



LOCALITY PLAN

37-43 Hay Street Collaroy

COLLARROY LIVING - RESIDENCES

37-43 Hay Street Collaroy NSW 2097

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CHANGE TO PLAN NOTIFICATION

PLEASE AMEND YOUR PLANS TO SHOW THE FOLLOWING INCLUSIONS FOR STAMPING
PLEASE ENSURE YOU READ THE NATHERS CERTIFICATE FOR COMPLIANCE, THIS DOCUMENT IS A GUIDE ONLY. SOME ADDITIONAL ITEMS MAYBE NOTED ON THE CERTIFICATE. THE NATHERS CERTIFICATE SHOULD ALWAYS BE REFERENCED FOR CORRECT SPECIFICATION.

JOB NUMBER 14443196 CLIENT PopovBass Architects

SITE ADDRESS 37-43 Hay Street, Collaroy NSW 2097

ITEM DESCRIPTIONS/NOTES \$

ADDED UNDERFLOOR INSULATION

ADDED INSULATION TO CANTILEVERED FLOOR

INCREASE BULK WALL INSULATION

ADD REFLECTIVE FOIL TO EXTERNAL WALLS

CHANGE WALL COLOURS

INCREASE CEILING INSULATION TO ROOF SPACE

ADD INSULATION TO BETWEEN LEVELS R1.7 40mm Kingspan K10 soffit board

CHANGE ROOF COLOUR

ADDED ROOF INSULATION

ADDED ROOF VENTILATION

IMPROVED WINDOWS TO LOW E GLAZING All AP1-AP3 Slid. doors, AP10 windows excl. highlights

IMPROVED WINDOWS TO DOUBLE GLAZING AP10 highlight windows

IMPROVED HOT WATER SYSTEM

ADDED DEDICATED LED/CFL LIGHTING

ADDED SOLAR PV SYSTEM as per basix

INDOOR CLOTHES LINE REQUIRED

WELL VENTILATED FRIDGE SPACE REQUIRED

ADDED SHADING STRUCTURES

INCLUDED LOW WATER PLANTS

CHANGED SIZE OF RAINWATER TANK

CHANGED WATER FITTING RATINGS



Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for Residential flat buildings - Building 1

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for that dwelling in the "indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
(c) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
(d) The pool or spa must be located as specified in the table.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
(e) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect runoff from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

Dwelling no.	Fixtures				Appliances				Individual pool				Individual spa	
	All shower heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	3 star (+ 7.5 lpd <= 9 L/min)	4 star	4 star	4 star	no	5 star	5 star	-	-	-	-	-	-	-

Dwelling no.	Alternative water supply systems		Configuration		Alternative water source	
	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up
All dwellings	central water tank (no. 1)	See central systems	See central systems	no	yes	no
None	-	-	-	-	-	-

(f) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for that dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

Dwelling no.	Hot water system		Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control	
6	gas instantaneous 6 star	individual fan, ducted to facade or roof	manual switch on/off	individual fan, ducted to facade or roof	manual switch on/off	natural ventilation only, or no laundry	-	
All other dwellings	gas instantaneous 6 star	individual fan, ducted to facade or roof	manual switch on/off	individual fan, ducted to facade or roof	manual switch on/off	individual fan, ducted to facade or roof	manual switch on/off	

Dwelling no.	Cooling		Heating		Artificial lighting				Natural lighting			
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathroom/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
7	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	3 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	no
8	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	3 (dedicated)	2 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	2	yes
1, 2, 3	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	3 (dedicated)	2 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	no
4, 5, 6	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	3 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	no
All other dwellings	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	3 (dedicated)	3 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	no

Dwelling no.	Appliances & other efficiency measures										Central energy systems				
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line	Type	Specification	
All dwellings	-	-	-	-	gas cooktop & electric oven	-	yes	4 star	5 star	5 star	yes	no	LRI (No. 1)	gearless traction with V V F motor and regenerative drive	Number of levels (including basement): 3

Dwelling no.	Area adjusted heating load (in mJ/m ² /yr)		Area adjusted cooling load (in mJ/m ² /yr)	
	Area adjusted heating load (in mJ/m ² /yr)	Area adjusted cooling load (in mJ/m ² /yr)	Area adjusted heating load (in mJ/m ² /yr)	Area adjusted cooling load (in mJ/m ² /yr)
1	42.6	26.7		
2	44.2	11.9		
3	41.9	25.2		
4	40.5	14.1		
5	37.3	17.0		
6	41.0	17.8		
7	24.3	19.8		
8	32.6	23.7		
9	39.4	25.5		
10	45.0	20.9		
All other dwellings	28.8	24.1		

(g) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
(c) A swimming pool or spa listed in the table must not have a volume (in kL) greater than that specified for the pool or spa in the table.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

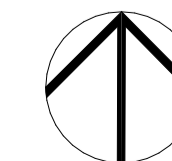
Common area	Showersheads rating		Toilets rating		Taps rating		Clothes washers rating	
	no common facility	no common facility	no common facility	no common facility	no common laundry facility	no common laundry facility		
All common areas	no common facility	no common facility	no common facility	no common facility	no common laundry facility	no common laundry facility		

Central systems	Size	Configuration		Connection (to allow for...)
		Central water tank - rainwater or stormwater (No. 1)	Configuration	
Central water tank - rainwater or stormwater (No. 1)	10000.0	To collect run-off from at least: - 2100.0 square metres of roof area of buildings in the development - 0.0 square metres of impervious area in the development - 0.0 square metres of planter box area in the development (including, in each case, any area which drains to, or supplies, any other alternative water supply system).	-	-

Common area	Common area ventilation system		Common area lighting	
	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure
LRI car (No.1)	-	-	light-emitting diode	connected to lift call button
LRI car (No.2)	-	-	light-emitting diode	connected to lift call button
LRI car (No.3)	-	-	light-emitting diode	connected to lift call button
LRI car (No.4)	-	-	light-emitting diode	connected to lift call button
LRI car (No.5)	-	-	light-emitting diode	connected to lift call button



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Client
 Collaroy Living Pty Ltd

Project
 COLLARROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097

Status
 FOR DEVELOPMENT APPLICATION

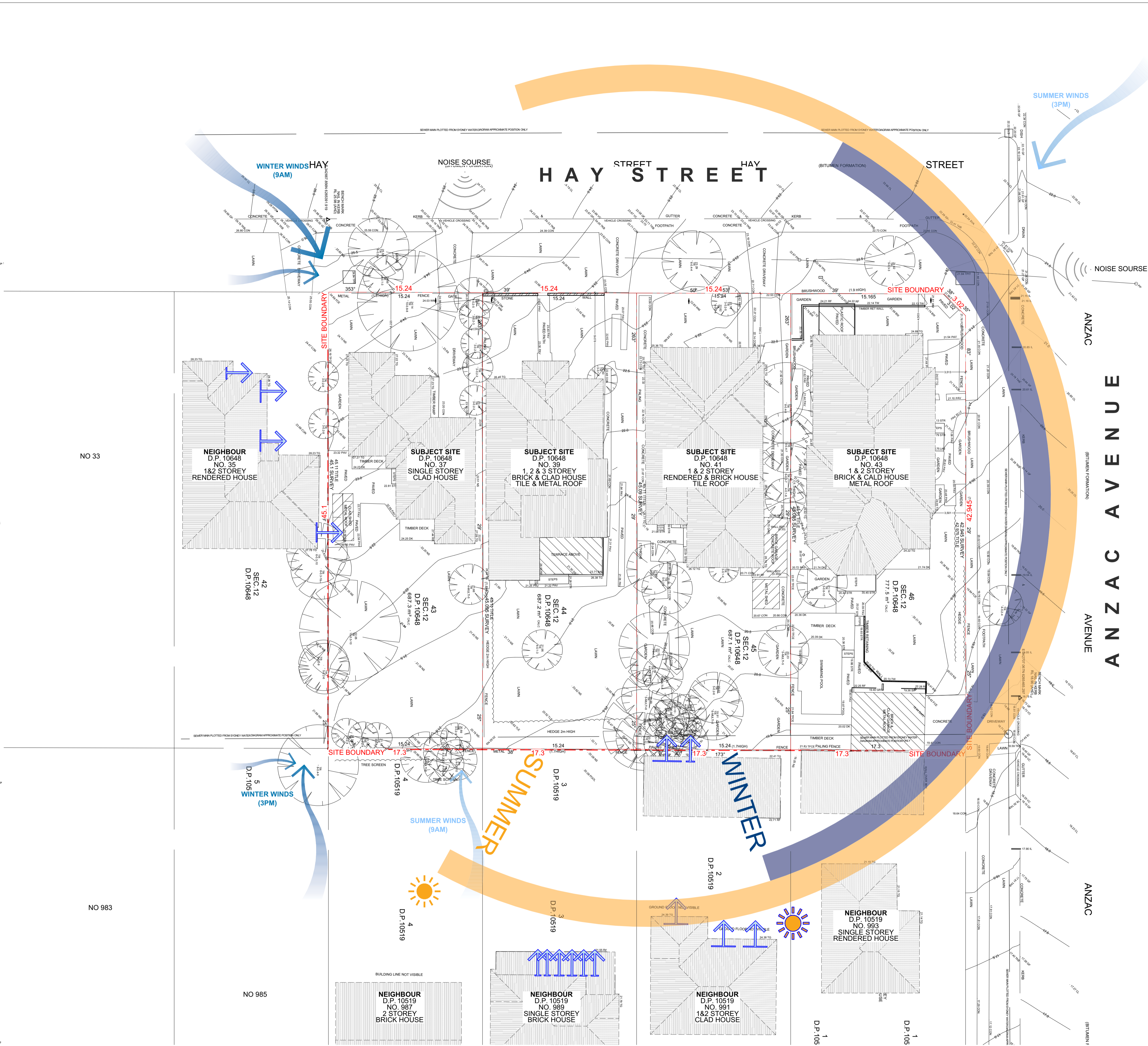
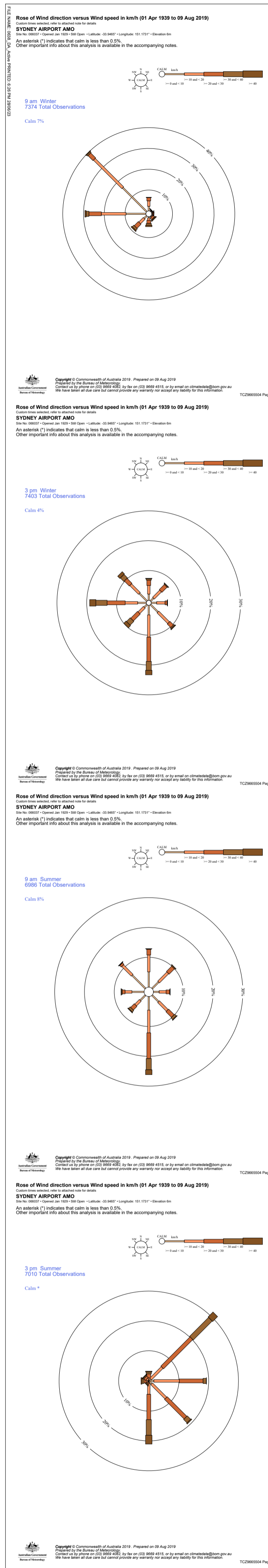
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Drawing No.
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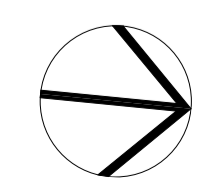
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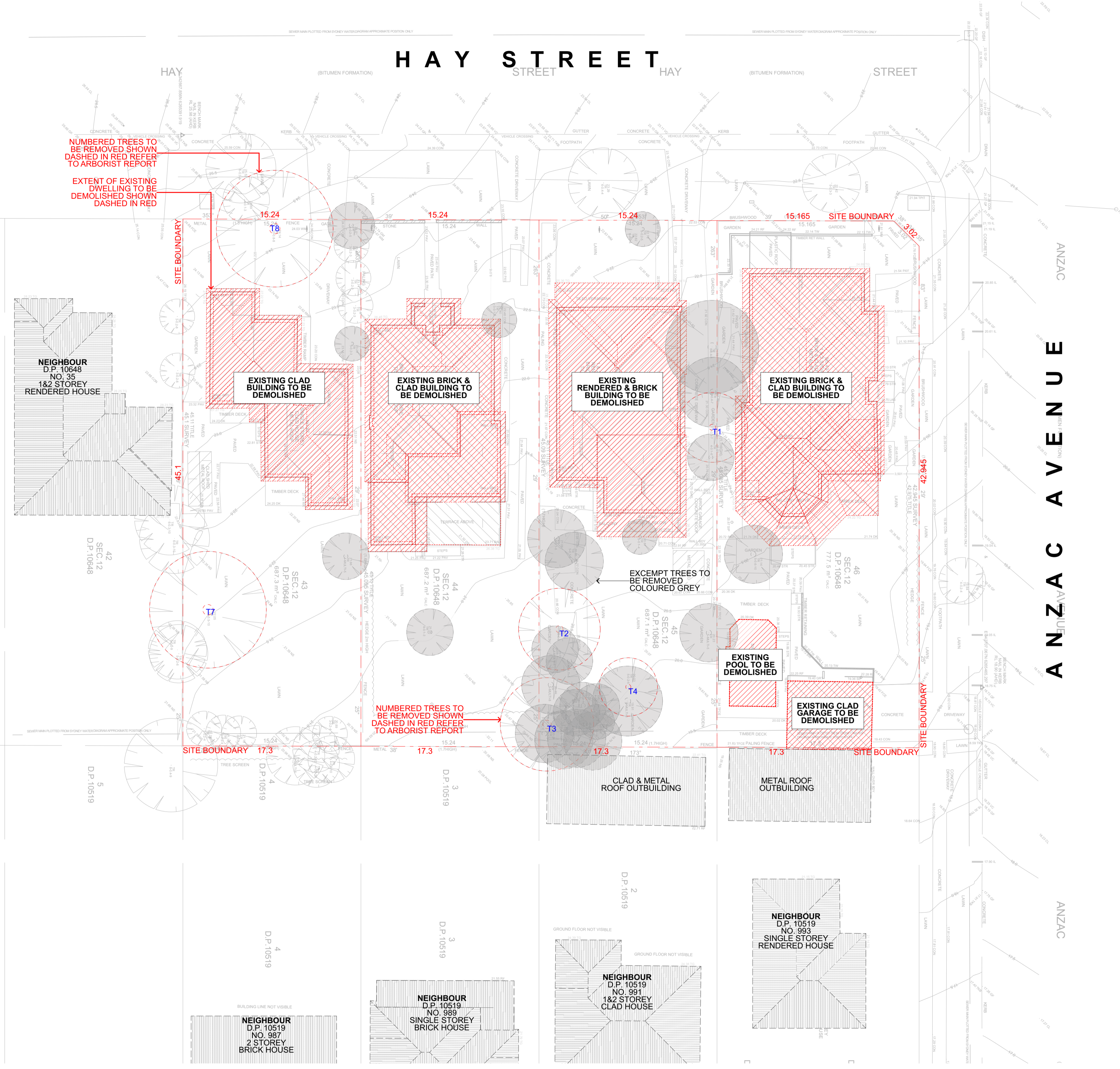


Client
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COLLARROY LIVING RESIDENCES
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Title
Site Analysis Plan
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 0638-DA101
 Scale
 1:200 at A1 size
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 Date
 28/06/23

