areas well lit and free from glare	Yes	Lighting to seating areas not suitable for night time use	N	
Estimated Cost							\$435,800.00

DISABLED ACCESS AND FACILITIES CHECK LIST

SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
Brookvale Oval NE Amenities						
1.1	EXTERIOR	Car Park	Designated parking available for persons with disabilities	3800 wide x 5400 length	N/a	
1.2	EXTERIOR	Car Park	Number of disabled car spaces	1 space per 100	N/a	
1.3	EXTERIOR	Car Park	Is space within 60 m of entrance to building		N/a	
1.4	EXTERIOR	Car Park	Size		N/a	
1.5	EXTERIOR	Car Park	Sign	International symbol	N/a	
1.6	EXTERIOR	Car Park	Ramped kerb access to the building from car park	Yes / No	At grade to north service road	C
1.7	EXTERIOR	Car Park	Are tactile indicators provided to stairs, ramps, pedestrian crossings in car park	Yes / No	N/a	
2.1	EXTERIOR	Walkways, ramps & landings	Location of walkway		To north service road and oval pathway to the west of building	
2.2	EXTERIOR	Walkways, ramps & landings	Is walkway a continuous accessible path of travel	Yes / No	Yes	C
2.3	EXTERIOR	Walkways, ramps & landings	Width	1000 mm	> 1000 mm	C
2.4	EXTERIOR	Walkways, ramps & landings	Vertical Clearance	2000 mm	> 2000 mm	C

DISABLED ACCESS AND FACILITIES CHECK LIST

	SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
2.5	EXTERIOR	Walkways, ramps & landings	Walkway gradient	1:33 (3%) max	Pathway from disabled WC > 3%. Install gate to west of disabled WC entry with link to oval path	N	\$1,500.00
2.9	EXTERIOR	Walkways, ramps & landings	Cross fall	< 1: 40 (2.5%)		C	
2.10	EXTERIOR	Walkways, ramps & landings	Type of walkway	Smooth hard surface		C	
2.11	EXTERIOR	Walkways, ramps & landings	Kerb ramp provided or at grade	Yes / No	N/a	C	
2.12	EXTERIOR	Walkways, ramps & landings	Kerb ramp grade	1: 8 (12.5%)	N/a	C	
2.13	EXTERIOR	Walkways, ramps & landings	Kerb ramp length	1520 max	N/a	C	
2.14	EXTERIOR	Walkways, ramps & landings	Kerb ramp width	1000 min	N/a	C	
3.1	EXTERIOR	Gate	Is there a gate restricting access to the building	Yes / No	None		
4.1	EXTERIOR	Ramp / Landing / Step (Ext)	Ramp/ at grade / step ramp / step	Ramp /at grade/step ramp	N/a		
4.2	EXTERIOR	Ramp / Landing / Step (Ext)	Raised threshold	< 5mm	5 mm at disabled WC entry door	C	
4.5	EXTERIOR	Ramp / Landing / Step (Ext)	Ramp gradient (1:14 max)	1:14 (7%)	N/a		
4.6	EXTERIOR	Ramp / Landing / Step (Ext)	Ramp length	9m	N/a		

DISABLED ACCESS AND FACILITIES CHECK LIST

	SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
4.10	EXTERIOR	Ramp / Landing / Step (Ext)	No. of ext doors without steps	At least one door for use by public in a continuous path of travel	All without steps		
6.1	EXTERIOR	Ramp Handrails	Provided?	To all ramps at min of 1000 mm apart	N/a		
7.1	EXTERIOR	Doorways	Width	760 mm (min.)	1100 mm to disabled sanitary compartments	C	
8.1	INTERIOR	Circulation Space	Complying			C	
9.1	INTERIOR	Distance between doors in passageways	Complying	> 1340 mm total clearance b/n doors	N/a		
10.1	INTERIOR	Corridors	Wide enough for 1 wheel chair to travel	1200 mm wide	N/a		
10.2	INTERIOR	Corridors	2 wheel chairs to pass	1800 mm wide	N/a		
10.3	INTERIOR	Corridors	Are there obstructions to the corridor width		N/a		
10.4	INTERIOR	Corridors	Sufficient space for wheel chair to turn 360 deg	2250 mm	N/a		
11.1	INTERIOR	Door Glazing	Glazed doors in building		N/a		
12.1	DISABLED SANITARY COMPARTMENT	Door Handles	Lever type		Lever handle to disabled WC door	C	
12.2	DISABLED SANITARY COMPARTMENT	Door Handles	Clearance	35 - 40 mm		C	

DISABLED ACCESS AND FACILITIES CHECK LIST

SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
12.3	DISABLED SANITARY COMPARTMENT	Door Handles	Height	900 - 1100 mm	900 mm	C
14.1	DISABLED SANITARY COMPARTMENT	Stairways	Open Riser	Should not be open riser	No stairs	
15.1	DISABLED SANITARY COMPARTMENT	Sanitary Facilities	WC provided	Unisex or combined WC and washroom for each sex	Disabled sanitary compartments provided with separate entry	C
15.2	DISABLED SANITARY COMPARTMENT	Sanitary Facilities	Male / Female / Unisex		Unisex	C
15.3	DISABLED SANITARY COMPARTMENT	Sanitary Facilities	Dimensions of WC	X = 800 (min)	800 mm	C
15.4	DISABLED SANITARY COMPARTMENT	Sanitary Facilities	Dimensions of WC	Y = 1200 (min)	2750 mm	C
15.5	DISABLED SANITARY COMPARTMENT	Sanitary Facilities	Dimensions of WC	A = 1600 (min)	2000 mm	C
15.6	DISABLED SANITARY COMPARTMENT	Sanitary Facilities	Dimensions of WC	B = 2000 (min)	3550 mm	C
15.7	DISABLED SANITARY COMPARTMENT	Sanitary Facilities	Basin	Hand basin provided inside or outside the WC	Inside	C
15.8	DISABLED SANITARY COMPARTMENT	Sanitary Facilities	Basin height	770 - 800 mm	830 mm	C

DISABLED ACCESS AND FACILITIES CHECK LIST

SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST	
15.9	DISABLED SANITARY COMPARTMENT	Sanitary Facilities	Tap position	300 mm	200 mm	C	
15.10	DISABLED SANITARY COMPARTMENT	Sanitary Facilities	WC Grab rail	Required to option A or option B detail	A type rail	C	
15.11	DISABLED SANITARY COMPARTMENT	Sanitary Facilities	WC Grab rail	Grab rail height	800 mm	C	
15.12	DISABLED SANITARY COMPARTMENT	Sanitary Facilities	Mirror height	H1 = 900 mm	N/a		
17.1	INTERIOR	Floor surface to ramps, walkways & landings	Wet locations (ext)	Textured finish or exposed aggregate, asphalt, rough stone or brick, slip resistant tiles	Ok	C	
17.2	INTERIOR	Floor surface to ramps, walkways & landings	Dry locations (int)	No slippery or high gloss finish	Ok	C	
18.1	EXTERIOR	Signage	International symbols	Provide in accordance with Clause 14 - white on blue	Symbol sign only. Install symbol tactile signage adjacent to compartment door	N	\$350.00
Estimated Cost							\$1,850.00

DISABLED ACCESS AND FACILITIES CHECK LIST

SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
Brookvale Oval NW Amenities						
1.1	EXTERIOR	Car Park	Designated parking available for persons with disabilities	3800 wide x 5400 length	N/a	
1.2	EXTERIOR	Car Park	Number of disabled car spaces	1 space per 100	N/a	
1.3	EXTERIOR	Car Park	Is space within 60 m of entrance to building		N/a	
1.4	EXTERIOR	Car Park	Size		N/a	
1.5	EXTERIOR	Car Park	Sign	International symbol	N/a	
1.6	EXTERIOR	Car Park	Ramped kerb access to the building from car park	Yes / No	At grade to north service road	C
1.7	EXTERIOR	Car Park	Are tactile indicators provided to stairs, ramps, pedestrian crossings in car park	Yes / No	No tactiles to entrance steps. Install tactile indicators to entry steps (4)	N
2.1	EXTERIOR	Walkways, ramps & landings	Location of walkway		To north service road and oval pathway to the east of building	
2.2	EXTERIOR	Walkways, ramps & landings	Is walkway a continuous accessible path of travel	Yes / No	Yes	C
2.3	EXTERIOR	Walkways, ramps & landings	Width	1000 mm	< 1000 mm to female toilet access path. Widen path between male toilet and female toilets (10 m)	N \$600.00
2.4	EXTERIOR	Walkways, ramps & landings	Vertical Clearance	2000 mm	> 2000 mm	C

DISABLED ACCESS AND FACILITIES CHECK LIST

	SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
2.5	EXTERIOR	Walkways, ramps & landings	Walkway gradient	1:33 (3%) max		C	
2.9	EXTERIOR	Walkways, ramps & landings	Cross fall	< 1: 40 (2.5%)		C	
2.10	EXTERIOR	Walkways, ramps & landings	Type of walkway	Smooth hard surface		C	
2.11	EXTERIOR	Walkways, ramps & landings	Kerb ramp provided or at grade	Yes / No	N/a	C	
2.12	EXTERIOR	Walkways, ramps & landings	Kerb ramp grade	1: 8 (12.5%)	N/a	C	
2.13	EXTERIOR	Walkways, ramps & landings	Kerb ramp length	1520 max	N/a	C	
2.14	EXTERIOR	Walkways, ramps & landings	Kerb ramp width	1000 min	N/a	C	
3.1	EXTERIOR	Gate	Is there a gate restricting access to the building	Yes / No	None		
4.1	EXTERIOR	Ramp / Landing / Step (Ext)	Ramp/ at grade / step ramp / step	Ramp /at grade/step ramp	Steps to both the male and female toilets		
4.2	EXTERIOR	Ramp / Landing / Step (Ext)	Raised threshold	< 5mm	> 5mm at both thresholds. No recommendation as male and female toilets do not cater for the ambulant disabled	N	
4.5	EXTERIOR	Ramp / Landing / Step (Ext)	Ramp gradient (1:14 max)	1:14 (7%)	N/a		
4.6	EXTERIOR	Ramp / Landing / Step (Ext)	Ramp length	9m	N/a		

