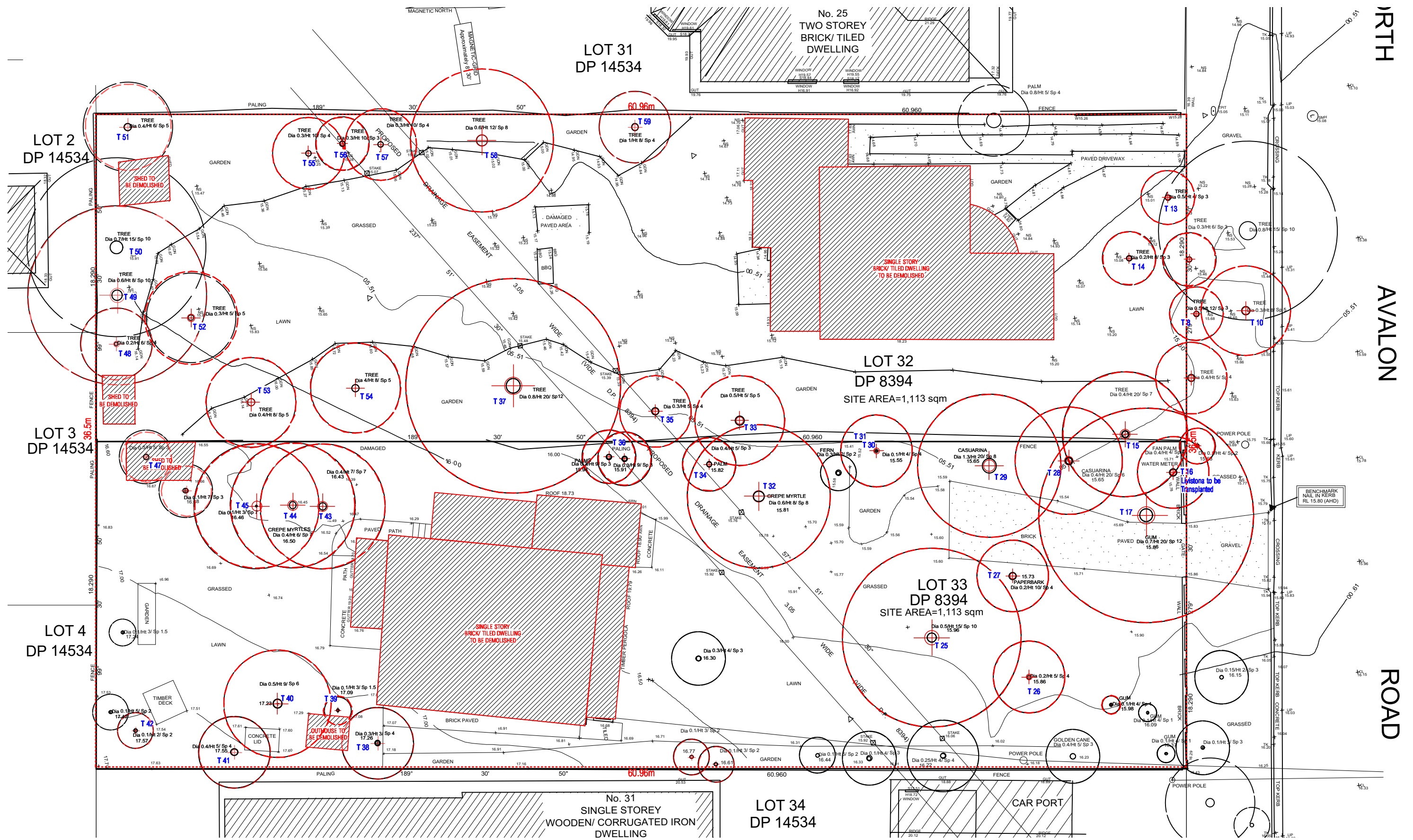


development application

Project: **SENIORS LIVING** 991
 Client: **ARMADA AVALON PTY LTD**
 Site: **27-29 NORTH AVALON ROAD,
 AVALON BEACH**
 Stage: **DEVELOPMENT APPLICATION**
 Date: **3-Oct-19**

DWG	DRAWING TITLE	ISSUE
	LANDSCAPE ARCHITECT	
LP-00	EXISTING TREE PLAN	C
LP-01	LANDSCAPE PLAN	C
LP-02	LANDSCAPE ELEVATIONS	C
LP-03	LANDSCAPE DETAILS	C
	CIVIL ENGINEER	
D01	SEDIMENT + EROSION CONTROL PLAN	B
D02	SEDIMENT + EROSION CONTROL DETAILS	B
D03	LEVEL 1 STORMWATER DRAINAGE PLAN	B
D04	LEVEL 2 STORMWATER DRAINAGE PLAN	B
D05	UPPER ROOF STORMWATER PLAN	B
D06	STORMWATER DRAINAGE NOTES	B
D07	STORMWATER DRAINAGE DETAILS	B
	SURVEYOR	
14535	SITE SURVEY	C

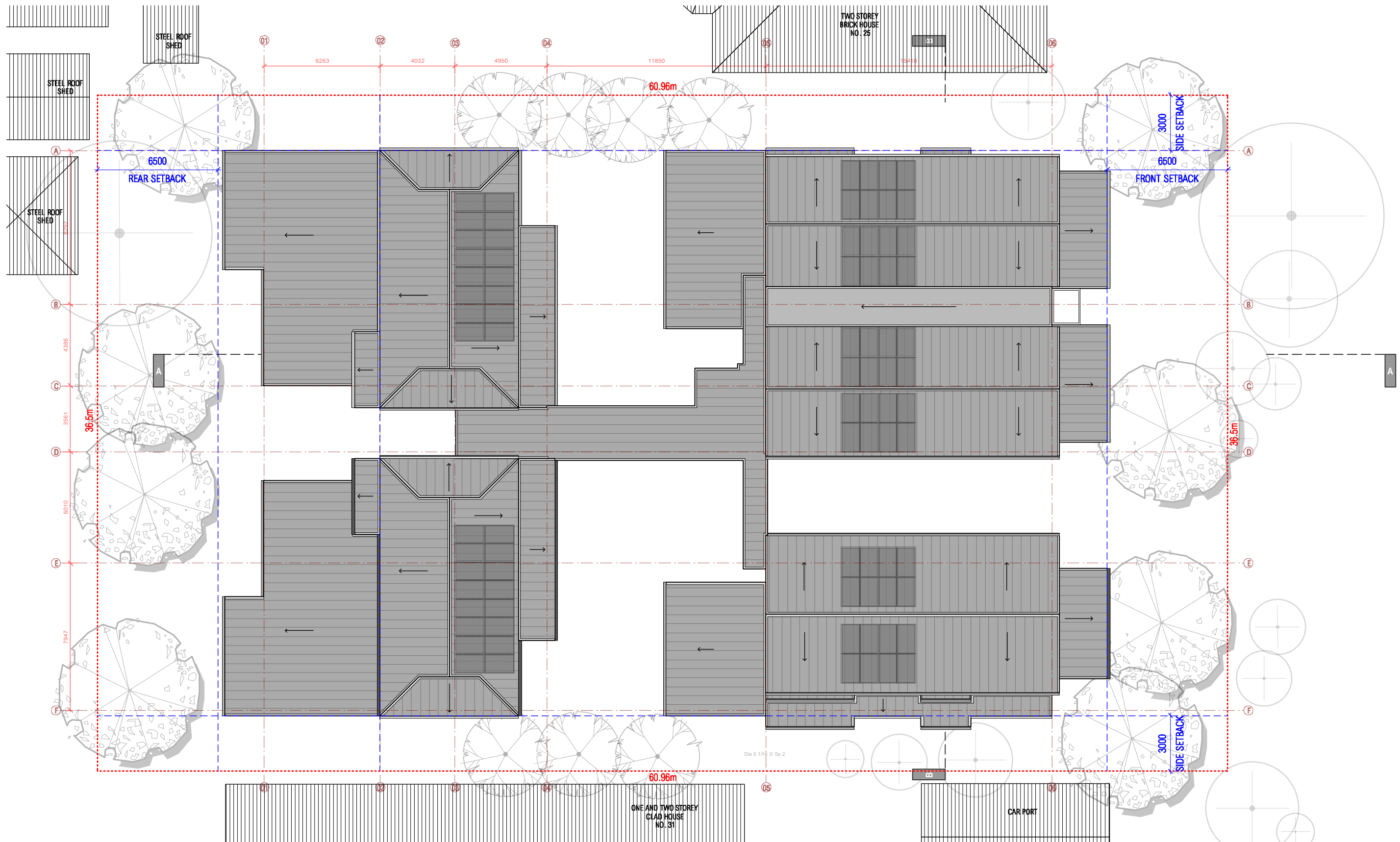
DWG	DRAWING TITLE	ISSUE
000	PRE CONSTRUCTION INFORMATION	
020	SITE ANALYSIS PLAN 1:500	L
030	SITE PLAN 1:500	L
040	EXISTING/ DEMOLITION PLAN 1:200	L
100	GENERAL ASSEMBLY PLANS	
101	LEVEL 1 FLOOR PLAN 1:200	L
102	LEVEL 2 FLOOR PLAN 1:200	L
110	ROOF PLAN 1 1:200	L
120	SECTION AA + BB 1:200	L
130	NORTH + EAST ELEVATION 1:200	L
131	SOUTH + WEST ELEVATION 1:200	L
133	NORTH + SOUTH INTERNAL ELEVATION 1:200	L
200	SCHEDULES	
210	MATERIALS + FINISHES SCHEDULE	L
211	TERMS + ABBREVIATIONS SUMMARY	L
220	CONSTRUCTION WASTE MANAGEMENT PLAN	L
900	NON-CONSTRUCTION INFORMATION	
901	3D PERSPECTIVE SHEET 1	L
910	SHADOW DIAGRAMS - JUNE 21	L
911	SHADOW DIAGRAMS - SEPT 23	L
912	SHADOW DIAGRAMS - DEC 21	L
913	SOLAR ACCESS STUDY-LIVING ROOM GLAZING - SHEET 1	L
914	SOLAR ACCESS STUDY-LIVING ROOM GLAZING - SHEET 2	L
915	SOLAR ACCESS STUDY-LIVING ROOM GLAZING - SHEET 3	L
916	SOLAR ACCESS STUDY-PRIVATE OPEN SPACE - SHEET 1	L
917	SOLAR ACCESS STUDY-PRIVATE OPEN SPACE - SHEET 2	L
919	SOLAR ACCESS STUDY SUMMARY	L
930	BASIX COMMITMENTS	L
960	BUS ROUTE PLAN	L
980	AREA CALCULATION SUMMARY - SHEET 1	L
981	AREA CALCULATION SUMMARY - SHEET 2	L



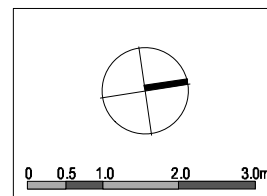
EXISTING / DEMOLITION PLAN
1:200 @ A3

TREES TO BE RETAINED TREES TO BE REMOVED

	notes all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.	rev date amendment A 23/01/19 issued for information A 25/02/19 issued to council for information B 08/03/19 issued for information C 16/04/19 issued to consultants + client D 30/04/19 issued for information D 03/05/19 issued to consultants E 10/05/19 issued to consultants F 30/05/19 issued to consultants	rev date amendment F 14/06/19 issued to consultants + client G 19/06/19 issued to consultants + client H 21/06/19 issued to consultants + client I 02/07/19 issued to consultants + client J 31/07/19 issued to client for comment J 19/08/19 issued to client for comment K 27/08/19 issued to client for comment L 30/09/19 issued to client for information	environa studio 224 riley st surry hills 2010 t: 02 9211 0000 w: www.environastudiacom.au architects registration number 6239	project SENIORS LIVING for/client ARMADA AVALON PTY LTD	location 27-29 NORTH AVALON ROAD at AVALON BEACH	drawing EXISTING / DEMOLITION PLAN drawing	stage DA chkd drwn TW MB	project no. 991 date 03/10/19	dwg no. 040 revision L
		notes all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.	rev date amendment A 23/01/19 issued for information A 25/02/19 issued to council for information B 08/03/19 issued for information C 16/04/19 issued to consultants + client D 30/04/19 issued for information D 03/05/19 issued to consultants E 10/05/19 issued to consultants F 30/05/19 issued to consultants	rev date amendment F 14/06/19 issued to consultants + client G 19/06/19 issued to consultants + client H 21/06/19 issued to consultants + client I 02/07/19 issued to consultants + client J 31/07/19 issued to client for comment J 19/08/19 issued to client for comment K 27/08/19 issued to client for comment L 30/09/19 issued to client for information	environa studio 224 riley st surry hills 2010 t: 02 9211 0000 w: www.environastudiacom.au architects registration number 6239	project SENIORS LIVING for/client ARMADA AVALON PTY LTD	location 27-29 NORTH AVALON ROAD at AVALON BEACH	drawing EXISTING / DEMOLITION PLAN drawing	stage DA chkd drwn TW MB	project no. 991 date 03/10/19



ROOF LEVEL
1:200 @ A3



notes
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rev	date	amendment
A	23/01/19	issued for information
A	25/02/19	issued to council for information
B	08/03/19	issued for information
C	16/04/19	issued for information
D	30/04/19	issued for information
D	03/05/19	issued to consultants
E	10/05/19	issued to consultants
F	30/05/19	issued to consultants

rev	date	amendment
F	14/06/19	issued to consultants
G	19/06/19	issued to consultants + client
H	21/06/19	issued to consultants + client
I	02/07/19	issued to consultants + client
J	31/07/19	issued to client for comment
J	19/08/19	issued to client for comment
K	27/08/19	issued to client for comment
L	30/09/19	issued to client for information

environa studio
224 riley st surry hills 2010
t: 02 9211 0000
w: www.environastudio.com.au
architects registration number 6239

project
SENIORS LIVING

for/client
ARMADA AVALON PTY LTD

location
27-29 NORTH AVALON ROAD

at
AVALON BEACH

drawing
ROOF LEVEL

drawing
PLAN

stage
DA

chkd drwn
TW MB

date
03/10/19

project no.
991

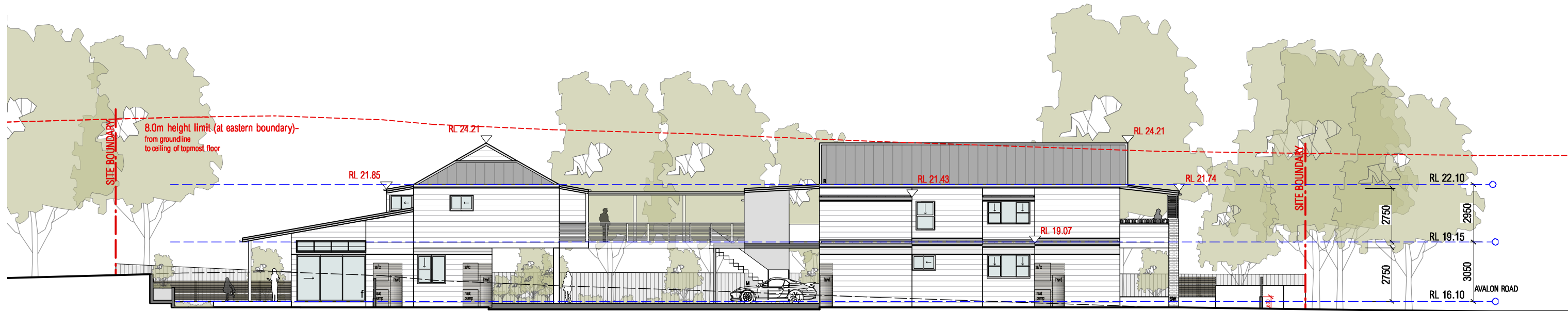
revision
L

dwg no.
110

MATERIALS + FINISHES LEGEND			
EXTERNAL ITEMS	MATERIAL	COLOUR CODE (NAME)	LEGEND ABBREVIATION
EXTERNAL WALLS	BARRAMAY STONE WALLING	ECO OUTDOOR	SW
EXTERNAL WALLS	WEATHERBOARD	"WHITE"	WB
EXTERNAL WALL	COLORBOND	MONUMENT	M
BALUSTRADES	WEATHER BOARD	WHITE	B
METALWORK - OUTDOOR COMPRESS, JOINING	COLORBOND STEEL	"SUN WEST"	G
DECKING + FENCING	TIMBER CLAD	"SPOTTED OAK"	TO
DECKING	MOONWOOD	NATURAL GRAY COLLECTION - BLACK STAIN / JARRAWAY SILVER OAK	MO
EXTERNAL PAINTING OPERATIVE	BEAUFORD SANDSTONE	"FLOOR TILE ECO OUTDOOR"	BS
METALWORKS ROOFING	COLORBOND STEEL	"SHALE GREY"	R
DOOR FRAMES + WINDOW FRAMES + FROD SCREENS	POWDER COATED ALUMINIUM	"LUXURON QUANTIK"	D



