

13 August 2012

General Manager
Pittwater Council
PO Box 882
MONA VALE NSW 1660

Dear Sir/Madam,

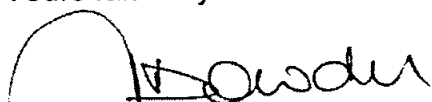
**Development Application No. N0204/11
1193A Barrenjoey Road, Palm Beach**

For Council's information, please find enclosed Construction Certificate No. 2011/4538 issued for alterations & additions to the existing north Palm Beach Surf Life Saving Club building at the above address, accompanied by:

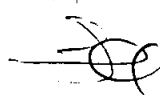
- Copy of Construction Certificate application form
- Notice of Commencement of Work and Appointment of Principal Certifying Authority
- Home Warranty Insurance Certificate
- Cheque for \$36.00 being the prescribed fee to receive the above certificate.

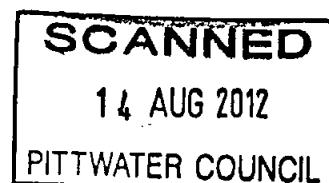
NB: Please forward receipt for the above fee to Insight Building Certifiers Pty Ltd, PO Box 326, Mona Vale 1660.

Yours faithfully



**Tom Bowden
Insight Building Certifiers Pty Ltd**

R-325897
\$36 PRVC
14/08/12




Construction Certificate Determination

issued under the Environmental
Planning and Assessment Act 1979
Section 109C (1) (b), 81A (2) and 81A (4)

Certificate No. 2011/4538

Council	Pittwater
Determination Date of issue	Approved 13 August 2012
Subject land Address Lot No, DP No.	1193A Barrenjoey Road, Palm Beach Lot 7006 DP 1117454
Applicant Name Address Contact No.	North Palm Beach Surf Life Saving Club Mr Graham Howard PO Box 40, Palm Beach NSW 2108 9974 1224 / 0414 903 647
Owner Name Address Contact No.	North Palm Beach Surf Life Saving Club 1193A Barrenjoey Road, Palm Beach NSW 2108 n/a
Description of Development Type of Work	Alterations & Additions to the Existing North Palm Beach Surf Life Saving Building
Builder or Owner/Builder Name Contractor Licence No/Permit	To Be Advised
Value of Work Building	\$500,000.00

Attachments

- Copy of completed Construction Certificate Application Form
- Long Service Levy Corporation receipt no. 650660934 dated 6 May 2012
- Section J - Energy Efficiency Report prepared by Efficient Living dated 15 March 2012
- Schedule of Existing & Proposed Fire Safety Measures dated 13 August 2012

Plans & Specifications certified

The development is to be carried out in compliance with the following plans and documentation listed below and endorsed with *Insight Building Certifiers* stamp.

- Architectural Plans & Construction Specification Drawing nos. DA-1C, DA-2C, DA-4C, DA-6C prepared by Jo Willmore Designs dated May 2011 and CC.1 dated 22 March 2012 & CC.2 dated 27 June 2012
- Structural Details reference no. 4387, Drawing no's. ST-011, ST-012, ST-021, ST-023 & ST-031 (all Revision 01), prepared & endorsed by Enstruct Group Pty Ltd, accompanied by Certificate of Structural Adequacy issued by Enstruct Group Pty Ltd dated 26 March 2012
- Sydney Water approval dated 3 November 2011

Certificate

I hereby certify that the above Plans, documents or Certificates, satisfy:

- The relevant provisions of the Building Code of Australia
- The relevant conditions of this Development Consent

and that work completed in accordance with the documentation accompanying the application for this Certificate (and any modifications as verified by me and shown on that documentation) will comply with the requirements of the Environmental Planning & Assessment Regulation referred to in Section 81A(5) of the Environmental Planning & Assessment Act, 1979.

Signed



Date of endorsement
Certificate No.

13 AUG 2012
2011/4538

Certifying Authority

Name of Accredited Certifier
Accreditation No.
Accreditation Authority
Contact No.
Address

Tom Bowden
BPB0042
Building Professionals Board
(02) 9999 0003
13/90 Mona Vale Road, Mona Vale NSW 2103

Development Consent

Development Application No.
Date of Determination

N0204/11
15 September 2011

BCA Classification

3 & 9b

APPLICATION FOR A CONSTRUCTION CERTIFICATE

Environmental Planning and Assessment Act 1979 & Environmental Planning and Assessment Regulation 2000

Description of Building Work

Alteration & addition to the existing
North Palm Beach Surf Life Saving Club.

Estimated cost of work

BCA Classification(s)

\$ 500,000 —

3 & 9(b)

Development Consent Reference no.

Date of Issue

NO 204/11.

15/9/2011.

Property Address

Unit/Street no.

Street name

1193A

Barrenjoey Road.

Suburb

Palm beach.

Post code

2108.

Lot no.

DP no.

7006

1117454.

Accompanying Documents

- Appropriate Architectural Plans and Specifications
- All information required by Part 3 of Schedule 1 Forms of the Regulation (see over)

I, the owner of the abovementioned property, hereby make application to Tom Bowden/Stephen Pinn of Insight Building Certifiers Pty Ltd ('Insight') for a Construction Certificate for the building work described above and, in doing so, I also declare that the documents provided and asserted by me as a copy of a development consent and incorporated plans are a true copy of same as issued by the relevant consent authority or the Land and Environment Court.

Owner's Name:

Graham. Howard.

Owner's Address:

North Palm Beach. Surf Life Saving Club - Palm Beach.
PO Box 40.
2108.

Owner's Signature:

G. Howard.
0414 903647

Date

10.5.2012

[Office Use Only]: Date received by Accredited Certifier:.....

All documents received as part of this Construction Certificate application have been stamped to that effect



Levy Online Payment Receipt

Thank you for using our Levy Online payment system. Your payment for this building application has been processed.

Applicant Name: NORTH PALM BEACH SURF LIFESAVING CLUB
Levy Application Reference: 5027225
Application Type: DA
Application No.: N0204/11
Local Government Area/Government Authority: PITTWATER COUNCIL
Site Address: 1193A BARRENJOEY RD

PALM BEACH
NSW
2108
Value Of Work: \$500,000
Levy Due: \$1,750
Levy Payment: \$1,750
Online Payment Ref.: 650660934
Payment Date: 6/05/2012 2:18:04 PM



Efficient Living Pty Ltd
13/13 Lagoon St
NARRABEEN NSW 2101
ABN: 82 116 346 802
ACN: 116 346 082

BCA 2011 Section J – Energy Efficiency Report

Project:	Addition to North Palm Beach Surf Life Saving Club, PALM BEACH NSW 2108	Climate Zone:	Zone 5	Date:	15/03/12
Client:	North Palm Beach Surf Life Saving Club	Building Class:	Class 9b		

This review has been produced to determine the compliance to BCA Section J 2011 of the building located at the above address. The review has been based upon the following documents and information provided by clients, architects and consultants. Should these documents change then this review will require updating to reflect changes and may result in a non compliance with the BCA Section J.

Architectural documents:	DA-1C, DA-2C, DA-3C, DA-4C, DA-5C, DA-6C
Electrical services documents:	None
Hydraulic documents:	None
Structural documents:	None

At the completion of the review where the outcome results in compliance for all clauses this document can be utilized as the certification for the project. Compliance is achieved with the completion of the recommendations of this report. Compliance to Deemed-to-Satisfy Provisions is achieved by compliance with following clauses.

Part:	Clause:	Compliance:
Part J1 – Building Fabric	J1.1 to J1.6	Y
Part J2 – Glazing	J2.1 to J2.5	Y
Part J3 - Building Sealing	J3.1 to J3.7	Y
Part J4 - **** Blank part	**** Blank part	N/A
Part J5 - Air Conditioning & Ventilation Systems	J5.1 to J5.5	N/A – As no new A/C & ventilation systems to be installed.
Part J6 - Artificial Lighting	J6.1 to J6.6	Y
Part J7 – Hot water supply	J7.1 to J7.4	Y
Part J8 – Access for maintenance	J8.1 to J8.3	Y

Prepared for:	Prepared by:
North Palm Beach Surf Life Saving Club Governor Phillip Park, PALM BEACH NSW 2108	Efficient Living 13/13 Lagoon St, NARRABEEN NSW 2101
Contact: Graham Howard Phone: 0414 903 647 Email: office@northpalmbeach.com.au	Contact: Daniel Hartin Phone: 02 9944 0332 Email: office@efficientliving.com.au

North Palm Beach SLSC is to be ultimately responsible for the final built compliance of Section J - Energy Efficiency



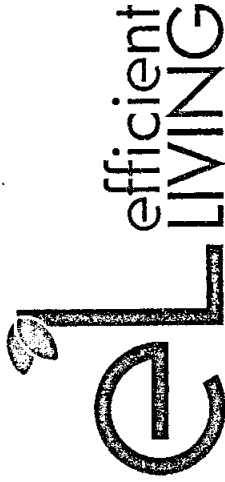
Efficient Living Pty Ltd
13/13 Lagoon St
NARRABEEN NSW 2101
ABN: 52 116 346 802
ACN: 116 346 082

Clause	System	Requirements (applicable)	Comments	Actions	Compliance	Action By
J1.5	Walls	(a) Each part of an external wall that is part of the envelope, other than of a sole-occupancy unit of a Class 2 building or a Class 4 part of a building, must satisfy one of the options in Table J1.5a except for- (i) opaque non-glazing openings in external walls such as doors (including garage doors), vents, penetrations, shutters and the like; and (ii) glazing; and (iii) an earth retaining wall or earth-berm, in other than climate zone 8. Table J1.5a [Climate Zone 5] – Option (a) achieves a minimum Total R-Value of R2.8	See Appendix – Insulation Calculations Worksheet at end of report for further details / calculations. Additional insulation required to new external walls Weatherboard on studwork, lined - R2.4 insulation.	Install: R2.4 insulation to ALL new external walls. Install to AS/NZS 4859.1 standards & J1.2.	Y with action	Client Builder Installer
J1.6	Floors	(a) A floor that is part of the envelope of a building, other than a sole-occupancy unit of a Class 2 building or a Class 4 part of a building, including a floor above or below a carpark or a plant room - (i) must achieve the Total R-Value specified in Table J1.6; Table J1.5a [Climate Zone 6] – (d) – Total R-Value of R2.0. (b) In climate zones 1 to 6, the minimum Total R-Value required in (a) may be reduced by R0.5 provided R0.75 is added to the Total R-Value required for the roof and ceiling construction. Total R-Value of R1.5 in a downwards direction is required.	See Appendix – Insulation Calculations Worksheet at end of report for further details / calculations. Additional insulation required: R1.2 ceiling insulation	Install: Under floor Insulation beneath the new concrete slab where exposed to outside, with an R-value of R1.2 or more. To be installed to AS/NZS 4859.1 standard.	Y with action	Client Builder Installer
Part J2 - Glazing						
J2.1	Application Of Part	The Deemed-to-Satisfy Provisions of this Part apply to building elements forming the envelope of a Class 2 to 9 building.	Applicable - Building Class 9b.	-	Y	
J2.2	**** Blank clause			-	N/A	
J2.3	**** Blank clause			-	N/A	



