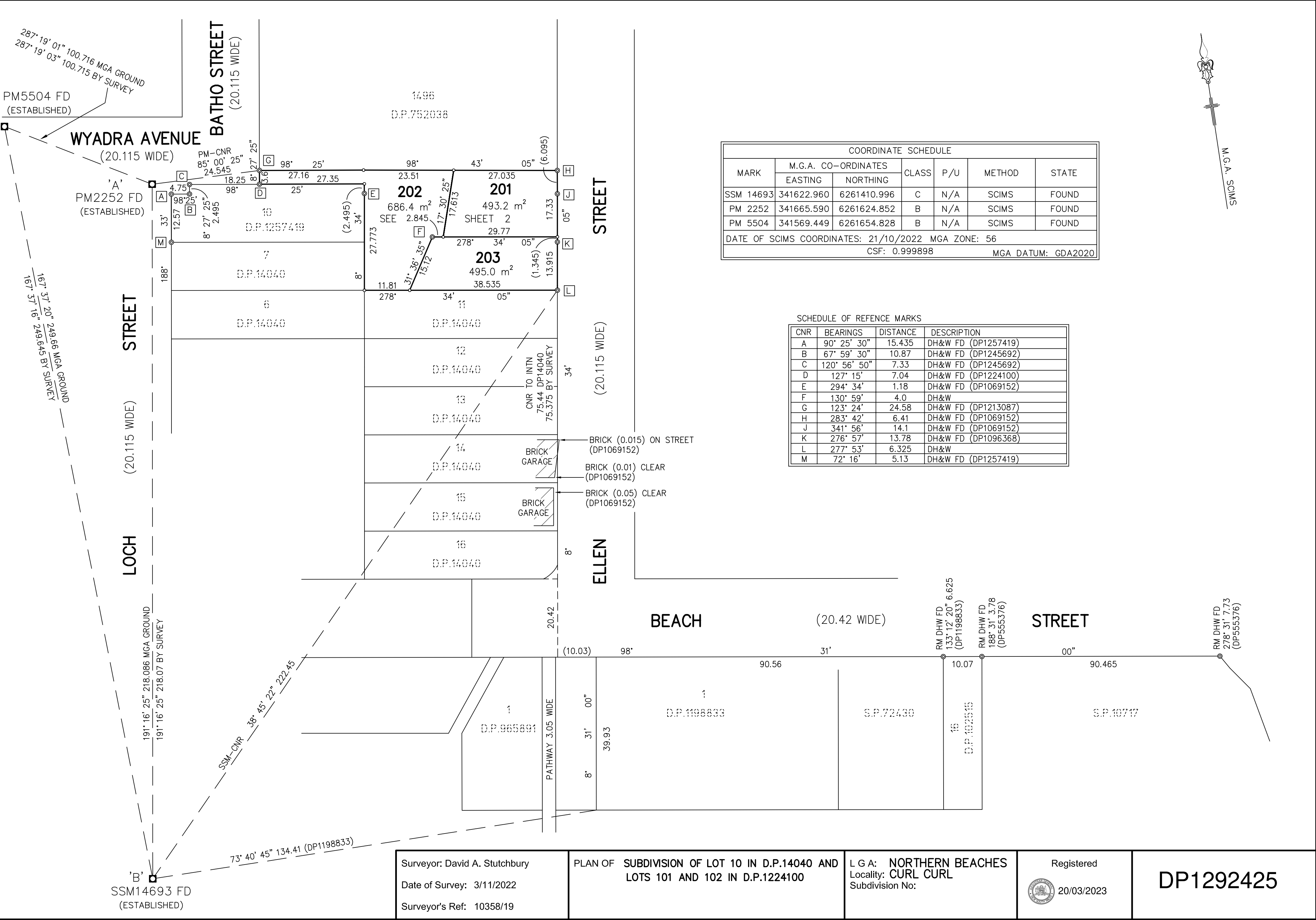




COORDINATE SCHEDULE						
MARK	M.G.A. CO-ORDINATES		CLASS	P/U	METHOD	STATE
	EASTING	NORTHING				
SSM 14693	341622.960	6261410.996	C	N/A	SCIMS	FOUND
PM 2252	341665.590	6261624.852	B	N/A	SCIMS	FOUND
PM 5504	341569.449	6261654.828	B	N/A	SCIMS	FOUND
DATE OF SCIMS COORDINATES: 21/10/2022 MGA ZONE: 56						
CSF: 0.999898 MGA DATUM: GDA2020						