DISABLED ACCESS AND FACILITIES CHECK LIST

	SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
4.10	EXTERIOR	Ramp / Landing / Step (Ext)	No. of ext doors without steps	At least one door for use by public in a continuous path of travel	Both with steps	N	
6.1	EXTERIOR	Ramp Handrails	Provided?	To all ramps at min of 1000 mm apart	N/a		
7.1	MALE & FEMALE TOILETS	Doorways	Width	760 mm (min.)	> 760mm at male and female entrances. WC doors 650 mm	N	
8.2	MALE & FEMALE TOILETS	Circulation Space	Location where non complying		Circulation space to front of WC's does not comply	N	
9.1	MALE & FEMALE TOILETS	Distance between doors in passageways	Complying	> 1340 mm total clearance b/n doors	N/a		
10.1	MALE & FEMALE TOILETS	Corridors	Wide enough for 1 wheel chair to travel	1200 mm wide	1060mm to front of WC doors. No recommendation	N	
11.1	MALE & FEMALE TOILETS	Door Glazing	Glazed doors in building		N/a		
12.1	MALE & FEMALE TOILETS	Door Handles	Lever type		Snibs to all WC doors. No recommendation	N	
12.2	MALE & FEMALE TOILETS	Door Handles	Clearance	35 - 40 mm	N/a		
12.3	MALE & FEMALE TOILETS	Door Handles	Height	900 - 1100 mm	N/a		
14.1	EXTERIOR	Stairways	Open Riser	Should not be open riser	Steps to male and female toilets are closed risers	C	
14.3	EXTERIOR	Stairways	Location		Steps to male and female toilet entrances		

DISABLED ACCESS AND FACILITIES CHECK LIST

	SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
14.4	EXTERIOR	Stairways	Strips to nosing and tactile indicators to top, base and landings	Painted white line to nosing & raised tactiles for vision impaired	No strips to step nosings for the vision impaired. Paint strips to all step nosings	N	\$200.00
14.5	EXTERIOR	Stairways	Handrail installed	Yes	No handrail to male toilet steps. Install	N	\$600.00
14.9	EXTERIOR	Stairways	Tread width	275 - 300mm	280 mm	C	
14.10	EXTERIOR	Stairways	Riser	150 - 165mm	165 mm	C	
15.1	EXTERIOR	Sanitary Facilities	WC provided	Unisex or combined WC and washroom for each sex	No disabled sanitary compartments provided. Consideration to constructing a disabled sanitary compartment	N	\$35,000.00
17.1	MALE & FEMALE TOILETS	Floor surface to ramps, walkways & landings	Wet locations (ext)	Textured finish or exposed aggregate, asphalt, rough stone or brick, slip resistant tiles	Ok	C	
18.1	EXTERIOR	Signage	International symbols	Provide in accordance with Clause 14 - white on blue	Provide symbol/tactile sign adjacent to proposed compartment. Refer 15.1		
Estimated Cost							\$36,400.00

DISABLED ACCESS AND FACILITIES CHECK LIST

SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
Brookvale Oval SE Amenities						
1.1	EXTERIOR	Car Park	Designated parking available for persons with disabilities	3800 wide x 5400 length	N/a	
1.2	EXTERIOR	Car Park	Number of disabled car spaces	1 space per 100	N/a	
1.3	EXTERIOR	Car Park	Is space within 60 m of entrance to building		N/a	
1.4	EXTERIOR	Car Park	Size		N/a	
1.5	EXTERIOR	Car Park	Sign	International symbol	N/a	
1.6	EXTERIOR	Car Park	Ramped kerb access to the building from car park	Yes / No	Generally at grade to oval pathway	C
1.7	EXTERIOR	Car Park	Are tactile indicators provided to stairs, ramps, pedestrian crossings in car park	Yes / No	N/a	
2.1	EXTERIOR	Walkways, ramps & landings	Location of walkway		To oval pathway to the west of building	
2.2	EXTERIOR	Walkways, ramps & landings	Is walkway a continuous accessible path of travel	Yes / No	Yes	C
2.3	EXTERIOR	Walkways, ramps & landings	Width	1000 mm	> 1000 mm	C
2.4	EXTERIOR	Walkways, ramps & landings	Vertical Clearance	2000 mm	> 2000 mm	C
2.5	EXTERIOR	Walkways, ramps & landings	Walkway gradient	1:33 (3%) max		C

DISABLED ACCESS AND FACILITIES CHECK LIST

	SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
2.9	EXTERIOR	Walkways, ramps & landings	Cross fall	< 1: 40 (2.5%)		C	
2.10	EXTERIOR	Walkways, ramps & landings	Type of walkway	Smooth hard surface		C	
2.11	EXTERIOR	Walkways, ramps & landings	Kerb ramp provided or at grade	Yes / No	N/a	C	
2.12	EXTERIOR	Walkways, ramps & landings	Kerb ramp grade	1: 8 (12.5%)	N/a	C	
2.13	EXTERIOR	Walkways, ramps & landings	Kerb ramp length	1520 max	N/a	C	
2.14	EXTERIOR	Walkways, ramps & landings	Kerb ramp width	1000 min	N/a	C	
3.1	EXTERIOR	Gate	Is there a gate restricting access to the building	Yes / No	Grilles open during occupation		
4.1	EXTERIOR	Ramp / Landing / Step (Ext)	Ramp/ at grade / step ramp / step	Ramp /at grade/step ramp	At grade at 2 no. entrances and steps to 2 no. entrances		
4.2	EXTERIOR	Ramp / Landing / Step (Ext)	Raised threshold	< 5mm	<5 mm at grade entrances	C	
4.5	EXTERIOR	Ramp / Landing / Step (Ext)	Ramp gradient (1:14 max)	1:14 (7%)	N/a		
4.6	EXTERIOR	Ramp / Landing / Step (Ext)	Ramp length	9m	N/a		
4.10	EXTERIOR	Ramp / Landing / Step (Ext)	No. of ext doors without steps	At least one door for use by public in a continuous path of travel	2 no. without steps	C	

DISABLED ACCESS AND FACILITIES CHECK LIST

	SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
6.1	EXTERIOR	Ramp Handrails	Provided?	To all ramps at min of 1000 mm apart	N/a		
7.1	EXTERIOR	Doorways	Width	760 mm (min.)	660 mm to male and female WC's. No recommendations as standard cubicles not suitable to for wheel chair access	N	
8.1	INTERIOR	Circulation Space	Complying			C	
8.2	INTERIOR	Circulation Space	Location where non complying		Circulation space to WC's is not compliant	N	
8.3	INTERIOR	Circulation Space	Non complying - Inward doors	L < 1350	1170 mm to male (in front of urinal)	C	
8.4	INTERIOR	Circulation Space	Non complying - Inward doors	Wh < 610	> 610mm	C	
8.5	INTERIOR	Circulation Space	Non complying - Inward doors	WI < 610	> 610mm	C	
8.6	INTERIOR	Circulation Space	Non complying - Inward doors	D < 760	660mm door widths. No recommendation	N	
9.1	INTERIOR	Distance between doors in passageways	Complying	> 1340 mm total clearance b/n doors	N/a		
10.1	INTERIOR	Corridors	Wide enough for 1 wheel chair to travel	1200 mm wide	No passageways but 1170mm width between urinal and male WC's. No recommendation	N	
10.2	INTERIOR	Corridors	2 wheel chairs to pass	1800 mm wide	Refer 10.1	N	
10.3	INTERIOR	Corridors	Are there obstructions to the corridor width		N/a		

DISABLED ACCESS AND FACILITIES CHECK LIST

	SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
10.4	INTERIOR	Corridors	Sufficient space for wheel chair to turn 360 deg	2250 mm	N/a		
11.1	INTERIOR	Door Glazing	Glazed doors in building		N/a		
12.1	DISABLED SANITARY COMPARTMENT	Door Handles	Lever type		Snibs to WC doors	N	
12.2	DISABLED SANITARY COMPARTMENT	Door Handles	Clearance	35 - 40 mm	N/a		
12.3	DISABLED SANITARY COMPARTMENT	Door Handles	Height	900 - 1100 mm	N/a		
14.1	DISABLED SANITARY COMPARTMENT	Stairways	Open Riser	Should not be open riser	No stairs		
15.1	DISABLED SANITARY COMPARTMENT	Sanitary Facilities	WC provided	Unisex or combined WC and washroom for each sex	No disabled sanitary compartments provided. Consideration to constructing a disabled compartment adjacent to the building	N	\$35,000.00
15.2	DISABLED SANITARY COMPARTMENT	Sanitary Facilities	Male / Female / Unisex		N/a		
15.3	DISABLED SANITARY COMPARTMENT	Sanitary Facilities	Dimensions of WC	X = 800 (min)	N/a		
15.4	DISABLED SANITARY COMPARTMENT	Sanitary Facilities	Dimensions of WC	Y = 1200 (min)	N/a		

DISABLED ACCESS AND FACILITIES CHECK LIST

	SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
15.5	DISABLED SANITARY COMPARTMENT	Sanitary Facilities	Dimensions of WC	A = 1600 (min)	N/a		
15.6	DISABLED SANITARY COMPARTMENT	Sanitary Facilities	Dimensions of WC	B = 2000 (min)	N/a		
15.7	DISABLED SANITARY COMPARTMENT	Sanitary Facilities	Basin	Hand basin provided inside or outside the WC	N/a		
15.8	DISABLED SANITARY COMPARTMENT	Sanitary Facilities	Basin height	770 - 800 mm	N/a		
15.9	DISABLED SANITARY COMPARTMENT	Sanitary Facilities	Tap position	300 mm	N/a		
15.10	DISABLED SANITARY COMPARTMENT	Sanitary Facilities	WC Grab rail	Required to option A or option B detail	N/a		
15.11	DISABLED SANITARY COMPARTMENT	Sanitary Facilities	WC Grab rail	Grab rail height	N/a		
15.12	DISABLED SANITARY COMPARTMENT	Sanitary Facilities	Mirror height	H1 = 900 mm	N/a		
17.1	INTERIOR	Floor surface to ramps, walkways & landings	Wet locations (ext)	Textured finish or exposed aggregate, asphalt, rough stone or brick, slip resistant tiles	Ok	C	
17.2	INTERIOR	Floor surface to ramps, walkways & landings	Dry locations (int)	No slippery or high gloss finish	Ok	C	

DISABLED ACCESS AND FACILITIES CHECK LIST

SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST	
18.1	EXTERIOR	Signage	International symbols	Provide in accordance with Clause 14 - white on blue	Provide symbol/tactile sign to proposed compartment. Refer 15.1	N	
Estimated Cost						\$35,000.00	