01 NORTH ELEVATION
1:200 @ A3



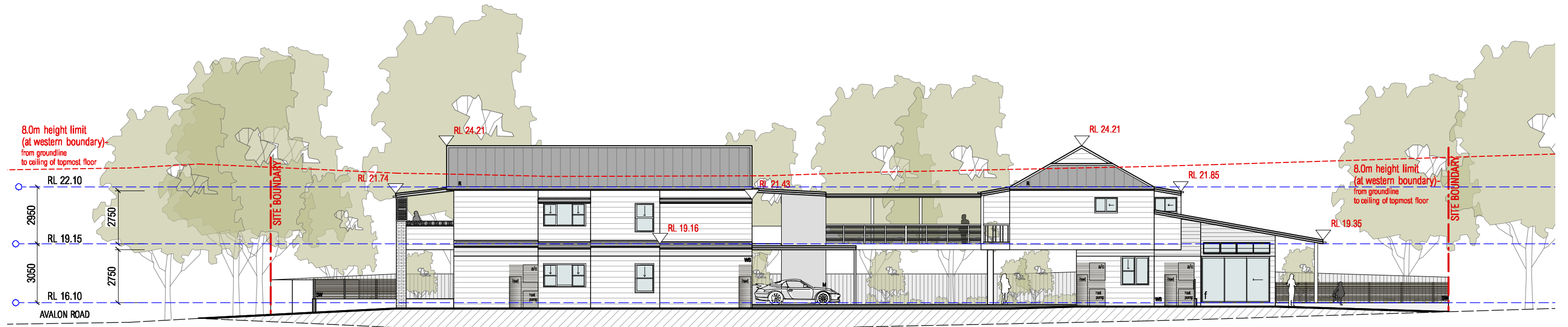
02 EAST ELEVATION
1:200 @ A3

<p>notes</p> <p>all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.</p>	<p>rev</p> <p>A</p> <p>B</p> <p>C</p> <p>D</p> <p>E</p> <p>F</p>	<p>date</p> <p>23/01/19</p> <p>25/02/19</p> <p>08/03/19</p> <p>16/04/19</p> <p>30/04/19</p> <p>03/05/19</p> <p>10/05/19</p> <p>30/05/19</p>	<p>amendment</p> <p>issued for information</p> <p>issued to council for information</p> <p>issued for information</p> <p>issued for information</p> <p>issued to consultants</p> <p>issued to consultants</p> <p>issued to consultants</p>	<p>rev</p> <p>F</p> <p>G</p> <p>H</p> <p>I</p> <p>J</p> <p>K</p> <p>L</p>	<p>date</p> <p>14/06/19</p> <p>19/06/19</p> <p>21/06/19</p> <p>02/07/19</p> <p>31/07/19</p> <p>19/08/19</p> <p>27/08/19</p> <p>30/09/19</p>	<p>amendment</p> <p>issued to consultants</p> <p>issued to consultants + client</p> <p>issued to consultants + client</p> <p>issued to consultants + client</p> <p>issued to client for comment</p> <p>issued to client for comment</p> <p>issued to client for comment</p> <p>issued to client for information</p>	<p>environa studio</p> <p>224 riley st surry hills 2010</p> <p>t: 02 9211 0000</p> <p>w: www.environastudio.com.au</p> <p>architects registration number 6239</p>	<p>project</p> <p>SENIORS LIVING</p>	<p>location</p> <p>27-29 NORTH AVALON ROAD</p>	<p>drawing</p> <p>NORTH + EAST</p>	<p>stage</p> <p>DA</p>	<p>project no.</p> <p>991</p>	<p>dwg no.</p> <p>130</p>
	<p>0 0.5 1.0 2.0 3.0m</p>	<p>for/client</p> <p>ARMADA AVALON PTY LTD</p>	<p>at</p> <p>AVALON BEACH</p>	<p>drawing</p> <p>ELEVATIONS</p>	<p>chkd</p> <p>TW</p>	<p>drwn</p> <p>MB</p>	<p>date</p> <p>03/10/19</p>	<p>revision</p> <p>L</p>					

MATERIALS + FINISHES LEGEND			
EXTERNAL ITEMS	MATERIAL	COLOUR CODE (NAME)	LEGEND ABBREVIATION
EXTERNAL WALLS	BATHSMAI STONE WALLING	ECO OUTDOOR	SW
EXTERNAL WALLS	WEATHERBOARD	"WHITE"	WB
EXTERNAL WALL	COLORBOND	MONUMENT	M
BALUSTRADES	WEATHER BOARD	WHITE	B
METALWORK - RAILINGS	COLORBOND STEEL	"SUN WEST"	G
DECKING + FENCING	TIMBER CLAD	"SPOTTED OAK"	TC
DECKING	MOONWOOD	NATURAL GRAY COLLECTION - BLACK STAIN / JARRAW SILVER OAK	MD
EXTERNAL PAVING DRIVEWAY	BEAUFORD SANDSTONE	"FLOOR TILE ECO OUTDOOR"	BS
METALWORKS ROOFING	COLORBOND STEEL	"SHALE GREY"	R
DOOR FRAMES + WINDOW FRAMES + FROD SCREENS	POWDER COATED ALUMINIUM	"LUXION QUARTZ"	D



01 SOUTH ELEVATION
1:200 @ A3



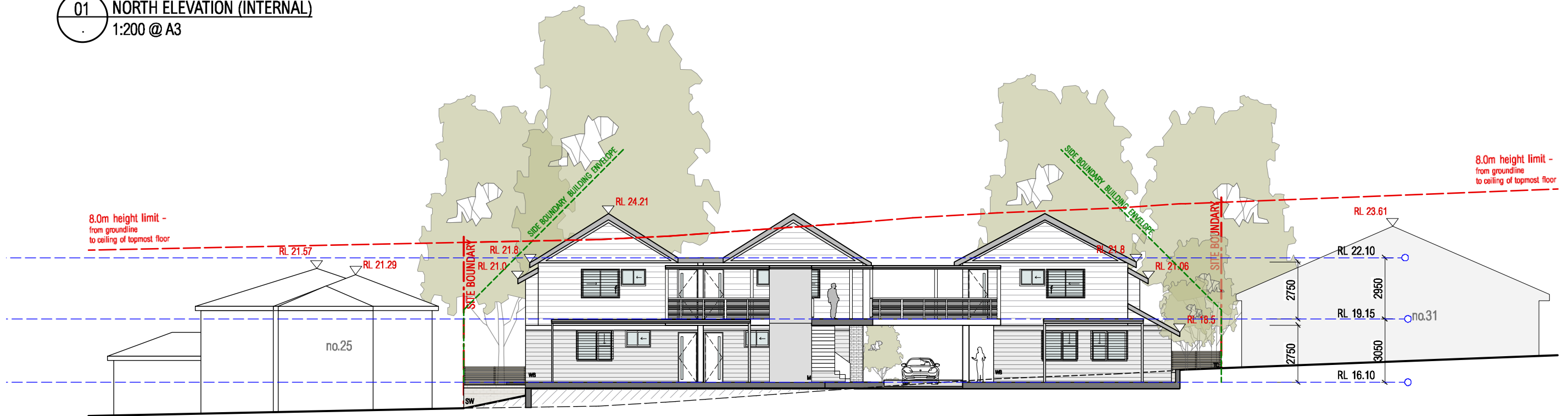
02 WEST ELEVATION
1:200 @ A3

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		rev date amendment	rev date amendment		for/client ARMADA AVALON PTY LTD	at AVALON BEACH	drawing ELEVATIONS	chkd drwn TW MB	date 03/10/19	revision L

MATERIALS + FINISHES LEGEND			
EXTERNAL ITEMS	MATERIAL	COLOUR CODE (NAME)	LEGEND ABBREVIATION
EXTERNAL WALLS	BARRAMAY STONE WALLING	ECO OUTDOOR	SW
EXTERNAL WALLS	WEATHERBOARD	"WHITE"	WB
EXTERNAL WALL	COLORBOND	MONUMENT	M
BALUSTRADES	WEATHER BOARD	WHITE	B
METALWORK - BUTTRES COMPRESS, JOINTING	COLORBOND STEEL	"SUN WEST"	G
DECKING + FENCING	TIMBER CLAD	"SPOTTED OAK"	TO
DECKING	MOONWOOD	NATURAL GRAY COLLECTION - BLACK BARK JARRAW SILVER OAK	MO
EXTERNAL FENCING OPENING	BEARFORD SANDSTONE	"FLOOR TILE ECO OUTDOOR"	BS
METALWORK ROOFING	COLORBOND STEEL	"SHALE GREY"	R
DOOR FRAMES + WINDOW FRAMES + FIBRO SCREENS	POWDER COATED ALUMINIUM	"LUXURON QUARTZ"	D


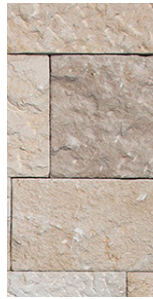





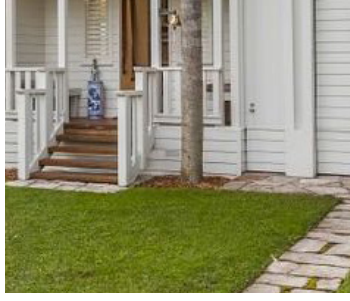

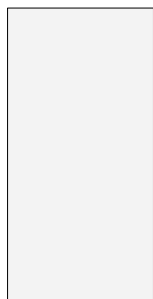


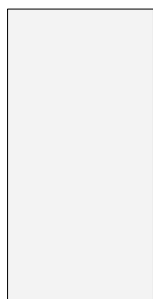




01 NORTH ELEVATION (INTERNAL)
1:200 @ A3



02 SOUTH ELEVATION (INTERNAL)
1:200 @ A3

notes	rev	date	amendment	rev	date	amendment	environa studio	project	location	drawing	stage	project no.	dwg no.
all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.	A	23/01/19	issued for information	F	14/06/19	issued to consultants	224 riley st surry hills 2010 t: 02 9211 0000 w: www.environastudio.com.au architects registration number 6239	SENIORS LIVING	27-29 NORTH AVALON ROAD	NORTH + SOUTH (INTERNAL)	DA	991	133
	B	08/03/19	issued for information	G	19/06/19	issued to consultants + client							
	C	16/04/19	issued for information	H	21/06/19	issued to consultants + client							
	D	30/04/19	issued for information	I	02/07/19	issued to consultants + client							
	E	10/05/19	issued to consultants	J	31/07/19	issued to client for comment							
	F	30/05/19	issued to consultants	K	27/08/19	issued to client for comment							
				L	30/09/19	issued to client for information	at	AVALON BEACH	drawing	chkd	drwn	date	revision
							ARMADA AVALON PTY LTD			TW	MB	03/10/19	L

EXTERNAL ITEMS	MATERIAL	COLOUR CODE (NAME)	LEGEND ABBREVIATION	EXTERNAL ITEMS	MATERIAL	COLOUR CODE (NAME)	LEGEND ABBREVIATION			
		EXTERNAL WALLS	BARRIMAH STONE WALLING	ECO OUTDOOR	SW		DECKING + FENCING	TIMBER CLAD	"SPOTTED GUM"	TC
		EXTERNAL WALLS	WEATHERBOARD	"WHITE"	WB		DECKING	MODWOOD	NATURAL GRAIN COLLECTION- BLACK BEAN/ JARRAH/ SILVER GUM	MD
		EXTERNAL FEATURE WALL	COLORBOND	MONUMENT	M		EXTERNAL PAVING DRIVEWAY	BEAUFORD SANDSTONE	"FLOOR TILE ECO OUTDOOR"	BS
		METALWORK, GUTTERS DOWPIPES, AWNING	COLORBOND STEEL	"SURF MIST"	G		METALWORKS ROOFING	COLORBOND STEEL	"SHALE GREY"	R
		BALLUSTRADES	TIMBER	"WHITE"	B		DOOR FRAMES + WINDOW FRAMES + FIXED SCREENS	POWDER COATED ALUMINIUM	"WHITE"	D

	notes all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.	rev date amendment	rev date amendment	environa studio 224 riley st surry hills 2010 t: 02 9211 0000 w: www.environastudio.com.au architects registration number 6239	project SENIORS LIVING	location 27-29 NORTH AVALON ROAD	drawing MATERIALS AND FINISHES	stage DA	project no. 991	dwg no. 210
		rev date amendment	rev date amendment		for/client ARMADA AVALON PTY LTD	at AVALON BEACH	drawing SCHEDULE	chkd drwn TW MB	date 03/10/19	revision L

TERMS AND ABBREVIATIONS

Abbreviations used on the drawings and in the specifications and schedules are as follows:

AFS	As further specified
BWB	Block / Brickwork - Bagged
BWR	Block / Brickwork - Rendered
BCA	Building Code of Australia
BC	Bright Chrome
CCA	Copper/Chrome/Arsenate treated timber
CCR	Corrugated Colorbond Roofing
CCW	Corrugated Colorbond Wall Sheeting
CFC	Compressed Fibre Cement sheet
CIS	Concrete in situ
CT	Ceramic Tiles
cls	Centres
DP	Downpipe
EPS	Expanded Polystyrene (insulation)
F	Fixed glass
FB	Face brickwork
FC	Fibre Cement (painted sheets)
FCR	Fibre Cement Rendered (Harditex)
FFL	Finished floor level
GB	Glass blockwork
VGPO	General Power Outlet
HW	Hardwood
HDG	Hot Dipped Galvanised
HDPE	High Density Polyethylene (piping)
HPP	Hebel Power Panel
HSF	Hebel Sound Floor
HTP	Harditex cladding
HWS	Hot water service
L	Glass Louvres (in windows)
LFC	Linoleum floor covering
LSOP	Light Oil Solvent Preservative = 'Gold' Treated timber
LVL	Laminated Veneer Lumber
MDF	Medium density fibreboard = customwood
MGP	Machine Graded Pine framing (Wall/Roof)
MI	Manufacturer's instructions
NIC	Not in Contract
OFC	Off form concrete
PB	Plasterboard
PCC	Pre cast concrete
PFC	Parallel Flange Channel
PRF	Pirelli rubber floor covering
PS	Provisional Sum
PTB	Particle Board
RFL	Reflective foil laminate
RHS	Rectangular hollow section
RP	Radiata Pine
S+I	Supply and Install
SC	Satin Chrome
SHS	Square Hollow section
SS	Stainless Steel
T+G	Tongue and grooved (flooring/walling)
TBA	To be advised
TR	Towel rail
TRH	Tiolet roll holderz
TT	Terracotta Tile
UB	Universal Beam
UC	Universal Column
UNO	Unless noted otherwise
VOS	Verify on site
VR	Veneer
WRC	Western Red Cedar (timber)

NOTES

All work as shown in the drawings and schedule, including all necessary work even if not drawn or scheduled. Refer all queries and discrepancies to the architects. All measurements in mm unless noted otherwise.