Efficient Living Pty Ltd
13/13 Lagoon St
NARRABEEN NSW 2101
ABN: 82 116 346 302
ACN: 116 346 082

Clause	System	Requirements (Applicable)	Comments	Actions	Compliance	Action By
J3.4	Windows & Doors	(a) A seal to restrict air infiltration must be fitted to each edge of a door, operable window or the like forming part of – (i) the envelope of a conditioned space; or (ii) the external fabric of a habitable room or public area in climate zones 4, 5, 6, 7 and 8. (b) The requirements of (a) do not apply to – (i) a window complying with AS 2047; or (ii) a fire door or smoke door; or (iii) a roller shutter door, roller shutter grille or other security door or device installed only for out-of-hours security. (c) A seal required by (a) – (i) for the bottom edge of an external swing door, must be a draft protection device; and (ii) for the other edges of an external door or the edges of an operable window or other such opening, may be a foam or rubber compression strip, fibrous seal or the like. (d) an entrance to a building, if leading to a conditioned space must have an air-lock, self closing door, revolving door or the like.	Window supplier to provide verification that windows and glazed sliding doors are sealed to comply with BCA J3.4 or AS2047. New door between 'Watercraft Storage' and 'Entry' to be automatic / self-closing door or the like. This door is also to be sealed to J3.4 specifications.	Ensure: Doors described in 'Comments' to have a self-closing mechanism installed. Doors to be sealed as per J3.4 (c).	Y with action	Client Builder Installer
J3.5	Exhaust Fans	A miscellaneous exhaust fan, such as a bathroom or domestic kitchen exhaust fan, must be fitted with a sealing device such as a self-closing damper or the like when serving— (a) a conditioned space; or (b) a habitable room in climate zones 4, 5, 6, 7 and 8.	Exhaust fans if required, to be fitted with a sealing device or damper.	Install: Ensure all exhausts fans are fitted with Dampers / sealing devices.	Y with action	Client Builder Installer
J3.6	Roof, Walls and Floors	(a) Roofs, ceilings, walls, floors and any opening such as a window frame, door frame, roof light frame or the like must be constructed to minimise air leakage in accordance with (b) when forming part of— (i) the envelope; or (ii) the external fabric of a habitable room or a public area in climate zones 4, 6, 7, and 8. (b) Construction required by (a) must be – (i) enclosed by internal lining systems that are close fitting at ceiling, wall and floor junctions; or (ii) sealing by caulking, skirting, architraves, cornices or the like.	Construction forming elements of the envelope must be enclosed by internal lining systems that are close fitting at ceiling, wall and floor junctions or sealed by caulking, skirting, architraves, cornices or the like. These requirements do not apply to smoke hazard management openings.	-	Y	



Efficient Living Pty Ltd
13/13 Lagoon St
NARRABEEN NSW 2101
ABN: 52 116 346 802
ACN: 116 346 082

Clause	System	Requirements (applicable)	Comments	Actions	Compliance	Action By
J6.3	Interior artificial lighting and power control	(a) Artificial lighting of a room or space must be individually operated by a switch or other control device. (c) An artificial lighting switch or other control device in (a) must— (i) if an artificial lighting switch, be located in a visible position – (A) in the room or space being switched; or (B) in an adjacent room or space from where the lighting being switched is visible; If in a Class 3,6,7,8 or 9 building. The requirements of (a) & (c) do not apply to emergency lighting in accordance with Part E4 of the BCA. (f) The requirements of (a) (c) (d) and (e) do not apply to emergency lighting in accordance with Part E4 of the BCA. N/A – As no new interior decorative and display lighting proposed.	Any new artificial lighting of a room or space to be individually switched or operated. These switches or devices must be located in a visible position.	Install: Any new lighting controls or switches within each room, in visible locations.	Y with action	Client Builder Installer
J6.4	Interior decorative and display lighting		N/A	-	N/A	
J6.5	Artificial lighting around the perimeter of a building	(a) Artificial lighting around the perimeter of a building, must - (i) be controlled by- (A) a daylight sensor; or (B) a time switch that is capable of switching on and off electric power to the system at variable pre-programmed times and on variable pre-programmed days; and (ii) when the total perimeter lighting load exceeds 100W- (A) have an average light source efficacy of not less than 60 Lumens/W; or (B) be controlled by a motion detector in accordance with Specification J6; and (iii) when used for decorative purposes, such as façade lighting or signage lighting, have a separate time switch in accordance with Specification J6. The requirements of (a) (ii) do not apply to emergency lighting in accordance with Part E4 of the BCA.	Any new artificial lighting around the perimeter of the building to be controlled by a daylight sensor or time switch with pre-programmable times. If total perimeter lighting load exceeds 100W comply with J6.5 (ii) (A) & (B) If being used for façade lighting or signage lighting to have separate time switches as per Specification J6. See Appendix for Specification J6.	Install: Daylight sensor or time switches if required as per 'Comments'.	Y with action	Client Builder Installer
J6.6	Boiling water and chilled water storage units	Power supply to a boiling water or chilled water storage unit must be controlled by a time switch in accordance with Specification J6.	If installing a 'Zip' boiler or chilled water system or the like, it must be controlled by a time switch in accordance with Specification J6 see Appendix.	Install: Time switch in accordance with Specification J6.	Y with action	Client Builder Installer

Appendix 1 - Insulation Calculation Worksheet

J1.3

New metal roof with raked ceilings

Component	R-value
Outdoor air film	0.04
Metal cladding	0
Roof airspace (non-reflective)	0.22
Plasterboard lining	0.06
Indoor air film	0.16
total	0.48

$R0.48 \text{ (total)} - 0.22 \text{ (air-space)} = R0.26$

$R3.95 \text{ (required total)} - R0.26 = R3.69 \text{ (additional insulation)}$

Required additional insulation R3.69

J1.5

Weatherboard cladding on stud work, lined

Component	R-value
Outdoor air film	0.04
Weatherboard cladding	0.18
Air-space (90mm non-reflective, unventilated)	0.17
Plasterboard lining	0.06
Indoor air film	0.12
total	0.57