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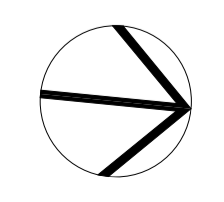
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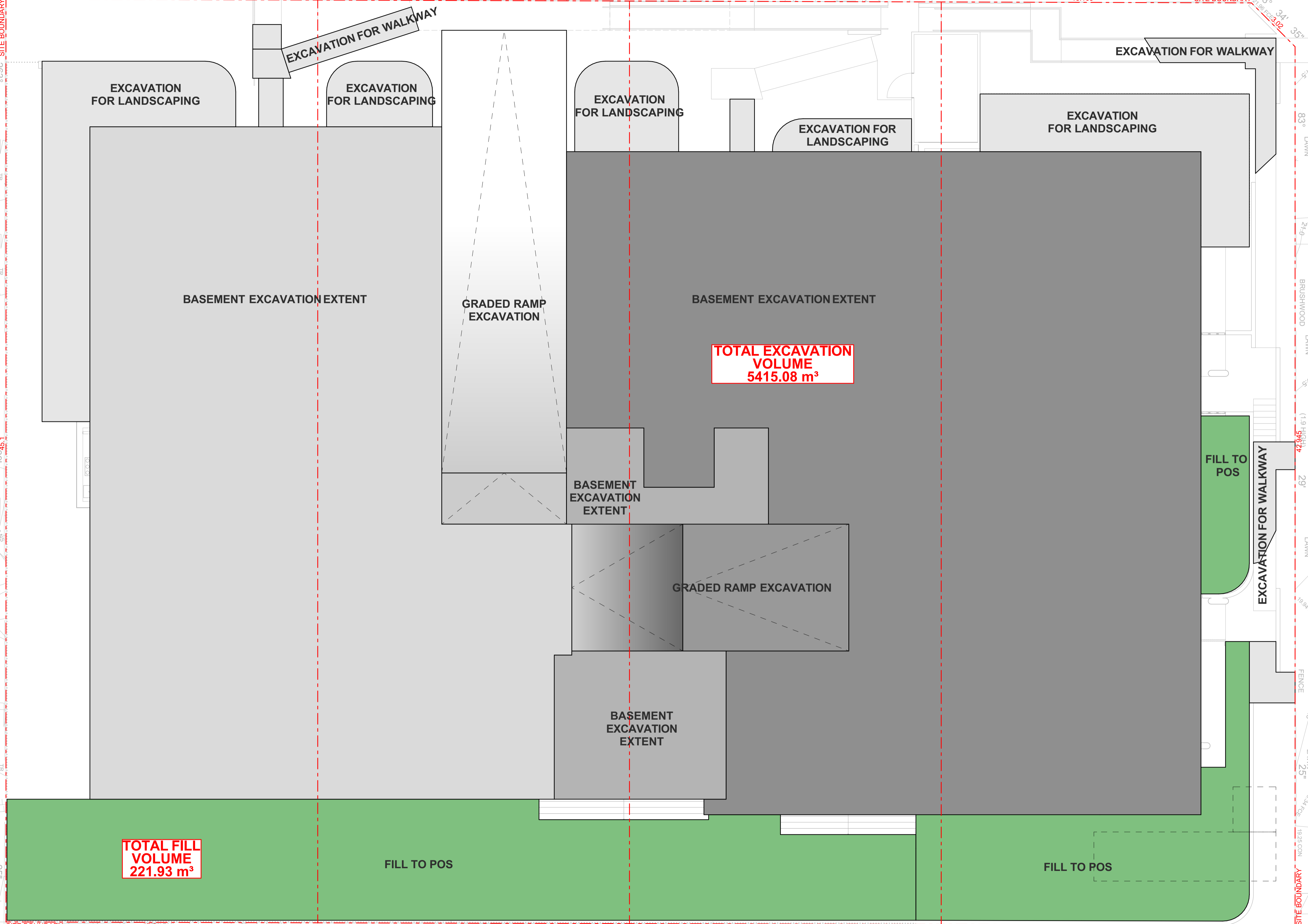


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 37-43 Hay Street Collaroy NSW 2097
 Status
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Title
Demolition Plan
 Drawing No.
0638-DA102
 Scale
1:200 at A1 size
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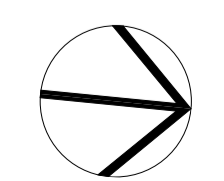
TOTAL FILL VOLUME
221.93 m³

TOTAL EXCAVATION VOLUME
5415.08 m³

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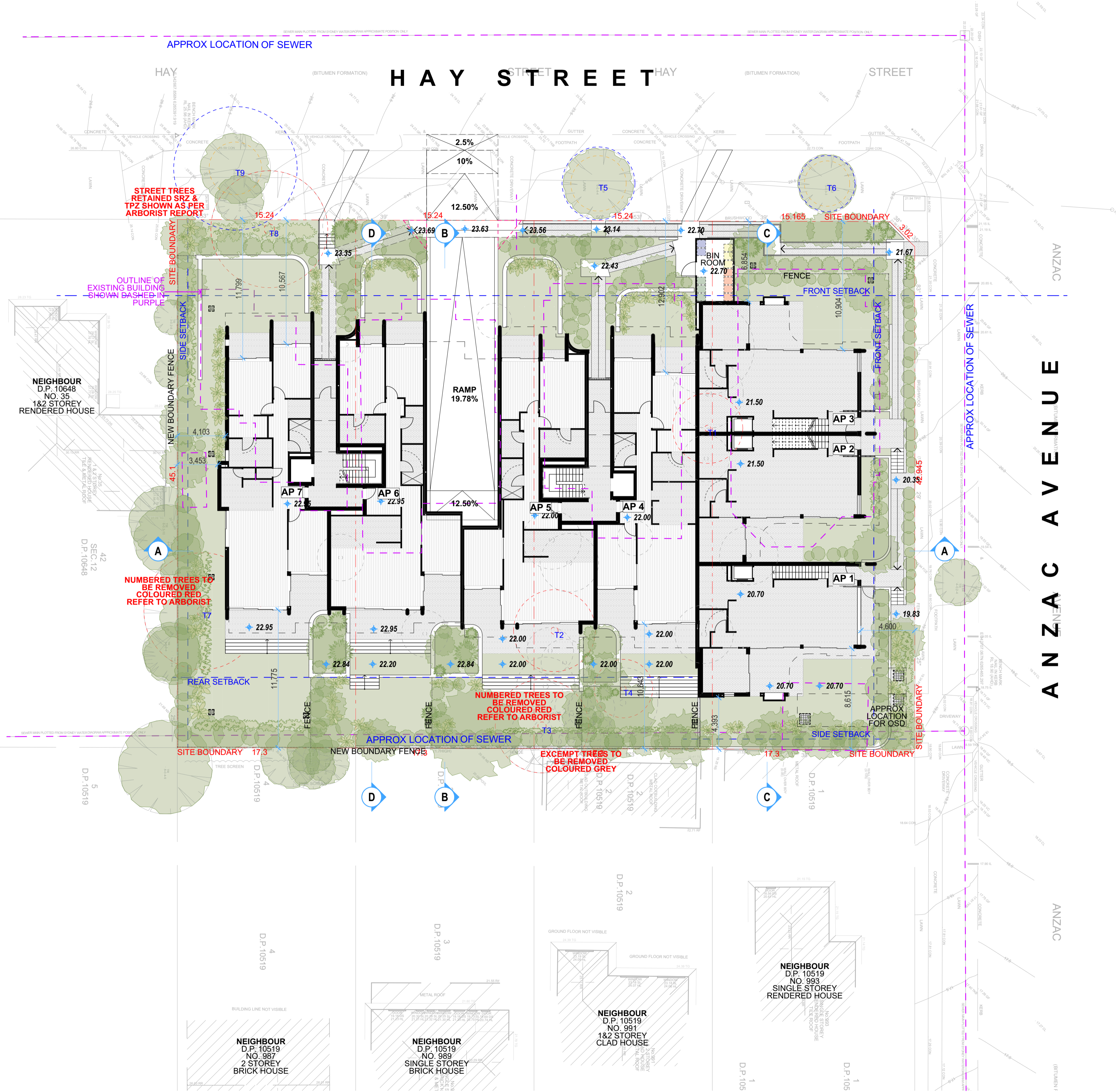
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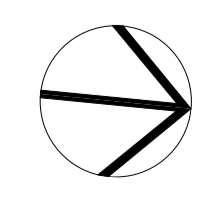
Client
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37-43 Hay Street Collaroy NSW 2097
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Title
Excavation / Fill Plan
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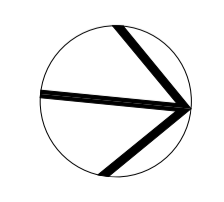


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Basement Plan
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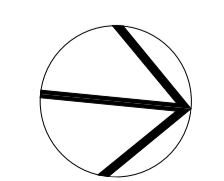
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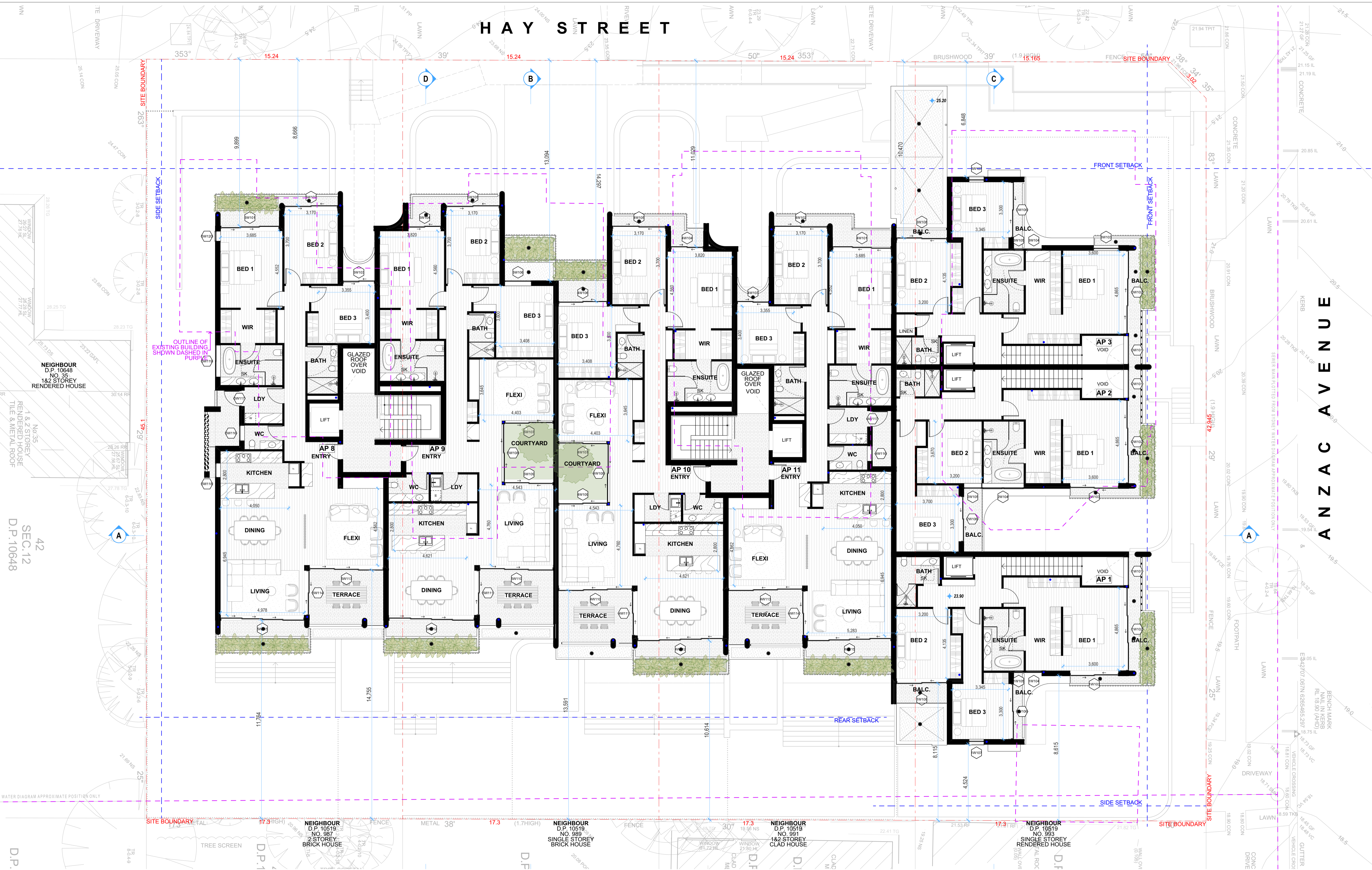


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Title
Level 01 Plan
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0638-DA106
 Scale
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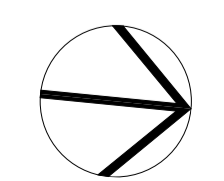
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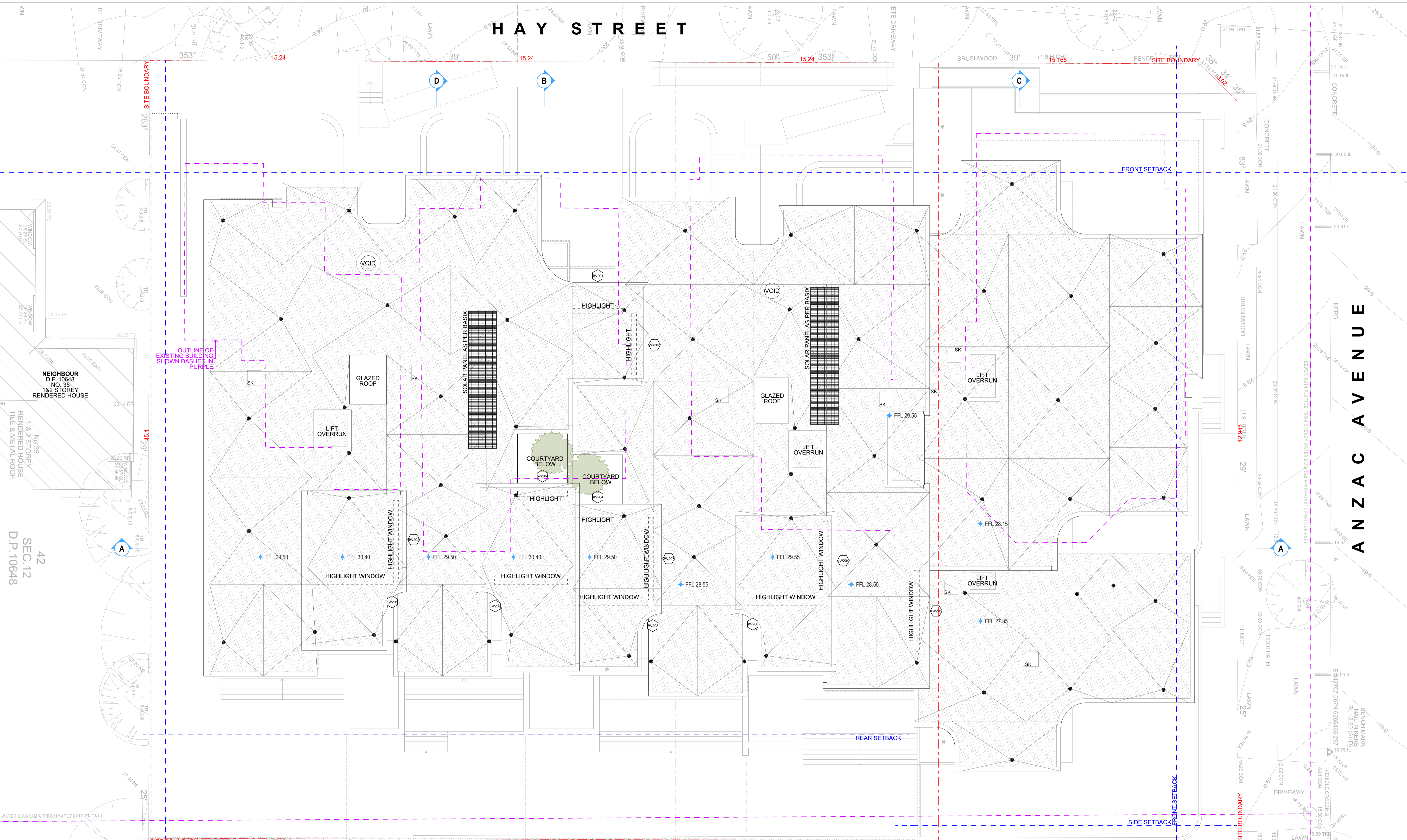


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COLLARROY LIVING RESIDENCES
37-43 Hay Street Collaroy NSW 2097
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Title
Level 02 Plan
Drawing No.
0638-DA107
Scale
1:100 at A1 size
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01
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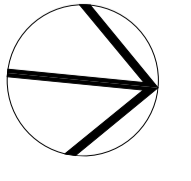


NEIGHBOUR D.P. 10648 NO. 35 1&2 STOREY RENDERED HOUSE
 NEIGHBOUR D.P. 10519 NO. 987 2 STOREY BRICK HOUSE
 NEIGHBOUR D.P. 10519 NO. 989 SINGLE STOREY BRICK HOUSE
 NEIGHBOUR D.P. 10519 NO. 991 1&2 STOREY CLAD HOUSE
 NEIGHBOUR D.P. 10519 NO. 993 SINGLE STOREY RENDERED HOUSE

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COLLARROY LIVING RESIDENCES
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 Status
FOR DEVELOPMENT APPLICATION