Standard of Work and Regulations
All work to be carried out in accordance with:
• Building Code of Australia 2016
• AS Codes
• Conditions of Council
• Conditions of service supply authorities
• All relevant Australian Standards including, but not limited to the standards listed below.

Site Survey
Provide registered surveyor report at bearer + joist stage.

Demolition and Recycled Material
Demolition in accordance with Metro. Waste Board Guide.

Site management
No building activities on Council land.
Establish sediment controls as required by all authorities

Earthworks and excavation
All work to be carried out in accordance with the following:
BCA Part 3.1.1
Australian Standard AS2870

Stormwater Disposal
All work to be carried out in accordance with the following:
BCA Part 3.1.2 and BCA Part 3.5.2
Australian Standard AS/NZ3500.3.2

Termite Protection
All work to be carried out in accordance with the following:
BCA Part 3.1.3
Termite protection in accordance AS3660.1

Footings, Slab Design and Retaining Walls
All work to be carried out in accordance with the engineer's drawings and specifications and the following,
BCA Part 3.2
Australian Standard AS2870

Masonry Construction
All work to be carried out in accordance with the following:
BCA Part 3.3
Australian Standard AS3700

Structural Steel Framing
All work to be carried out in accordance with the engineer's drawings and specifications and the following:
BCA Part 3.4.2
Australian Standard AS1250 and AS3623

Timber Framing
All work to be carried out in accordance with the following:
BCA Part 3.4.3
Australian Standard AS1684
All timber to be from sustainable sources as follows: plantation and/or recycled timbers, the framing shall be in plantation Radiata Pine or NZ Douglas Fir, all structural timber shall be plantation grown glue laminated timber and all flooring shall be from recycled timber or bamboo T+G flooring.

Roof Cladding
All work to be carried out in accordance with the following:
BCA Part 3.5.1,
Australian Standard AS1562.1

Gutters and downpipes
All work to be carried out in accordance with the following:
BCA Part 3.5.2,
Australian Standard AS3500.3.2.

Wall Cladding
All work to be carried out in accordance with the following:
BCA Part 3.5.3

Windows and Doors and Installation of Glazing

All work to be carried out in accordance with the following:
BCA Part 3.6,
Australian Standard AS1288 or AS2047.

External Windows and Doors
All work to be carried out in accordance with the following:
BCA Part 3.5.4 and BCA Part 3.6,
Australian Standard AS 2047,
Ventilation and Exhaust Fans
All work to be carried out in accordance with:
BCA Part 2.4, BCA Part 3.8.5
Australian Standard AS1668.2

Construction of Roof, Walls and Floor
All work to be carried out in accordance with the following:
BCA Part 3.5, BCA Part 3.12
Hot Water Supply System
All work to be carried out in accordance with the following:
BCA Part 3.12.5, Australian Standard AS/NZS 3500.4
9section 8) or cl. 3.38 of AS/NZ 3500.5.

Fire Separation
All work to be carried out in accordance with the following:
BCA Part 3.7.1
Smoke Alarms
All work to be carried out in accordance with the following:
BCA Part 3.7.2, and Australian Standard AS 3786

Building Fabric Thermal Insulation
All work to be carried out in accordance with the following:
BCA NSW Clause 2.3.1
Australian Standard AS/NZS4859.1
BASIX compliance

Sound Insulation
All work to be carried out in accordance with the following:
BCA Part 3.8.6
Waterproofing of Wet Areas
All work to be carried out in accordance with the following:
BCA Part 3.8.1, and Australian Standard AS3740

Facilities (Health and Amenity)
All work to be carried out in accordance with the following:
BCA Part 3.8.3
Australian Standard AS 1668.2

Hydraulics
Hot water service pipes shall be provided with insulation in accordance with BCA Part 3.12.1
Australian Standard AS 3500

SPECIFICATION FOR SEPP SENIORS

External works

- Units on ground floor level and lift area to be linked by an AS1428.1 compliant accessible path to the adjoining road.
- Pathway lighting to be Glare free for pedestrians and dwelling and must provide at least 20 lux at ground level.
- Letterboxes must be provided on a hard-standing area, lockable and have wheelchair circulation (1550mm diameter) and linked via an accessible path as per AS1428.1
- There should be no step to the main entry door, entry to external verandah that contain clothes line and between path from street to the verandah. A max threshold of 35mm is permitted where a threshold ramp is provided.
- A garbage storage area must be provided in an accessible location. Provide 1550mm circulation spaces in front of bins

Doorway requirements
- Main entry door, door to courtyards, main accessible bathroom, laundry to be 850mm clear (920mm door leaf) with door circulation spaces as per AS1428.1. All other doors to have 850mm clear opening with scope of provision of door circulation in the future.
-Door handles and hardware for all doors must be provided in accordance with AS 4299 with single hand operation, lever style, operation located between 900-100mm above FFL and all external doors to be keyed alike.

Bedroom requirements
- Main bedroom to have size of queen bed with 1,200mm wide at the foot of the bed, and 1,000mm wide beside the bed between it and the wall, wardrobe or any other obstruction.
Electrical requirements
- Bedroom must have a telephone outlet next to the bed on the side closest to the door and a general power outlet beside the telephone outlet.
- Bedroom must have wiring to allow a potential illumination level of at least 300 lux.
- Switches and power points must be provided in accordance with AS 4299 with switches located between 900-1000mm and in line with door handles, (Rocker action / toggle / push pad switches with 35mm width are preferred) and GPOs to be at least 600mm above FFL (1000mm preferred) and not less than 500mm horizontally from internal corners.
- Living room, must have a telephone adjacent to a general power outlet and Living and dining room must have wiring to allow a potential illumination level of at least 300 lux.

Laundry / Linen cupd
- Laundry must have the provision for the installation of an automatic washing machine and a clothes dryer, a slip-resistant floor surface and an accessible path to clothes line is to be provided.
- At least 1 linen cupboard is to be provides as 600mm minimum width and adjustable shelving

Main bathroom
- Bathroom must be Slip-resistant floor surface
- Bathroom must have shower as per AS1428.1 without a hob, waterproofed to AS 3740, floor falls to waste, walls reinforced to accommodate grabrails / folding seat in the future, taps to be lever or capstan with single outlet, taps to be easily reached from shower entry, wall cabinet that is sufficiently illuminated, and a double general power outlet beside the mirror.
- All tiled areas such as bathrooms, kitchen, and laundries to be such that there is no lip at the doorway. Recess the concrete slab at wet areas if required for compliance.

Kitchen
Kitchen fittings must be provided as per Clause 4.5 of AS 4299:
- 800mm wide work surface which is adjustable or a replaceable as a unit at variable heights within range of 750mm to 850mm above FFL in between the wall oven and cooktop.
- Tap set with capstan or lever handles with the taps or operating handles to be located 300mm from front of the sink,
- Cooktops with front or side controls with raised crossbars, isolating switch and a work surface of 800mm length at the same height and
- Wall oven located next to adjustable height work bench minimum 800mm width

All stairways, ramps and pathways to comply with AS1428.1

	notes	rev	date	amendment	rev	date	amendment	environa studio 224 riley st surry hills 2010 t: 02 9211 0000 w: www.environastudio.com.au architects registration number 6239	project SENIORS LIVING	location 27-29 NORTH AVALON ROAD	drawing TERMS AND ABBREVIATIONS + SPECIFICATION SEPP SENIORS	stage DA	project no. 991	dwg no. 211
	all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.	A 23/01/19 issued for information A 25/02/19 issued to council for information B 08/03/19 issued for information C 16/04/19 issued for information D 30/04/19 issued for information D 03/05/19 issued to consultants E 10/05/19 issued to consultants F 30/05/19 issued to consultants	F 14/06/19 issued to consultants G 19/06/19 issued to consultants + client H 21/06/19 issued to consultants + client I 02/07/19 issued to consultants + client J 31/07/19 issued to client for comment J 19/08/19 issued to client for comment K 27/08/19 issued to client for comment L 30/09/19 issued to client for information	for/client ARMADA AVALON PTY LTD	at AVALON BEACH	drawing	chkd drwn TW MB	date 03/10/19	revision L					

WASTE MANAGEMENT PLAN

PROJECT: MULTI RESIDENTIAL
 ADDRESS: 27-29 NORTH AVALON ROAD, AVALON BEACH
 COUNCIL: NORTHERN BEACHES COUNCIL
 DATE: 14-May-19

MATERIALS	SOURCE	EST. QUANTITY			ONSITE RECYCLING	OFF SITE RECYCLING	OFF SITE DISPOSAL
		Volume cum	Area sqm	weight tonne			
DEMOLITION STAGE							
Green waste	Trees shrubs removed		21.00		All small branches and leaves chipped for mulch.	Mulch to garden recyclers. Large trunks recycled for timber salvage.	
Bricks	existing building	21.00			Some bricks retained and set aside for reuse.	Broken bricks stored for collection to crushing.	
Concrete blocks	existing building	0.00			Some blocks set aside for reuse.	Broken bricks sent to collection for crushing to road base at Waste Transfer Station.	
Concrete	existing building		262.00		Nil	Slabs/footings broken up on site, stored for collection for crushing as road base.	To Waste Transfer Station that recycles building waste.
Timber framing	existing building	4.50			Denail useful pieces and set aside for reuse.	Unused large pieces recycled for timber salvage.	To Waste Transfer Station as land fill.
Timber cladding	existing building	0.00			Denail useful pieces and set aside for reuse.	Nil	To Waste Transfer Station as land fill.
FC cladding	existing building		30.00		Nil	Material broken up on site, stored separately for collection to crushing.	To Waste Transfer Station that recycles FC building waste.
Asbestos sheet	existing building	nil			Nil	Nil	Removal in accordance with Workcover requirements to Land Fill site.
Plasterboard	existing building		50.00		Nil	Binned separately for recycling by Boral Plasterboard	Nil
Roofing: tiles	existing building		187.00		Some tiles set aside for reuse.	Broken tiles stored for collection to crushing to road base at Waste Transfer Station.	Nil
Roofing: Tin	existing building				Some sheets retained and set aside for reuse.	Unusable sheets stored for recycling at Mini Mill steel plant by BHP/equiv.	Nil
Insulation	existing building	2.00			Set aside for reuse.		Nil
Metal piping etc	existing building			0.002	Nil	Non ferrous metals binned separately for recycling.	
PVC piping	existing building	nil			Nil		Removal to Land Fill site.
Tiles + pavers	existing building		0.00		Some tiles set aside for reuse.	Broken tiles stored for collection to crushing to road base at Waste Transfer Station.	Nil
Stone	existing building		6.00		set aside useful stone for reuse in landscaping.		
EXCAVATION STAGE							
Top soil			20.00		Top soil stored on site for use in landscaped gardens.		
Sand/clay/shale			0.00		Sand/clay stored on site for use as backfill where volumes allow.		Balance sent to authorised land fill site.
Rock			nil		Stored on site for use as backfill where volumes allow.		Balance sent to authorised land fill site.
CONSTRUCTION STAGE							
Bricks		1.00			Offcut bricks retained, crushed and used for drainage fill.	Excess broken blocks stored for collection to crushing.	
Concrete blocks		1.00			Offcut bricks retained, crushed and used for drainage fill.	Broken blocks sent to collection for crushing to road base at Waste Transfer Station.	
Concrete		1.00			Excess concrete poured into moulds on site for garden pavers.	Nil	Nil
Timber framing		2.00			Useful pieces set aside for reuse.	Unused large pieces recycled into store by builder.	Nil
Timber cladding		nil			Useful pieces set aside for reuse.	Unused large pieces recycled into store by builder.	Nil
FC cladding		1.00			Nil	Material broken up on site, stored separately for collection to crushing.	To Waste Transfer Station that recycles FC building waste.
Plasterboard		1.00			Nil	Binned separately for recycling by Boral Plasterboard	Nil
Roofing: tiles			nil		Full tiles stored on site as spares	Broken tiles stored for collection to crushing to road base at Waste Transfer Station.	Nil
Roofing: Steel			nil		Sheets ordered cut to size to minimise waste	Offcut sheets stored for recycling at Mini Mill steel plant by BHP/equiv.	Nil
Insulation		10.00			Nil	Unused returned to manufacturer/store by builder.	Nil
Metal piping etc				0.001	Nil	Non ferrous metals binned separately for recycling.	
PVC piping			nil		Nil		Removal to Land Fill site.
Tiles + pavers		0.80			Full tiles set aside as spares.	Cut tiles stored for collection to crushing to road base at Waste Transfer Station.	Nil
Misc packaging, fixings glues etc		0.50			Timber packaging sorted for reuse as above.		Removal to Land Fill site.
Other							

	notes	rev	date	amendment	rev	date	amendment	environa studio 224 riley st surry hills 2010 t: 02 9211 0000 w: www.environastudio.com.au architects registration number 6239	project	location	drawing	stage	project no.	dwg no.
	all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.	A	23/01/19	issued for information	F	14/06/19	issued to consultants		SENIORS LIVING	27-29 NORTH AVALON ROAD	CONSTRUCTION WASTE MANAGEMENT PLAN	DA	991	220
	B	08/03/19	issued for information	G	19/06/19	issued to consultants + client								
	C	16/04/19	issued for information	H	21/06/19	issued to consultants + client								
	D	30/04/19	issued for information	I	02/07/19	issued to consultants + client								
	E	10/05/19	issued to consultants	J	31/07/19	issued to client for comment								
	F	30/05/19	issued to consultants	K	19/08/19	issued to client for comment								
				L	27/08/19	issued to client for comment								
					30/09/19	issued to client for information								
									ARMADA AVALON PTY LTD	AVALON BEACH	chkd drwn TW MB	date 03/10/19	revision L	



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	rev B	date 25/02/19	amendment issued to council for information	rev G	date 19/06/19	amendment issued to consultants + client		for/client ARMADA AVALON PTY LTD	at AVALON BEACH	drawing PERSPECTIVES	chkd TW	drwn MB	date 03/10/19
	rev C	date 08/03/19	amendment issued for information	rev H	date 21/06/19	amendment issued to consultants + client							
	rev D	date 16/04/19	amendment issued for information	rev I	date 02/07/19	amendment issued to consultants + client							
	rev E	date 30/04/19	amendment issued for information	rev J	date 31/07/19	amendment issued to client for comment							
	rev F	date 03/05/19	amendment issued to consultants	rev K	date 19/08/19	amendment issued to client for comment							
	rev G	date 10/05/19	amendment issued to consultants	rev L	date 27/08/19	amendment issued to client for comment							
	rev H	date 30/05/19	amendment issued to consultants		date 30/09/19	amendment issued to client for information							



June 21
9am



June 21
10am



June 21
11am



June 21
12pm



June 21
1pm



June 21
2pm



June 21
3pm



additional shadow generated by the proposed development

*shadow diagrams generated by 3D model using sketchup pro 18'. All diagrams have been certified by the registered architect.