$R0.57 \text{ (total)} - 0.17 \text{ (air-space)} = R0.40$

$R2.8 \text{ (required total)} - R0.40 = R2.4 \text{ (additional insulation)}$

Required additional insulation R2.40

J1.6

Solid concrete floor

Indoor air film	0.16
Solid concrete floor	0.1
Outdoor air film	0.04
total	R0.30

$R1.5 \text{ (required total)} - R0.30 = R1.2 \text{ (additional insulation)}$

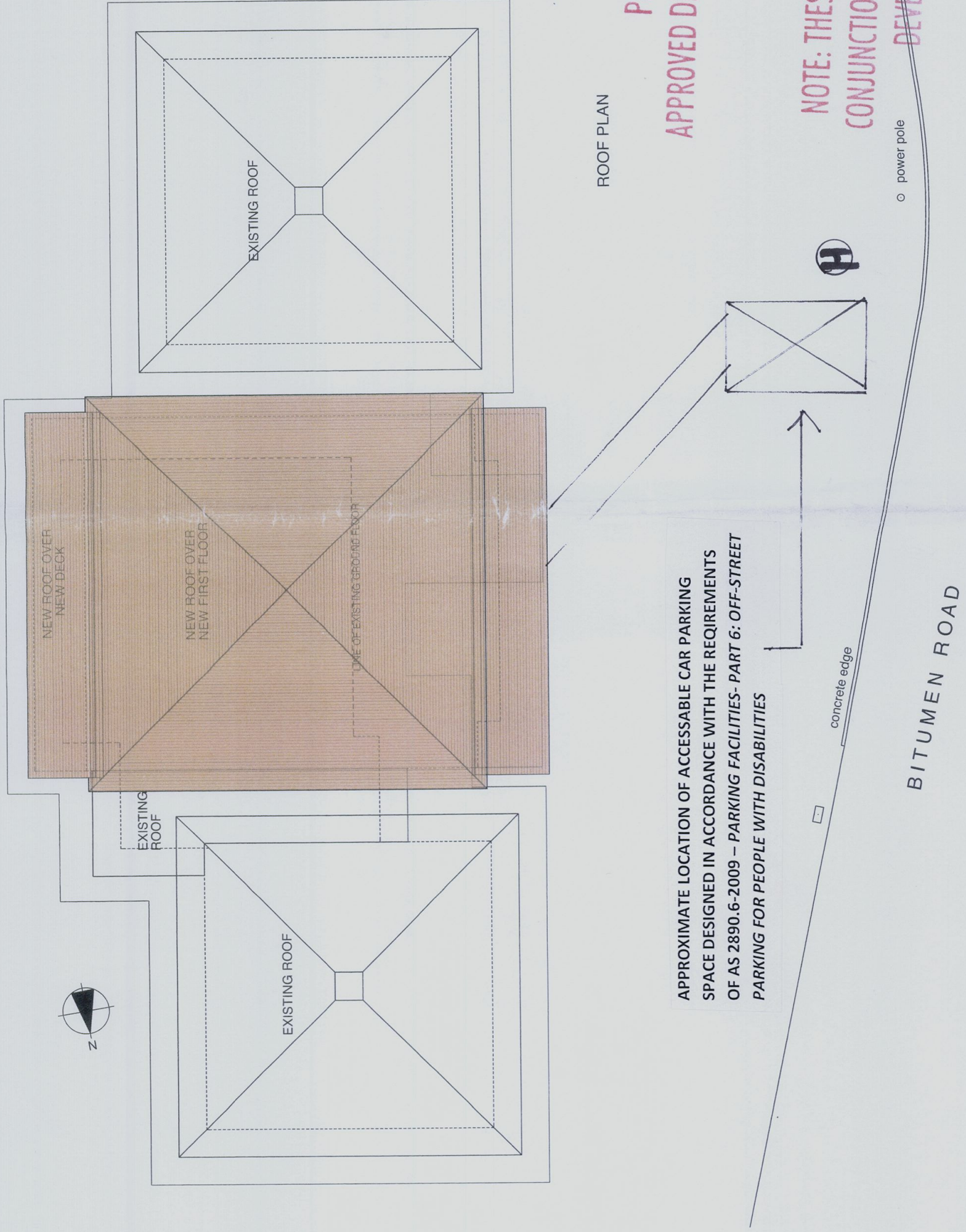
Required additional insulation R1.2

4. Motion detectors

- (a) In a Class 2, 3 or 9c aged care building other than within a sole-occupancy unit, a motion detector must—
 - (i) be capable of sensing movement such as by infra-red, ultrasonic or microwave detection or by a combination of these means; and
 - (ii) be capable of detecting a person before they are 1 m into the space; and
 - (iii) other than within a sole-occupancy unit of a Class 3 building, not control more than—
 - (A) an area of 100 m²; and
 - (B) 95% of the lights in spaces of area more than 25 m²; and
 - (iv) be capable of maintaining the artificial lighting when activated—
 - (A) for not less than 5 minutes and not more than 15 minutes unless it is reset; and
 - (B) without interruption if the motion detector is reset by movement.
- (b) In a Class 5, 6, 7, 8, 9a or 9b building, a motion detector must—
 - (i) be capable of sensing movement such as by infra-red, ultrasonic or microwave detection or by a combination of these means; and
 - (ii) be capable of detecting—
 - (A) a person before they have entered 1 m into the space; and
 - (B) movement of 500 mm within the useable part of the space; and
 - (iii) not control more than—
 - (A) in other than a carpark, an area of 500 m² with a single sensor or group of sensors; and
 - (B) 75% of the lights in spaces using high intensity discharge; and
 - (iv) be capable of maintaining the artificial lighting when activated—
 - (A) for a maximum of 30 minutes unless it is reset; and
 - (B) without interruption if the motion detector is reset by movement; and
 - (v) not be overridden by a manual switch to permanently leave the lights on.
- (c) When outside a building, a motion detector must—
 - (i) be capable of sensing movement such as by infra-red, ultrasonic or microwave detection or by a combination of these means; and
 - (ii) be capable of detecting a person within a distance from the light equal to—
 - (A) twice the mounting height; or
 - (B) 80% of the ground area covered by the light's beam; and
 - (iii) not control more than five lights; and
 - (iv) be operated in series with a photoelectric cell or astronomical time switch so that light will not operate in daylight hours; and
 - (v) be capable of maintaining the artificial lighting when the switch is on for a maximum of 10 minutes unless it is reset; and
 - (vi) have a manual override switch which is reset after a maximum period of 4 hours.

5. Daylight sensor and dynamic lighting control device

- (a) A daylight sensor and dynamic control device for artificial lighting must—
 - (i) for switching on and off—



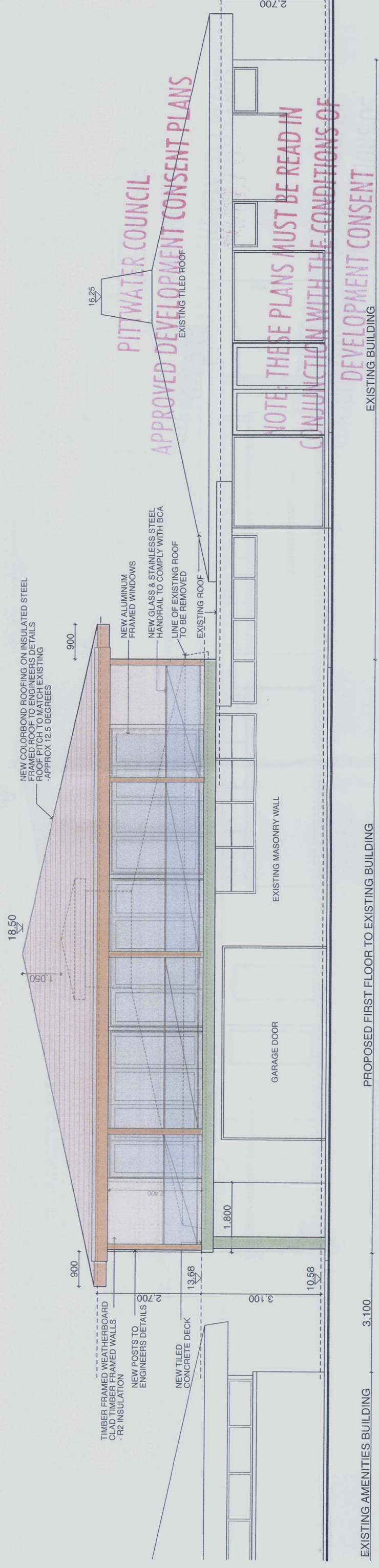
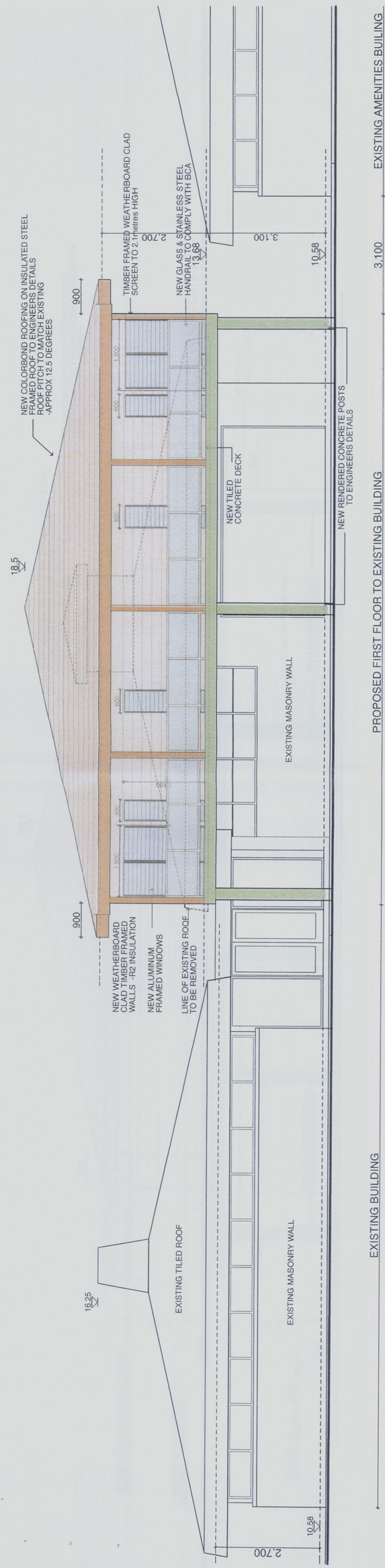
insight building certifiers pty ltd
CONSTRUCTION CERT. NO. 2011/4538
CONSTRUCTION CERTIFICATE PLANS
I certify that the work completed in accordance with these plans & specifications will comply with the regulations referred to in Section 81A(5) of the Environmental Planning & Assessment Act 1979
Bowden 13 AUG 2012
T. Bowden Accreditation No. BPB0042

PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

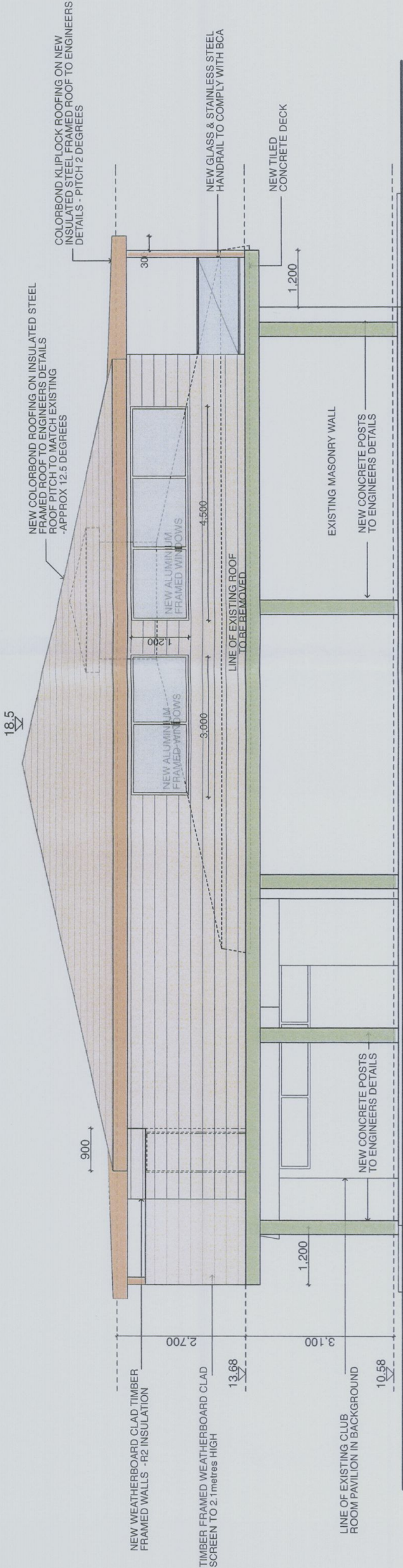
NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

APPROXIMATE LOCATION OF ACCESSABLE CAR PARKING SPACE DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF AS 2890.6-2009 - PARKING FACILITIES- PART 6: OFF-STREET PARKING FOR PEOPLE WITH DISABILITIES