DISABLED ACCESS AND FACILITIES CHECK LIST

SPACE	COMPONENT	ITEM	REQUIREMENT	ACTUAL / COMMENT	C/N	COST
Total Estimate Cost						\$635,850.00

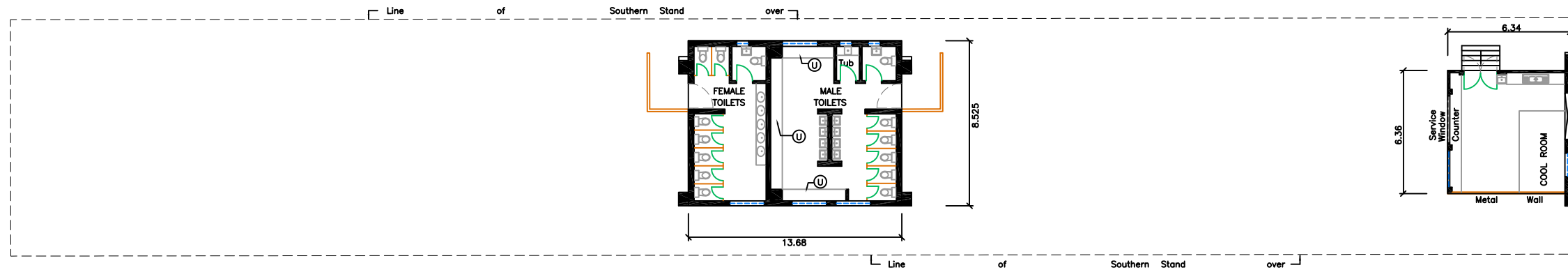
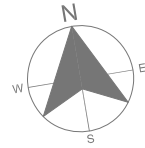
LEGEND: C - denoted compliant, N - denotes non compliance

Cost is a preliminary estimated cost based on May 2010 estimates with no allowance for CPI, GST, design/documentation, supervision or builder's Margin

FLOOR PLANS



BUI00152 - Brookvale Oval - Southern Stand



NOTES:

MGA coordinates have been determined from LPI SIX viewer and are approximate only ($\pm 2m$)

LEGEND:

- Denotes window (indicative glassline)
- Denotes metal security gate
- Denotes door
- Roller shutter
- Denotes urinal
- Cement rendered/brick wall
- Denotes partition wall
- Denotes line of stand above



No.	DATE	REVISION DETAILS

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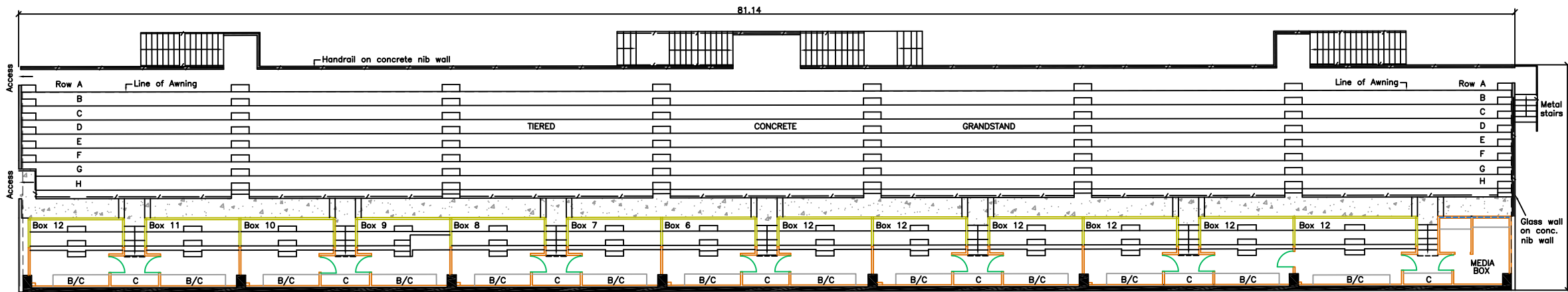
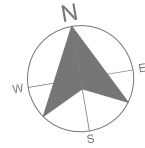
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PREPARED FOR:



**GROUND FLOOR PLAN -
 ASSET No. BUI00152
 'BROOKVALE OVAL -
 SOUTHERN STAND'
 Pittwater Road, Brookvale**

ORIGINAL SIZE:	A2	
SCALE	HOR: 1:200	VERT: -
CO-ORDS:	MGA(approx)	DATUM: -
DATE OF SURVEY	June 09	DATE OF PLAN: 5.07.09
SURVEY	DJT	DRAWN JN
CHECKED:	DJT	DATE 07.07.09
APPROVED:		DATE
JOB REF:	F708TBa	
CAD REF:	BUI00152_survey.dwg	SHEET 1 OF 2 SHEETS



NOTES:

MGA coordinates have been determined from LPI SIX viewer and are approximate only (± 2m)

LEGEND:

- Denotes window (indicative glassline)
- Denotes door
- Cement rendered/brick wall
- Denotes partition wall
- Denotes metal mullion frame/glass
- C Denotes cupboard
- B/C Denotes cupboard under bench
- - - Denotes line of awning
- / - Denotes handrail
- - - - Denotes roller shutter



No.	DATE	REVISION DETAILS

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PREPARED FOR:



**FIRST FLOOR PLAN -
 ASSET No. BUI00152
 'BROOKVALE OVAL -
 SOUTHERN STAND'
 Pittwater Road, Brookvale**

ORIGINAL SIZE: **A2**

SCALE	HOR: 1:200	VERT: -
CO-ORDS:	MGA(approx)	DATUM: -
DATE OF SURVEY	June 09	DATE OF PLAN: 5.07.09
SURVEY	DJT	DRAWN JN
CHECKED:	DJT	DATE 07.09.07
APPROVED:		DATE

JOB REF: F708TBa

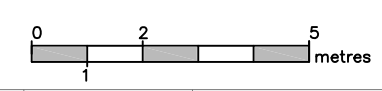
CAD REF: BUI00152_survey.dwg SHEET 2 OF 2 SHEETS



BUI00149 - Brookvale Oval - Jane Try Stand

NOTES:
MGA coordinates have been determined from LPI SIX viewer and are approximate only ($\pm 2m$)

- LEGEND:**
- Denotes shower rose
 - Denotes shower recess
 - Denotes window (indicative glassline)
 - Denotes security gate
 - Denotes door
 - Roller door shutter
 - Denotes urinal
 - Denotes floor to ceiling height
 - Cement rendered/brick wall
 - Denotes partition wall
 - FHR Denotes fire hose reel
 - Denotes line of level above
 - Denotes handrail
 - Denotes security fence



No.	DATE	REVISION DETAILS

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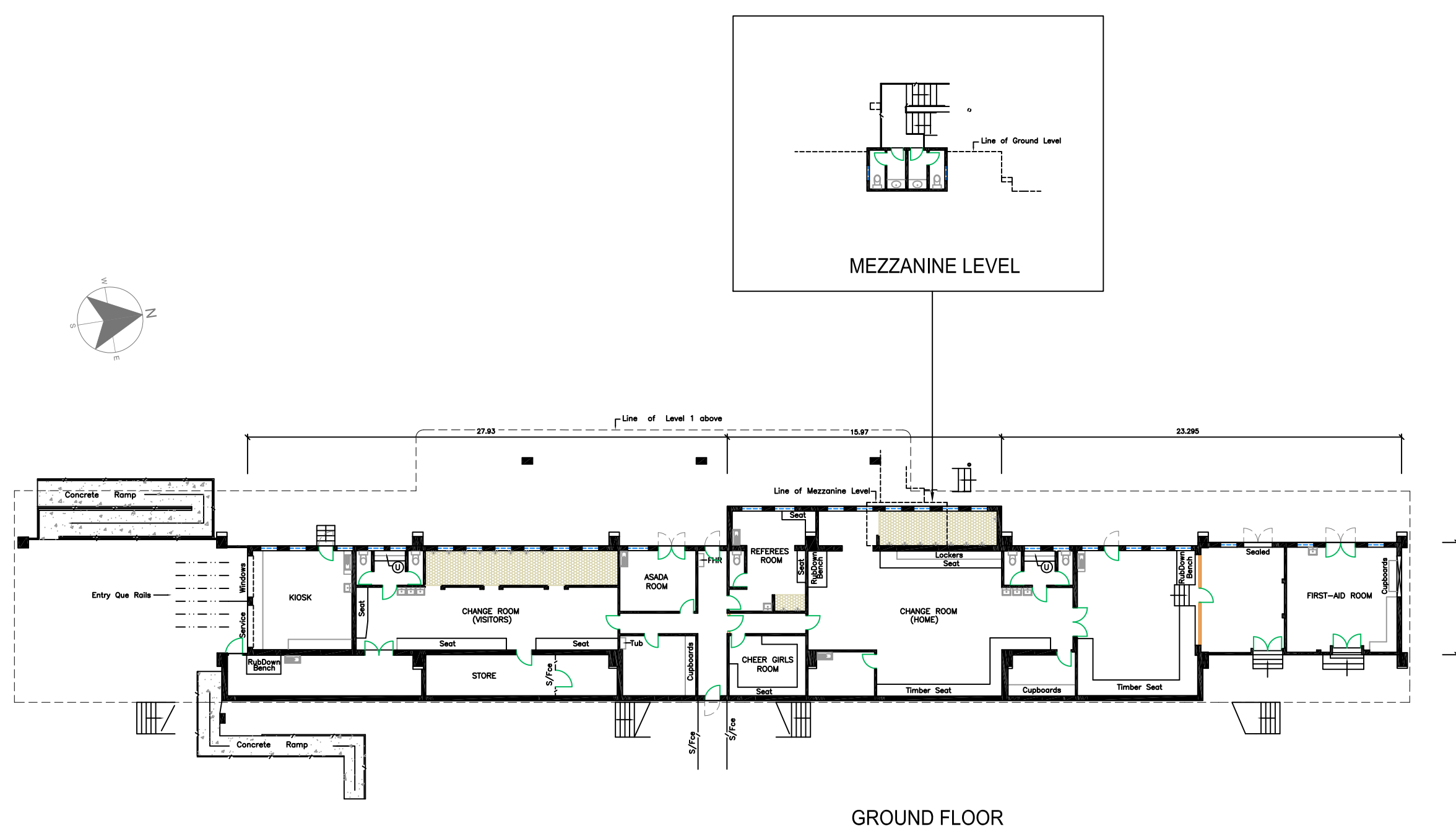
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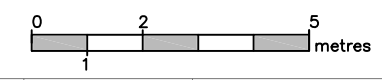
**GROUND & MEZZANINE FLOOR PLAN -
ASSET No. BUI00149
'BROOKVALE OVAL -
JANE TRY STAND'
Pittwater Road, Brookvale**