<p>notes</p> <p>all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.</p> <p>0 0.5 1.0 2.0 3.0m</p>	<p>rev</p> <p>A 23/01/19 issued for information</p> <p>B 25/02/19 issued to council for information</p> <p>C 08/03/19 issued for information</p> <p>D 16/04/19 issued for information</p> <p>E 30/04/19 issued to consultants</p> <p>F 03/05/19 issued to consultants</p> <p>G 10/05/19 issued to consultants</p> <p>H 30/05/19 issued to consultants</p>	<p>rev</p> <p>F 14/06/19 issued to consultants + client</p> <p>G 19/06/19 issued to consultants + client</p> <p>H 21/06/19 issued to consultants + client</p> <p>I 02/07/19 issued to consultants + client</p> <p>J 31/07/19 issued to client for comment</p> <p>K 19/08/19 issued to client for comment</p> <p>L 27/08/19 issued to client for comment</p> <p>M 30/09/19 issued to client for information</p>	<p>environa studio</p> <p>224 riley st surry hills 2010</p> <p>t: 02 9211 0000</p> <p>w: www.environastudio.com.au</p> <p>architects registration number 6239</p>	<p>project</p> <p>SENIORS LIVING</p> <p>for/client</p> <p>ARMADA AVALON PTY LTD</p>	<p>location</p> <p>27-29 NORTH AVALON ROAD</p> <p>at</p> <p>AVALON BEACH</p>	<p>drawing</p> <p>JUNE 21st</p> <p>drawing</p> <p>SHADOW DIAGRAMS</p>	<p>stage</p> <p>DA</p> <p>chkd</p> <p>TW</p> <p>drwn</p> <p>MB</p>	<p>project no.</p> <p>991</p> <p>date</p> <p>03/10/19</p>	<p>dwg no.</p> <p>910</p> <p>revision</p> <p>L</p>
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september 23
9am



september 23
12pm



september 23
3pm

 additional shadow generated by the proposed development

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	notes	rev	date	amendment	rev	date	amendment	environa studio 224 riley st surry hills 2010 t: 02 9211 0000 w: www.environastudio.com.au architects registration number 6239	project	location	drawing	stage	project no.	dwg no.
	all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.	A 23/01/19 issued for information A 25/02/19 issued to council for information B 08/03/19 issued for information C 16/04/19 issued for information D 30/04/19 issued for information D 03/05/19 issued to consultants E 10/05/19 issued to consultants F 30/05/19 issued to consultants	F 14/06/19 issued to consultants + client G 19/06/19 issued to consultants + client H 21/06/19 issued to consultants + client I 02/07/19 issued to consultants + client J 31/07/19 issued to client for comment J 19/08/19 issued to client for comment K 27/08/19 issued to client for comment L 30/09/19 issued to client for information	SENIORS LIVING ARMADA AVALON PTY LTD	27-29 NORTH AVALON ROAD AVALON BEACH	SEPT 23rd SHADOW DIAGRAMS	DA TW MB		991 03/10/19	911 L				



december 21
9am



december 21
12pm

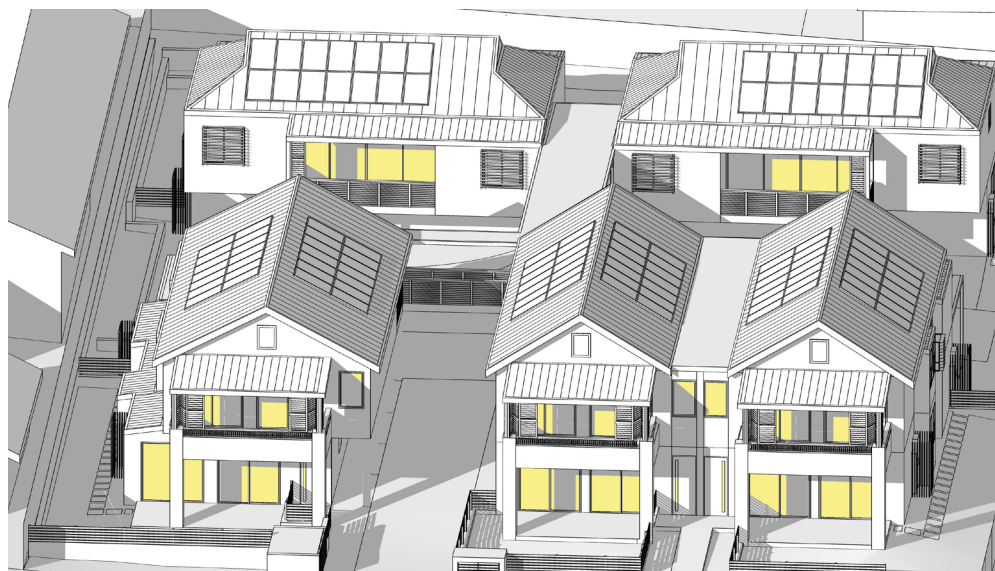


december 21
3pm

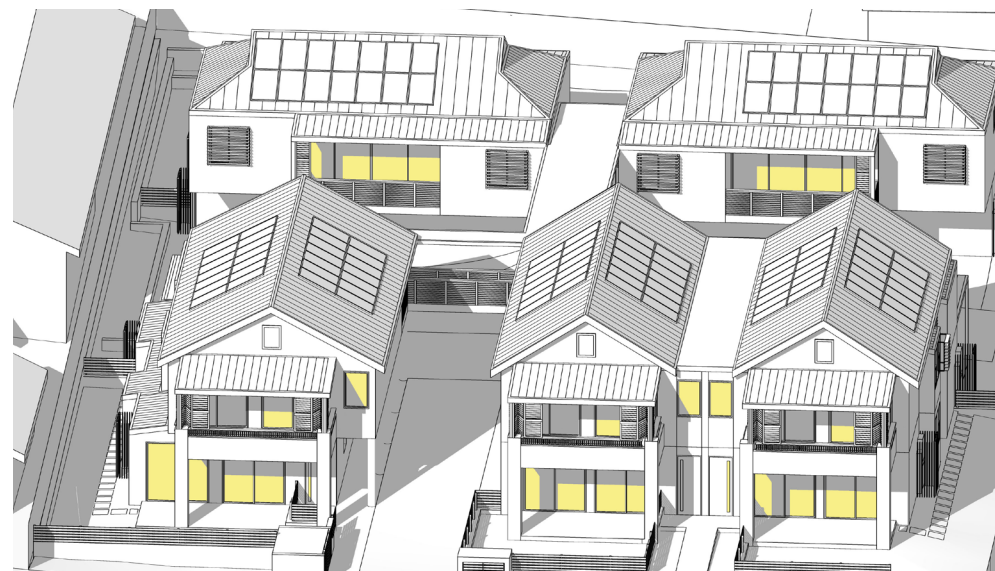
additional shadow generated by the proposed development

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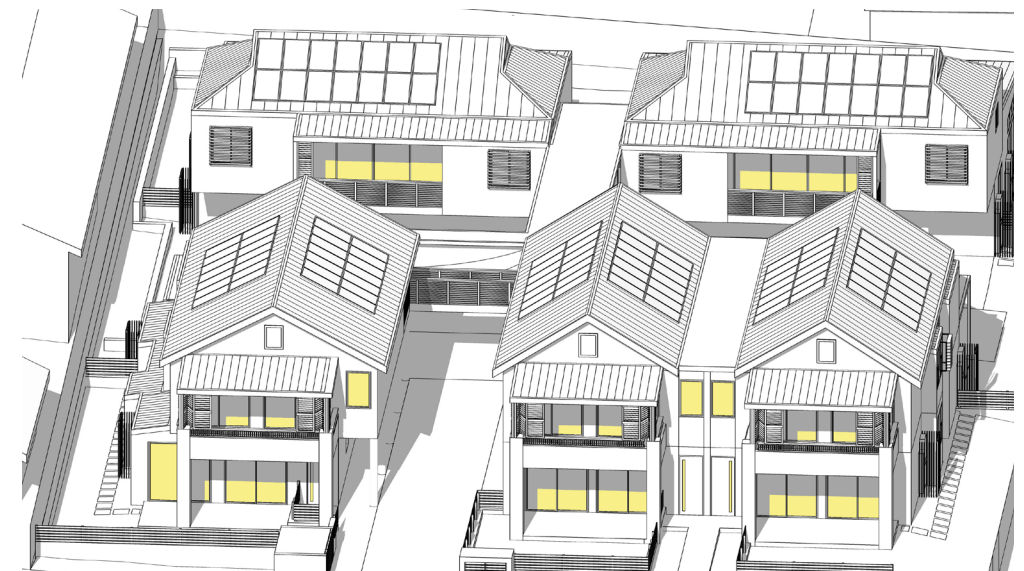
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		A 23/01/19 issued for information A 25/02/19 issued to council for information B 08/03/19 issued for information C 16/04/19 issued for information D 30/04/19 issued for information D 03/05/19 issued to consultants E 10/05/19 issued to consultants F 30/05/19 issued to consultants	F 14/06/19 issued to consultants + client G 19/06/19 issued to consultants + client H 21/06/19 issued to consultants + client I 02/07/19 issued to consultants + client J 31/07/19 issued to client for comment J 19/08/19 issued to client for comment K 27/08/19 issued to client for comment L 30/09/19 issued to client for information		for/client ARMADA AVALON PTY LTD	at AVALON BEACH	drawing SHADOW DIAGRAMS	chkd drwn TW MB	date 03/10/19	revision L



june 21
9am



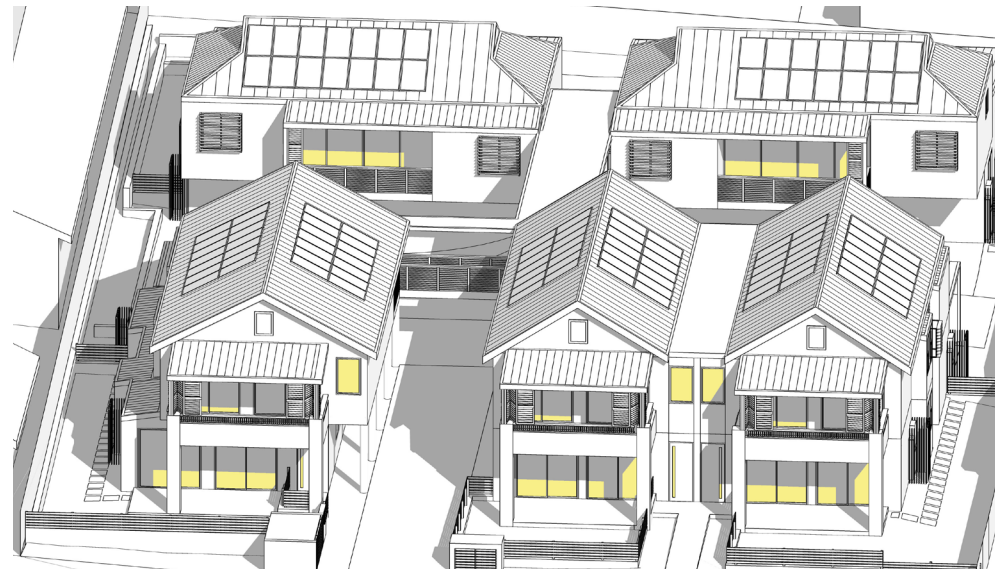
june 21
10am



june 21
11am



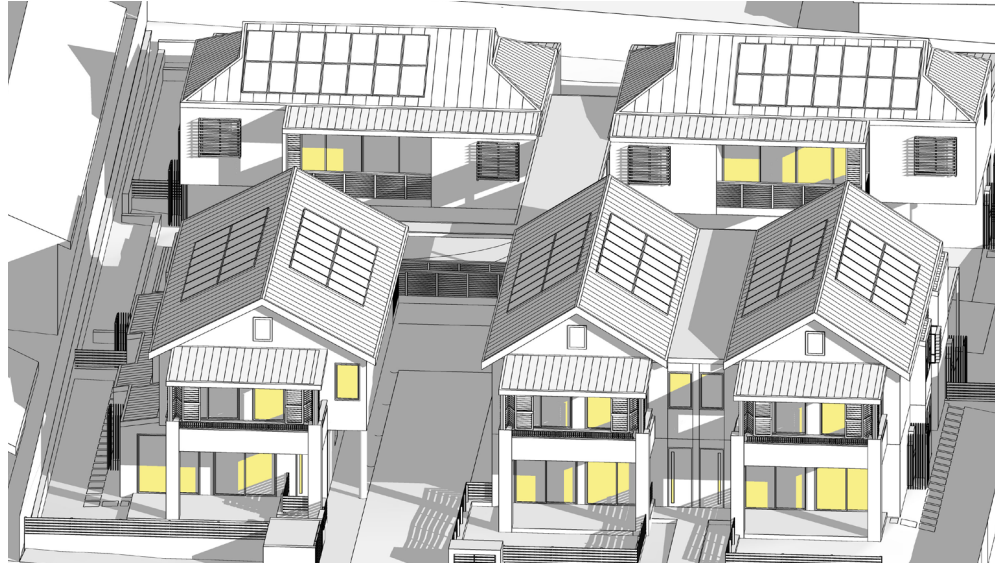
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12pm



june 21
1pm



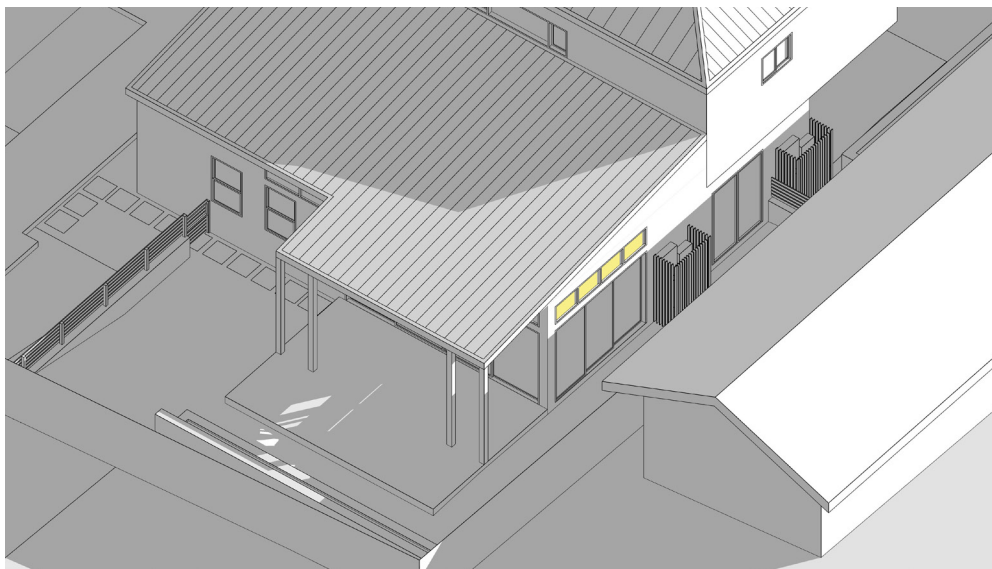
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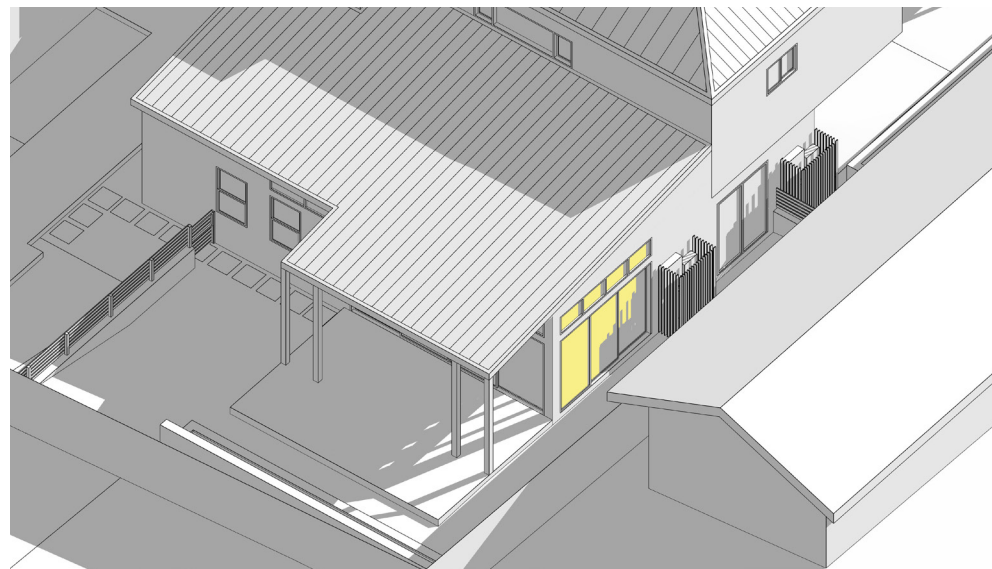
june 21
3pm