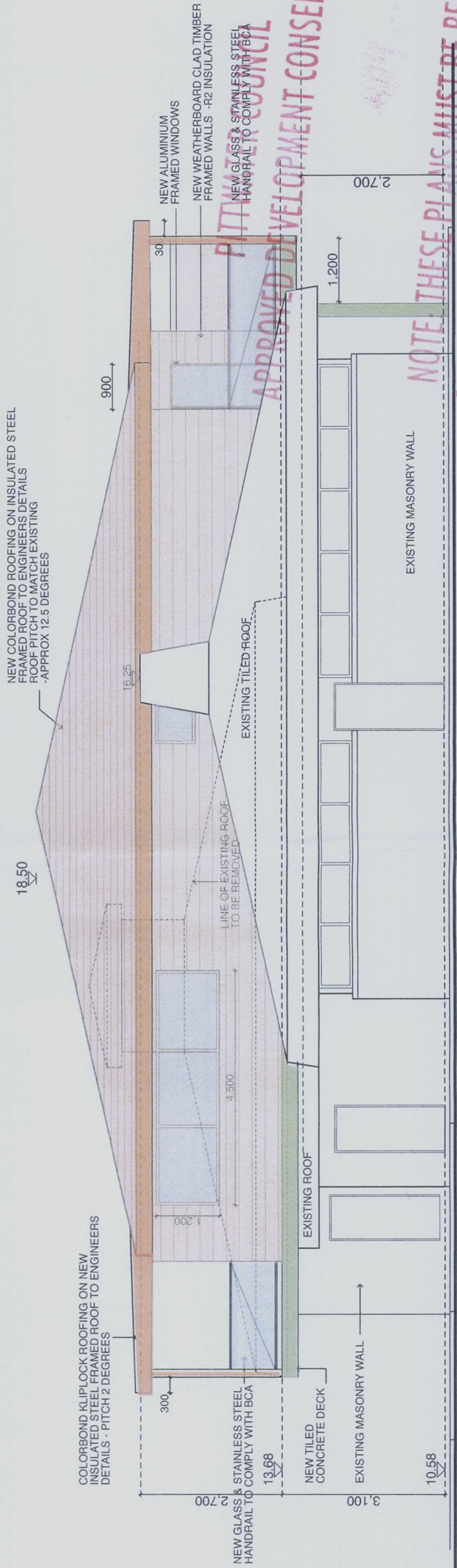
AMENDMENTS	JO WILLMORE DESIGNS 11 Hudson Parade Clareville NSW 2107 9918 2479 ABN 27 370 370 173	PROPOSED ALTERATIONS & ADDITIONS TO NORTH PALM BEACH SURF CLUB GOVERNOR PHILLIP PARK	drawing title	date: MAY 2011 scale: 1:200 (A3)
			ROOF PLAN	drawing number
			NOTE: Use figured dimension only. Do not scale off drawings. All levels and dimensions to be verified prior to construction of work	DA-1C



AMENDMENTS	JO WILLMORE DESIGNS 11 Hudson Parade Clareville NSW 2107 9918 2479 ABN 27 370 370 173	PROPOSED ALTERATIONS & ADDITIONS TO NORTH PALM BEACH SURF CLUB GOVERNOR PHILLIP PARK	drawing title ELEVATIONS	date: MAY 2011 scale: 1:100 (A3)	drawing number DA-4C
			NOTE: Use figured dimension only. Do not scale off drawings. All levels and dimensions to be verified prior to construction of work		

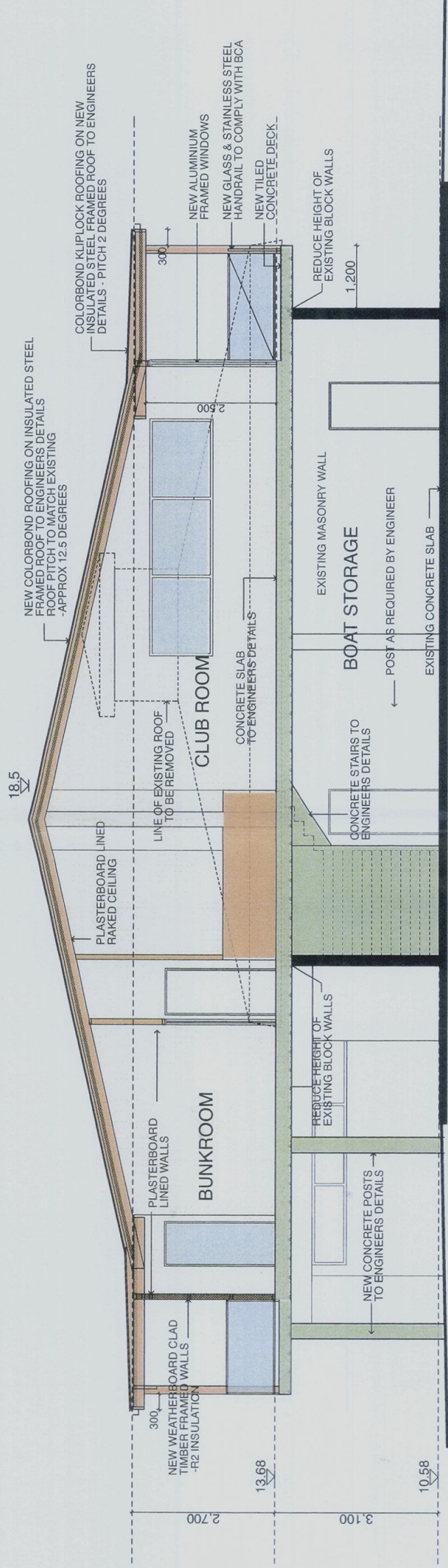


SOUTH ELEVATION



NORTH ELEVATION

AMENDMENTS	JO WILLMORE DESIGNS 11 Hudson Parade Clareville NSW 2107 9918 2479 ABN 27 370 370 173	PROPOSED ALTERATIONS & ADDITIONS TO NORTH PALM BEACH SURF CLUB GOVERNOR PHILLIP PARK	drawing title ELEVATIONS	date: MAY2011 scale: 1:100 (A3)
			NOTE: Use figured dimension only. Do not scale off drawings. All levels and dimensions to be verified prior to construction of work	drawing number DA- 5C

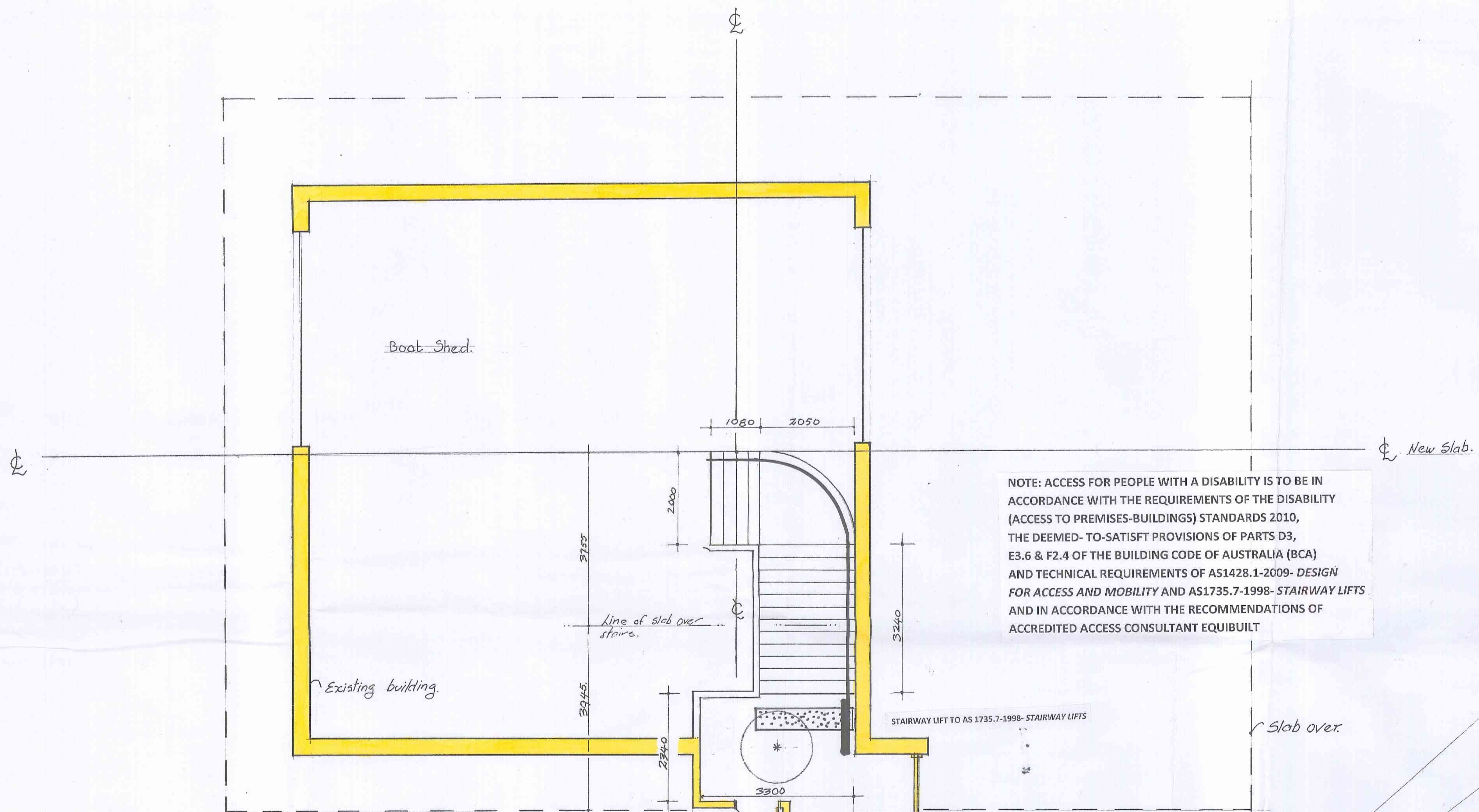


SECTION AA

PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

AMENDMENTS	JO WILLMORE DESIGNS 11 Hudson Parade Clareville NSW 2107 9918 2479 ABN 27 370 370 173	PROPOSED ALTERATIONS & ADDITIONS TO NORTH PALM BEACH SURF CLUB GOVERNOR PHILLIP PARK		drawing title SECTION	date: MAY 2011 scale: 1:100 (A3)
		NOTE: Use figured dimension only. Do not scale off drawings. All levels and dimensions to be verified prior to construction of work		drawing number DA-6C	



NOTE: THIS PLAN IS TO BE READ IN CONJUNCTION WITH GROUND FLOOR PLAN DRAWING No. DA-2C PREPARED BY JO GILMORE DESIGNS DATED MAY 2011

Stairs: R 184-7 G. 270

Stair pitch under 38° recommended (34°) - NPBSLSC

Residential 42° MAX.

All other buildings 38° MAX.

Public Assembly 33° MAX.

NPBSLSC

Amended grd level. Scale: 1:50

Disabled Access. J. CONEN.