Title
Roof Plan
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0638-DA108
 Scale
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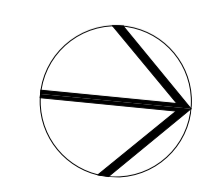
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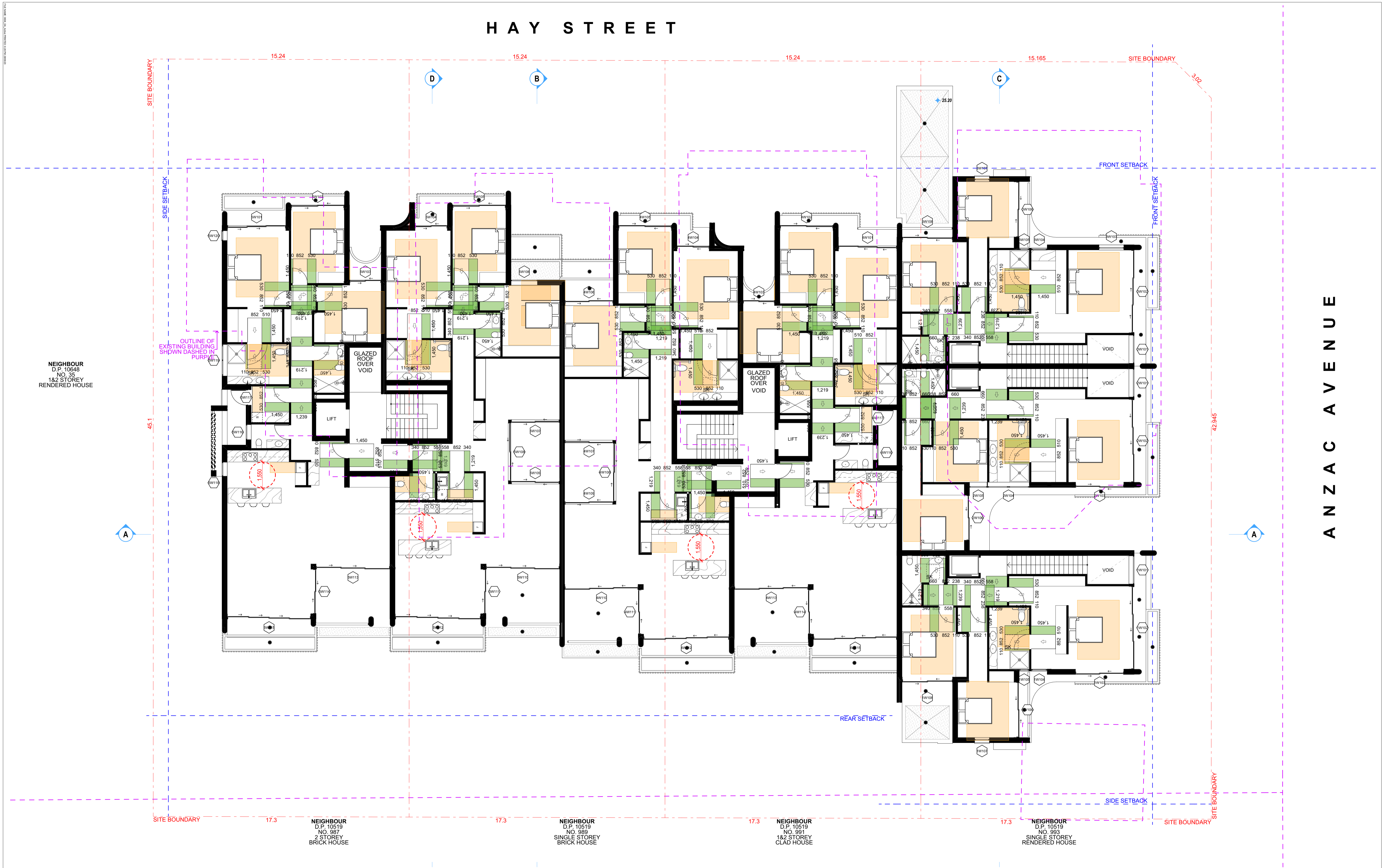
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 Status
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Title
Basement Post Adaption Plan
 Drawing No.
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 28/06/23

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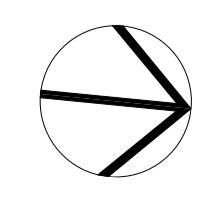


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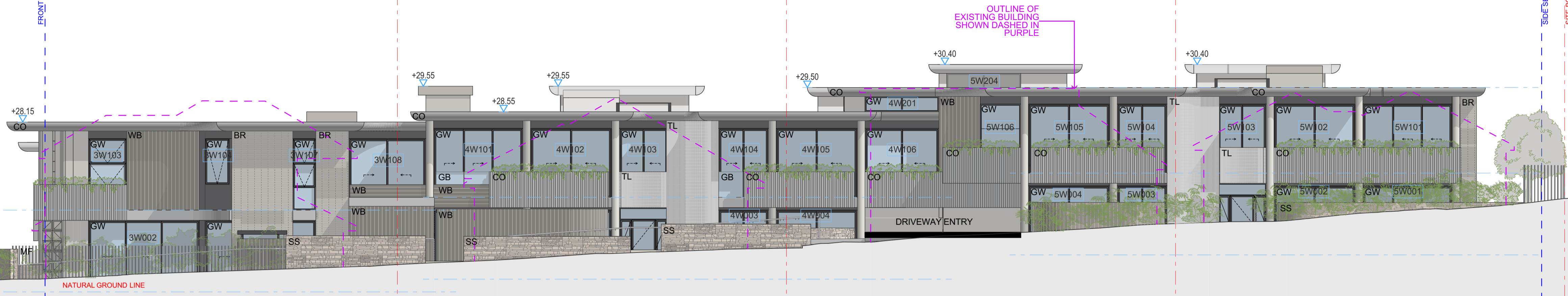


Client
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COLLARROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097
 Status
FOR DEVELOPMENT APPLICATION

Title
Level 02 Post Adaption Plan
 Drawing No.
 0638-DA111
 Revision
 01
 Scale
 1:100 at A1 size
 Date
 28/06/23

ANZAC AVENUE

NEIGHBOUR
D.P. 10648
NO. 35
1&2 STOREY
RENDERED HOUSE



WEST ELEVATION
1:100

1

NEIGHBOUR
D.P. 10648
NO. 35
1&2 STOREY
RENDERED HOUSE

ANZAC AVENUE



EAST ELEVATION
1:100

2

LEGEND:

CO	CONCRETE	GB	GLASS BALUSTRADE
BR	BRICKWORK	GL	GLAZED SKYLIGHT
BL	BLOCKWORK	DN	DORMER
RM	RENDERED MASONRY	GU	GUTTER
TL	TILES	MR	METAL DECK ROOF
ST	STONE CLADDING	MS	METAL SHEEN
FC	FIBRE CLADDING	MF	METAL FENCE
MC	METAL CLADDING	TF	TIMBER FENCE
GW	GLAZED WINDOWS (ALUMINIUM FRAMED)	GD	GARAGE DOOR

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Client
Collaroy Living Pty Ltd

Project
COLLARROY LIVING RESIDENCES
37-43 Hay Street Collaroy NSW 2097

Status
FOR DEVELOPMENT APPLICATION

Title
Elevations 1

Drawing No.
0638-DA112

Revision
01

Scale
1:100 at A1 size

Date
28/06/23

01 28/06/23 FOR DEVELOPMENT APPLICATION
Rev Date Amendment
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HAY STREET



NORTH ELEVATION
1:100

1

HAY STREET



01 28/06/23 FOR DEVELOPMENT APPLICATION AW AW
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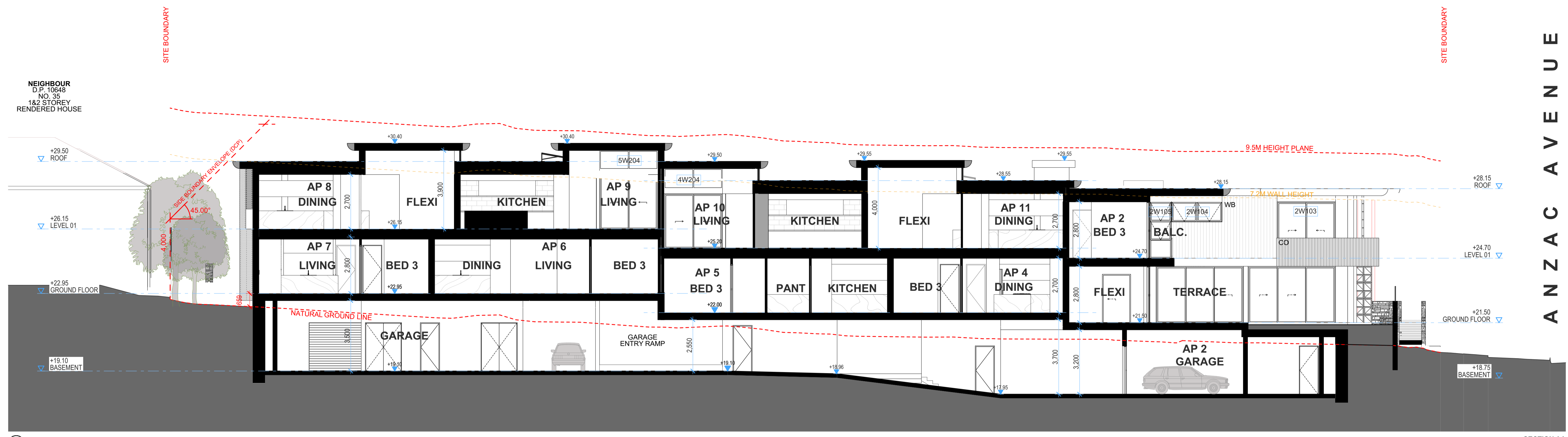
LEGEND:
 CO CONCRETE
 BR BRICKWORK
 BR BRICKWORK
 RM RENDERED MASONRY
 TL TILE CLADDING
 ST STONE CLADDING
 TC TIMBER CLADDING
 MC METAL CLADDING
 GB GLASS BALUSTRADE
 SKY GLAZED SKYLIGHT
 DN DOWNPIPE
 GU GUTTER
 MR METAL ROOF
 MB METAL SCREEN
 MF METAL FENCE
 TF TIMBER FENCE

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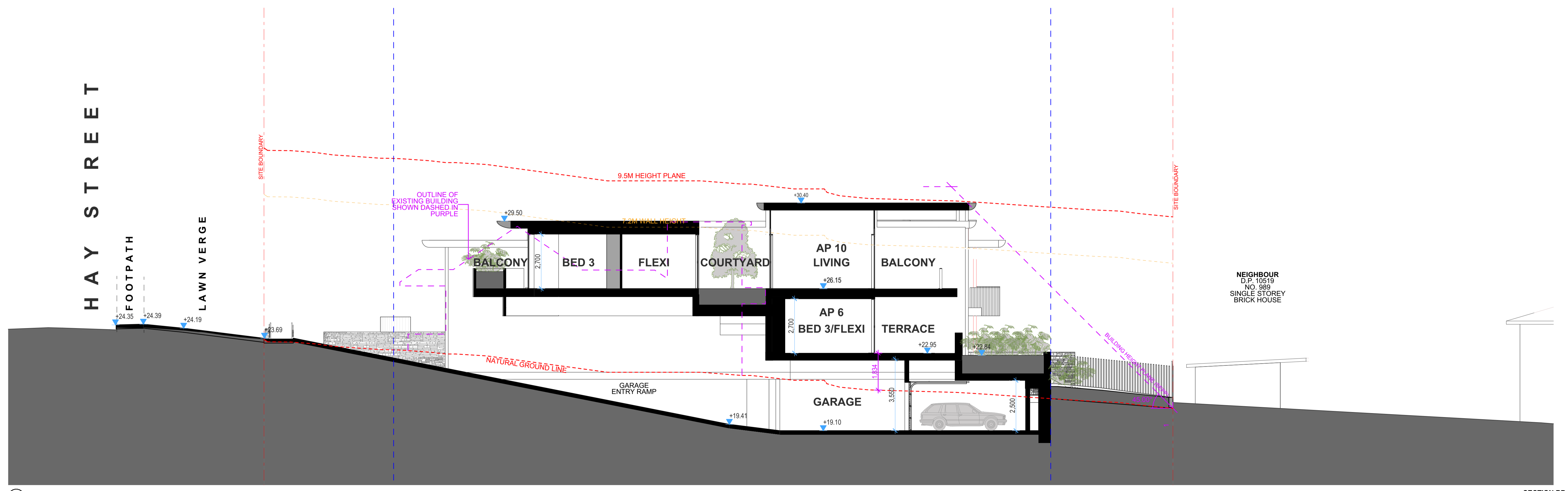
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Client
Collaroy Living Pty Ltd
 Project
COLLARROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097
 Status
FOR DEVELOPMENT APPLICATION

Title
Elevations 2
 Drawing No.
 0638-DA113
 Scale
 1:100 at A1 size
 Revision
 01
 Date
 28/06/23



SECTION AA



SECTION BB

HAY STREET

FOOTPATH

LAWN VERGE

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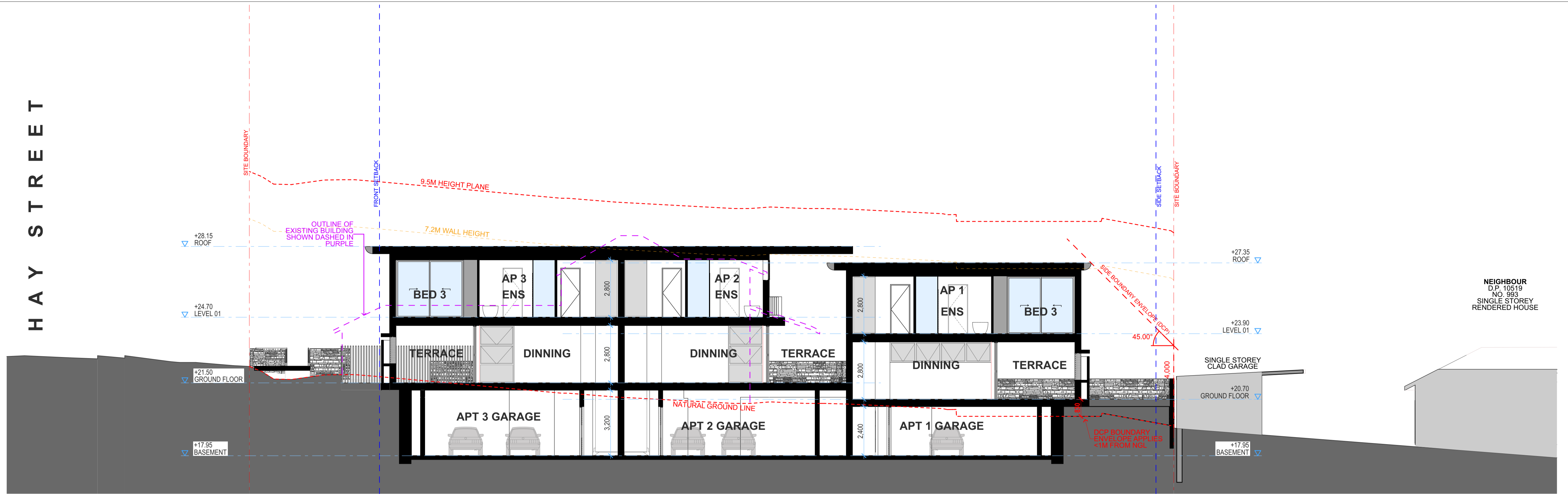
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Client
Collaroy Living Pty Ltd
 Project
COLLARROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097
 Status
FOR DEVELOPMENT APPLICATION

Title
Section AA & BB
 Drawing No.
0638-DA114
 Scale
1:100 at A1 size
 Revision
01
 Date
28/06/23