ORIGINAL SIZE:	A2	
SCALE	Hor: 1:200	VERT: -
CO-ORDS:	MGA(approx)	DATUM: -
DATE OF SURVEY	June 09	DATE OF PLAN: 8.07.09
SURVEY	DJT	DRAWN JN
CHECKED:	DJT	DATE 10.07.09
APPROVED:		DATE
JOB REF:	F708TBa	
CAD REF:	BUI00149_survey.dwg	SHEET 1 OF 2 SHEETS



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- NOTES:**
- MGA coordinates have been determined from LPI SIX viewer and are approximate only ($\pm 2m$)
- LEGEND:**
- Denotes window (indicative glassline)
 - Denotes electrical wall mounted box
 - Denotes door
 - Cement rendered/brick wall
 - Denotes partition wall
 - Denotes cupboard under bench
 - Denotes line of awning
 - Denotes handrail



No.	DATE	REVISION DETAILS

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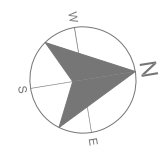
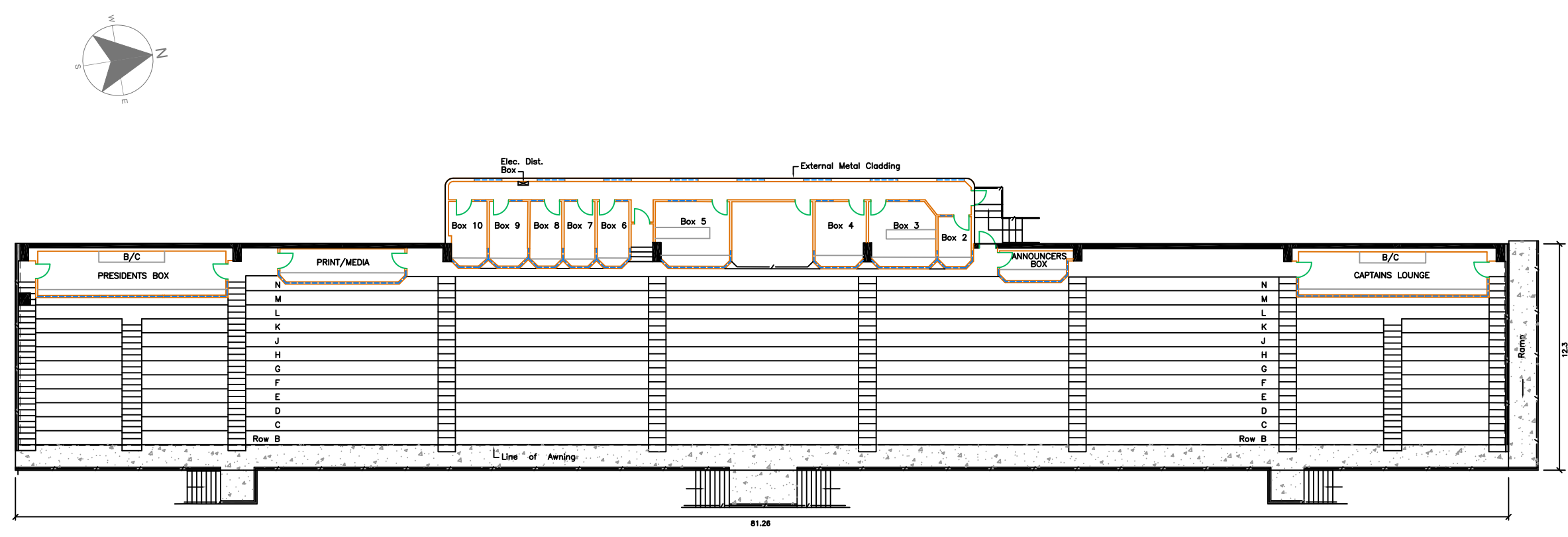
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PREPARED FOR:

Warringah Council

**FIRST FLOOR PLAN -
 ASSET No. BUI00149
 'BROOKVALE OVAL -
 JANE TRY STAND'
 Pittwater Road, Brookvale**

ORIGINAL SIZE:	A2	
SCALE	HOR: 1:200	VERT: -
CO-ORDS:	MGA(approx)	DATUM: -
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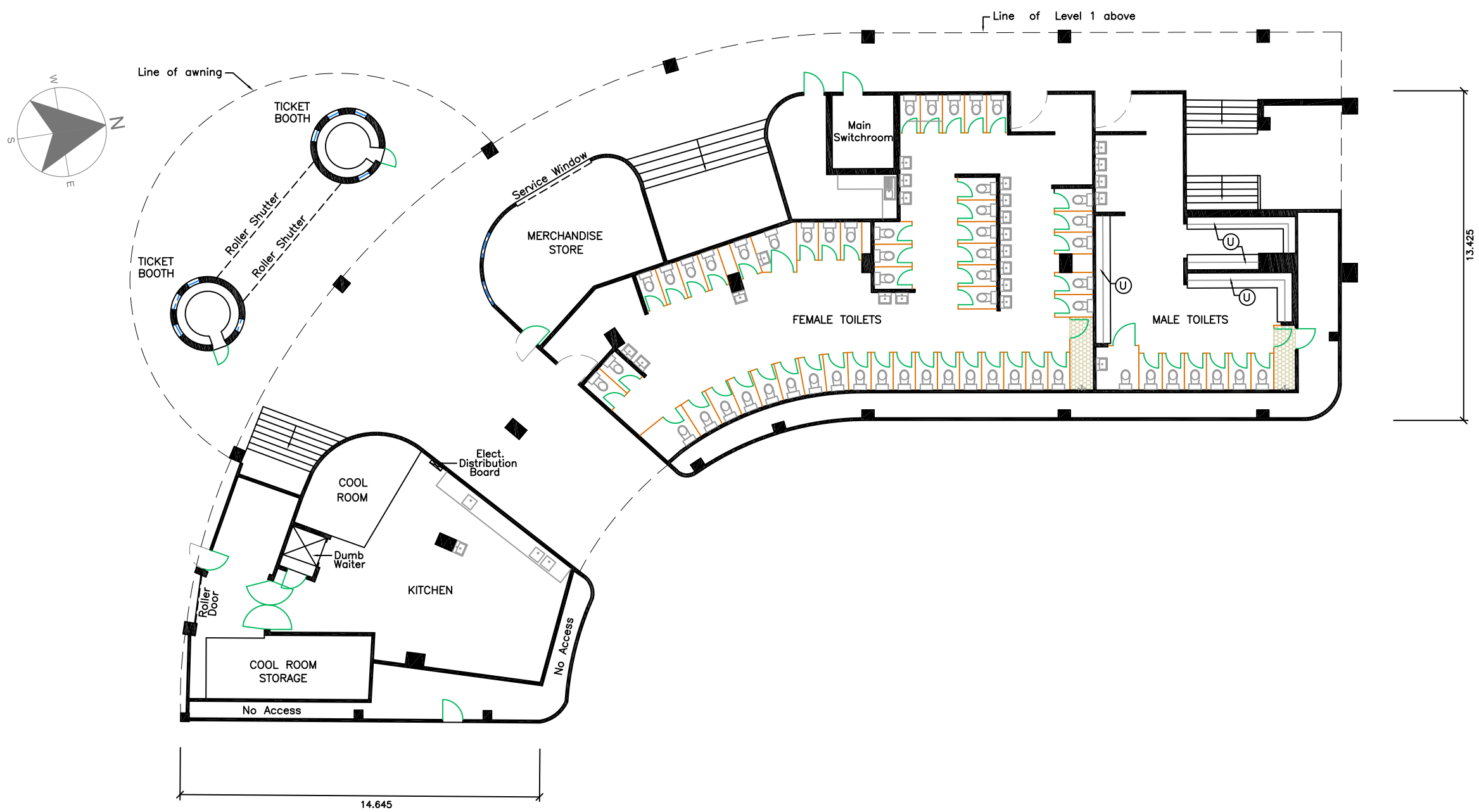
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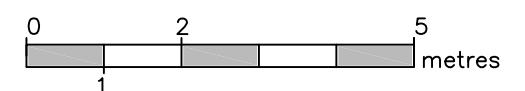
NORTH
TYRE & ME
9905

BUI00148 - Brookvale Oval - Ken Arthurson Link Stand



NOTES:
MGA coordinates have been determined from LPI SIX viewer and are approximate only ($\pm 2m$)

- LEGEND:**
- Denotes shower rose
 - Denotes shower recess
 - Denotes window (indicative glassline)
 - Denotes metal security gate
 - Denotes door
 - Denotes roller door
 - Denotes roller shutter
 - Denotes urinal
 - Denotes cement rendered/brick wall
 - Denotes partition wall
 - Denotes line of level above



No.	DATE	REVISION DETAILS

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PREPARED FOR:

Warringah Council

**GROUND FLOOR PLAN -
ASSET No. BUI00148
'BROOKVALE OVAL -
KEN ARTHURSON LINK STAND'
Pittwater Road, Brookvale**

ORIGINAL SIZE:	A3	
SCALE	HOR: 1:200	VERT: -
CO-ORDS:	-	DATUM: MGA(approx)
DATE OF SURVEY	July 2009	DATE OF PLAN: 20.07.09
SURVEY	DJT	DRAWN JN
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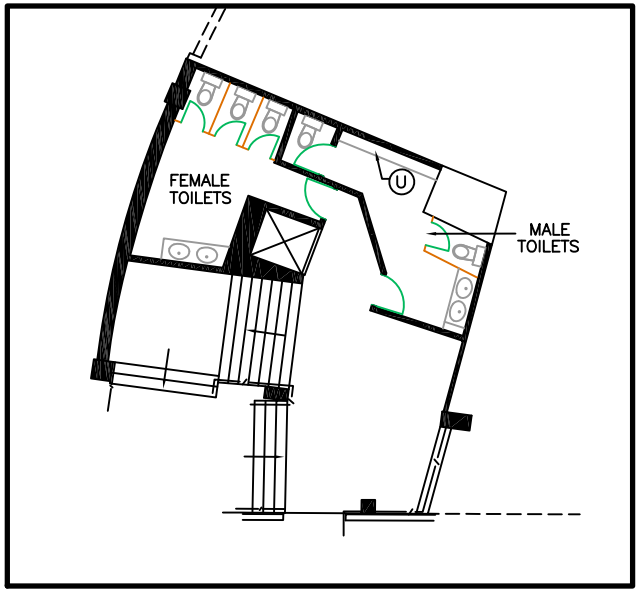
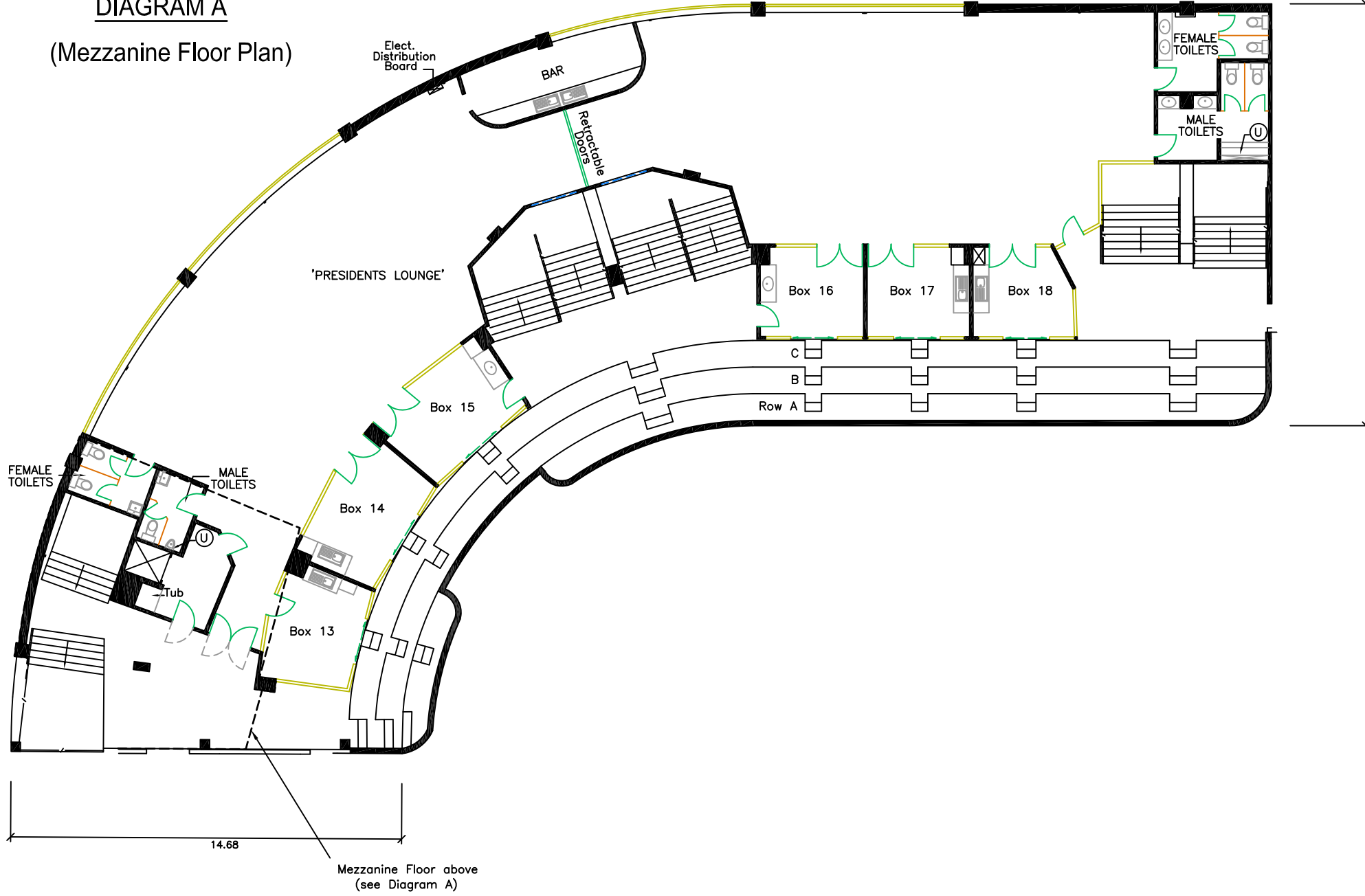
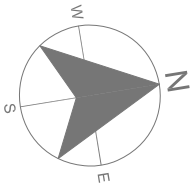
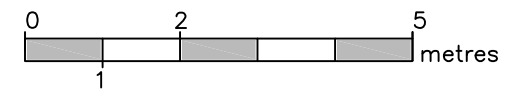


DIAGRAM A
(Mezzanine Floor Plan)



- NOTES:**
MGA coordinates have been determined from LPI SIX viewer and are approximate only ($\pm 2m$)
- LEGEND:**
- Denotes window (indicative glassline)
 - Denotes metal security gate
 - Denotes door
 - Denotes urinal
 - Cement rendered/brick wall
 - Denotes partition wall
 - Denotes frame (glass/metal mullion)
 - Denotes sliding door
 - Denotes level above
 - Denotes line of mezzanine level
 - Denotes handrail



No.	DATE	REVISION DETAILS

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PREPARED FOR:



LEVEL ONE & MEZZANINE FLOOR PLAN -
ASSET No. BUI00148
'BROOKVALE OVAL -
KEN ARTHURSON LINK STAND'
Pittwater Road, Brookvale

ORIGINAL SIZE:	A3	
SCALE	HOR: 1:200	VERT: -
CO-ORDS:	-	DATUM: MGA(approx)
DATE OF SURVEY	July 2009	DATE OF PLAN: 20.07.09
SURVEY	DJT	DRAWN JN
CHECKED:	DJT	DATE 20.07.09
APPROVED:		DATE
JOB REF:	F708TBa	
CAD REF:	BUI00148_survey.dwg	SHEET 2 OF 3 SHEETS

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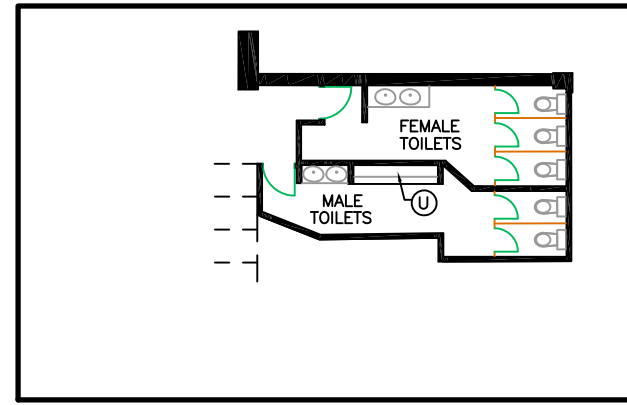
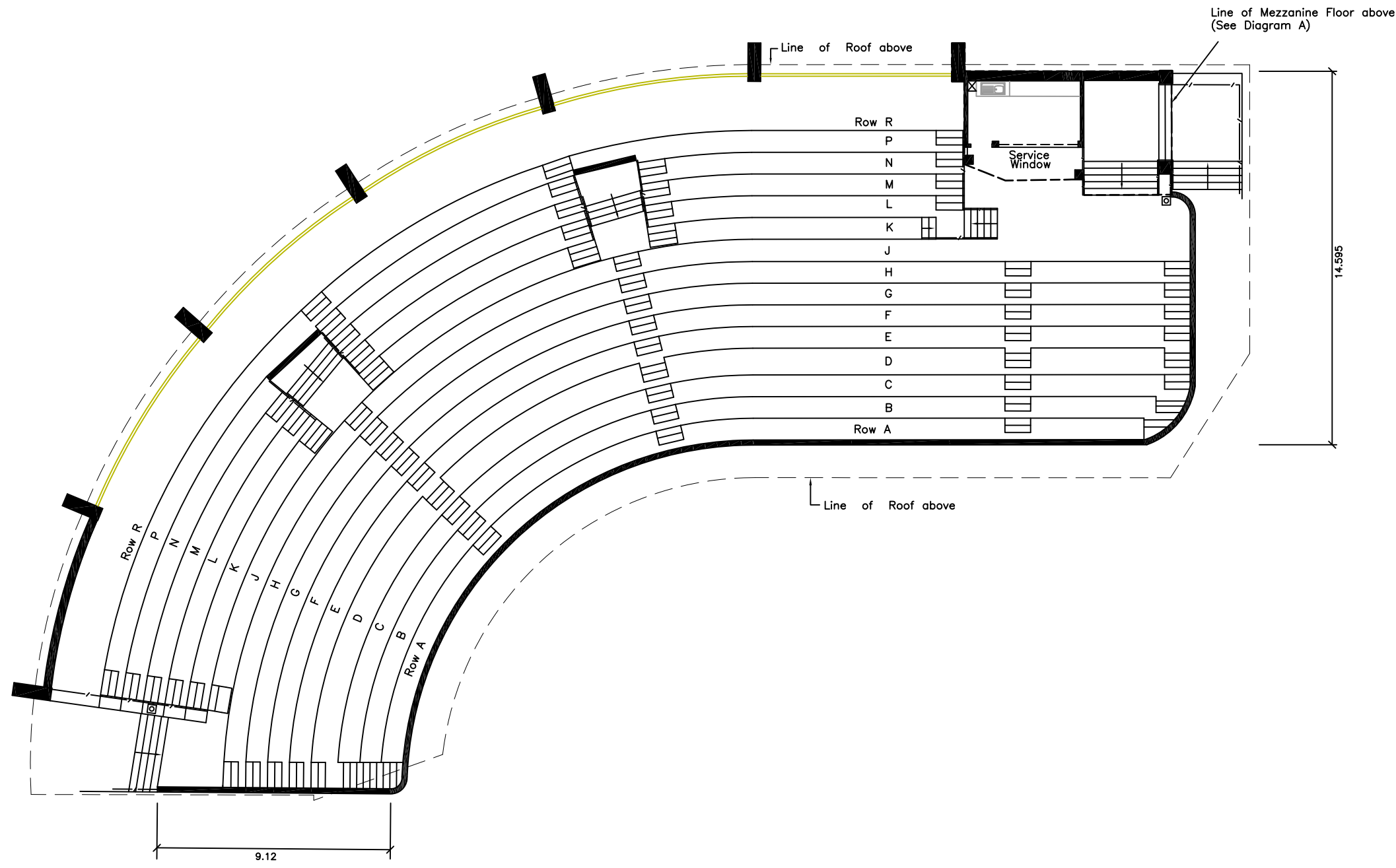
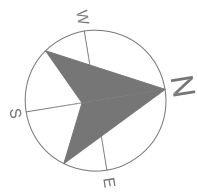
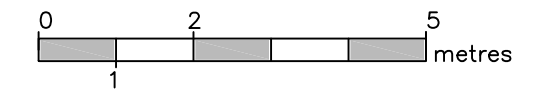