22 March 2012.

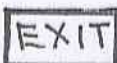
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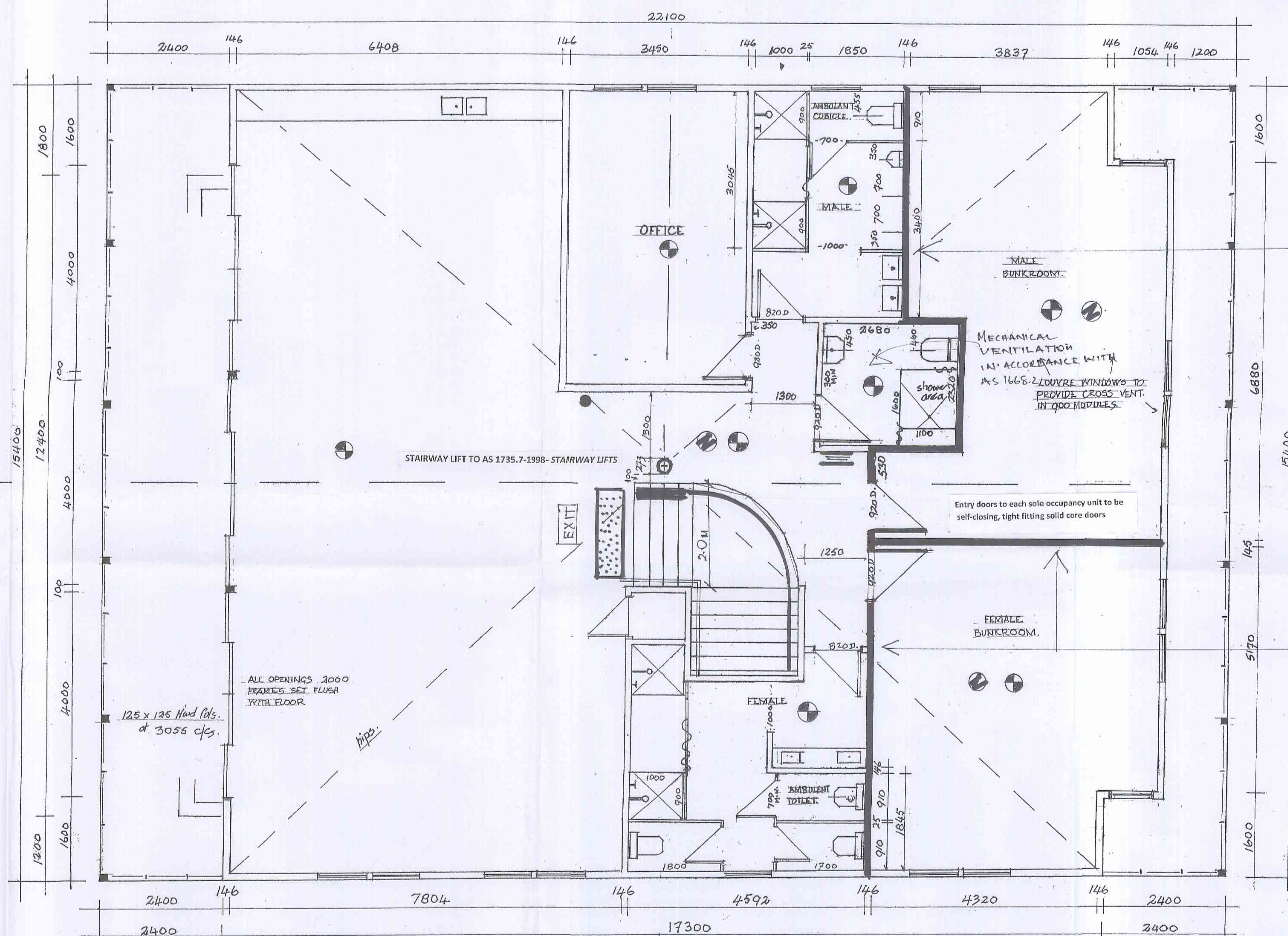
Uni. Edinbrough. actual. 3300 x 2340

Tread. 270

Rise 184-7

Drawing No. C.C. 1

Legend	
	Fire Hydrant to AS 2419.1
	Fire Hose Reel to AS 2441
	Portable Fire Extinguisher to AS 2444
	Smoke Detection System to AS 1670.1 & Building Occupant Warning System to Clause 3.22 of AS 1670.1
	Emergency Lighting to AS 2293.1
	Exit Sign to AS 2293.1
	Tactile Indicators to AS/NZS 1428.4.1



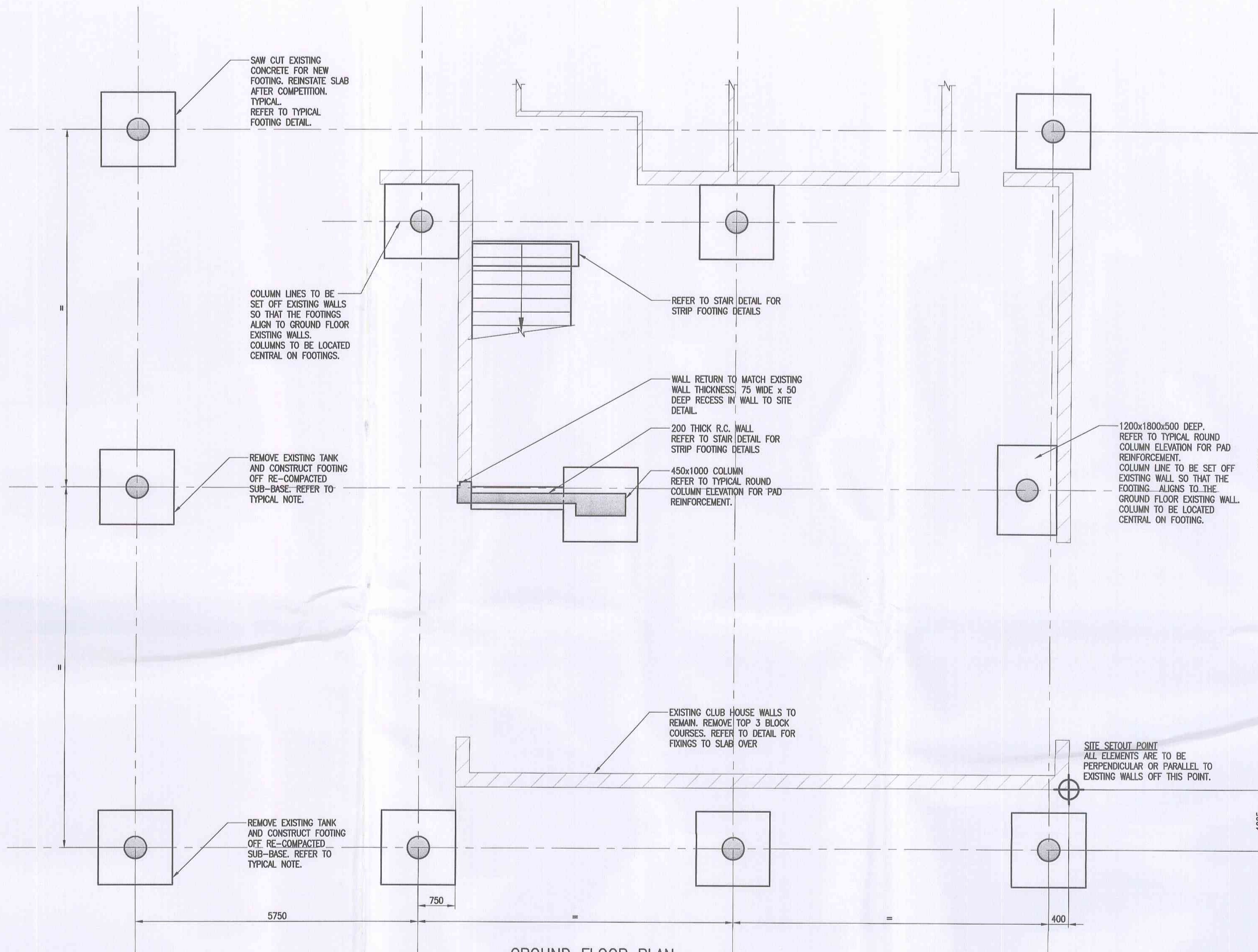
Internal walls to each sole occupancy unit are to achieve a Fire Resistance Level of 60/60/60 and are to extend to the underside of a ceiling having a resistance to the incipient spread of fire to the space above itself of not less than 60 minutes

EXT WALLS	130
INT " "	146

NOTE: ACCESS FOR PEOPLE WITH A DISABILITY IS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARD (ACCESS TO PREMISES-BUILDINGS) STANDARDS 2010, THE DEEMED-TO-SATISFY PROVISIONS OF PARTS D3, E3.6 & F2.4 OF THE BUILDING CODE OF AUSTRALIA (BCA) AND TECHNICAL REQUIREMENTS OF AS1428.1-2009- *DESIGN FOR ACCESS AND MOBILITY* AND AS1735.7-1998- *STAIRWAY LIFTS* AND IN ACCORDANCE WITH THE RECOMMENDATIONS OF ACCREDITED ACCESS CONSULTANT EQUIBUILT

AMENDED Layout NPB5LSC 22 March 2012
for Disabled Use & Access.
J.G. CONEN 0420 764 660 Scale 1:50
3rd AMENDMENT 2 June 2012.
4th 27