01 28/06/23 FOR DEVELOPMENT APPLICATION AW AW
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HAY STREET



HAY STREET



SECTION DD

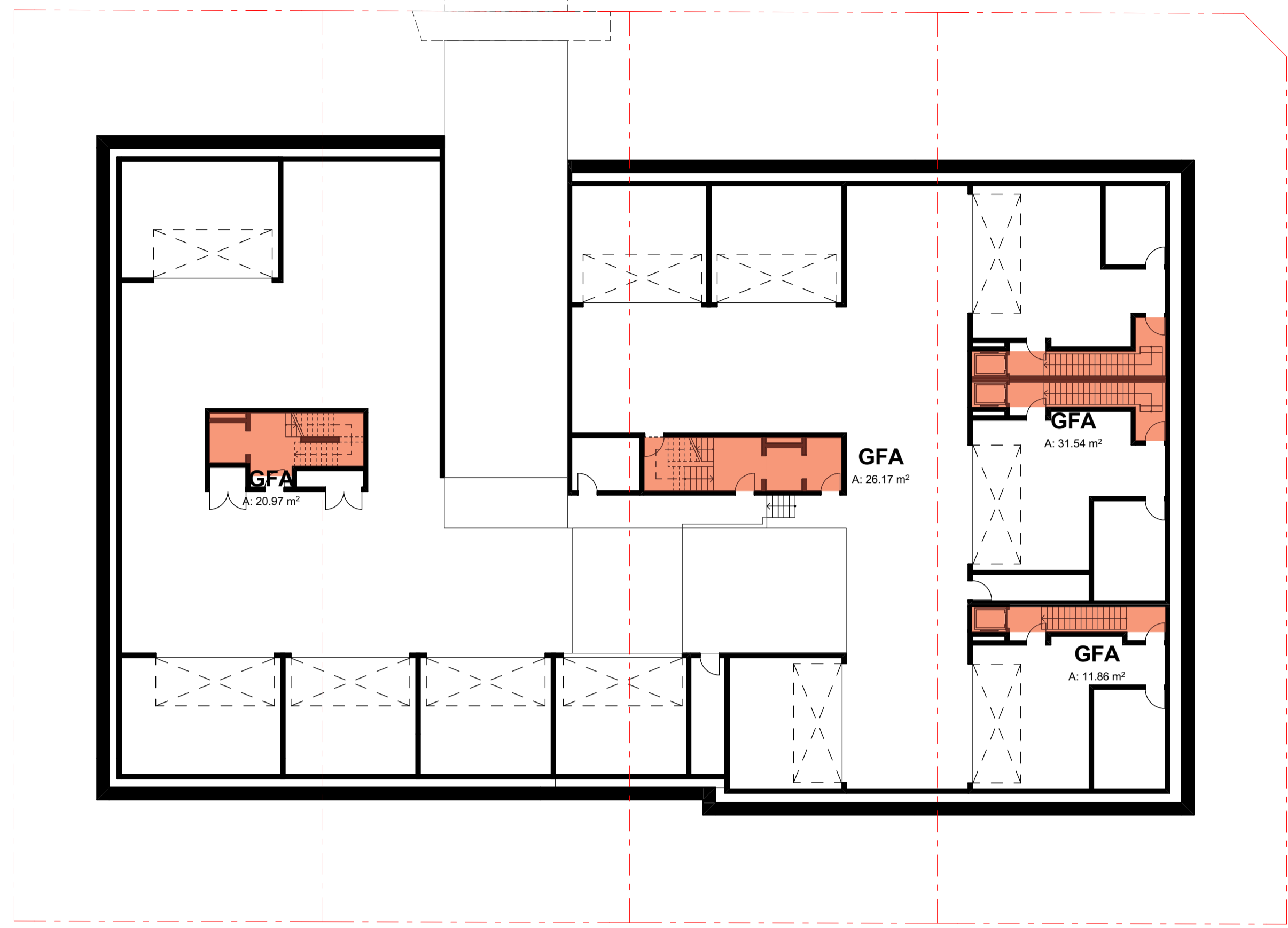
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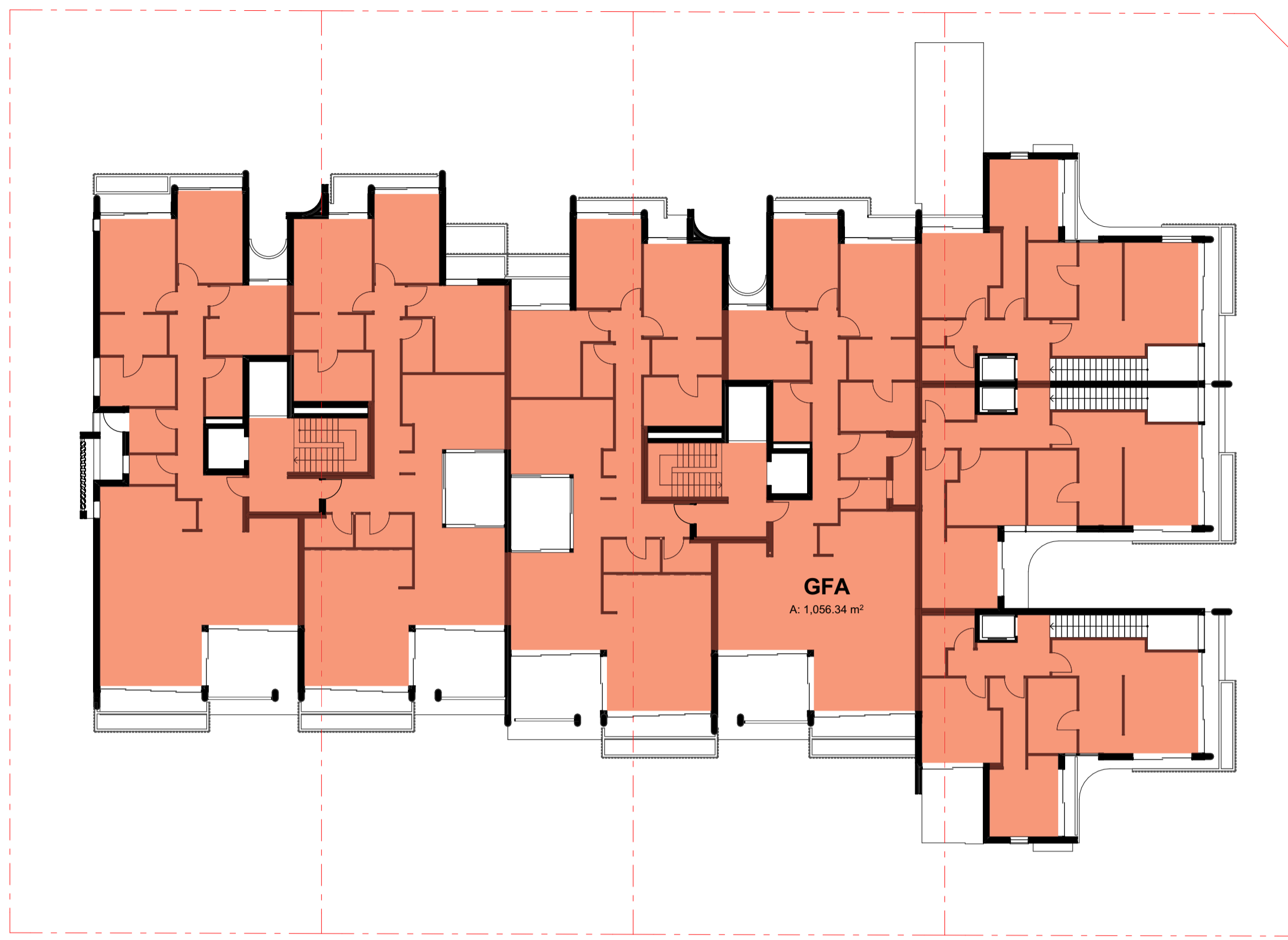
Client
Collaroy Living Pty Ltd
Project
COLLARROY LIVING RESIDENCES
37-43 Hay Street Collaroy NSW 2097
Status
FOR DEVELOPMENT APPLICATION

Title
Section CC & DD
Drawing No. 0638-DA115
Revision 01
Scale 1:100 at A1 size
Date 28/06/23

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Rev Date Amendment
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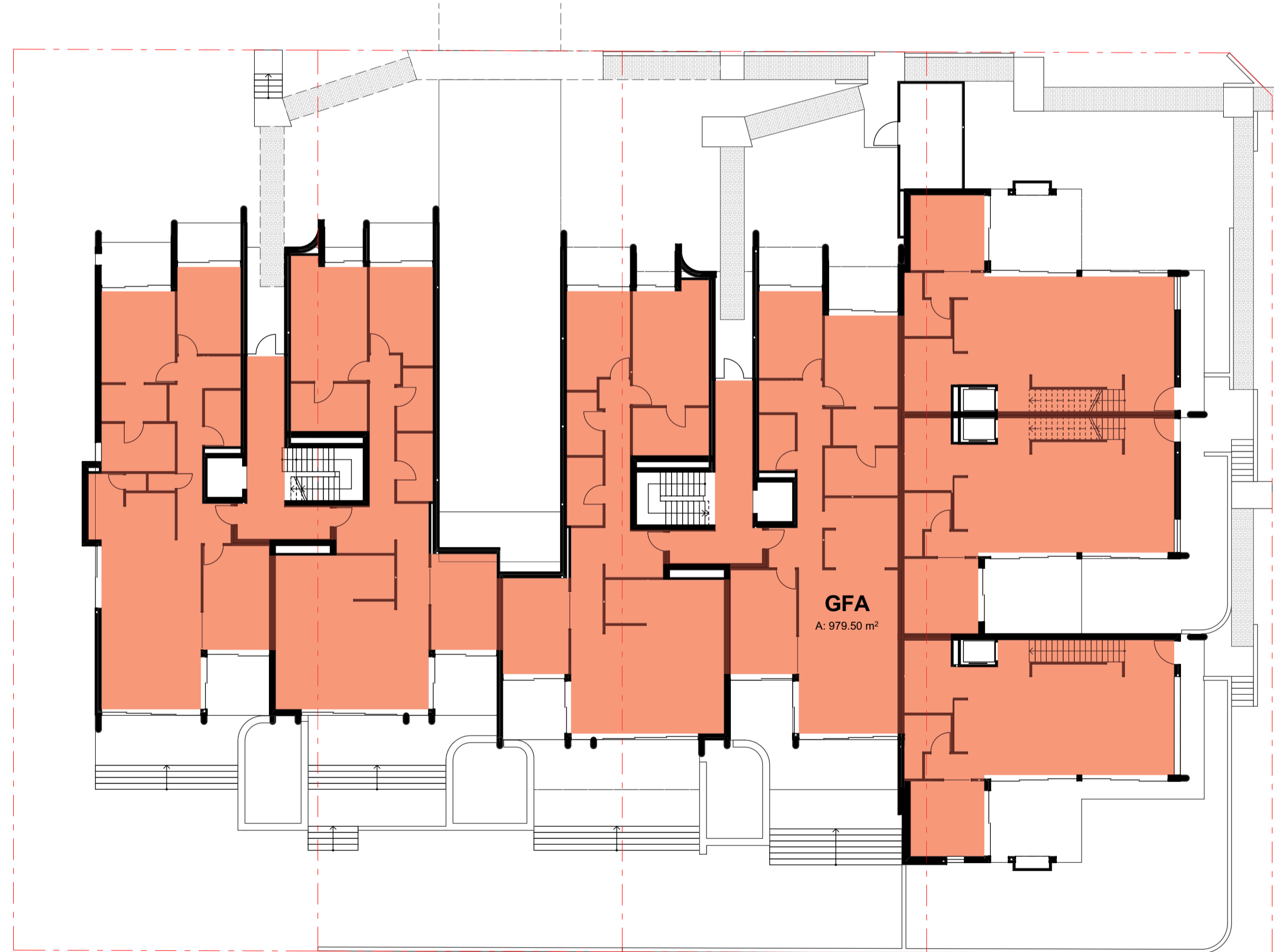
Basement GFA