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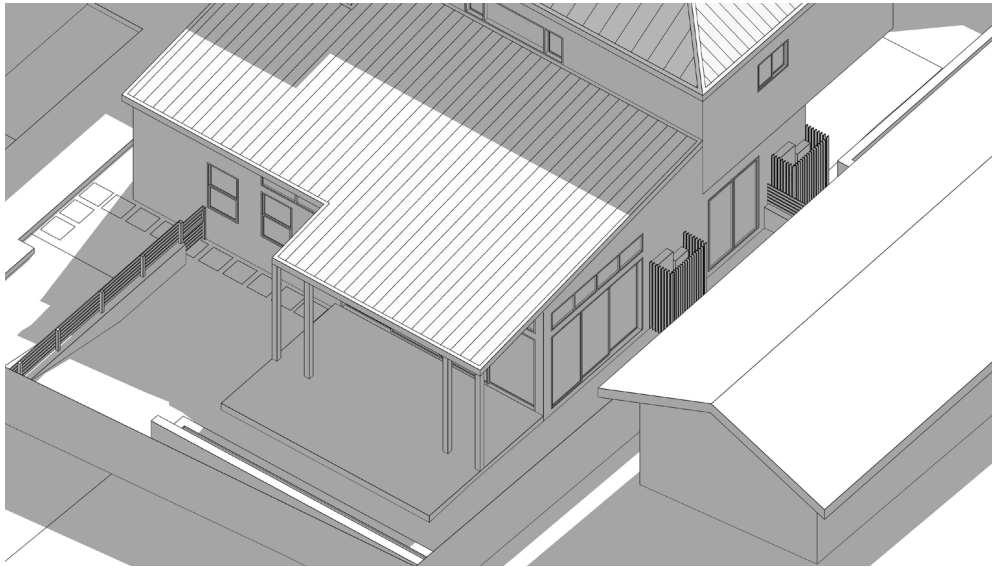
June 21
9am



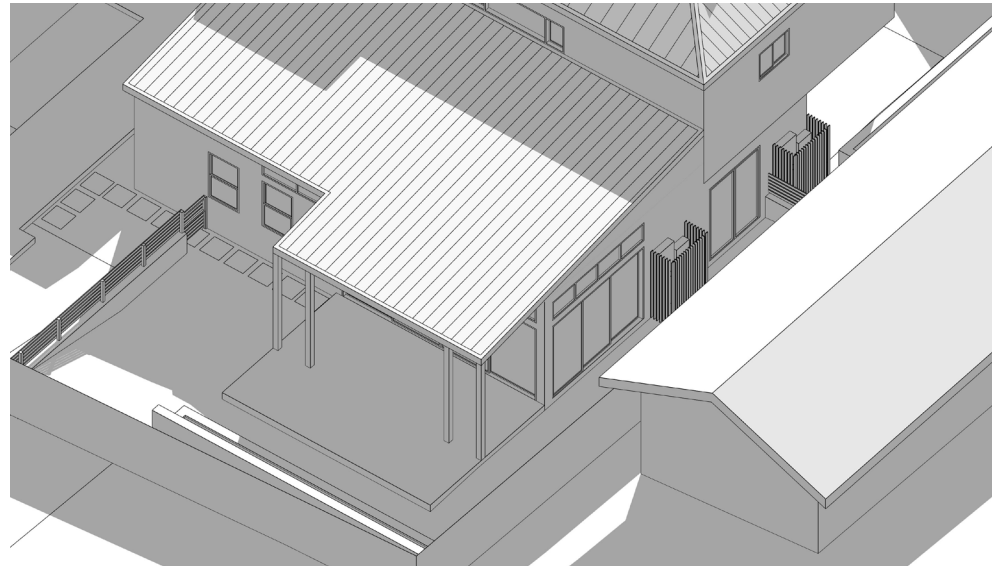
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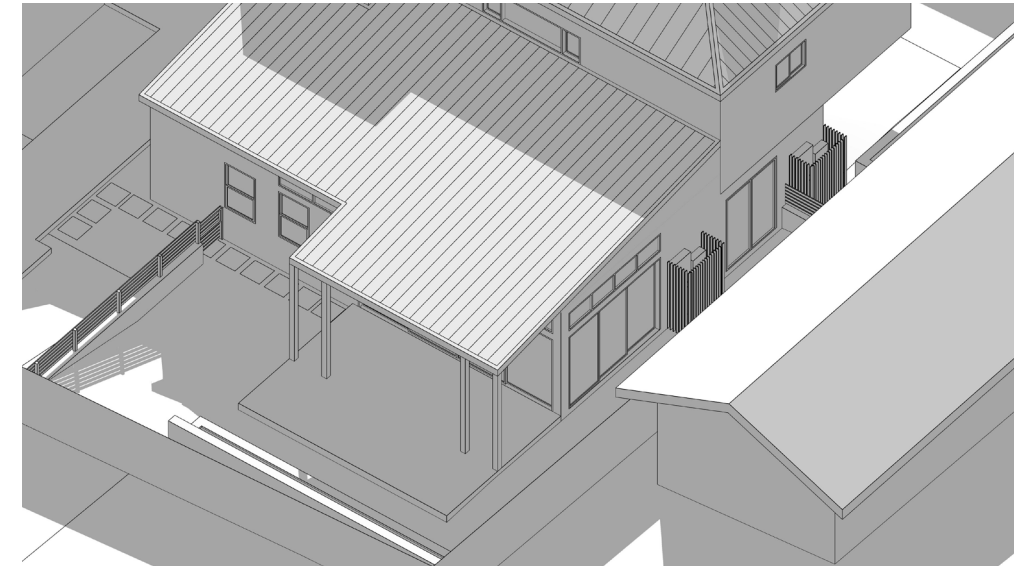
June 21
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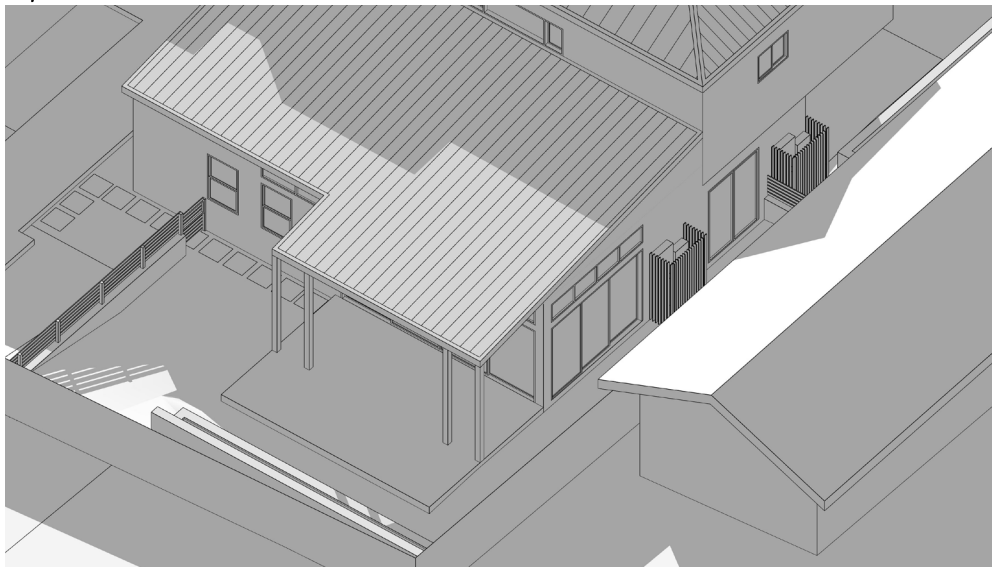
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12pm



June 21
1pm



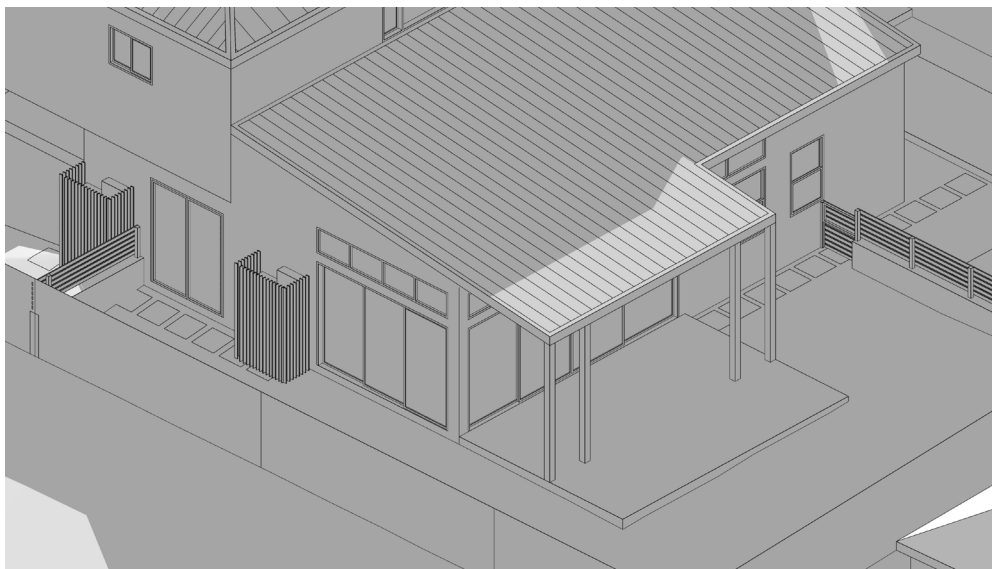
June 21
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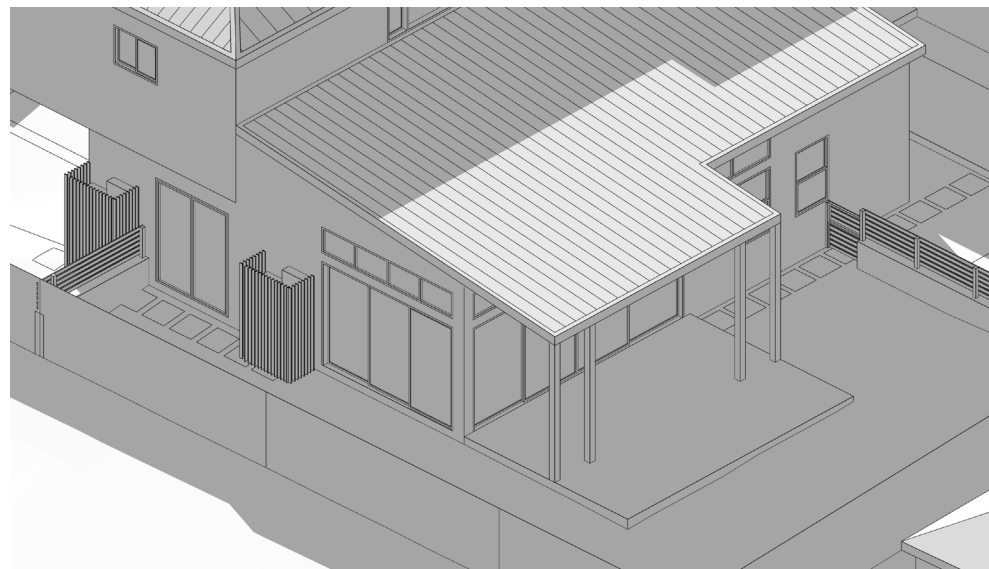
June 21
3pm

*shadow diagrams generated by 3D model using sketchup pro 18'. All diagrams have been certified by the registered architect.

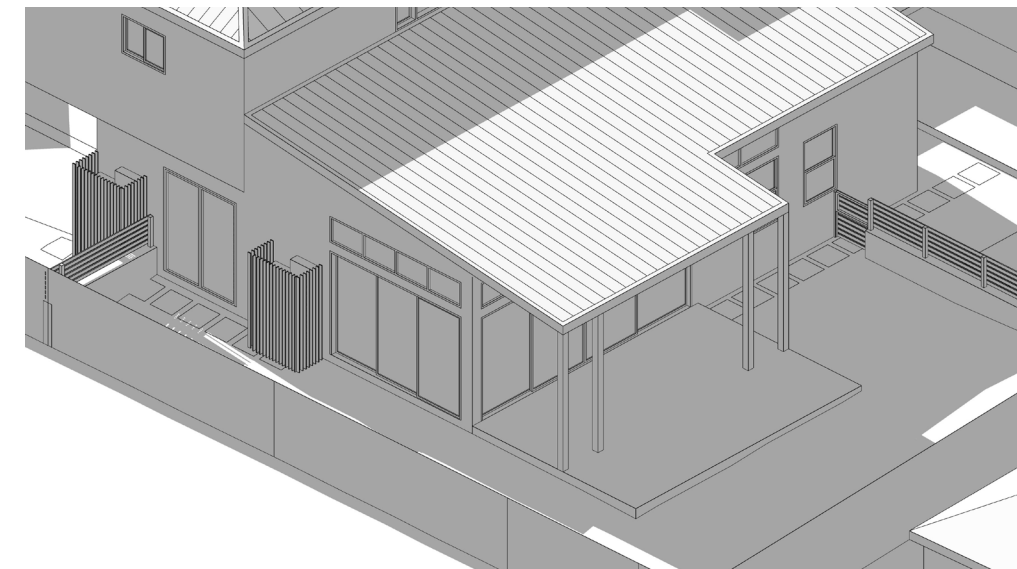
	notes all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.	rev date amendment	rev date amendment	environa studio 224 riley st surry hills 2010 t: 02 9211 0000 w: www.environastudio.com.au architects registration number 6239	project SENIORS LIVING	location 27-29 NORTH AVALON ROAD	drawing LIVING SPACE SHEET 2	stage DA	project no. 991	dwg no. 914
		A 23/01/19 issued for information A 25/02/19 issued to council for information B 08/03/19 issued for information C 16/04/19 issued for information D 30/04/19 issued for information D 03/05/19 issued to consultants E 10/05/19 issued to consultants F 30/05/19 issued to consultants	F 14/06/19 issued to consultants + client G 19/06/19 issued to consultants + client H 21/06/19 issued to consultants + client I 02/07/19 issued to consultants + client J 31/07/19 issued to client for comment J 19/08/19 issued to client for comment K 27/08/19 issued to client for comment L 30/09/19 issued to client for information		for/client ARMADA AVALON PTY LTD	at AVALON BEACH	drawing SOLAR ACCESS STUDY	chkd drwn TW MB	date 03/10/19	revision L