Drawing No. CC.2

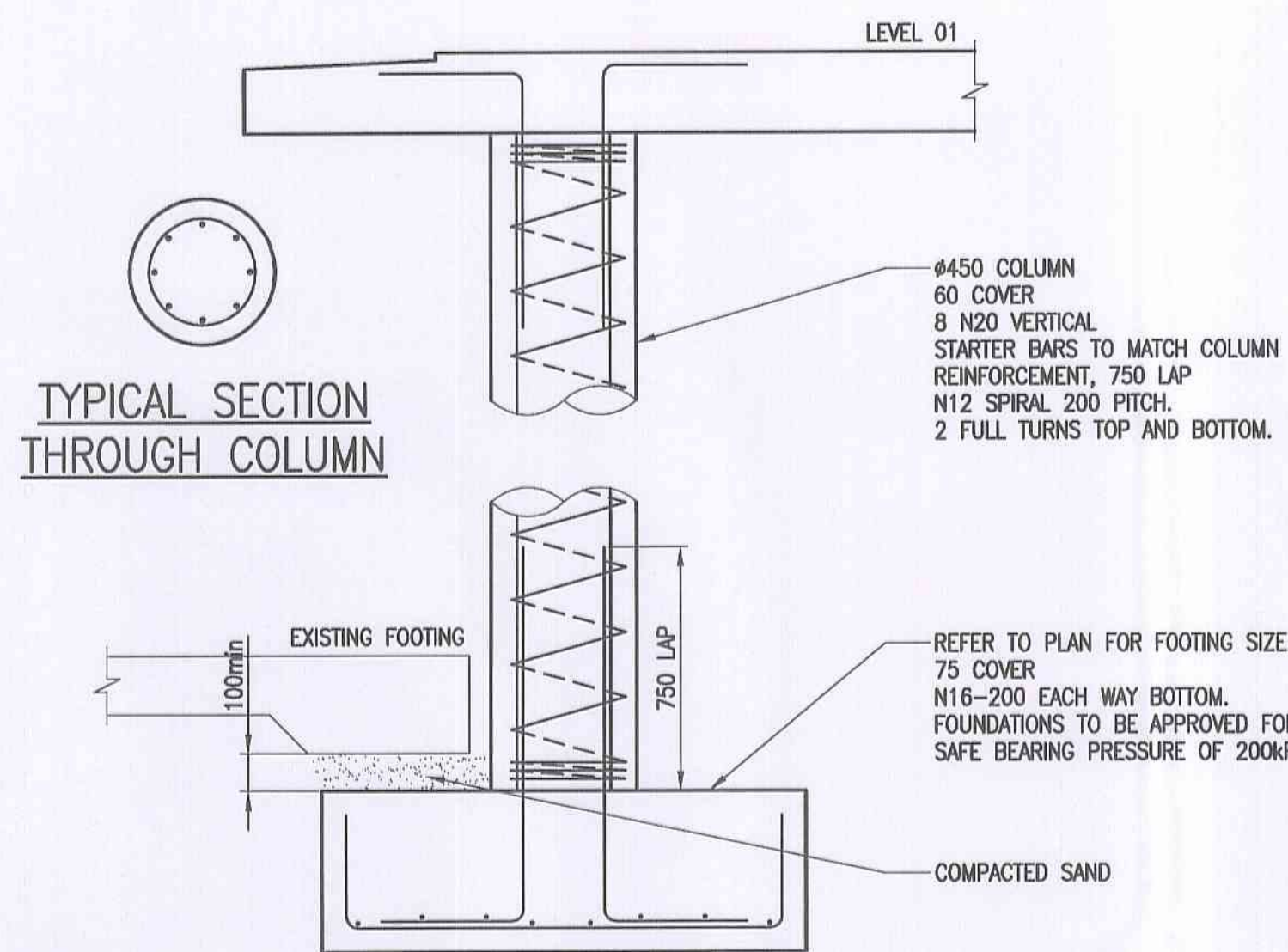


- EXISTING SLAB
- ALL COLUMNS TO BE $\phi 450$ U.N.O.
- COLUMN FOOTINGS TO BE $1500 \times 1500 \times 500$ DEEP U.N.O.
- ALL DIMENSION TO BE CONFIRMED ON SITE AND REPORTED TO STRUCTURAL ENGINEER.
- TOP OF COLUMN FOOTINGS TO BE A MINIMUM OF 500 BELOW EXISTING SLAB LEVEL.

rev	date	description	drn	ch'k
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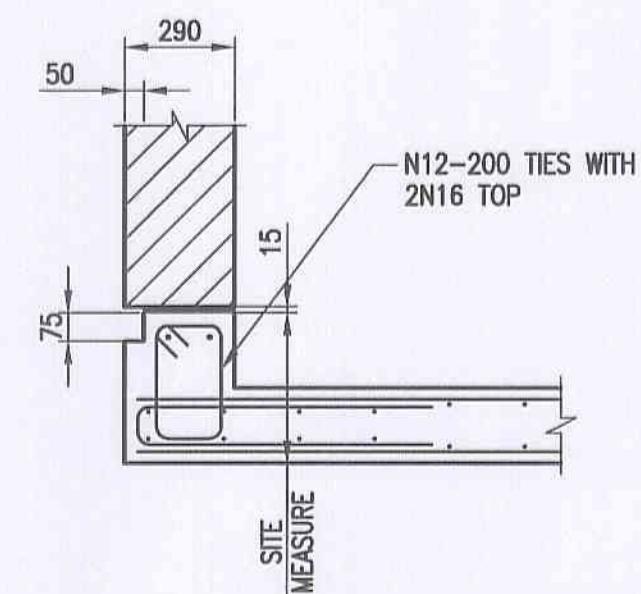
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project no.	drawing no.	rev.
4387	ST-011	01

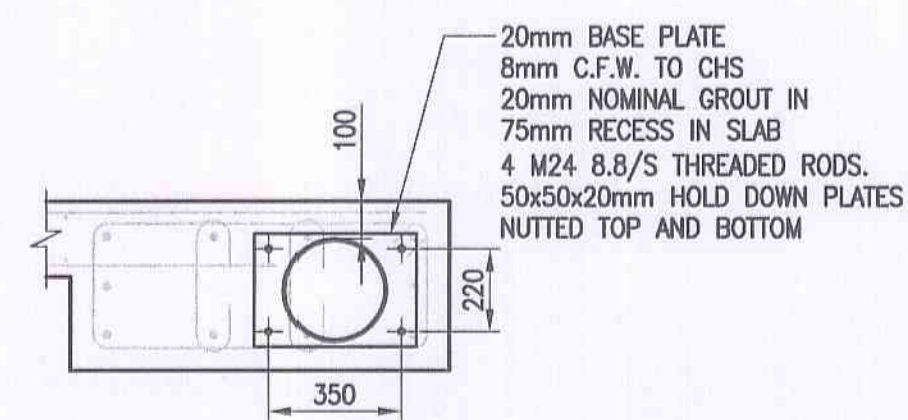


TYPICAL SECTION
THROUGH COLUMN

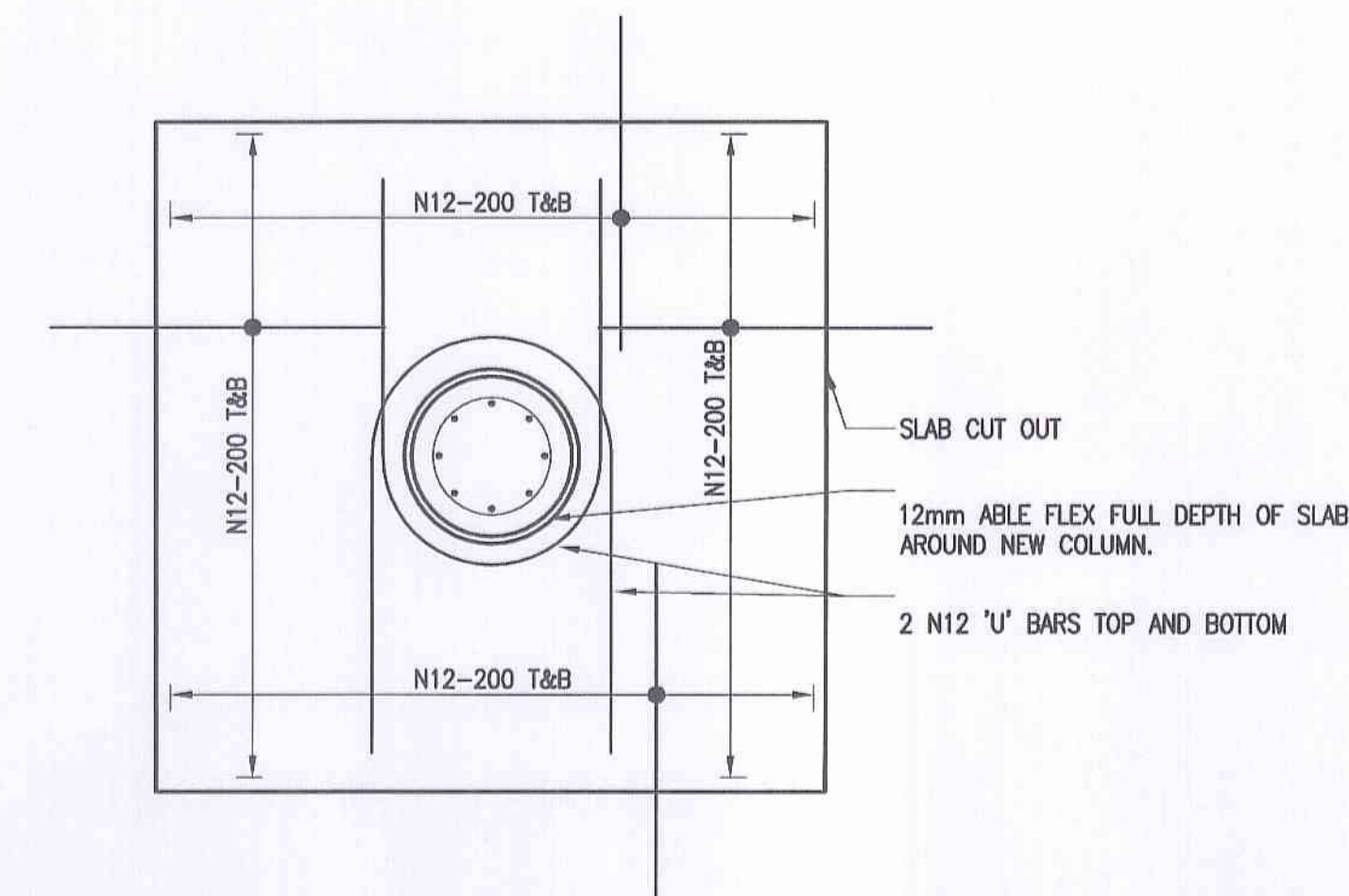
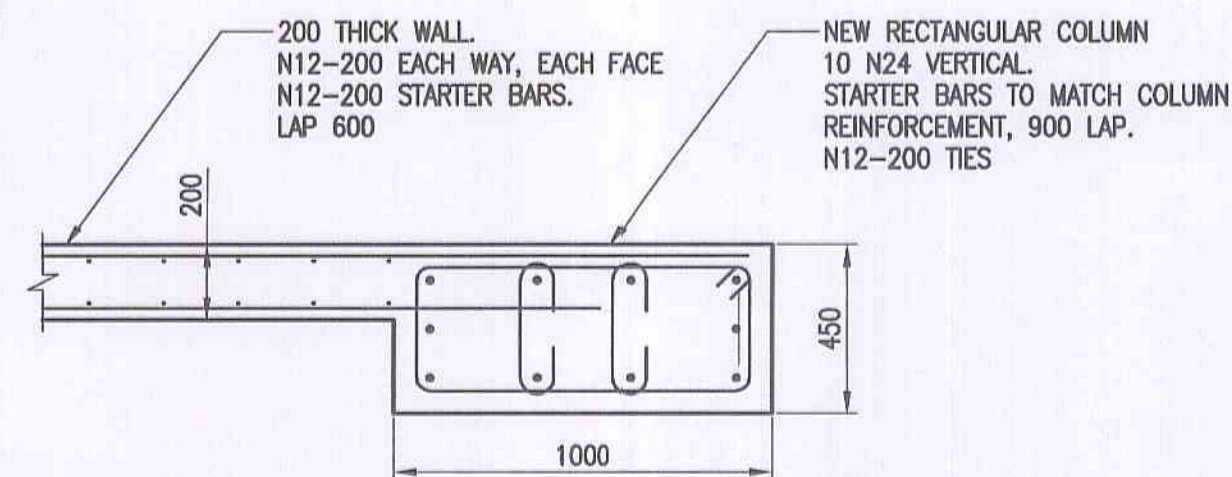
TYPICAL ROUND COLUMN ELEVATION DETAIL
SCALE 1:20