DIAGRAM A
(Mezzanine Floor Plan)

- NOTES:**
MGA coordinates have been determined from LPI SIX viewer and are approximate only ($\pm 2m$)
- LEGEND:**
- Denotes door
 - Denotes roller shutter
 - Denotes urinal
 - Cement rendered/brick wall
 - Denotes partition wall
 - Denotes window mullion
 - Denotes line of roof
 - Denotes line of mezzanine level
 - Denotes handrail



No.	DATE	REVISION	DETAILS

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PREPARED FOR:

Warringah Council

LEVEL TWO & MEZZANINE FLOOR PLAN - ASSET No. BUI00148
'BROOKVALE OVAL - KEN ARTHURSON LINK STAND'
Pittwater Road, Brookvale

ORIGINAL SIZE:	A3	
SCALE	HOR: 1:200	VERT: -
CO-ORDS:	-	DATUM: MGA(approx)
DATE OF SURVEY	July 2009	DATE OF PLAN: 20.07.09
SURVEY	DJT	DRAWN: JN
CHECKED:	DJT	DATE: 20.07.09
APPROVED:		DATE:
JOB REF:	F708TBa	
CAD REF:	BUI00148_survey.dwg	SHEET 3 OF 3 SHEETS

GOVERNMENT ARCHITECT'S OFFICE – STRUCTURAL REPAIRS COST ESTIMATES

**ORDER OF COST ESTIMATE
PRELIMINARY BUDGET STAGE**

**BROOKVALE OVAL STAGE 3
GRANDSTANDS RECTIFICATION WORKS**

PITTWATER ROAD

BROOKVALE

Apr-09

Issue	
Preliminary	27/04/2009
Rev 1	28/04/2009
Rev 2	29/04/2009

Q.S. Services

Cost Consultants & Quantity Surveyors
Government Architect's Office
Office of Government Business



*Level 19 West, McKell Building
2-24 Rawson Place
SYDNEY, N.S.W. 2000*

Authorised for κ Danny Yew

Date 29-Apr-09

SUMMARY

<u>ITEM</u>	<u>DESCRIPTION</u>	<u>QUANTITY</u>	<u>UNIT</u>	<u>RATE</u>	<u>TOTAL</u>
1	<i>Grandstands Rectification</i>				
2	<i>WESTERN STAND - JANE TRY STAND</i>				
3	<i>Rectification Works - Option 1</i>				984,000.00
4	<i>Rectification Works - Option 2</i>				1,043,000.00
5	<i>SOUTHERN STAND - FULTON-MENZIES STAND</i>				
6	<i>Rectification Works</i>				110,000.00
7	<i>LINK STAND - KEN ARTHURSON STAND</i>				
8	<i>Rectification Works</i>				390,000.00
9	<i>Exclusions:</i>				
10	<i>Planning Contingency</i>				
11	<i>Design Contingency</i>				
12	<i>Client Contingency</i>				
13	<i>Contract Contingency</i>				
14	<i>Professional Fees & DoC Fees</i>				
15	<i>Escalation beyond April 2009</i>				

<u>ITEM</u>	<u>DESCRIPTION</u>	<u>QUANTITY</u>	<u>UNIT</u>	<u>RATE</u>	<u>TOTAL</u>
	RECTIFICATION WORKS - OPTION 1				984,000.00
1	Concrete Spalling				42,100.00
1.1	Repair concrete spalling	100	No	140.00	14,000.00
1.2	Repair cracks in concrete	7	No	300.00	2,100.00
1.3	Remove mould, clean and prepare concrete columns and beams surface	400	m2	15.00	6,000.00
1.4	Paint (concrete coating) concrete columns and beams	400	m2	50.00	20,000.00
2	Roof Replacement				211,377.27
2.1	Remove existing roof sheeting	915	m2	10.00	9,150.00
2.2	Remove existing steel purlins	1	Item	12,000.00	12,000.00
2.3	Remove all existing guttering	44	m	23.00	1,012.00
2.4	Remove all existing downpipes	91	m	17.00	1,547.00
2.5	Remove existing front fascia	81	m	9.83	796.23
2.6	Remove miscellaneous items from roof, store for later re-install	1	Item	5,000.00	5,000.00
2.7	New metal colorbond klip-lok hi-strength (Ultra) roof sheeting fixed to purlins	915	m2	90.00	82,350.00
2.8	Off site sand blast and hot-dipped galvanised steel purlins - including sundries supply	25	t	2,500.00	62,500.00
2.9	Re-install steel purlins (assumed re-used existing cleats)	854	m	15.26	13,032.04
2.10	Allow for transportation for steel purlins	1	Item	4,000.00	4,000.00
2.11	New 160 x 100 zincalume steel guttering	44	m	70.00	3,080.00
2.12	New 100 x 125 zincalume steel colour coated downpipes	91	m	70.00	6,370.00
2.13	New Z200-15 downturn lip front fascia	81	m	20.00	1,620.00
2.14	Barge Capping	23	m	40.00	920.00
2.15	Reinstall miscellaneous items to roof	1	Item	8,000.00	8,000.00
3	Miscellaneous				556,460.00
3.1	Mechanically remove all sealant from existing expansion joints and clean surface thoroughly	38	m	20.00	760.00
3.2	Prepare and place polyurethane "Sikaflex" joint sealant to existing expansion joints	38	m	50.00	1,900.00
3.3	Provision of access for camera crews to roof (utilising existing ladder)	1	Item	45,000.00	45,000.00
3.4	Provision for solar panel - 50% roof area	458	m2	1,100.00	503,800.00
3.5	Provision of one 15,000 litre above ground tank including connections to downpipe for rainwater collection and reuse in adjacent public amenities	1	Item	5,000.00	5,000.00
3.6	Valves, pumps, pipework and overflows, electrical installation and level controls to rainwater tank are excluded		Excl		
4	Preliminaries				174,062.73
4.1	Allow for crane hire & cherry picker hire for roof work	1	Item	80,000.00	80,000.00
4.2	Allow for preliminaries for other works	1	Item	94,062.73	94,062.73
5	Exclusions:				
5.1	Planning Contingency				
5.2	Design Contingency				
5.3	Client Contingency				
5.4	Contract Contingency				
5.5	Professional Fees & DoC Fees				
5.6	Escalation beyond April 2009				

<u>ITEM</u>	<u>DESCRIPTION</u>	<u>QUANTITY</u>	<u>UNIT</u>	<u>RATE</u>	<u>TOTAL</u>
	RECTIFICATION WORKS - OPTION 2				1,043,000.00
1	Concrete Spalling				42,100.00
1.1	Repair concrete spalling	100	No	140.00	14,000.00
1.2	Repair cracks in concrete	7	No	300.00	2,100.00
1.3	Remove mould, clean and prepare concrete columns and beams surface	400	m2	15.00	6,000.00
1.4	Paint (concrete coating) concrete columns and beams	400	m2	50.00	20,000.00
2	Roof Replacement				268,877.45
2.1	Remove existing roof sheeting	915	m2	10.00	9,150.00
2.2	Remove existing steel purlins	1	Item	12,000.00	12,000.00
2.3	Remove all existing guttering	44	m	23.00	1,012.00
2.4	Remove all existing downpipes	91	m	17.00	1,547.00
2.5	Remove existing front fascia	81	m	9.83	796.23
2.6	Remove miscellaneous items from roof, store for later re-install	1	Item	5,000.00	5,000.00
2.7	New metal colorbond klip-lok hi-strength (Ultra) roof sheeting fixed to purlins	915	m2	90.00	82,350.18
2.8	New 200 x 100 x 6 RHS hot-dipped galvanised steel purlins - supply only including sundries	25	t	4,800.00	120,000.00
2.9	Install new steel purlins (assumed re-used existing cleats)	854	m	15.26	13,032.04
2.10	Allow for transportation for steel purlins	1	Item	4,000.00	4,000.00
2.11	New 160 x 100 zincalume steel guttering	44	m	70.00	3,080.00
2.12	New 100 x 125 zincalume steel colour coated downpipes	91	m	70.00	6,370.00
2.13	New Z200-15 downturn lip front fascia	81	m	20.00	1,620.00
2.14	Barge Capping	23	m	40.00	920.00
2.15	Reinstall miscellaneous items to roof	1	Item	8,000.00	8,000.00
3	Miscellaneous				556,460.00
3.1	Mechanically remove all sealant from existing expansion joints and clean surface thoroughly	38	m	20.00	760.00
3.2	Prepare and place polyurethane "Sikaflex" joint sealant to existing expansion joints	38	m	50.00	1,900.00
3.3	Provision of access for camera crews to roof (utilising existing ladder)	1	Item	45,000.00	45,000.00
3.4	Provision for solar panel - 50% roof area	458	m2	1,100.00	503,800.00
3.5	Provision of one 15,000 litre above ground tank including connections to downpipe for rainwater collection and reuse in adjacent public amenities	1	Item	5,000.00	5,000.00
3.6	Valves, pumps, pipework and overflows, electrical installation and level controls to rainwater tank are excluded		Excl		
4	Preliminaries				175,562.55
4.1	Allow for crane hire & cherry picker hire for roof work	1	Item	80,000.00	80,000.00
4.2	Allow for preliminaries for other works	1	Item	95,562.55	95,562.55
5	Exclusions:				
5.1	Planning Contingency				
5.2	Design Contingency				
5.3	Client Contingency				
5.4	Contract Contingency				
5.5	Professional Fees & DoC Fees				
5.6	Escalation beyond April 2009				