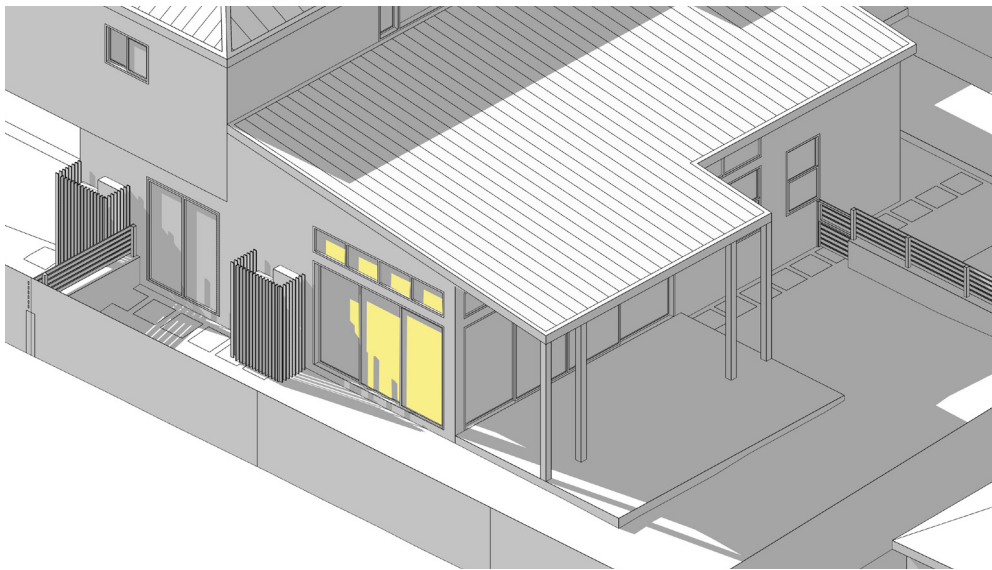
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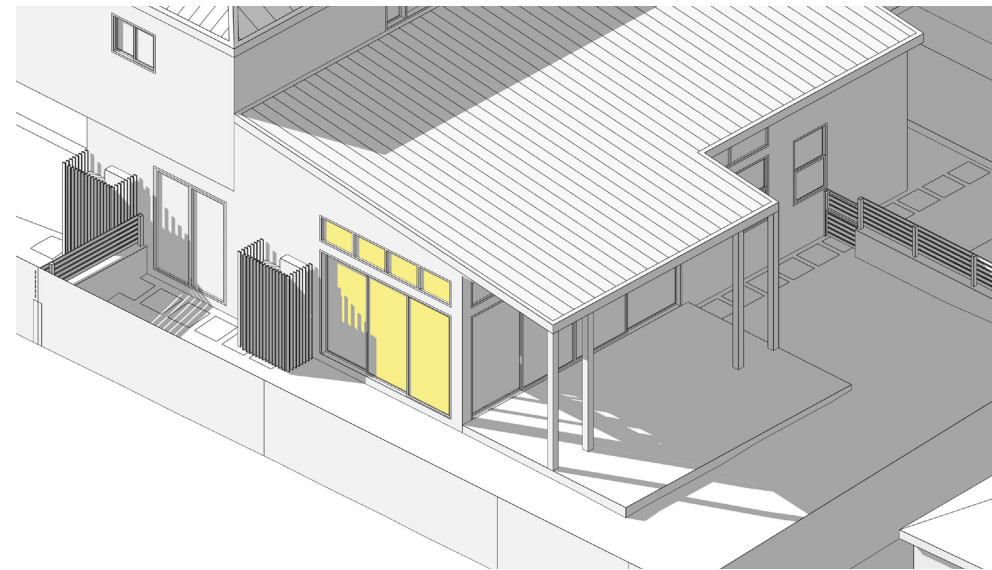
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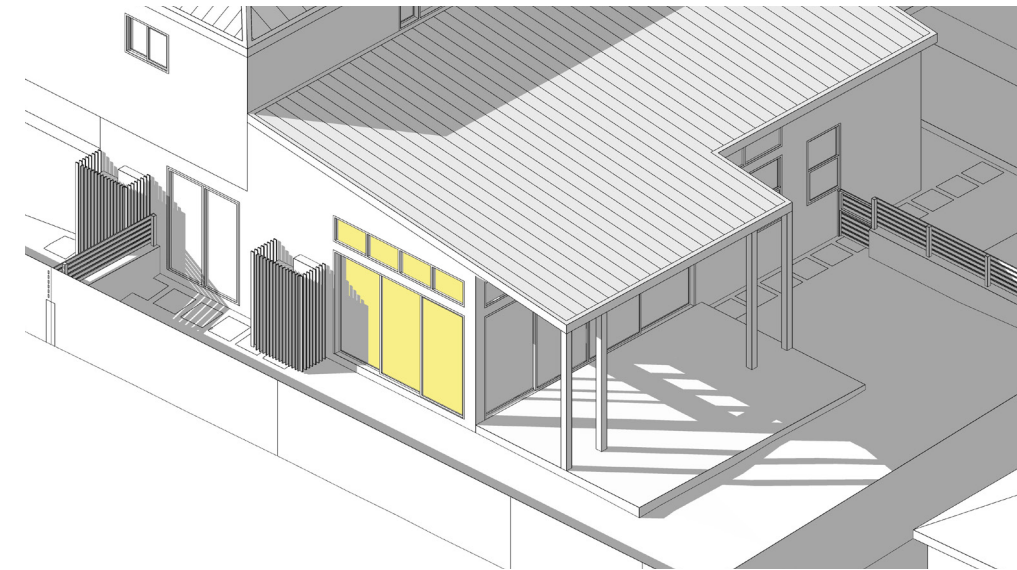
June 21
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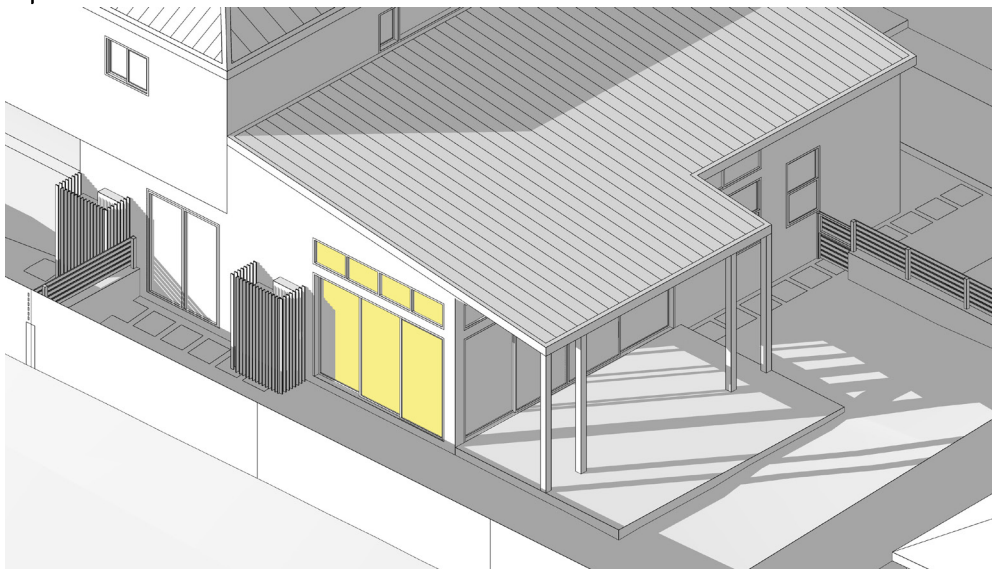
June 21
12pm



June 21
1pm



June 21
2pm



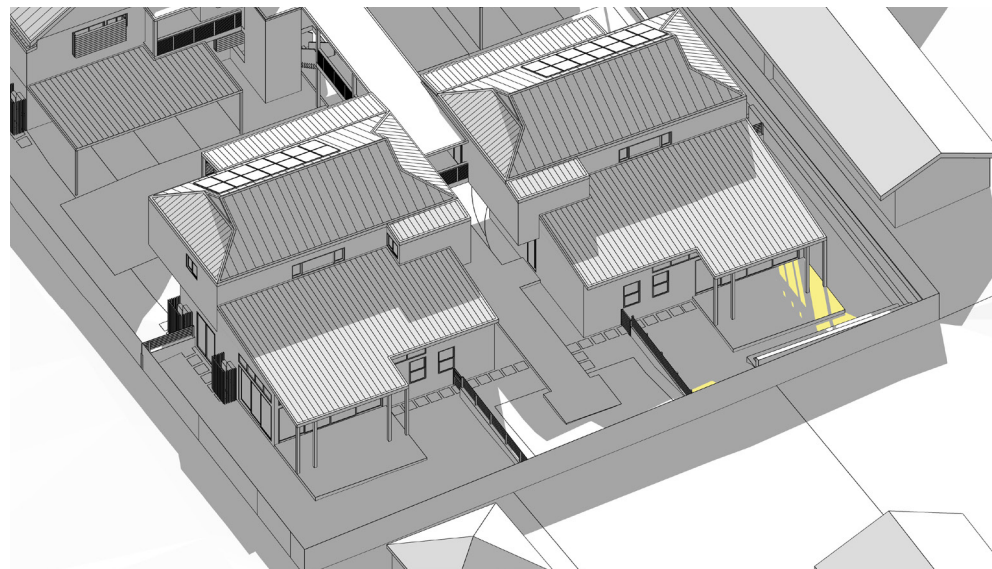
June 21
3pm

*shadow diagrams generated by 3D model using sketchup pro 18'. All diagrams have been certified by the registered architect

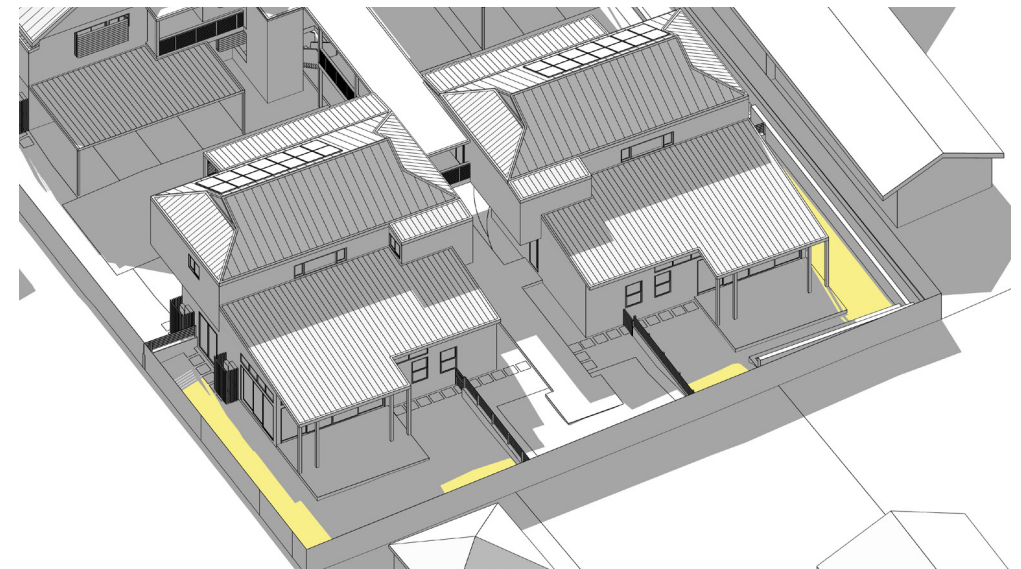
	notes	<table border="1"> <tr><th>rev</th><th>date</th><th>amendment</th></tr> <tr><td>A</td><td>23/01/19</td><td>issued for information</td></tr> <tr><td>A</td><td>25/02/19</td><td>issued to council for information</td></tr> <tr><td>B</td><td>08/03/19</td><td>issued for information</td></tr> <tr><td>C</td><td>16/04/19</td><td>issued for information</td></tr> <tr><td>D</td><td>30/04/19</td><td>issued for information</td></tr> <tr><td>D</td><td>03/05/19</td><td>issued to consultants</td></tr> <tr><td>E</td><td>10/05/19</td><td>issued to consultants</td></tr> <tr><td>F</td><td>30/05/19</td><td>issued to consultants</td></tr> </table>	rev	date	amendment	A	23/01/19	issued for information	A	25/02/19	issued to council for information	B	08/03/19	issued for information	C	16/04/19	issued for information	D	30/04/19	issued for information	D	03/05/19	issued to consultants	E	10/05/19	issued to consultants	F	30/05/19	issued to consultants	<table border="1"> <tr><th>rev</th><th>date</th><th>amendment</th></tr> <tr><td>F</td><td>14/06/19</td><td>issued to consultants + client</td></tr> <tr><td>G</td><td>19/06/19</td><td>issued to consultants + client</td></tr> <tr><td>H</td><td>21/06/19</td><td>issued to consultants + client</td></tr> <tr><td>I</td><td>02/07/19</td><td>issued to consultants + client</td></tr> <tr><td>J</td><td>31/07/19</td><td>issued to client for comment</td></tr> <tr><td>J</td><td>19/08/19</td><td>issued to client for comment</td></tr> <tr><td>K</td><td>27/08/19</td><td>issued to client for comment</td></tr> <tr><td>L</td><td>30/09/19</td><td>issued to client for information</td></tr> </table>	rev	date	amendment	F	14/06/19	issued to consultants + client	G	19/06/19	issued to consultants + client	H	21/06/19	issued to consultants + client	I	02/07/19	issued to consultants + client	J	31/07/19	issued to client for comment	J	19/08/19	issued to client for comment	K	27/08/19	issued to client for comment	L	30/09/19	issued to client for information	environa studio 224 riley st surry hills 2010 t: 02 9211 0000 w: www.environastudio.com.au architects registration number 6239	project SENIORS LIVING	location 27-29 NORTH AVALON ROAD	drawing LIVING SPACE SHEET 3	stage DA	project no. 991	dwg no. 915
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June 21
9am