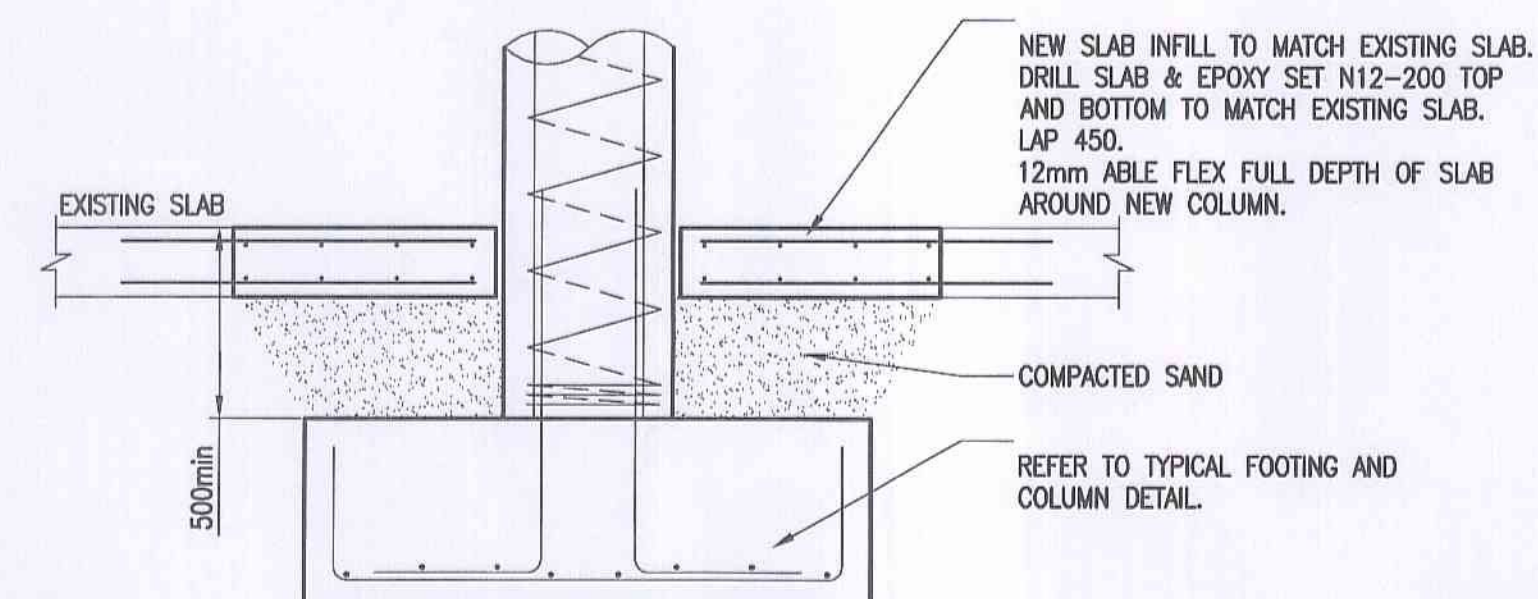
TYPICAL RECTANGULAR COLUMN
AND WALL DETAIL
SCALE 1:20



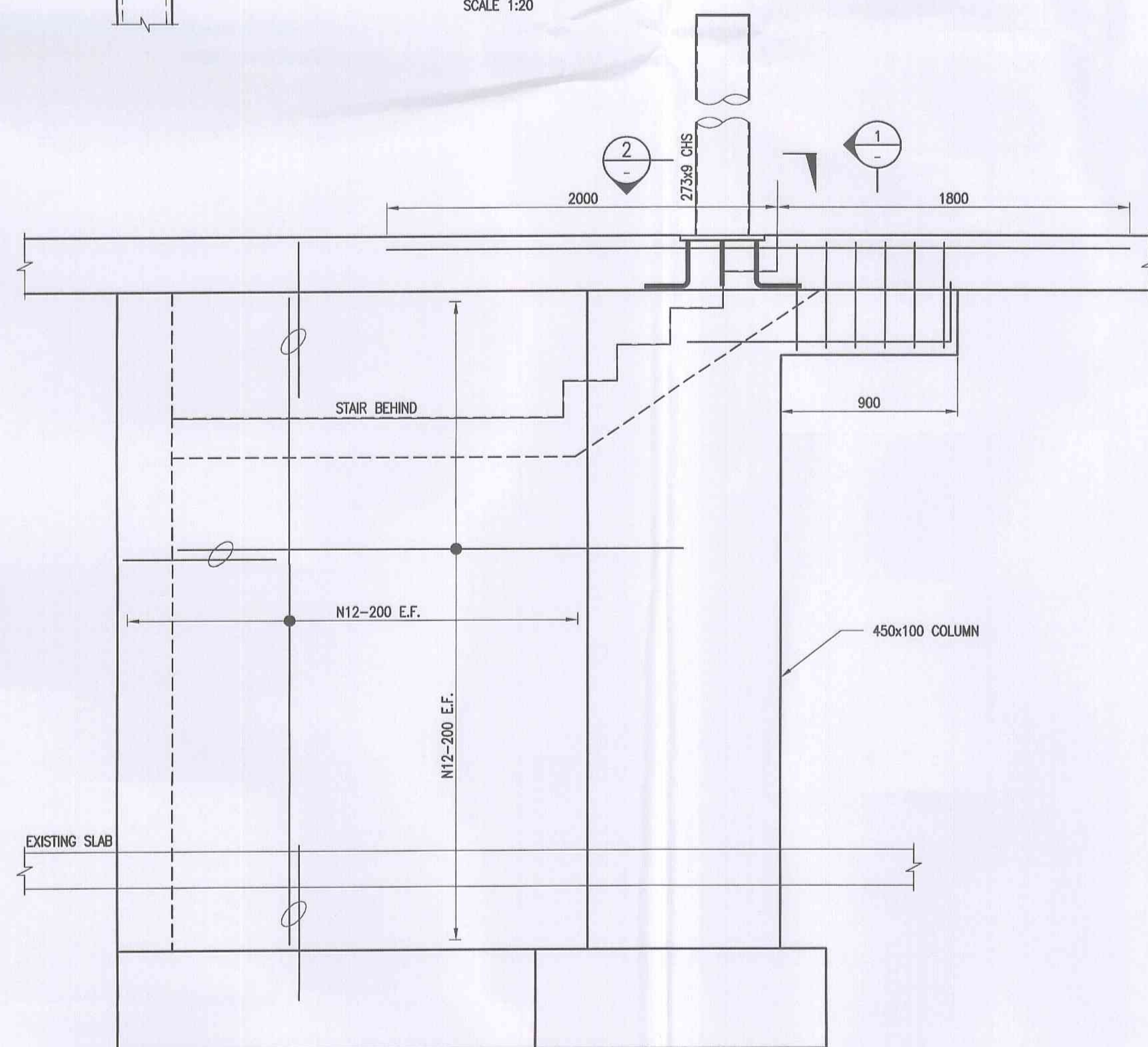
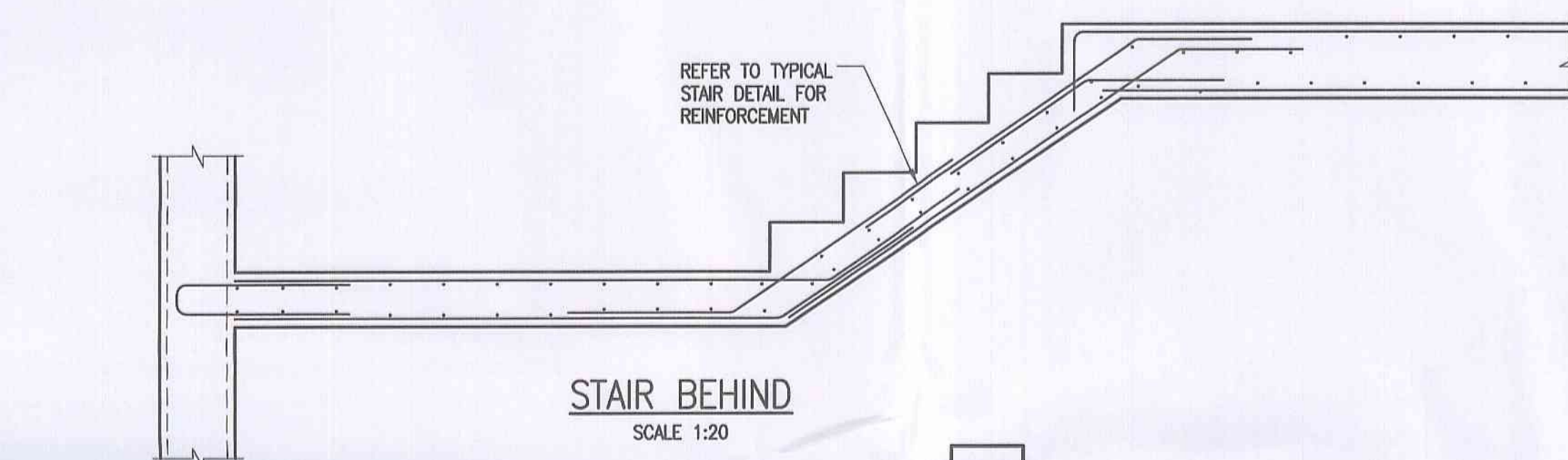
CHS TO RECTANGULAR COLUMN
BASE PLATE DETAIL
SCALE 1:20