SCHEDULE OF REFERENCE MARKS			
CNR	BEARINGS	DISTANCE	DESCRIPTION
A	90° 25' 30"	15.435	DH&W FD (DP1257419)
B	67° 59' 30"	10.87	DH&W FD (DP1245692)
C	120° 56' 50"	7.33	DH&W FD (DP1245692)
D	127° 15'	7.04	DH&W FD (DP1224100)
E	294° 34'	1.18	DH&W FD (DP1069152)
F	130° 59'	4.0	DH&W
G	123° 24'	24.58	DH&W FD (DP1213087)
H	283° 42'	6.41	DH&W FD (DP1069152)
J	341° 56'	14.1	DH&W FD (DP1069152)
K	276° 57'	13.78	DH&W FD (DP1096368)
L	277° 53'	6.325	DH&W
M	72° 16'	5.13	DH&W FD (DP1257419)

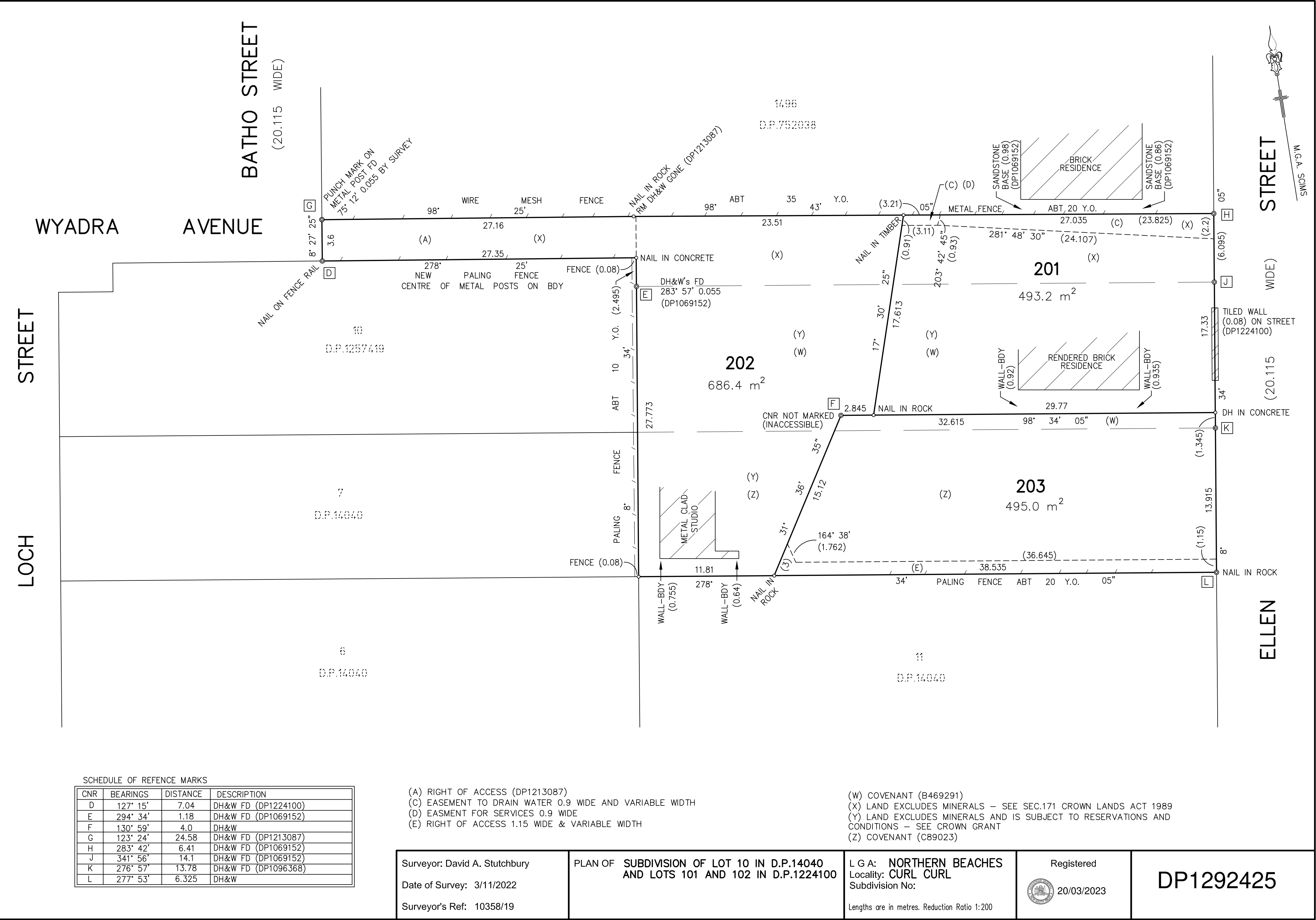
Surveyor: David A. Stutchbury
Date of Survey: 3/11/2022
Surveyor's Ref: 10358/19