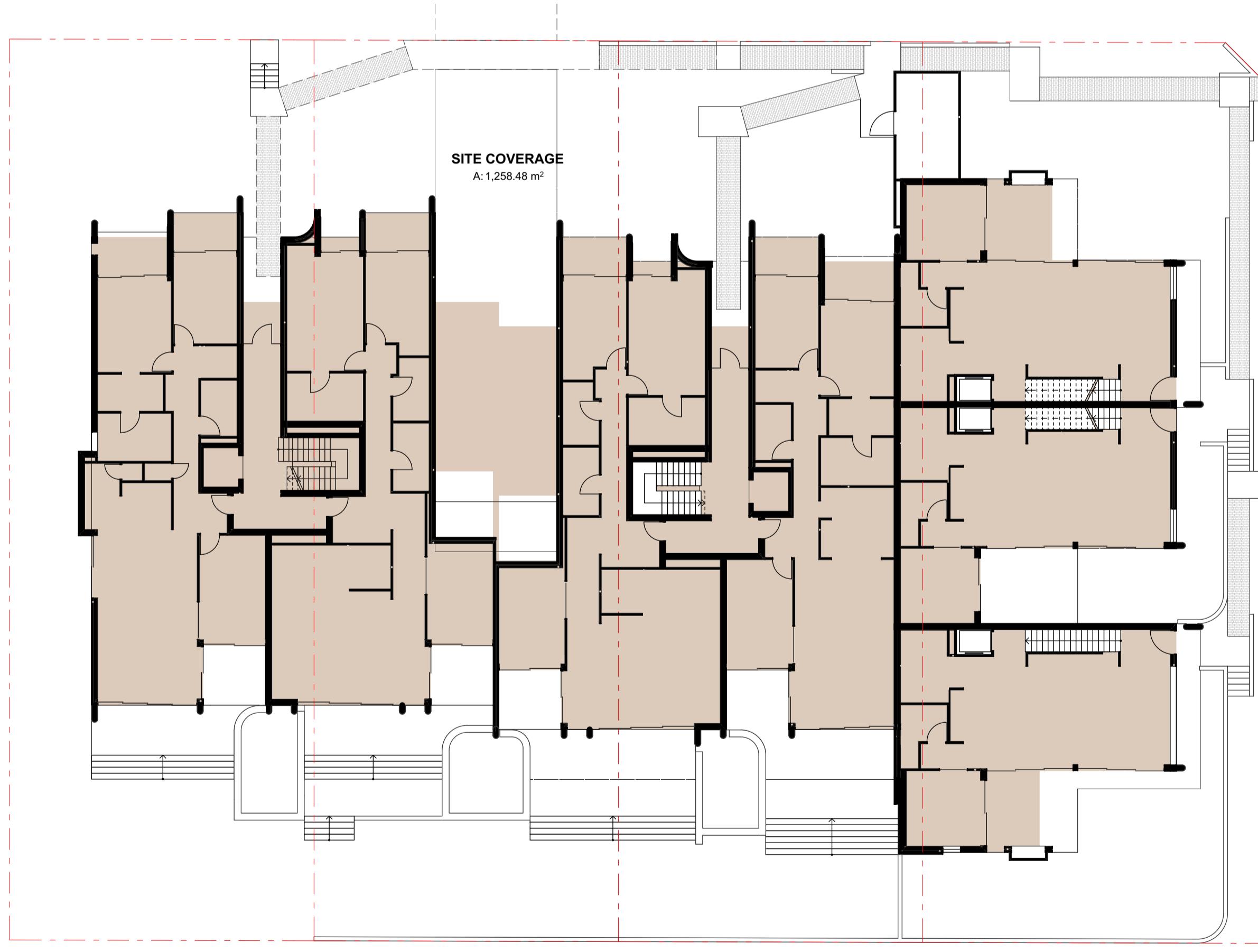
Level 02 GFA

GFA CALCULATION	
BASEMENT GFA	90.54m ²
GROUND FLOOR GFA	979.50m ²
LEVEL 01 GFA	1,056.34m ²
TOTAL GFA	2,126.38m²

SITE AREA	2,839.10m ²
TOTAL GFA	2,126.38m ²
TOTAL FSR	0.75:1



Level 01 GFA



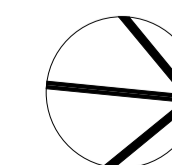
Ground Floor Site Coverage

SITE COVERAGE CALCULATION	
CONTROL	40%
MAXIMUM m ²	1135.64
ACHIEVED m ²	1258.48
COMPLIES	NO

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 Rev Date Amendment
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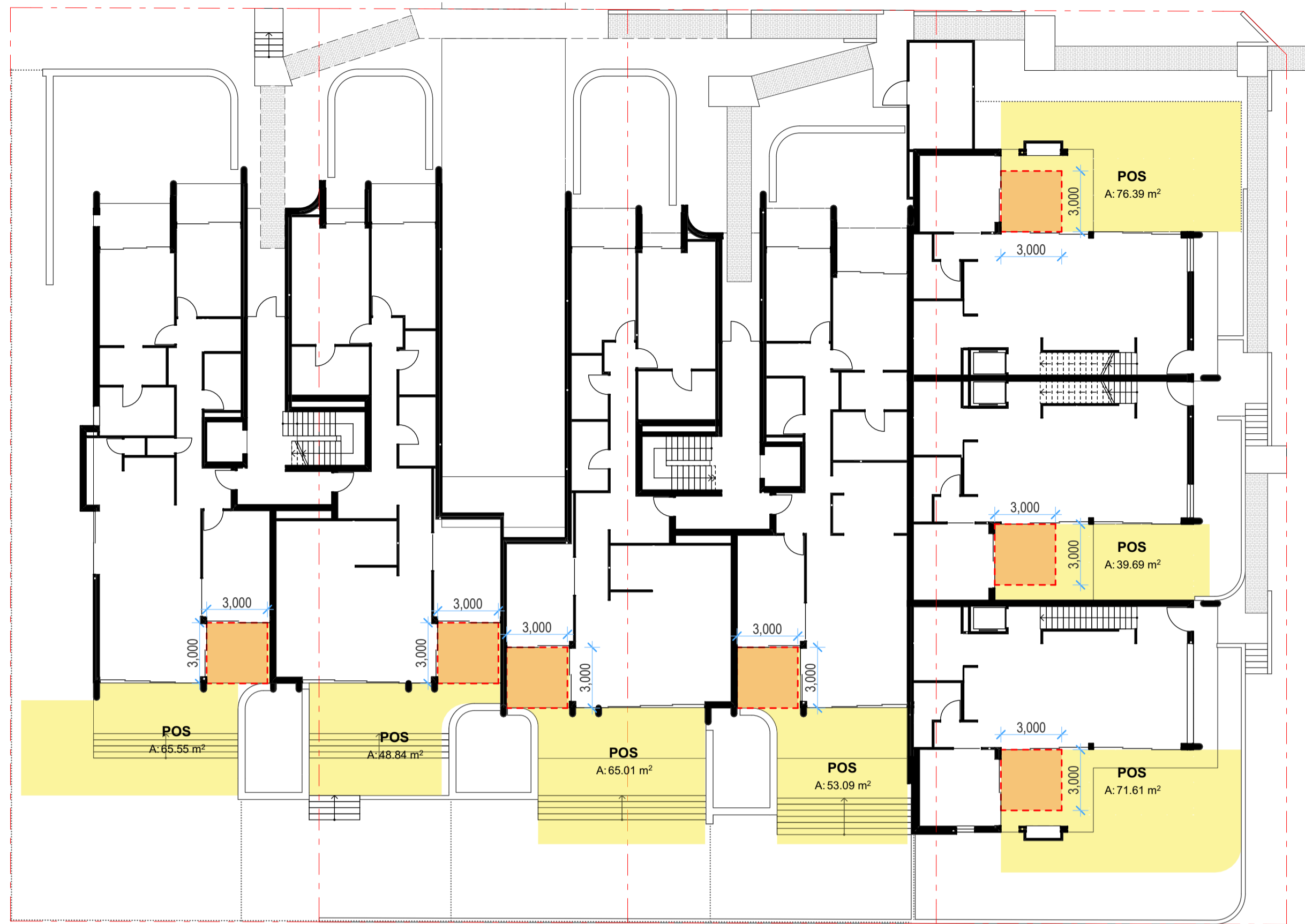
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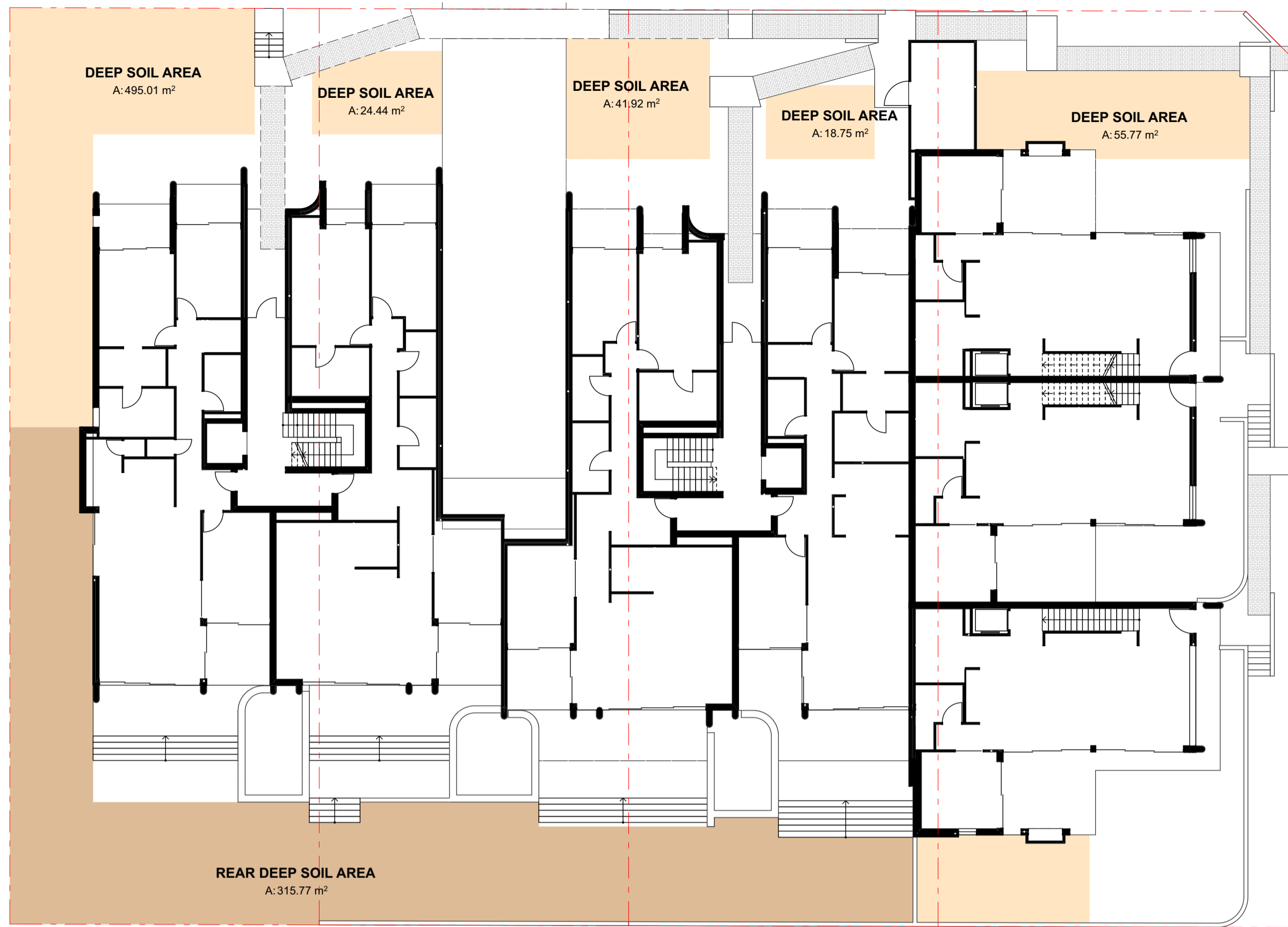


Client
Collaroy Living Pty Ltd
 Project
COLLARROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097
 Status
FOR DEVELOPMENT APPLICATION

Title
Compliance Diagrams
 Drawing No.
 0638-DA116
 Scale
 1:200 at A1 size
 Revision
 01
 Date
 28/06/23



Ground Floor POS



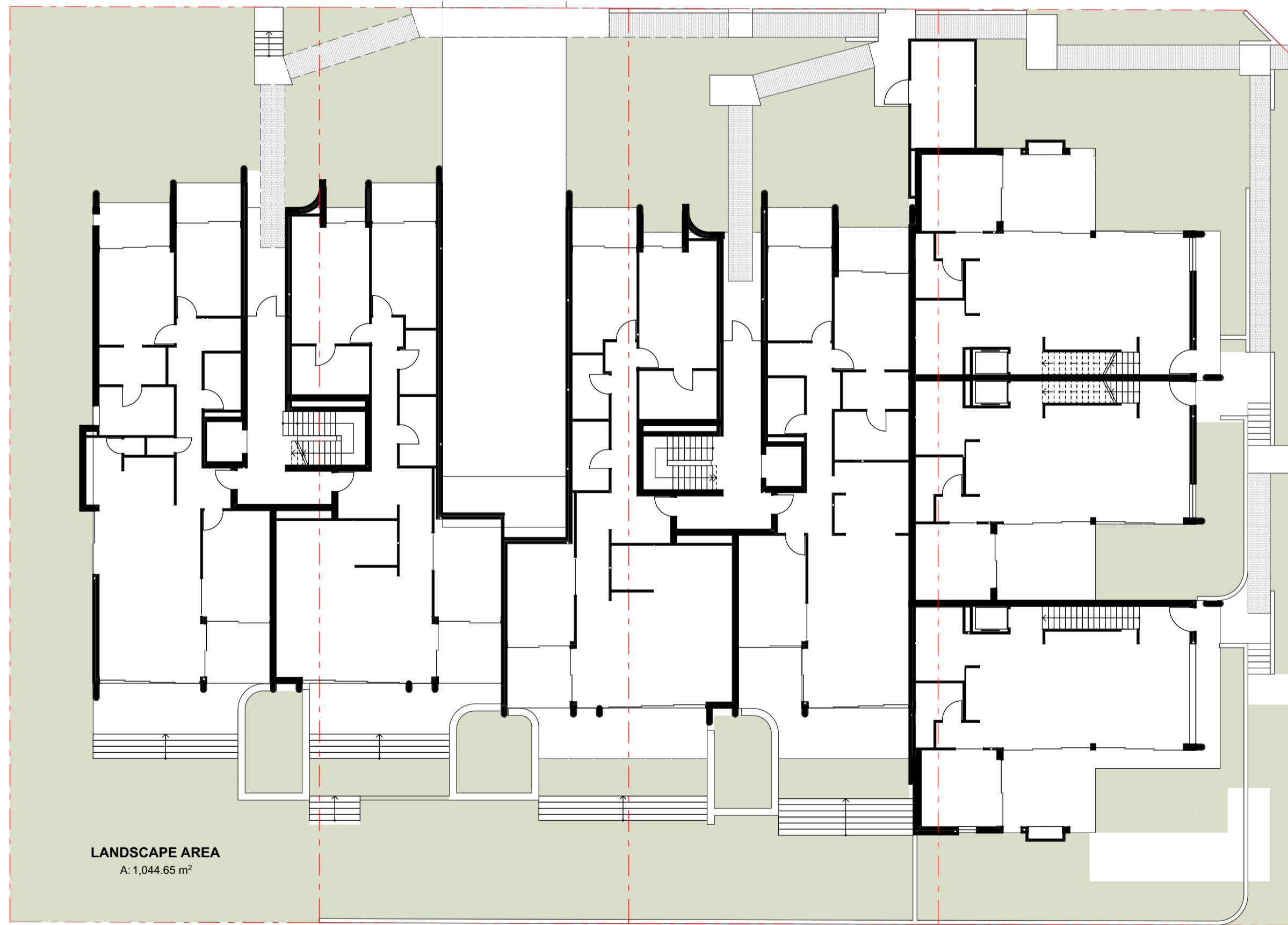
Ground Floor Deep Soil

DEEP SOIL CALCULATION	
CONTROL	15%
REQUIRED m ²	425.87
ACHIEVED m ²	635.89
COMPLIES	YES

REAR DEEP SOIL CALCULATION	
CONTROL	65% of 15%
MINIMUM m ²	276.81
ACHIEVED m ²	315.77
COMPLIES	YES

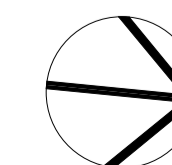


Level 01 POS



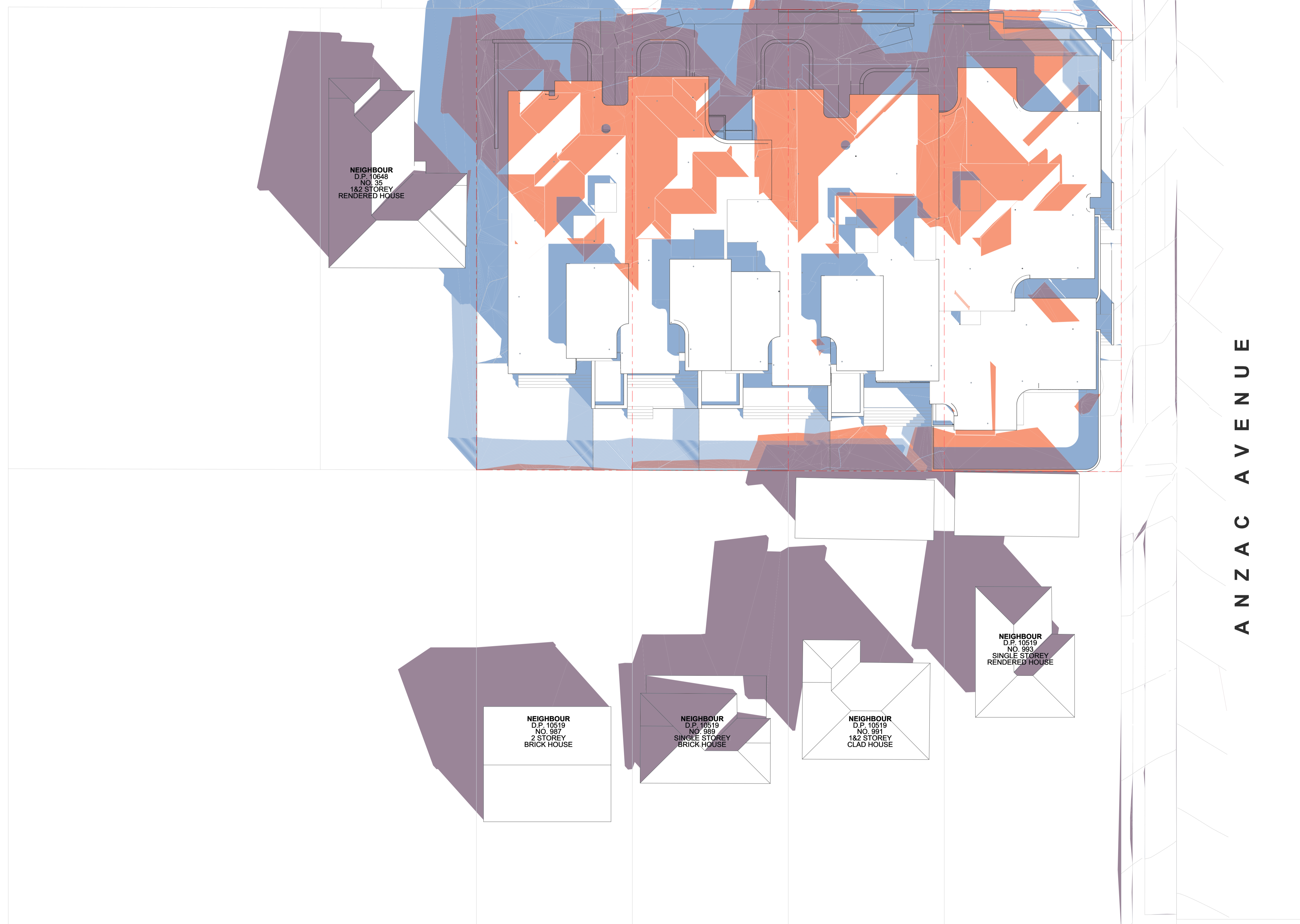
Ground Floor Landscape

LANDSCAPE CALCULATION	
CONTROL	30%
MINIMUM m ²	851.73
ACHIEVED m ²	1044.65
COMPLIES	YES



HAY STREET

- LEGEND:**
- = PROPOSED NEW SHADOWS
 - = EXISTING SHADOWS UNCHANGED
 - = EXISTING SHADOWS NO LONGER CAST



ANZAC AVENUE

NEIGHBOUR
D.P. 10648
NO. 35
1&2 STOREY
RENDERED HOUSE

NEIGHBOUR
D.P. 10519
NO. 987
2 STOREY
BRICK HOUSE

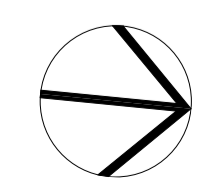
NEIGHBOUR
D.P. 10519
NO. 989
SINGLE STOREY
BRICK HOUSE

NEIGHBOUR
D.P. 10519
NO. 991
1&2 STOREY
CLAD HOUSE

NEIGHBOUR
D.P. 10519
NO. 993
SINGLE STOREY
RENDERED HOUSE

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Client
Collaroy Living Pty Ltd