SOUTHERN STAND - FULTON-MENZIES STAND
RECTIFICATION WORKS

<u>ITEM</u>	<u>DESCRIPTION</u>	<u>QUANTITY</u>	<u>UNIT</u>	<u>RATE</u>	<u>TOTAL</u>
	RECTIFICATION WORKS				110,000.00
1	Concrete Spalling				30,120.00
1.1	Repair concrete spalling	8	No	140.00	1,120.00
1.2	Inspect and address spalling and cracking at existing joints between stand and staircases	1	Item	3,000.00	3,000.00
1.3	Remove mould, clean and prepare concrete columns and beams surface	400	m2	15.00	6,000.00
1.4	Paint (concrete coating) concrete columns and beams	400	m2	50.00	20,000.00
2	Roof Rectification Works				25,591.23
2.1	Remove all existing guttering	78	m	23.00	1,794.00
2.2	Remove all existing downpipes	183	m	17.00	3,111.00
2.3	Remove existing front fascia	81	m	9.83	796.23
2.4	Remove rust, clean and prepare existing purlins	1	Item	.00	.00
2.5	Re-paint with 2 coat system paint in matching colour to existing purlins	776	m	.00	.00
2.6	New 160 x 100 zincalume steel guttering	78	m	70.00	5,460.00
2.7	New 100 x 125 zincalume steel colour coated downpipes	183	m	70.00	12,810.00
2.8	New Z200-15 downturn lip front fascia	81	m	20.00	1,620.00
3	Miscellaneous				17,660.00
3.1	Mechanically remove all sealant from existing expansion joints and clean surface thoroughly	38	m	20.00	760.00
3.2	Prepare and place polyurethane "Sikaflex" joint sealant to existing expansion joints	38	m	50.00	1,900.00
3.3	Strengthening existing beam and column junction underneath stair landing	1	Item	10,000.00	10,000.00
3.4	Provision of one 15,000 litre above ground tank including connections to downpipe for rainwater collection and reuse in adjacent public amenities	1	Item	5,000.00	5,000.00
3.5	Valves, pumps, pipework and overflows, electrical installation and level controls to rainwater tank are excluded		Excl		
4	Preliminaries				36,628.77
4.1	Allow for scaffolding	1	Item	20,000.00	20,000.00
4.2	Allow for preliminaries	1	Item	16,628.77	16,628.77
5	Exclusions:				
5.1	Planning Contingency				
5.2	Design Contingency				
5.3	Client Contingency				
5.4	Contract Contingency				
5.5	Professional Fees & DoC Fees				
5.6	Escalation beyond April 2009				

LINK STAND - KEN ARTHURSON STAND
RECTIFICATION WORKS

<u>ITEM</u>	<u>DESCRIPTION</u>	<u>QUANTITY</u>	<u>UNIT</u>	<u>RATE</u>	<u>TOTAL</u>
	RECTIFICATION WORKS				390,000.00
1	Concrete Spalling & Movement Joints				6,800.00
1.1	Repair concrete spalling and cracking at soffit of stair	1	No	500.00	500.00
1.2	Repair spalling and cracking at existing junctions between beams and staircases	1	Item	3,500.00	3,500.00
1.3	Mechanically remove all sealant from existing movement joints and clean surface thoroughly (Photos 27 to 29 only - assumed 1 stair only)	40	m	20.00	800.00
1.4	Prepare and place polyurethane "Sikaflex" joint sealant to existing movement joints (Photos 27 to 29 only - assumed 1 stair only)	40	m	50.00	2,000.00
2	Roof Rectification Works				206,875.50
2.1	Remove existing angled sheeting sections - Assumed works documented on drawing S05 details B to E	1	Item	10,000.00	10,000.00
2.2	Remove existing front fascia	51	m	40.50	2,065.50
2.3	Remove rust, clean and prepare existing purlins	1	Item	38,000.00	38,000.00
2.4	Re-paint with 2 coat system paint in matching colour to existing purlins	1,175	m	26.00	30,550.00
2.5	Cap off all existing purlin ends	620	no	20.00	12,400.00
2.6	Remove and replace existing front 2 or 3 purlins, if necessary - Excluded, assume not required. Rust treatment & paint to these purlins have been included elsewhere		Excl		
2.7	Provisional allowance for non design and non documented rectification at connections of Link roof steel beams to adjacent concrete beams of West & South Stands	1	Item	60,000.00	60,000.00
2.8	Remove rust, clean and prepare existing steel beams	1	Item	8,000.00	8,000.00
2.9	Re-paint with 2 coat system paint in matching colour to existing steel beams	127	m	80.00	10,160.00
2.10	New composite galvanised steel front fascia	51	m	700.00	35,700.00
3	Preliminaries				176,324.50
3.1	Allow for scaffolding for roof purlins work	1	Item	115,000.00	115,000.00
3.2	Allow for preliminaries for other works	1	Item	61,324.50	61,324.50
4	Exclusions:				
4.1	Planning Contingency				
4.2	Design Contingency				
4.3	Client Contingency				
4.4	Contract Contingency				
4.5	Professional Fees & DoC Fees				
4.6	Escalation beyond April 2009				

DISCLAIMER

Disclaimer

Building Inspection

This building condition assessment has been based on a non-invasive visual inspection which has been limited to those accessible areas and sections of the buildings to which safe and reasonable access is both available and permitted on the date and time of the inspection.

This report is not a certificate of compliance that the building complies with the requirements of any Act, regulation, ordinance, local law or by-law, or as a warranty or an insurance policy against problems developing with the building in the future.

Structural inspection comprises a visual assessment of accessible areas of the building to identify major defects to the building structure and to form an opinion regarding its' general condition. The structural inspection in no way guarantees the structural integrity of the building that may require further detailed structural investigation which is beyond the scope of this report.

Cost Estimates

The cost estimates are based on Dennis Hunt & Associates' experience and judgment as a firm of practicing professional engineers familiar with the construction industry (and is only accurate to within + or - 30%).

The cost estimates are preliminary estimates suitable for budget purposes only and cannot be guaranteed as we have no control over contractor's prices, market forces and competitive bids from tenderers.

A more accurate price for tender evaluation purposes may be obtained by engaging a Quantity Surveyor to prepare cost estimates based on detailed documentation.

The base cost estimates excludes design fees, project management fees, builder's margin, preliminaries and authority approval fees and allowances for GST and CPI. A contingency allowance is also recommended to cover latent conditions.

Appendix 2

Davis Langdon Report

BROOKVALE OVAL

Replacement Cost Assessment | 19 May 2010



Project Contacts	
Client:	Warringah Council
Cost Manager:	Davis Langdon
Sector:	Arts & Leisure (Sports & Rec, Cultural)

CONTENTS

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DL Quality System					
Job Number/Ref:	27353	Revision Number:	0	Issue Date:	19-May-10
Checked By:	AD	Controlled Doc No:		Author:	TM
Distribution:					

Revision History				
Rev No	Date	Revision Details	Author	Verifier
0	19/05/2010	Replacement Cost Assessment	TM	AD

1. EXECUTIVE SUMMARY

This Building Replacement Cost Assessment Report has been prepared by Davis Langdon for the replacement of Brookvale Oval as requested by Warringah Council.

The estimated total replacement cost is \$26,000,000. This is the minimum value for which the buildings should be insured.

2. BASIS OF VALUATION

This estimate is based on the assumption that the building(s) replaced will be of the same scope, design and construction, using similar materials to those currently observed on site.

Where details have not been provided, rates derived from the analysis of similar projects have been applied. Current day rates have been used to price these quantities with separate allowances made for Preliminaries Contingencies, Professional fees and Cost Escalation.

The estimate has been compiled by using the functional floor areas supplied (where relevant).

For the basis of this estimate, we have assumed an insurance claim at the end of the year's insurance period and have allowed for the likely inflation to that time as well as likely inflation during construction.

3. SPECIFIC INCLUSIONS

The following items and allowances have been included in the Estimate:

- External works and services including car parking hardstanding areas, kerbs, etc
- Professional fees
- Contingency
- Escalation from date of destruction to end of reconstruction period.

4. SPECIFIC EXCLUSIONS

No allowance has been made in this estimate for the following items:

- Kitchen and bar equipment Loose fixtures, fittings and equipments
- Integrated artwork, attached artwork and loose artwork.
- Work outside the boundary, including damage to adjoining properties
- Work at overtime rates or costs due to accelerated programmes
- Major design departure from existing layout (larger building areas etc)
- Construction finance cost
- Legal fees
- Land cost
- Costs beyond period stated
- Loss of income during period of reconstruction
- Relocation and temporary location cost
- GST

5. TIME

Project Stage	Time [Months]
Time to Commencement (from disaster to demolition)	6
Demolition, Design and Documentation Period	14
Reconstruction period	17
Total Period Until Replacement	37

6. ESCALATION [COST INFLATION]

Project Stage	Change PA [%]
During Insurance Period	2.5%
During Demolition, Design and Documentation	4.5%
During Reconstruction	5%

7. INSURANCE PERIOD

The insurance period for which our calculations apply is from:

1 July 2010 until 30 June 2011

8. GROSS FLOOR AREA [GFA]

Replacement of Brookvale Oval

The following is the Gross Floor Area calculation for the project:

Description	GFA [m ²]
Amenities Block (North West)	37
Amenities Block (North East)	99
Amenities Block (South East)	91
Southern Grandstand	2,530
Jane Try Standard	2,879
Ken Arthurson Link stand	2,492
Total Gross Floor Area [GFA]	8,127

9. RECOMMENDATION

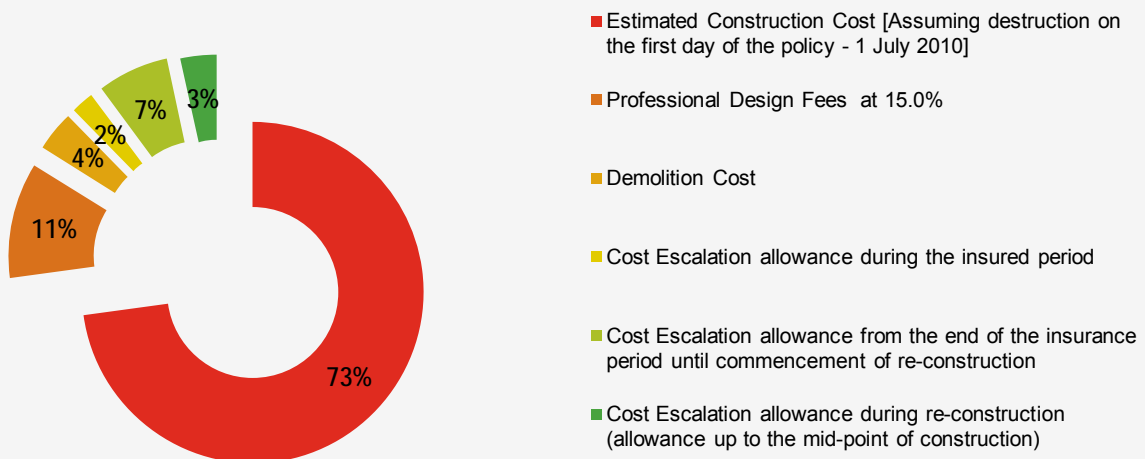
We recommend that these estimates be updated on an annual basis, prior to renewing the insurance policy, in order to maintain pace with construction industry market rate trends.