PLAN OF SUBDIVISION OF LOT 10 IN D.P.14040 AND LOTS 101 AND 102 IN D.P.1224100

L G A: NORTHERN BEACHES
Locality: CURL CURL
Subdivision No:

Registered
20/03/2023

DP1292425



Req:R293298 /Doc:DP 1292425 P /Rev:20-Mar-2023 /NSW LRS /Prt:21-Mar-2023 03:30 /Seq:2 of 5
© Office of the Registrar-General /Ref:1rs:eplan-eplan FOR SURVEYORS USE ONLY

PLAN FORM 6 (2019)

WARNING: Creasing or folding will lead to rejection

DEPOSITED PLAN ADMINISTRATION SHEET

Sheet 1 of 3 sheet(s)

Registered:  20/03/2023 Title System: TORRENS	Office Use Only Office Use Only DP1292425
PLAN OF SUBDIVISION OF LOT 10 IN D.P.14040 AND LOT 101 AND 102 IN D.P.1224100	LGA: NORTHERN BEACHES Locality: CURL CURL Parish: MANLY COVE County: CUMBERLAND
Survey Certificate I, David A. Stutchbury..... of Stutchbury Jaques Pty Ltd PO Box 7249 Brookvale 2100..... a surveyor registered under the <i>Surveying and Spatial Information Act 2002</i>, certify that: *(a) The land shown in the plan was surveyed in accordance with the <i>Surveying and Spatial Information Regulation 2017</i>, is accurate and the survey was completed on 03/11/2022 or *(b) The part of the land shown in the plan (being ^{**}excluding was surveyed in accordance with the <i>Surveying and Spatial Information Regulation 2017</i>, the part surveyed is accurate and the survey was completed on the part not surveyed was compiled in accordance with that Regulation; or *(c) The land shown in this plan was compiled in accordance with the <i>Surveying and Spatial Information Regulation 2017</i>. Datum Line: A - B..... Type: *Urban/*Rural The terrain is *Level-Undulating / *Steep-Mountainous. Electronic signature of me, David Stutchbury affixed by me, on 22/11/2022 Signature: <u>David Stutchbury</u>..... Dated: 22/11/2022..... Surveyor Identification No: SU002051..... Surveyor registered under the <i>Surveying and Spatial Information Act 2002</i> *Strike out inappropriate words. **Specify the land actually surveyed or specify any land shown in the plan that is not the subject of the survey.	Crown Lands NSW/Western Lands Office Approval I, (Authorised Officer) in approving this plan certify that all necessary approvals in regard to the allocation of the land shown herein have been given. Signature: Date: File Number: Office: Subdivision Certificate I, <u>JOSEPH DI CRISTO</u>..... *Authorised Person/*General Manager/*Accredited Certifier, certify that the provisions of s.6.15 of the <i>Environmental Planning and Assessment Act 1979</i> have been satisfied in relation to the proposed subdivision, new road or reserve set out herein. Signature: <u>[Signature]</u>..... Accreditation number: <u>N/A</u>..... Consent Authority: <u>NORTHERN BEACHES COUNCIL</u>..... Date of endorsement: <u>8/02/2023</u>..... Subdivision Certificate number: <u>SC2023/0001</u>..... File number: <u>DA 2020/0147</u>..... *Strike through if inapplicable.
Plans used in the preparation of survey/compilation. DP14040, DP1224100, DP1257419, DP1245692 DP1069152, DP1213087, DP1096368	Statements of intention to dedicate public roads create public reserves and drainage reserves, acquire/resume land.
Surveyor's Reference: 10358/19	Signatures, Seals and Section 88B Statements should appear on PLAN FORM 6A