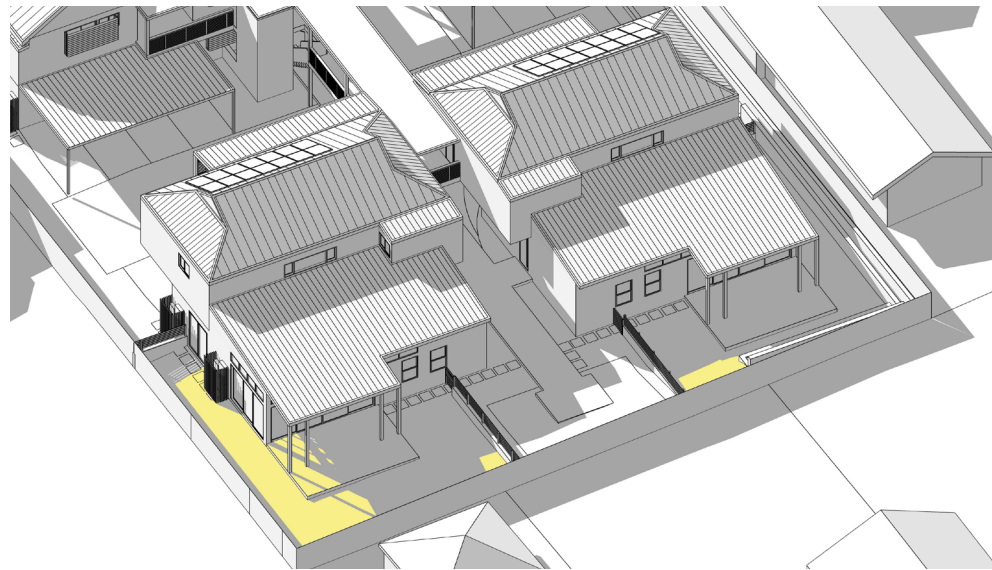
June 21
10am



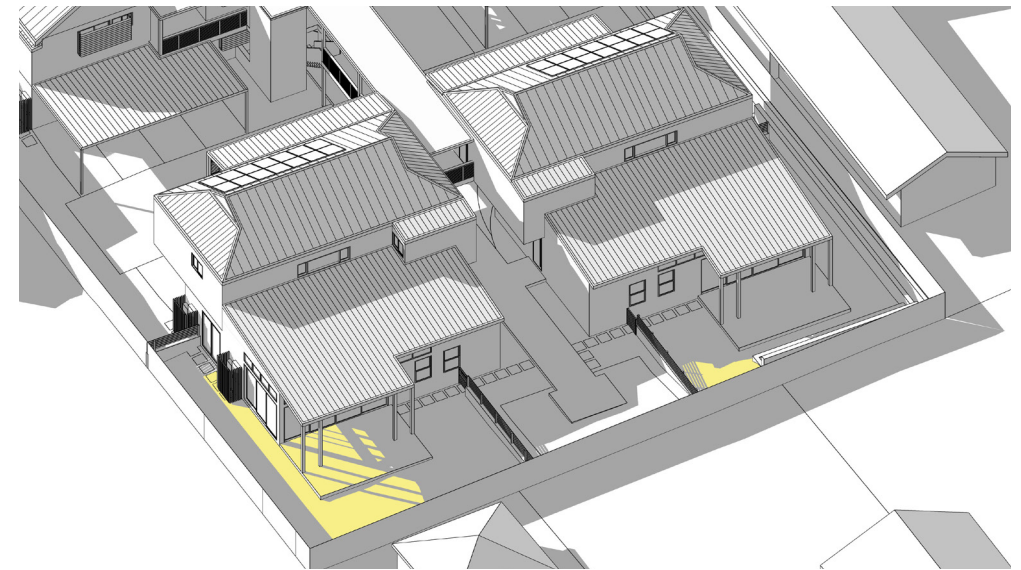
June 21
11am



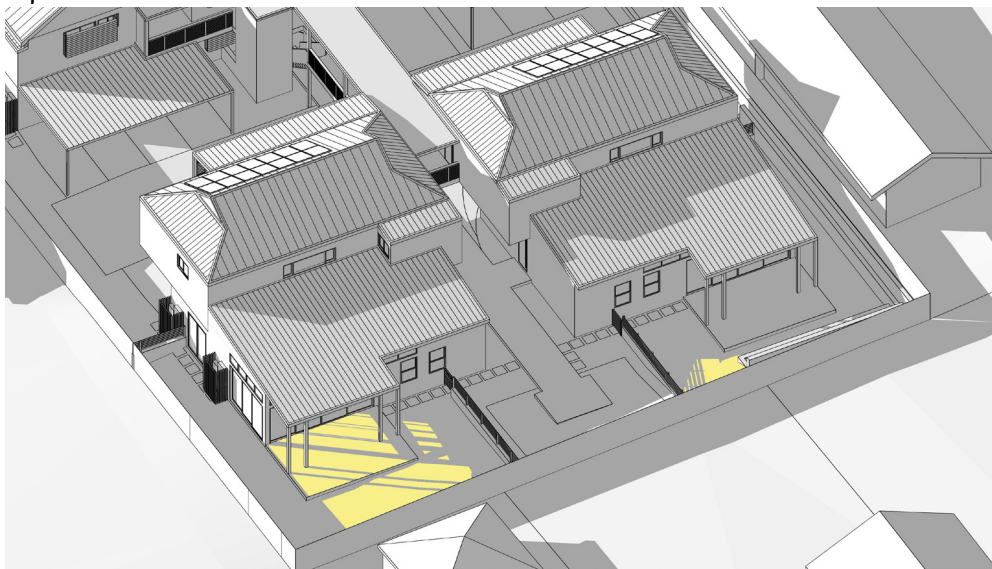
June 21
12pm



June 21
1pm



June 21
2pm



June 21
3pm

*shadow diagrams generated by 3D model using sketchup pro 18'. All diagrams have been certified by the registered architect

	notes all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.	rev date amendment A 23/01/19 issued for information B 08/03/19 issued to council for information C 16/04/19 issued for information D 30/04/19 issued for information E 03/05/19 issued to consultants F 10/05/19 issued to consultants F 30/05/19 issued to consultants	rev date amendment F 14/06/19 issued to consultants G 19/06/19 issued to consultants + client H 21/06/19 issued to consultants + client I 02/07/19 issued to consultants + client J 31/07/19 issued to client for comment K 19/08/19 issued to client for comment L 27/08/19 issued to client for comment L 30/09/19 issued to client for information	environa studio 224 riley st surry hills 2010 t: 02 9211 0000 w: www.environastudio.com.au architects registration number 6239	project SENIORS LIVING for/client ARMADA AVALON PTY LTD	location 27-29 NORTH AVALON ROAD at AVALON BEACH	drawing PRIVATE OPEN SPACE SHEET 2 drawing SOLAR ACCESS STUDY	stage DA chkd drwn TW MB	project no. 991 date 03/10/19	dwg no. 917 revision L
		stage DA	project no. 991	dwg no. 917						

living room glazing	Jun-21	9am	10am	11am	12pm	1pm	2pm	3pm		minimum 3 hours
unit 1		yes	yes	yes	yes	yes	yes	yes	6 hours	yes
unit 2		yes	yes	yes	yes	yes	yes	yes	6 hours	yes
unit 3		yes	yes	yes	yes	yes	yes	yes	6 hours	yes
unit 4		yes	yes	yes	no	no	no	no	2 hours	no
unit 5		no	no	no	yes	yes	yes	yes	3 hours	yes
unit 6		yes	yes	yes	yes	yes	yes	yes	6 hours	yes
unit 7		yes	yes	yes	yes	yes	yes	yes	6 hours	yes
unit 8		yes	yes	yes	yes	yes	yes	yes	6 hours	yes
unit 9		yes	yes	yes	yes	yes	yes	yes	6 hours	yes
unit 10		yes	yes	yes	yes	yes	yes	yes	6 hours	yes
										09/10 (90%)

09/10 (90%) of all proposed units in this development will receive more than 3 hours of solar access onto their living room windows in mid winter (june 21)

private open space	Jun-21	9am	10am	11am	12pm	1pm	2pm	3pm		minimum 3 hours
unit 1		yes	yes	yes	yes	yes	yes	yes	6 hours	yes
unit 2		yes	yes	yes	yes	yes	yes	yes	6 hours	yes
unit 3		yes	yes	yes	yes	yes	yes	yes	6 hours	yes
unit 4		no	yes	yes	yes	yes	yes	yes	5 hours	yes
unit 5		no	no	yes	yes	yes	yes	yes	4 hours	yes
unit 6		yes	yes	yes	yes	yes	yes	yes	6 hours	yes
unit 7		yes	yes	yes	yes	yes	yes	yes	6 hours	yes
unit 8		yes	yes	yes	yes	yes	yes	yes	6 hours	yes
unit 9		no	yes	yes	yes	yes	yes	yes	5 hours	yes
unit 10		no	yes	yes	yes	yes	yes	yes	5 hours	yes
										10/10 (100%)

10/10 (100%) of all proposed units in this development will receive more than 3 hours of solar access onto their private open spaces in mid winter (june 21)

*shadow diagrams generated by 3D model using sketchup pro 18'. All diagrams have been certified by the registered architect.

	notes	rev	date	amendment	rev	date	amendment	environa studio 224 riley st surry hills 2010 t: 02 9211 0000 w: www.environastudio.com.au architects registration number 6239	project	location	drawing	stage	project no.	dwg no.
	all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.	A	23/01/19	issued for information	F	14/06/19	issued to consultants		SENIORS LIVING	27-29 NORTH AVALON ROAD	SUMMARY	DA	991	919
	B	08/03/19	issued to council for information	G	19/06/19	issued to consultants + client	ARMADA AVALON PTY LTD	AVALON BEACH	SOLAR ACCESS STUDY	chkd	drwn	date	revision	
	C	16/04/19	issued for information	H	21/06/19	issued to consultants + client				TW	MB	03/10/19	L	
	D	30/04/19	issued for information	I	02/07/19	issued to consultants + client								
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BASIX thermal comfort inclusions – 27-29 North Avalon Road

Floors	Concrete slab on ground to ground level, no insulation required. Framed floor between levels, no insulation required.
Walls	<p>External walls Level 1: Cavity brick work with cavity insulation R1.0</p> <p>External walls Level 2: EPS panel system (min, 60mm) with R2.0 cavity batt insulation (Minimum R_{total} system value 3.94)</p> <p>External colour Default colour modelled</p> <p>Walls with-in dwellings: Plasterboard on studs, no insulation required</p> <p>Party walls Level 1: Cavity brick work with cavity, no insulation required.</p> <p>Party walls Level 2: Double stud walls lined with plasterboard, no insulation required.</p>
Windows	<p>Aluminium framed, low-e single glazing to units 04, 05 and 08 only U-value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%)</p> <p>Aluminium framed single clear glazing elsewhere: Group A – awning windows U-value: 6.70 (equal to or lower than) SHGC: 0.57 (±10%) Group B – sliding doors/windows + fixed glazing U-value: 6.70 (equal to or lower than) SHGC: 0.70 (±10%)</p> <p>Given values are AFRC total window system values (glass and frame)</p>
Ceilings	Plasterboard ceiling with R3.0 insulation (insulation only value) where roof above (R4.0 ceiling insulation to unit 04 only) Sealed LED downlights at a maximum of one every 2.5m ²
Roof	Metal roof with foil backed blanket (Ru1.3 and Rd1.3) External colour Light (0.475>SA)
Floor Coverings	Tiles to wet areas; carpet to bedrooms; timber elsewhere.
BASIX water inclusions	
Rainwater tank	8,000L rainwater tank Collecting from 850m ² of roof area Connected to the irrigation system of common and private landscape.
BASIX energy inclusions	
Hot water system	Individual electric heat pumps (air sourced) – 31-35 STCs
Alternative energy	Photovoltaic system with a minimum output of 2kW

	notes	rev	date	amendment	rev	date	amendment	environa studio 224 riley st surry hills 2010 t: 02 9211 0000 w: www.environastudio.com.au architects registration number 6239	project SENIORS LIVING	location 27-29 NORTH AVALON ROAD	drawing BASIX COMMITMENTS	stage DA	project no. 991	dwg no. 930
	all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.	A 23/01/19 issued for information A 25/02/19 issued to council for information B 08/03/19 issued for information C 16/04/19 issued for information D 30/04/19 issued for information D 03/05/19 issued to consultants E 10/05/19 issued to consultants F 30/05/19 issued to consultants	F 14/06/19 issued to consultants + client G 19/06/19 issued to consultants + client H 21/06/19 issued to consultants + client I 02/07/19 issued to consultants + client J 31/07/19 issued to client for comment J 19/08/19 issued to client for comment K 27/08/19 issued to client for comment L 30/09/19 issued to client for information	for/client ARMADA AVALON PTY LTD	at AVALON BEACH	drawing	chkd drwn TW MB	date 03/10/19	revision L					

SPECIFICATION NOTES

SITE PREPARATION / SOIL WORKS
ALL EXISTING TREES MARKED FOR RETENTION SHALL BE PROTECTED FOR THE DURATION OF THE BUILDING WORKS. REMOVE FROM SITE ALL PERENNIAL WEEDS SUCH AS OXALIS, ONION WEED AND THE LIKE.

NO REGRADING IS TO BE CARRIED OUT WITHIN THE DRIPLINE OF THE TREES TO BE RETAINED. WHERE EXCAVATION IS NECESSARY USE HAND METHODS TO AVOID DAMAGE TO THE ROOT SYSTEM. DO NOT CUT ROOTS GREATER THAN 50MM. CUT ROOTS CLEANLY WITH A SAW AND DO NOT SEAL THE WOUND.

TREE PROTECTION
PROTECT ALL EXISTING TREES AS NOTED ON THE DRAWINGS FOR THE DURING OF THE BUILDING WORKS.

TAKE ALL NECESSARY PRECAUTIONS, INCLUDING THE FOLLOWING:

Tree Protection fence:
INSTALL A TREE PROTECTION FENCES AT THE MAXIMUM RADIUS ALLOWABLE TO ACCOMMODATE THE PROPOSED DEVELOPMENT. MAINTAIN THE FENCE FOR THE DURATION OF THE BUILDING WORKS.

CONSTRUCT THE FENCE 1.8 M HIGH WITH CHAINWIRE MESH ON STEEL POSTS. ALL AREAS WITHIN THE PERIMETER OF THE FENCE ARE TO BE COVERED TO A DEPTH OF 100MM WITH WOODCHIP MULCH.

Temporary Irrigation:
INSTALL A TEMPORARY IRRIGATION SYSTEM TO ALL TREES TO BE RETAINED. INSTALL DRIP EMITTERS ON POLY LATERALS. THE IRRIGATION SYSTEM IS TO BE CONTROLLED BY A GALCON OR SIMILAR AUTOMATIC CONTROLLER.

Harmful materials:
DO NOT STORE, STOCKPILE, DUMP OR OTHERWISE REPLACE UNDER OR NEAR TREES, BULK MATERIALS AND HARMFUL MATERIALS INCLUDING OIL, PAINT, WASTE CONCRETE, CLEARINGS, BOULDERS AND THE LIKE. DO NOT PLACE SPOIL FROM EXCAVATIONS AGAINST TREE TRUNKS, EVEN FOR SHORT PERIODS. PREVENT WIND-BLOWN MATERIALS SUCH AS CEMENT FROM HARMING TREES AND PLANTS.

Damage:
PREVENT DAMAGE TO TREE BARK. DO NOT ATTACH STAYS, GUYS AND THE LIKE TO TREES.

Work under trees:
DO NOT REMOVE TOPSOIL FROM WITHIN THE DRIPLINE OF TREES UNLESS OTHERWISE SPECIFIED. IF IT IS NECESSARY TO EXCAVATE WITHIN THE DRIPLINE, USE HAND METHODS SUCH THAT ROOT SYSTEMS ARE PRESERVED INTACT AND UNDAMAGED.

Roots:
DO NOT CUT TREE ROOTS EXCEEDING 50 MM DIAMETER UNLESS PERMITTED BY THE SUPERINTENDENT. WHERE IT IS NECESSARY TO CUT TREE ROOTS, USE A CHAIN SAW OR SIMILAR MEANS SUCH THAT THE CUTTING DOES NOT UNDULY DISTURB OR ROCK THE REMAINING ROOT SYSTEM. IMMEDIATELY AFTER CUTTING, APPLY AN APPROVED BITUMINOUS FUNGICIDAL SEALANT TO THE CUT SURFACE TO PREVENT THE INCURSION OF ROT OR DISEASE.