10. REPLACEMENT COST ASSESSMENT

Replacement Cost Assessment as at 19 May 2010. Covering the insurance period of 1 July 2010 until 30 June 2011

Description	Average Rate [\$/m ²]	Total Cost [\$]
Estimated Construction Cost [Assuming destruction on the first day of the policy - 1 July 2010]	2,294	18,641,914
Professional Design Fees at 15.0%		2,796,287
Demolition Cost		975,295
Cost Escalation allowance during the insured period		560,337
Cost Escalation allowance from the end of the insurance period until commencement of re-construction		1,723,038
Cost Escalation allowance during re-construction (allowance up to the mid-point of construction)		874,681
Total Replacement Cost at last day of the Policy		25,571,552
RECOMMENDED MINIMUM INSURANCE COVER		26,000,000

Replacement Cost Assessment Split



Appendix A

Reconstruction Cost Estimate

BROOKVALE OVAL

FUNCTIONAL AREA

Total Amt

Building	Location		m2	Cost /m2	Total Amt
Amenities Block (North West)	G/F	Toilet Area	37	2,440.00	90,802.40
Amenities Block (North East)	G/F	Toilet Area	87	2,440.00	213,109.60
Amenities Block (North East)	G/F	Access	12	700.00	8,302.00
		Subtotal for Amenities Block (North East)	99	2,232	221,411.60
Amenities Block (South East)	G/F	Toilet Area	91	2,440.00	221,368.02
Southern Grandstand	G/F	Toilet Area	117	2,240.00	261,233.28
Southern Grandstand	G/F	Kitchen	30	2,405.00	72,925.37
Southern Grandstand	G/F	Cool room	10	2,405.00	24,050.00
Southern Grandstand	1/F	Access	166	700.00	116,459.00
Southern Grandstand	1/F	Access	102	700.00	71,617.00
Southern Grandstand	1/F	Box seat	304	2,405.00	730,975.70
Southern Grandstand	1/F	Tiered concrete grandstand	1,800	925.00	1,665,000.00
		Subtotal for Southern Grandstand	2,530	1,163	2,942,260.35
Jane Try Standard	G/F	First aid	44	1,800.00	78,636.96
Jane Try Standard	G/F	Media room	32	1,800.00	57,329.64
Jane Try Standard	G/F	Home	232	2,240.00	519,859.20
Jane Try Standard	G/F	Referee	30	2,240.00	67,020.80
Jane Try Standard	G/F	Cheer girl room	17	2,240.00	39,065.60
Jane Try Standard	G/F	ASADA room	18	2,200.00	38,720.00
Jane Try Standard	G/F	Change room	18	2,240.00	39,424.00
Jane Try Standard	G/F	Visitor include store	128	2,240.00	286,227.20
Jane Try Standard	G/F	Store behind kiosk	32	1,000.00	32,020.00
Jane Try Standard	G/F	Kiosk	40	1,200.00	47,784.00
Jane Try Standard	G/F	Internal access	29	700.00	20,223.00
Jane Try Standard	G/F	Concrete ramp	29	700.00	20,223.00
Jane Try Standard	G/F	Concrete ramp to platform	36	700.00	24,969.00
Jane Try Standard	G/F	Toilet -Mezzanine floor	12	2,240.00	26,476.80
Jane Try Standard	1/F	President box	31	2,405.00	75,589.15
Jane Try Standard	1/F	Print / Media	14	2,000.00	27,520.00
Jane Try Standard	1/F	Box 2 -10	136	2,405.00	327,031.90
Jane Try Standard	1/F	Announcers box	8	2,000.00	16,600.00
Jane Try Standard	1/F	Captains Lounge	31	2,405.00	74,434.75
Jane Try Standard	1/F	Access	156	700.00	108,885.00
Jane Try Standard	1/F	Access	8	700.00	5,460.00
Jane Try Standard	1/F	Tiered concrete grandstand	1,800	925.00	1,665,000.00
		Subtotal for Jane Try Standard	2,879	1,250	3,598,500.00
Ken Arthurson Link stand	G/F	Toilet	267	2,240.00	598,460.80
Ken Arthurson Link stand	G/F	Service - Duct	42	500.00	20,820.00
Ken Arthurson Link stand	G/F	Main switch room	10	1,000.00	9,780.00
Ken Arthurson Link stand	G/F	??? Staff room	16	1,200.00	19,476.00
Ken Arthurson Link stand	G/F	Merchandise store	34	1,000.00	34,450.00
Ken Arthurson Link stand	G/F	Cool room 1	15	3,000.00	44,580.00
Ken Arthurson Link stand	G/F	Cool room 2	18	3,000.00	53,580.00
Ken Arthurson Link stand	G/F	Kitchen air lock	20	1,000.00	20,000.00
Ken Arthurson Link stand	G/F	Kitchen	69	2,405.00	166,401.95
Ken Arthurson Link stand	G/F	Service - Duct	26	500.00	13,215.00
Ken Arthurson Link stand	G/F	Coverable access area	271	1,000.00	271,220.00
Ken Arthurson Link stand	G/F	Ticket Booths , Roller shutter a	119	1,200.00	142,752.00
Ken Arthurson Link stand	L1	Access area - Mezzanine Floor	44	700.00	31,045.00
Ken Arthurson Link stand	L1	Toilet -Mezzanine floor	29	2,240.00	66,012.80
Ken Arthurson Link stand	L1	Toilet - Level 1	13	2,240.00	28,896.00
Ken Arthurson Link stand	L1	Toilet - Level 1	24	2,240.00	54,566.40
Ken Arthurson Link stand	L1	Box 16-18	40	2,405.00	97,330.35
Ken Arthurson Link stand	L1	Box 13-15	52	2,405.00	125,396.70
Ken Arthurson Link stand	L1	President Lounge	339	2,405.00	814,525.40
Ken Arthurson Link stand	L1	Tiered concrete grandstand	123	925.00	113,747.25
Ken Arthurson Link stand	L1	Lift lobby area	8	1,500.00	12,000.00
Ken Arthurson Link stand	L1	Access area	197	700.00	138,054.00
Ken Arthurson Link stand	L2	Toilet -Mezzanine floor	31	2,240.00	69,440.00
Ken Arthurson Link stand	L2	Access area	81	700.00	56,735.00
Ken Arthurson Link stand	L2	Services room .. Lounge)	17	2,405.00	40,764.75
Ken Arthurson Link stand	L2	Tiered concrete grandstand	585	1,000.00	584,580.00
		Subtotal for Ken Arthurson Link stand	2,492	1,456	3,627,829.40
TOTAL - NETT BUILDING WORK (A)					10,702,171.78
SITE SPECIFICS			Item		
			1		200,000.00
			1		500,000.00
			1		30,000.00
			1		30,000.00
			1		180,000.00
			1		65,000.00
			1		50,000.00
			1		1,150,000.00
			1		135,000.00

BROOKVALE OVAL

FUNCTIONAL AREA

Total Amt

Building	Location	m2	Cost /m2	Total Amt
Temporary Security Fencing		1		17,500.00
New Car park and Access Roads (Excl Demo exist bldg)		1		100,000.00
New Entry canopy		1		70,000.00
Miscellaneous Footpaths and Landscaping (around stadium)		1		100,000.00
External Services (include elect, drainage , pump etc)		1		300,000.00
External Seats (Allow 5000 no of seats)		1		750,000.00
Grass paving to sport ground		1		130,000.00
Repair / Upgrade stadium lamp poles		1		100,000.00
TOTAL - SITE SPECIFICS (B)				3,907,500.00
TOTAL - NETT CONSTRUCTION COST - (A) + (B)				14,609,671.78
PRELIMINARIES - (C)		12%	14,609,671.78	1,753,160.61
MARGIN - (D)		4%	14,609,671.78	584,386.87
CONSTRUCTION COST (E) = A+B+C+D				16,947,219.26
CONTINGENCIES - Design		5%	16,947,219.26	847,360.96
CONTINGENCIES - Construction		5%	16,947,219.26	847,360.96
Subtotal for CONTINGENCIES (F)				1,694,721.93
DESIGN FEES - (G)		10%	16,947,219.26	1,694,721.93
TOTAL PROJECT COST = E + F+ G				20,336,663.12

Basis of Estimate

BUI00147_survey.dwg sheet 1 of 1 sheets dated 17.06.09
 BUI00164_survey.dwg sheet 1 of 1 sheets dated 17.06.09
 BUI00163_survey.dwg sheet 1 of 1 sheets dated 17.06.09
 BUI00152_survey.dwg sheet 1 of 2sheets dated 07.07.09
 BUI00152_survey.dwg sheet 2 of 2sheets dated 07.07.09
 BUI00149_survey.dwg sheet 1 of 2sheets dated 10.07.09
 BUI00149_survey.dwg sheet 2 of 2sheets dated 10.07.09
 BUI00148_survey.dwg sheet 1 of 3 sheets dated 20.07.09
 BUI00148_survey.dwg sheet 2 of 3 sheets dated 20.07.09
 BUI00148_survey.dwg sheet 3 of 3 sheets dated 20.07.09

Exclusions

- 1- GST
- 2- Contaminated ground
- 3- FFE
- 4- Major service relocations
- 5- Rock Excavation
- 6- Bar & Kitchen equipment

Our Offices

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	Canberra	+61 2 6257 4428
	Darwin	+61 8 8981 8020
	Hobart	+61 3 6234 8788
	Melbourne	+61 3 9933 8800
	Perth	+61 8 9221 8870
	Sunshine Coast	+61 7 5479 2005
	Sydney	+61 2 9956 8822
Townsville	+61 7 4721 2788	
New Zealand	Auckland	+64 9 379 9903
	Christchurch	+64 3 366 2669
	Wellington	+64 4 472 7505

Our Services

Project Services – Project Management, Cost Management, Building Surveying, Urban Planning, Specification Services

Assurance Services – Infrastructure Verification Services, Technical Due Diligence, Property Performance Reporting, Make Good Assessments

Certification Services – Third Party Certification to National and International Standards

Sustainability Services – Strategies for New and Existing Buildings

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