PLAN FORM 6A (2019) DEPOSITED PLAN ADMINISTRATION SHEET Sheet 2 of 3 sheet(s)

Registered:  20/03/2023 Office Use Only

Office Use Only

PLAN OF SUBDIVISION OF LOT 10 IN
D.P.14040 AND LOT 101 AND 102 IN
D.P.1224100

DP1292425

Subdivision Certificate number: 502023/0001
Date of Endorsement: 8/02/2023

This sheet is for the provision of the following information as required

- A schedule of lots and addresses - See 60(c) *SSI Regulation 2017*
- Statements of intention to create and release affecting interests in accordance with section 88B *Conveyancing Act 1919*
- Signatures and seals- see 195D *Conveyancing Act 1919*
- Any information which cannot fit in the appropriate panel of sheet 1 of the administration sheets.

PURSUANT TO SECTION 88B OF THE CONVEYANCING ACT, 1919, AS AMENDED, IT IS INTENDED TO CREATE:

1. EASEMENT TO DRAIN WATER 0.9 WIDE AND VARIABLE WIDTH (C)
2. EASEMENT FOR SERVICES 0.9 WIDE (D)
3. RIGHT OF ACCESS 1.15 WIDE AND VARIABLE WIDTH (E)
4. POSITIVE COVENANT

PURSUANT TO SECTION 88B OF THE CONVEYANCING ACT, 1919, AS AMENDED, IT IS INTENDED TO RELEASE:

1. EASEMENT TO DRAIN WATER VARIABLE WIDTH (D.P.1224100)

Lot	Street No.	Street Name	Street Type	Locality
201	16	Ellen	Street	Curl Curl
202	2	Wyadra	Avenue	Freshwater
203	14	Ellen	Street	Curl Curl

Signature of Registered Proprietor:

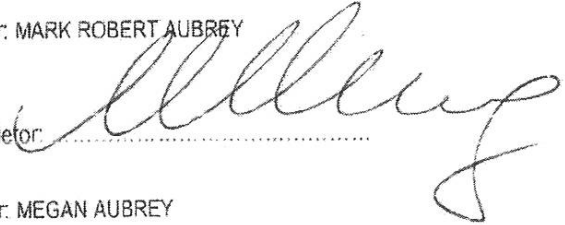
Name of Registered Proprietor: TERENCE WILLIAM JONES

Signature of Registered Proprietor:

Name of Registered Proprietor: LYNNE ELLEN JONES

If space is insufficient use additional annexure sheet

Surveyor's Reference: 10358/19

PLAN FORM 6A (2019) DEPOSITED PLAN ADMINISTRATION SHEET		Sheet 3 of 3 sheet(s)
Registered:  20/03/2023 PLAN OF SUBDIVISION OF LOT 10 IN D.P.14040 AND LOT 101 AND 102 IN D.P.1224100 Subdivision Certificate number: <u>Se 2023/0001</u> Date of Endorsement: <u>8/02/2023</u>		Office Use Only DP1292425 This sheet is for the provision of the following information as required: • A schedule of lots and addresses - See 60(c) <i>SSI Regulation 2017</i> • Statements of intention to create and release affecting interests in accordance with section 88B <i>Conveyancing Act 1919</i> • Signatures and seals- see 195D <i>Conveyancing Act 1919</i> • Any information which cannot fit in the appropriate panel of sheet 1 of the administration sheets.
Signature of Registered Proprietor:  Name of Registered Proprietor: MARK ROBERT AUBREY Signature of Registered Proprietor:  Name of Registered Proprietor: MEGAN AUBREY MORTGAGEE CONSENT If space is insufficient use additional annexure sheet Surveyor's Reference: 10358/19		