Compacted Ground:
AVOID COMPACTION OF THE GROUND UNDER TREES. IF THE GROUND UNDER TREES HAS BEEN UNDULY COMPACTED DURING THE WORK UNDER THE CONTRACT, FOR EXAMPLE BY THE OPERATION OF HEAVY CONSTRUCTIONAL PLANT, LOOSEN THE SOIL BY CORING.

SOIL WORKS

Soil Conditioner
"TERRA-COTTEM®" OR ITS EQUIVALENT IS TO BE INCORPORATED INTO THE PLANTING MEDIUM WHEN PLANTING.

Imported Soil
ALL IMPORTED SOIL TO ACHIEVE THE REQUIREMENTS OF AS419 - SOILS FOR LANDSCAPING ALL TREE PLANTING HOLES ARE A MINIMUM 1.5 TIMES DIAMETER AND TWICE THE DEPTH OF THE ROOT BALL ALL MULCH IS TO BE FREE OF DELETERIOUS MATERIAL SUCH AS ROCK, SOIL, WEEDS AND STICKS. ACCEPTABLE MULCH - FOREST LITTER OR PINE BARK MULCH

THOROUGHLY CULTIVATE THE SUBSOIL TO A DEPTH OF 150MM. SUPPLY AND INSTALL THE FOLLOWING SOIL MIXES TO THE SPECIFIED DEPTHS:

SOIL DEPTH	
- TURF	100MM
- PLANTING	300MM
SOIL MIX A	
- BLACK LOAM	60%
- COARSE WASHED RIVER SAND	30%
- ORGANIC MIX /COMPOST	10%
- ORGANIC LAYER 50 MM DEEP	
CULTIVATE A 50MM LAYER OF ORGANIC ADDMIX INTO THE TOP 100MM OF SOIL MIX	
Addmix composition	
- TREATED HARDWOOD SAWDUST	30%
- PINE PARK FINES	40%
- COMPOSTED MANURE	30%
SOIL MIX B	
- SITE TOPSOIL IF AVAILABLE	
OR IMPORTED MIX OF:	
- BLACK LOAM	70%
- COARSE WASHED RIVER SAND	30%

TREE PLANTING AREAS TO BE MOUND 300 MM ABOVE THE EXISTING GROUND LINE TO IMPROVE DRAINAGE FROM PLANTING HOLES. TREE HOLES TO BE EXCAVATED 2 TIMES LARGER THAN THE ROOTBALL AND BACKFILLED WITH SOIL MIX AS SPECIFIED ABOVE.

TURFED AREAS
APPLY SHIRLEYS NO17 LAWN FERTILISER TO SOIL. APPLIED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS. TURF SHALL BE:

- Buffalo Sapphire Blue of 30MM.

DO NOT LET TURF DRY OUT. LIGHTLY TOP DRESS TURF 6 WEEKS AFTER LAYING WITH 10MM IMPORTED TOPSOIL THATCH TO BE LAID WITH STAGGERED JOINTS FLUSH WITH PATHWAY LEVELS.

STEEL GARDEN EDGE
FORM BOSS ZAM 100mm STEEL GARDEN EDGE INSTALLED AS PER MANUFACTURERS SPECIFICATION

SUPPLIER:
Reece Irrigation Minchinbury
10 Grex Avenue, Minchinbury, NSW, 2770
Phone: (02) 9675 5822

MULCH
SUPPLY AND PLACE 75 MM LAYER OF HARDWOOD HORTICULTURAL GRADE MULCH, (GRADED IN SIZE 15 MM X 15MM X 15MM, FREE FROM WOOD SLIVERS), SET DOWN 25MM FROM ADJACENT PAVING.

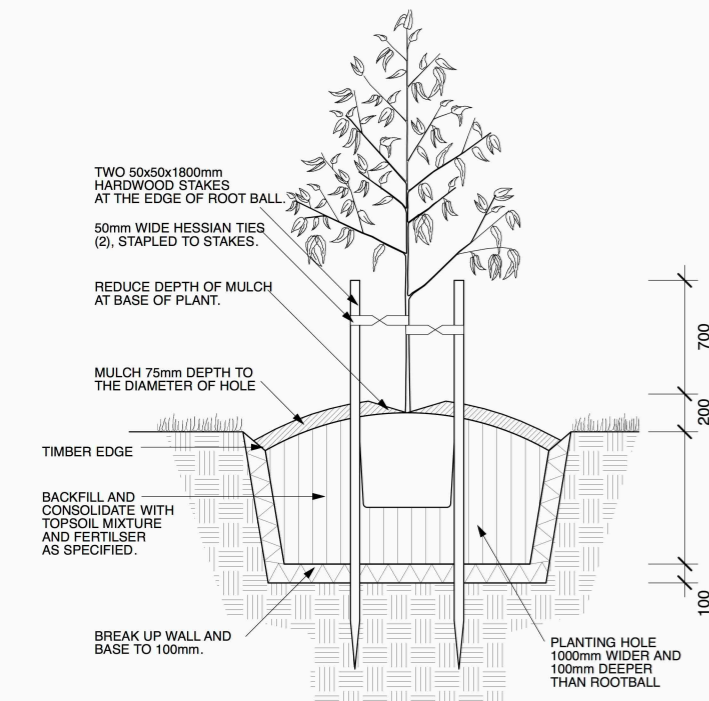
PLANT MATERIALS
ALL PLANTS SHALL BE TRUE TO TYPE, OF HEALTHY GROWTH DISEASE FREE NURSERY STOCK AND NOT DISPLAYING RESTRICTED GROWTH PATTERNS. SHOULD THERE BE A REQUIREMENT FOR SUBSTITUTIONS THEY SHALL NOT CHANGED WITHOUT PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT. NO VARIEGATED STRAIN SHALL BE USED. ALLOW FOR SLOW RELEASE FERTILISER TO ALL PLANTS APPLIED AT THE MANUFACTURERS RECOMMENDED RATE TO BE SAME OR SIMILAR TO OSKOCOTE.

FERTILIZER:
MASS PLANTED AREAS : ALLOW 2 SHIRLEYS SLOW RELEASE KOKOI PELLETS PER 5 - 35 LITRE PLANT AND ONE PER 150MM PLANT TURF AREAS : ALLOW SHELLYS NO.17 LAWN FERTILIZER OR EQUIVALENT, APPLIED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS.

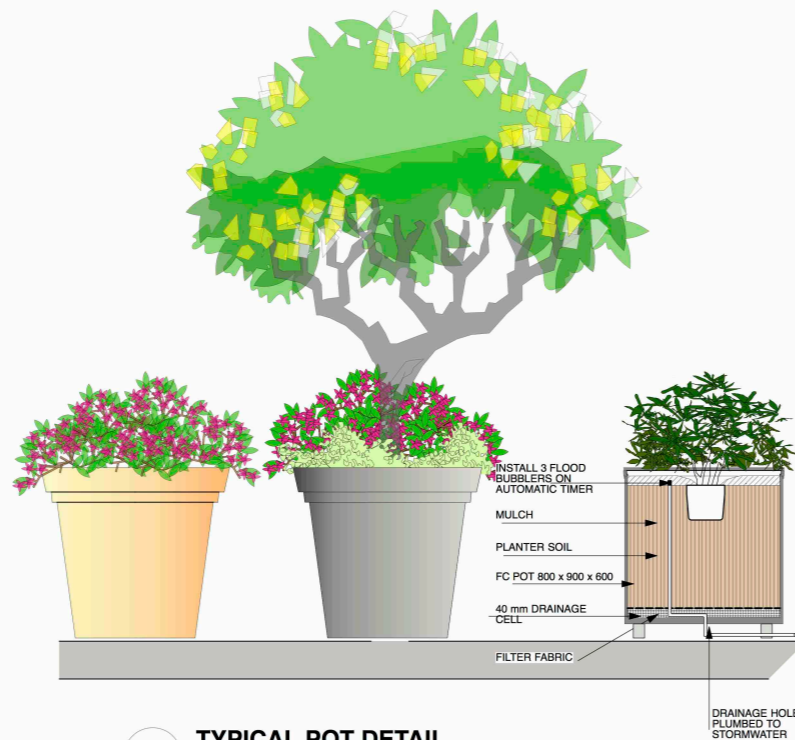
STAKES AND TIES
DURABLE HARDWOOD, STRAIGHT, SIZE SHALL BE 50X50X1800 WITH TIES SPACED APPROXIMATELY 300MM APART. DRIVE STAKES 800MM INTO THE GROUND ON THE WINDWARD SIDE OF THE PLANT. TIES SHALL BE 50MM HESSIAN WEBBING FIXED IN A FIGURE OF EIGHT PATTERN.

PLANT ESTABLISHMENT PERIOD
FROM THE DATE OF PRACTICAL COMPLETION, THERE SHALL BE A PERIOD OF 52 WEEKS FOR THE PLANTING ESTABLISHMENT PERIOD. ANY FAILED PLANTS SHALL BE REPLACED WITH THE SAME TYPE AND SPECIES. THE MULCHED SURFACES SHALL BE MAINTAINED IN A NEAT AND TIDY CONDITION. STAKES AND TIES SHALL BE ADJUSTED AS REQUIRED AND THE TURF SHALL BE REGULARLY MOVED TO MAINTAIN A HEALTHY GROUND COVER. A CONSTANT WATER REGIME SHALL BE MAINTAINED TO ENSURE HEALTHY GROWTH OF ALL PLANT MATERIAL.

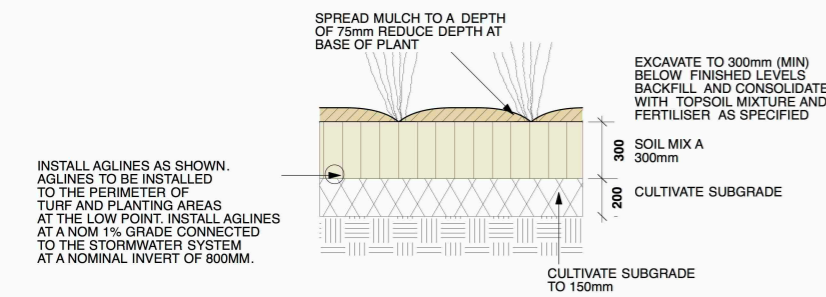
IRRIGATION
ALL PLANTING AREAS TO BE SUPPLIED WITH A FULLY AUTOMATIC IRRIGATION SYSTEM EQUIVALENT TO "NETAFIM". THE IRRIGATION SYSTEM SHALL MEET ALL THE REQUIREMENTS OF THE WATER AND ELECTRICITY SUPPLY AUTHORITY AND RELEVANT AUSTRALIAN STANDARDS. PROVIDE RICHDEL OR SIMILAR APPROVED CONTROLLER. CONNECTION TO SYDNEY WATER MAINS TO BE THROUGH AN APPROVED REDUCED PRESSURE ZONE DEVICE INSTALLED TO WATER REGULATIONS.



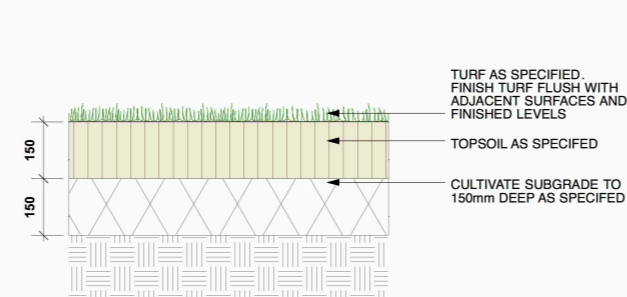
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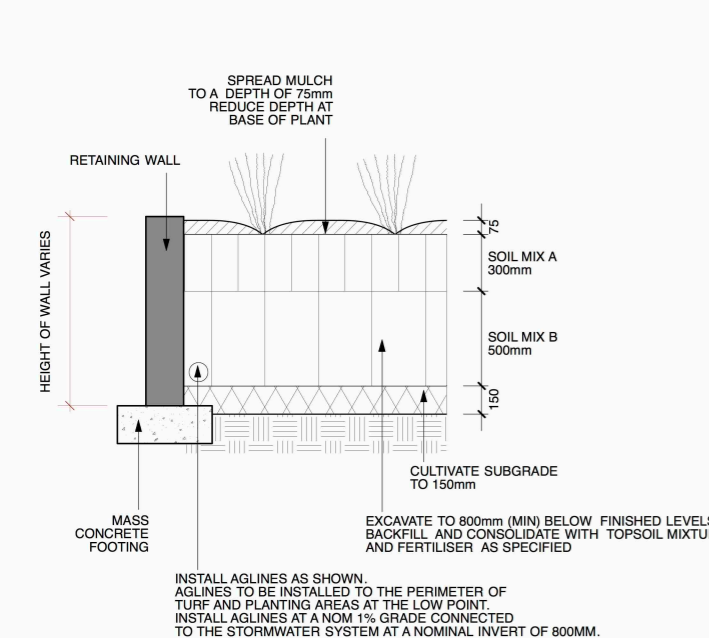
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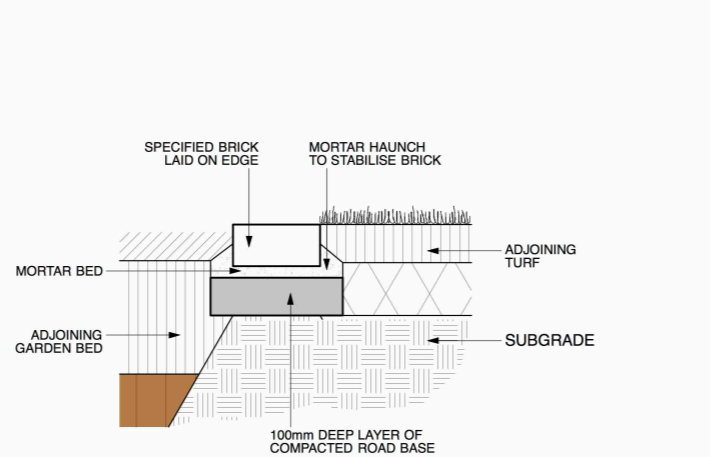
B MASS PLANTING DETAIL
1:20



E TURF DETAIL
1:10



C MASS PLANTING - RETAINING WALL
1:20



F TURF DETAIL
1:10

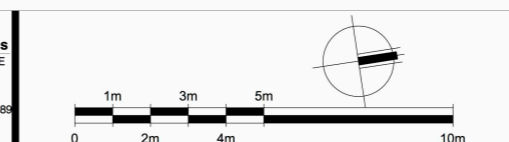


1 COMMON AREA ROTUNDA

revision	description	date	client:
D	DA ISSUE	13-09-2019	ARMADA AVALON PTY LTD
C	COORDINATION ISSUE	26-06-2019	
B	COORDINATION ISSUE	20-06-2019	
A	PRELIMINARY ISSUE	14-06-2019	

architect:	environa studio
	224 Riley Street surry hills 2010 t: 02 9211 0000 e: info@environastudio.com.au architects registration - 6239

landscape architect:	JOHN LOCK & associates
	LANDSCAPE ARCHITECTURE Suite 4, 211 Ben Boyd Road, Neutral Bay NSW 2089 p:02 9969 9866 e:landesign@bigpond.com



project:	Seniors Living 27-29 NORTH AVALON ROAD Avalon Beach	scale:	as shown @ A1 50% @ A3
		date:	03-05-2019
		dwg no:	2604 LP-03

LANDSCAPE DETAILS