Project
COLLARROY LIVING RESIDENCES
37-43 Hay Street Collaroy NSW 2097

Status
FOR DEVELOPMENT APPLICATION

Title
Shadow Diagram: 9:00am June 21

Drawing No. 0638-DA118	Revision 01
Scale 1:200 at A1 size	Date 28/06/23

01 28/06/23 FOR DEVELOPMENT APPLICATION AW AW
Rev Date Amendment Drawn Check
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HAY STREET

LEGEND:

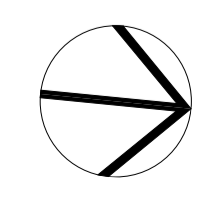
- = PROPOSED NEW SHADOWS
- = EXISTING SHADOWS UNCHANGED
- = EXISTING SHADOWS NO LONGER CAST



ANZAC AVENUE

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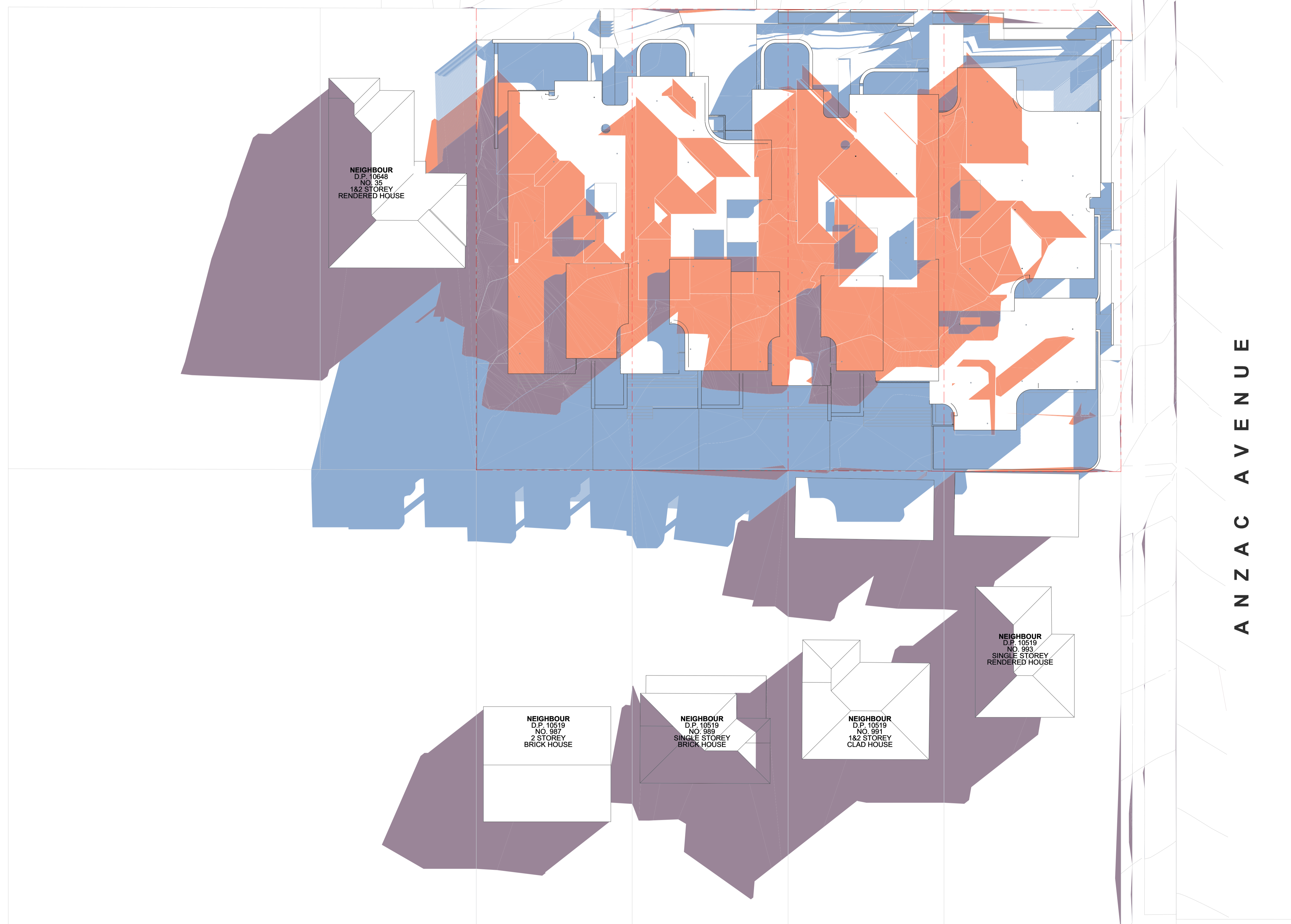
Client
Collaroy Living Pty Ltd
 Project
COLLARROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097
 Status
FOR DEVELOPMENT APPLICATION

Title
Shadow Diagram: 12:00pm June 21
 Drawing No. 0638-DA119
 Revision 01
 Scale 1:200 at A1 size
 Date 28/06/23

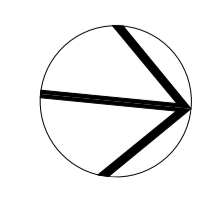
HAY STREET

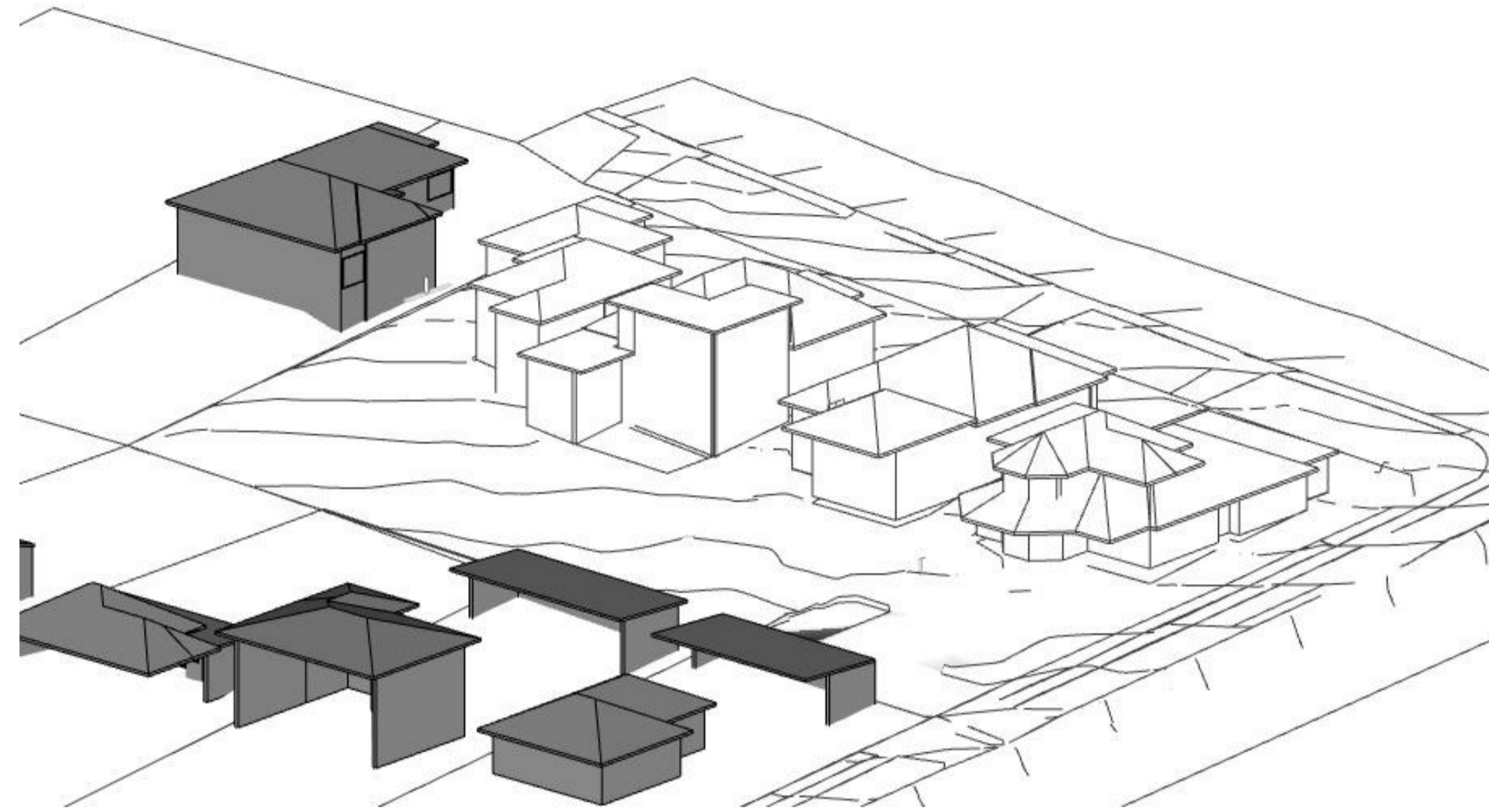
LEGEND:

- = PROPOSED NEW SHADOWS
- = EXISTING SHADOWS UNCHANGED
- = EXISTING SHADOWS NO LONGER CAST

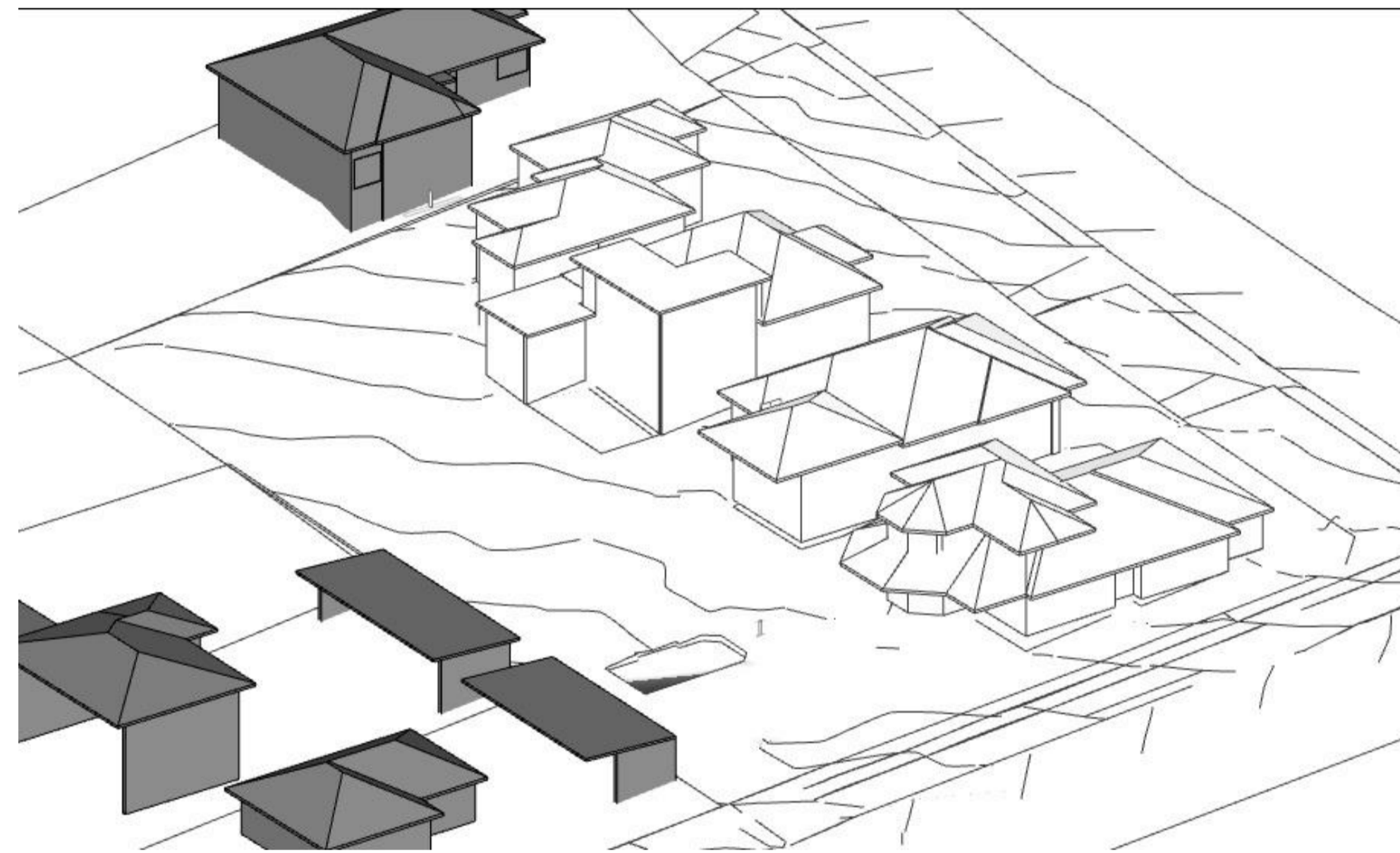


ANZAC AVENUE

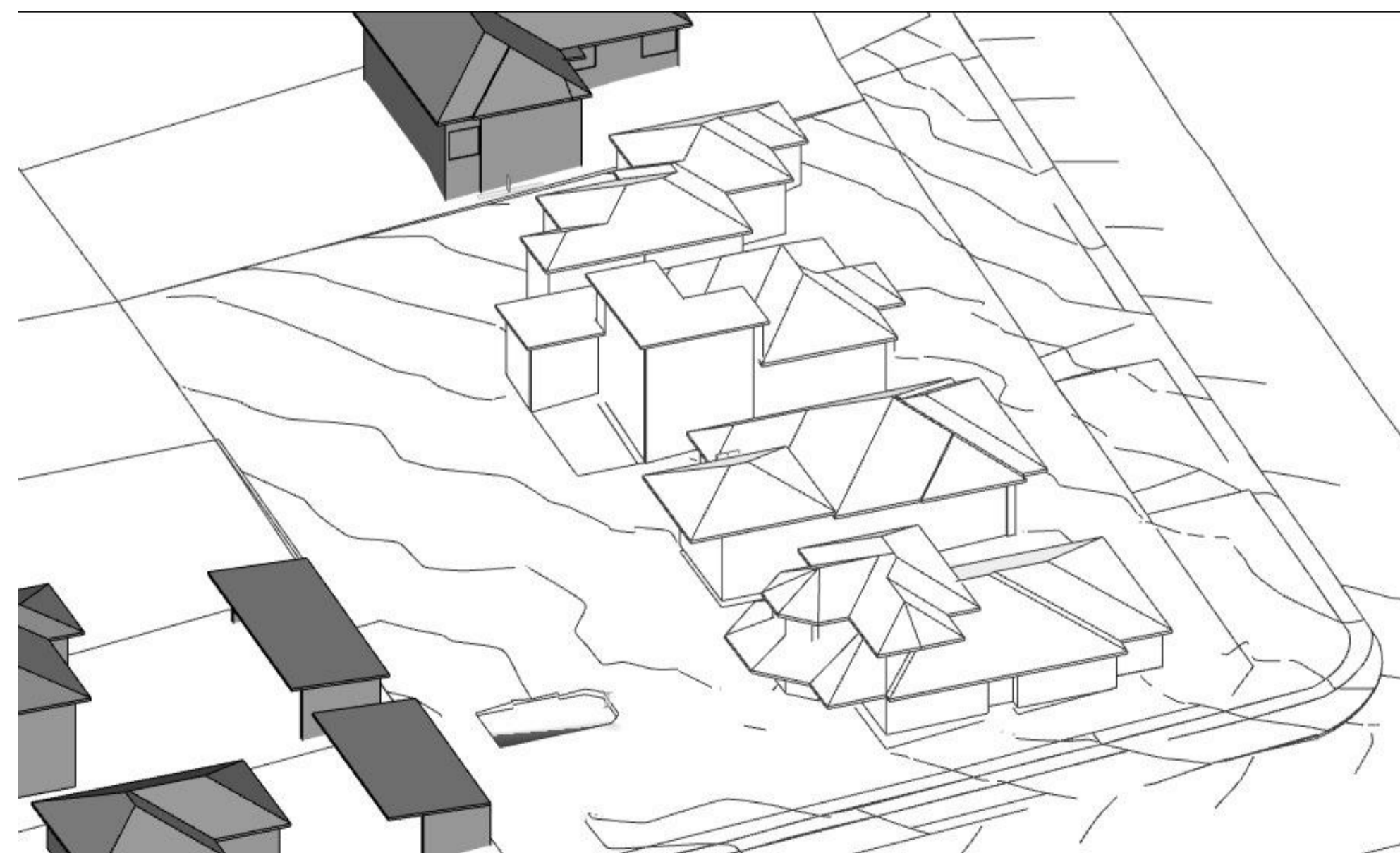




7 Sun Eye View: June 21 - 9:00am Existing



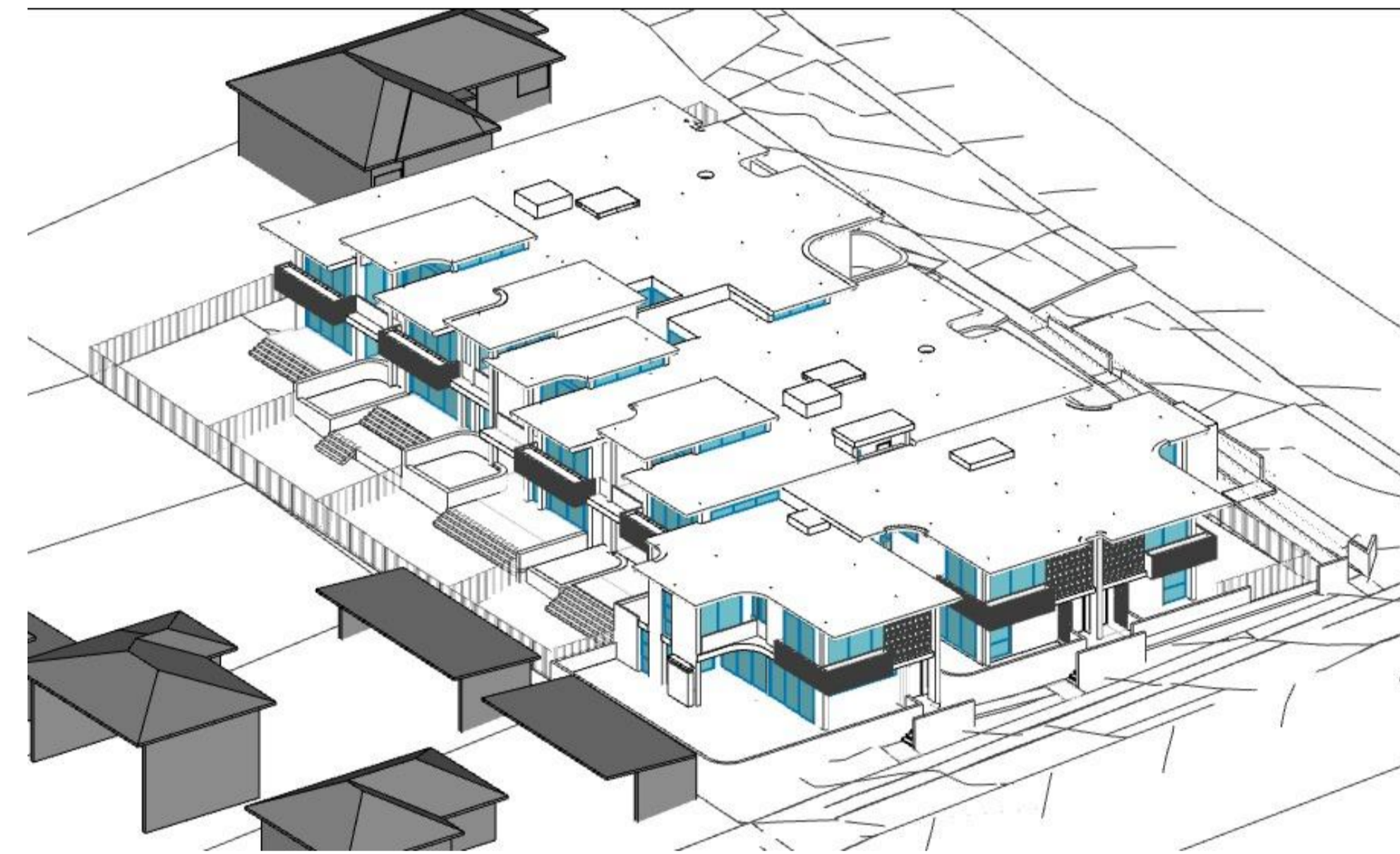
9 Sun Eye View: June 21 - 10:00am Existing



11 Sun Eye View: June 21 - 11:00am Existing



8 Sun Eye View: June 21 - 9:00am Proposed



10 Sun Eye View: June 21 - 10:00am Proposed



12 Sun Eye View: June 21 - 11:00am Proposed

01 28/06/23 FOR DEVELOPMENT APPLICATION
 Rev Date Amendment
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LEGEND:
 ■ PROPOSED NEW SHADOWS
 ■ EXISTING SHADOWS UNCHANGED
 ■ EXISTING SHADOWS NO LONGER CAST

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Client
Collaroy Living Pty Ltd
 Project
COLLARROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097
 Status
FOR DEVELOPMENT APPLICATION

Title
Sun Eye Diagrams June 21 Existing & Proposed
 Drawing No. 0638-DA121
 Revision 01
 Scale 1:123.46 at A1 size
 Date 28/06/23



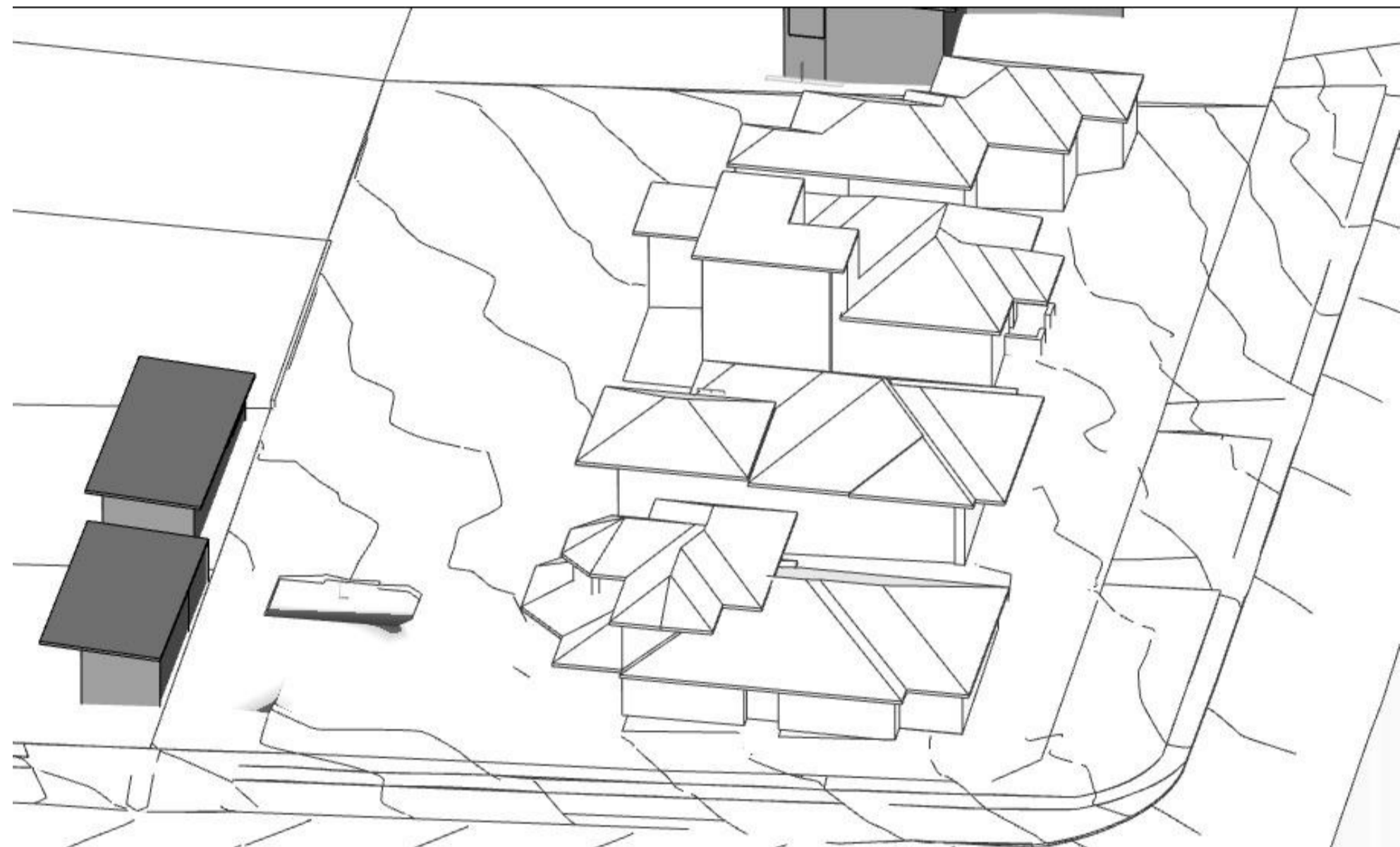
7

Sun Eye View: June 21 - 12:00pm Existing



8

Sun Eye View: June 21 - 12:00pm Proposed



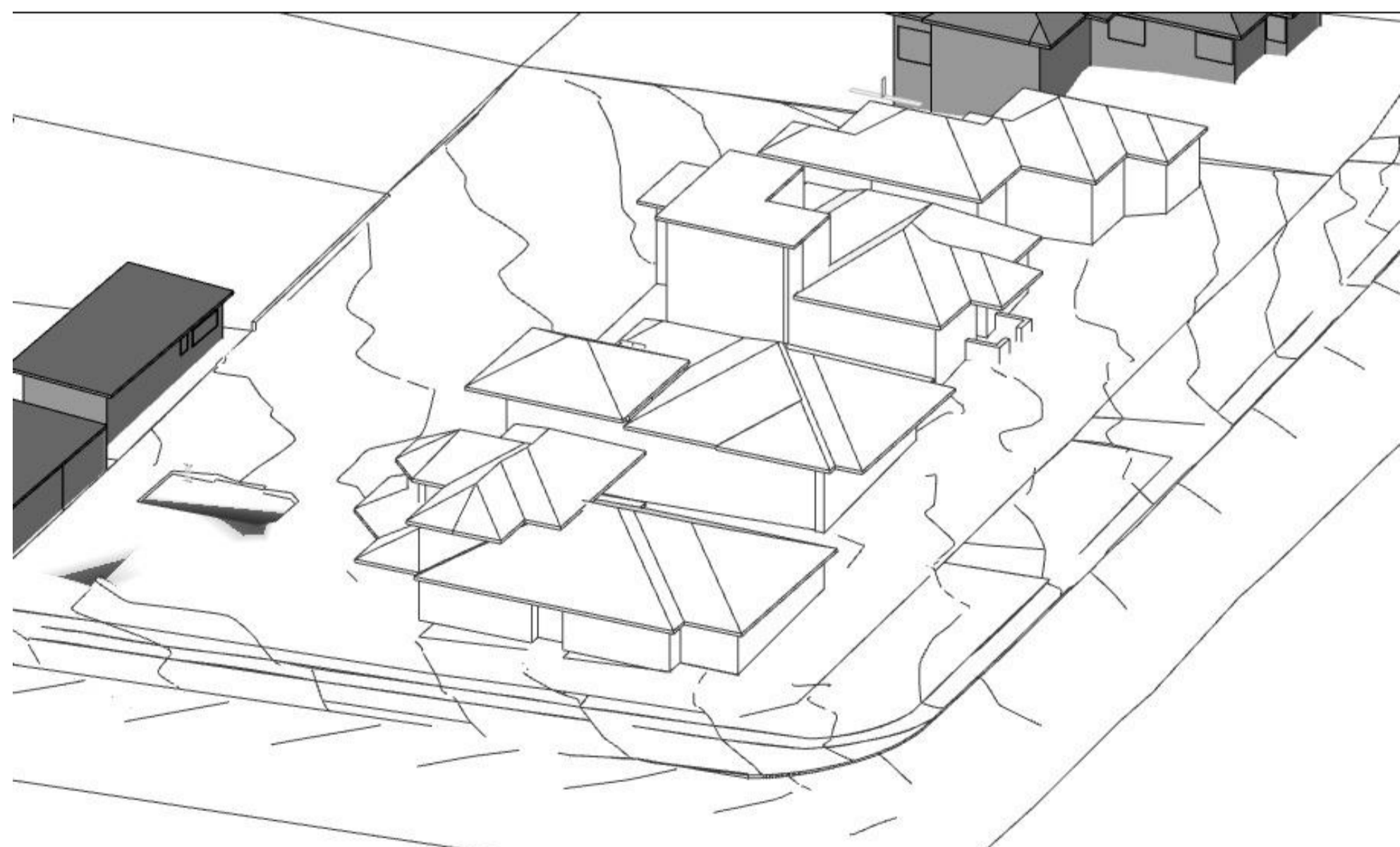
9

Sun Eye View: June 21 - 1:00pm Existing



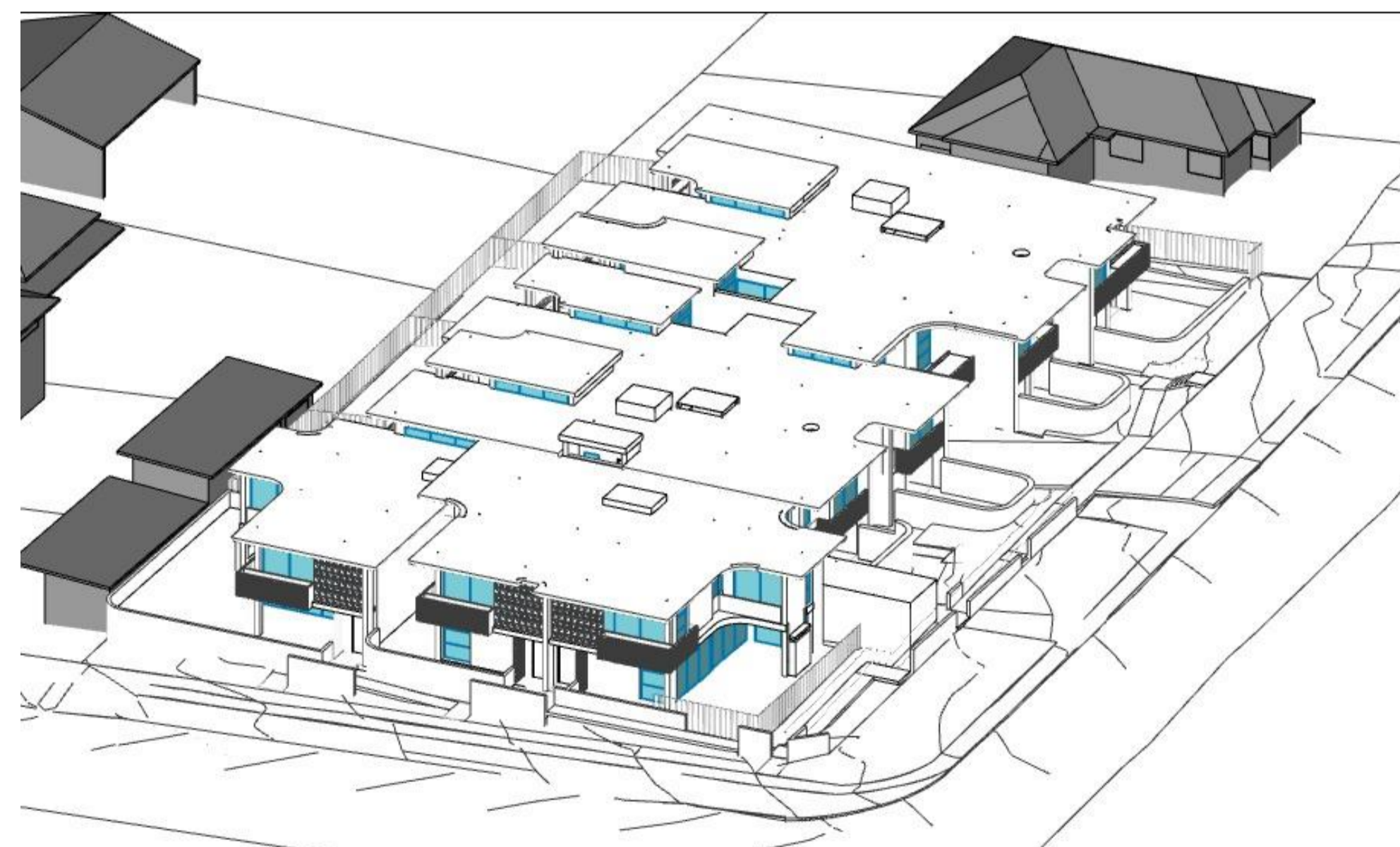
10

Sun Eye View: June 21 - 1:00pm Proposed



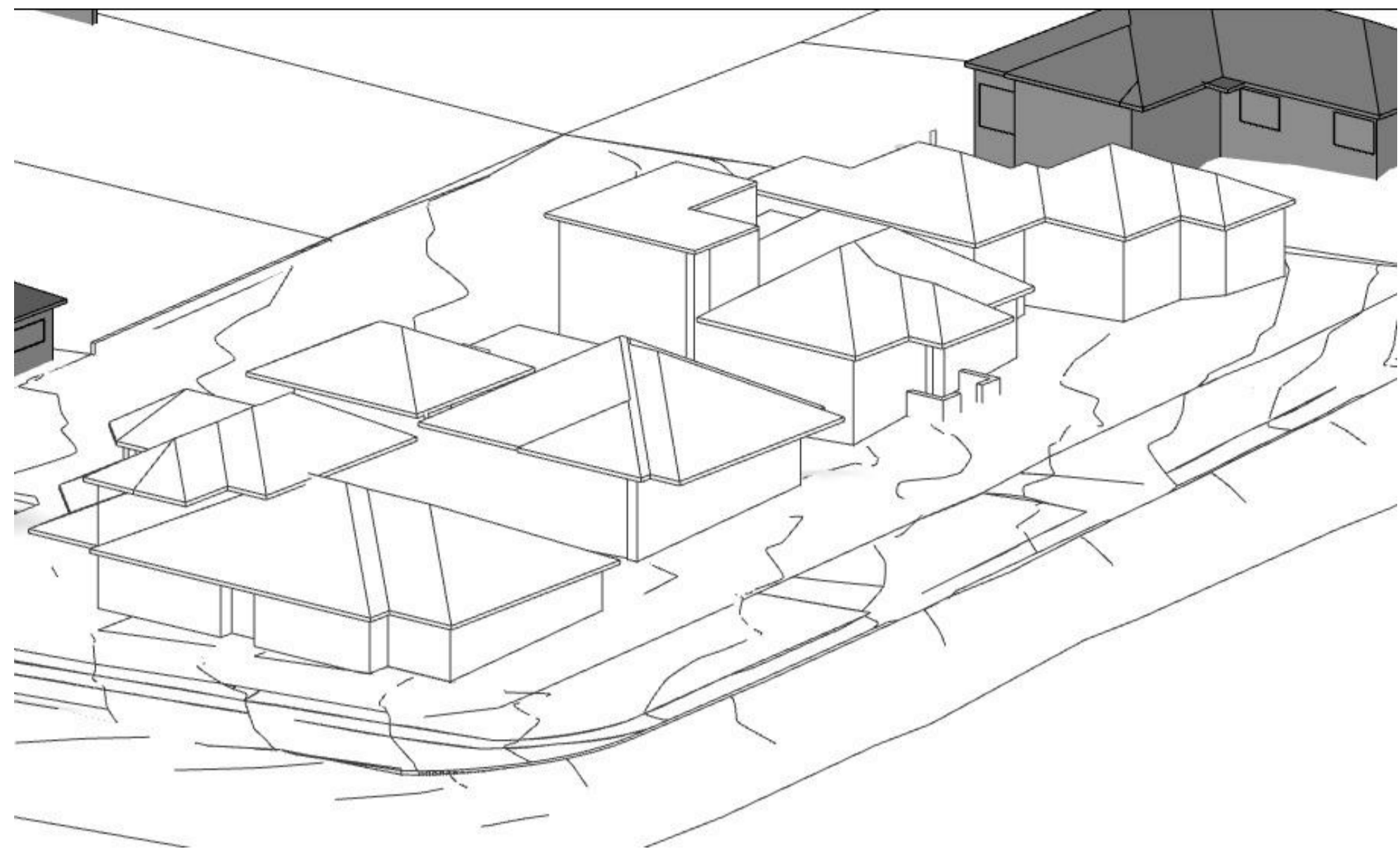
11

Sun Eye View: June 21 - 2:00pm Existing

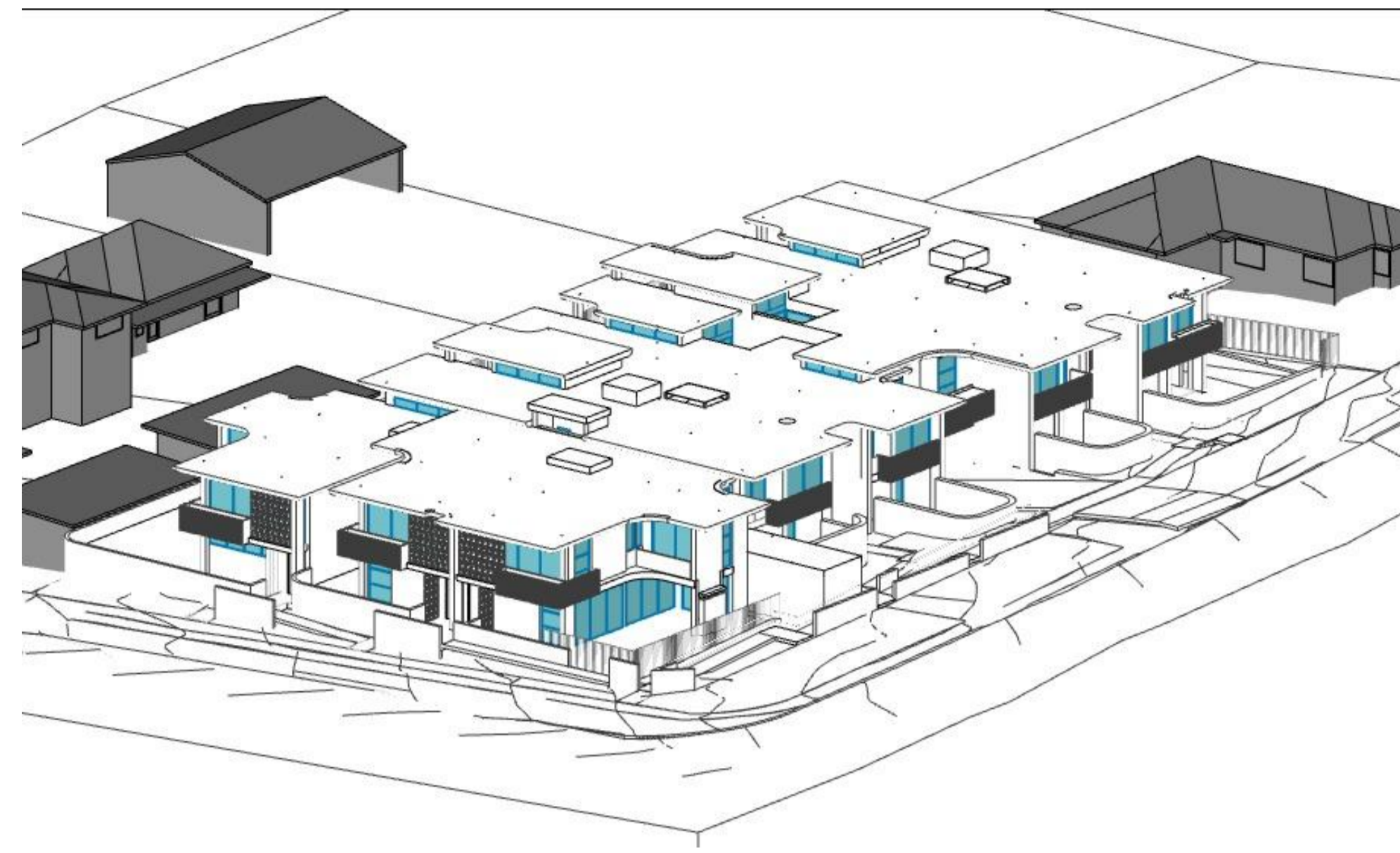


12

Sun Eye View: June 21 - 2:00pm Proposed



Sun Eye View: June 21 - 3:00pm Existing



Sun Eye View: June 21 - 3:00pm Proposed

Solar Access Tally at 30 Minute Intervals
PROPOSED
 Subject site: **37-43 Hay Street Collaory NSW 2097**

Y = in sunlight
 N = not in sunlight

No. of Apt	Floor Level (Living)	Unique Apt ID	Room Name	9:00	9:30	10:00	10:30	11:00	11:30	12:00	12:30	1:00	1:30	2:00	2:30	3:00	Total Hours	≥ 2 hours sun to 50% P.O.S & LIVING	
1	GF	AP 01	LIVING	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	6	Y	
			P.O.S	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5		Y
2	GF	AP 02	LIVING	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	6	Y	
			P.O.S	Y	0	N	0	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5		Y
3	GF	AP 03	LIVING	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	6	Y	
			P.O.S	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5		Y
4	GF	AP 04	LIVING	Y	0.5	Y	0	N	0	Y	0	N	0	N	0	N	0	0.5	
			P.O.S	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	
5	GF	AP 05	LIVING	Y	0.5	Y	0.5	Y	0.5	Y	0	N	0	N	0	N	0	2	Y
			P.O.S	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0	N	0	N	0	N	
6	GF	AP 06	LIVING	Y	0.5	Y	0.5	Y	0.5	Y	0	N	0	N	0	N	0	2	Y
			P.O.S	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0	N	
7	GF	AP 07	LIVING	Y	0.5	Y	0.5	Y	0.5	Y	0	N	0	N	0	N	0	2	Y
			P.O.S	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0	N	0	N	
8	1	AP 08	LIVING	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0	5	
			P.O.S	Y	0.5	Y	0.5	Y	0.5	Y	0	N	0	N	0	N	0	N	
9	1	AP 09	LIVING	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	4.5	Y
			P.O.S	Y	0.5	Y	0.5	Y	0.5	Y	0	N	0	N	0	N	0	N	
10	1	AP 10	LIVING	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	6	
			P.O.S	Y	0.5	Y	0.5	Y	0.5	Y	0	N	0	N	0	N	0	N	
11	1	AP 11	LIVING	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	6	Y
			P.O.S	Y	0.5	Y	0.5	Y	0.5	Y	0	N	0	N	0	N	0	N	

No. of Dwellings	
11	

≥ 2 hours sunlight to 50% POS & LIVING	
8	
72.7%	

LEGEND:
 [Blue Box] = PROPOSED NEW SHADOWS
 [Grey Box] = EXISTING SHADOWS UNCHANGED
 [Red Box] = EXISTING SHADOWS NO LONGER CAST



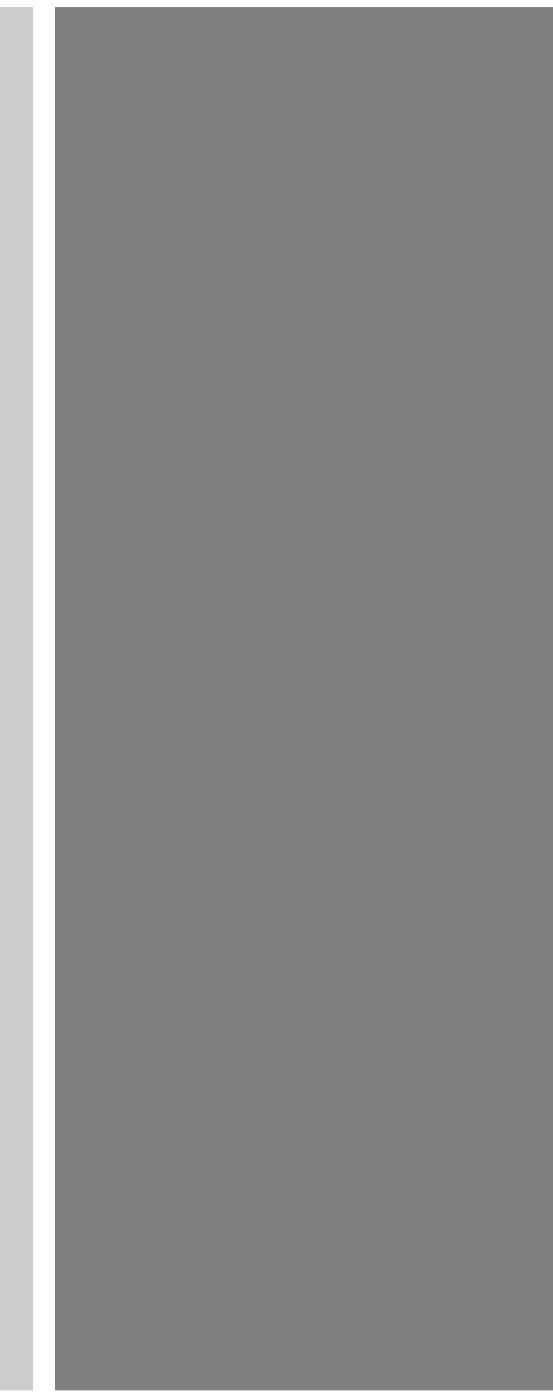
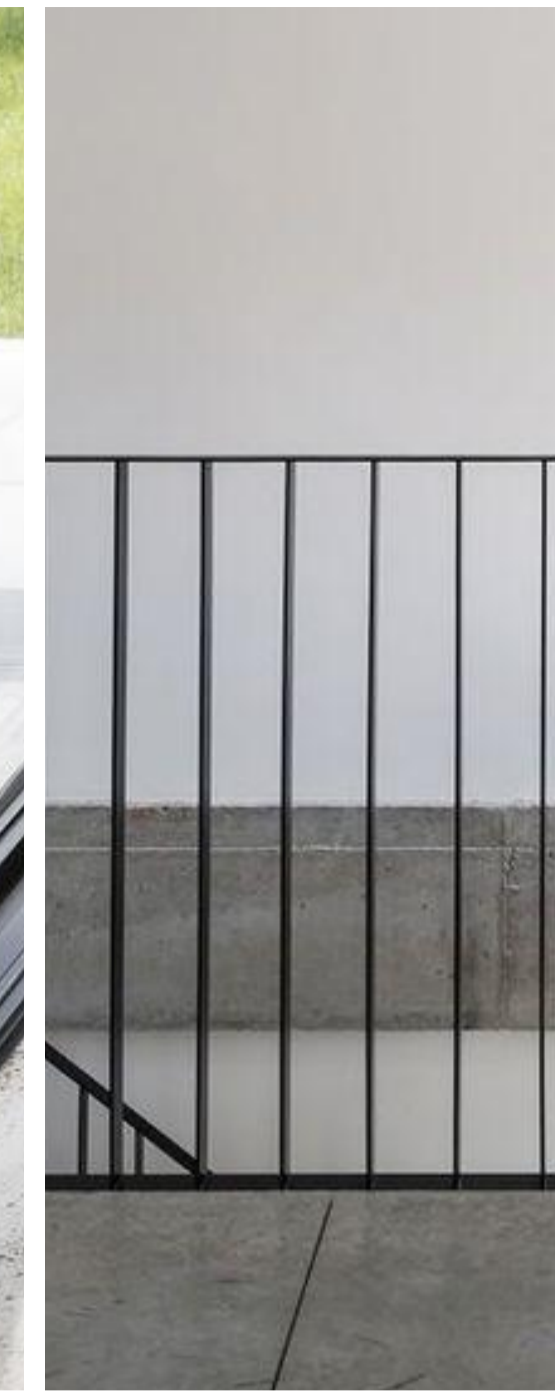
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Client
Collaory Living Pty Ltd
 Project
COLLAROY LIVING RESIDENCES
 37-43 Hay Street Collaory NSW 2097
 Status
FOR DEVELOPMENT APPLICATION

Title
Sun Eye Diagrams June 21 Existing & Proposed
 Drawing No.
 0638-DA123
 Revision
 01
 Scale
 1:123.46 at A1 size
 Date
 28/06/23

01 28/06/23 FOR DEVELOPMENT APPLICATION
 Rev Date Amendment
 AW AW
 DN CK
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BR
BRICKWORK

CO
CONCRETE

BB
BREEZE BLOCK

SS
SANDSTONE

WB
TIMBER LOOK
METAL CLADDING

GB
GLASS BALUSTRADE

GW
GLAZED WINDOW

MB
METAL BALUSTRADE

TL
TILE FINISH

PF1
PAINT FINISH LIGHT

PF2
PAINT FINISH DARK

SS GW BB WB CO CO WB



ANZAC AVENUE PERSPECTIVE

CO TL CO PF2 GW PF1



HAY STREET PERSPECTIVE

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Client
Collaroy Living Pty Ltd
Project
COLLARROY LIVING RESIDENCES
37-43 Hay Street Collaroy NSW 2097
Status
FOR DEVELOPMENT APPLICATION

Title
Schedule of colours and materials
Drawing No. 0638-DA124
Revision 01
Scale NTS
Date 28/06/23