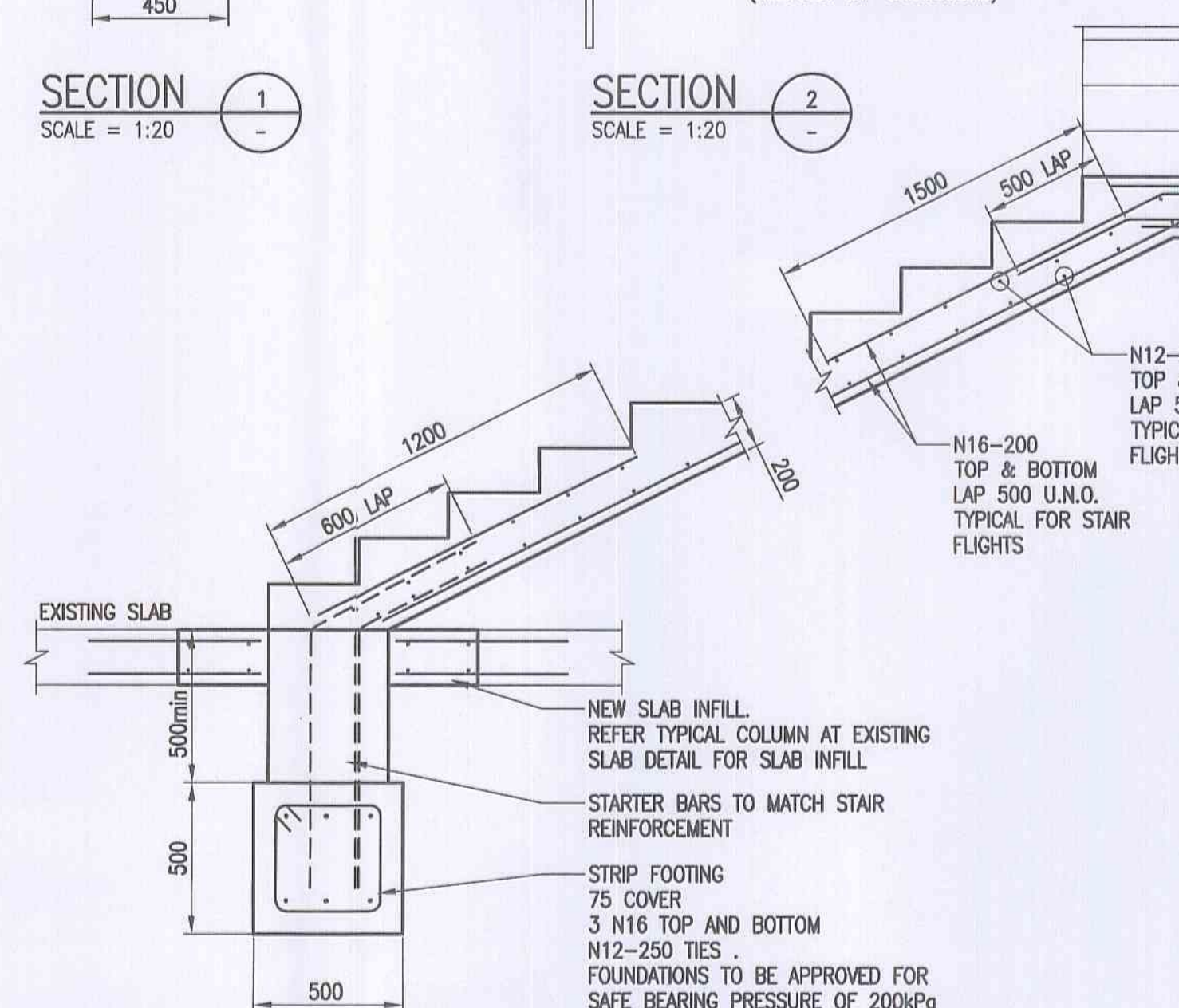
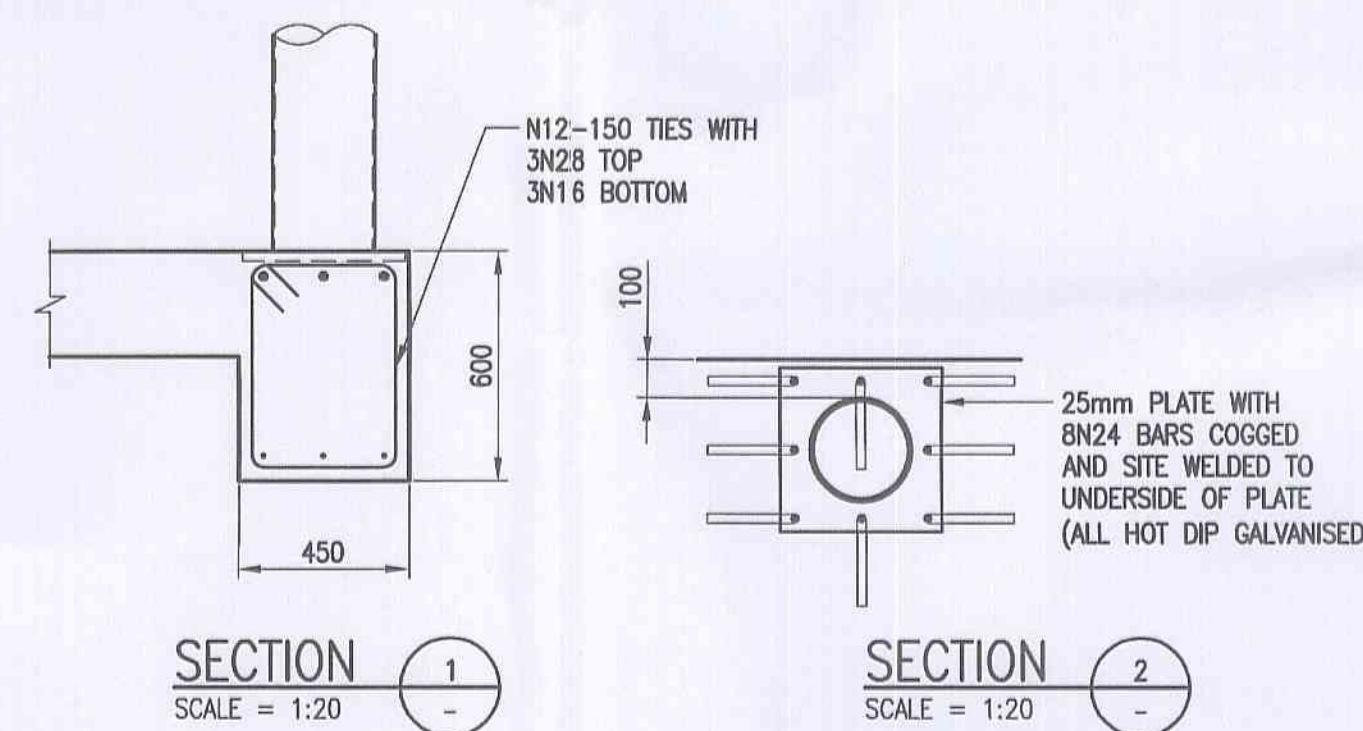
TYPICAL COLUMN AT EXISTING SLAB PLAN
SCALE 1:20



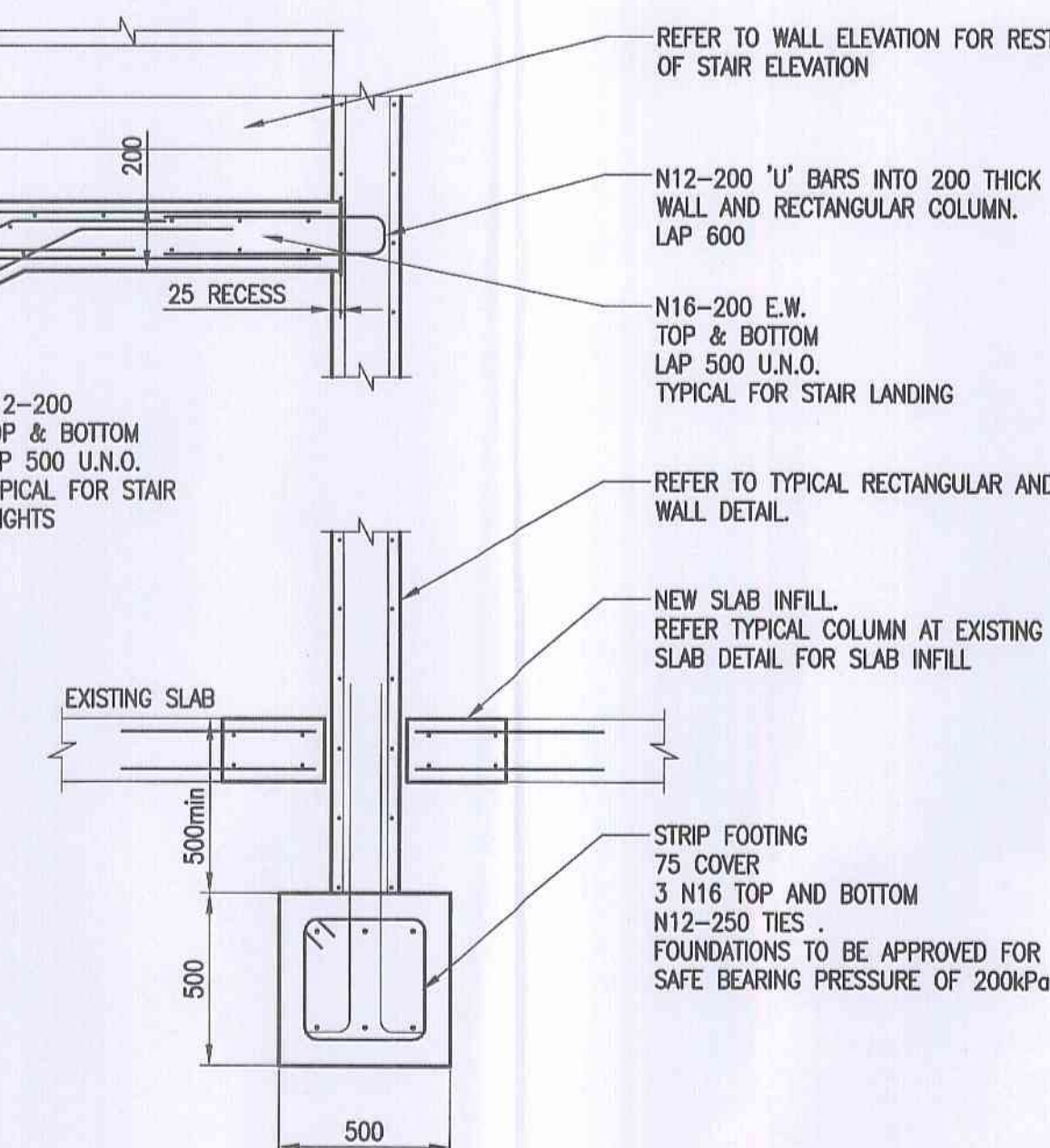
TYPICAL COLUMN AT EXISTING SLAB DETAIL
SCALE 1:20



WALL ELEVATION DETAIL
SCALE 1:20



TYPICAL STAIR DETAIL
SCALE 1:20



01	-	FOR INFORMATION	J.D.B.	J.F.
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rev	date	description	dm	ch'k
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enstruct group pty ltd
Level 4, 2 Glen Street
Mills Point NSW 2061
Australia
Telephone (02) 8904 1444
Facsimile (02) 8904 1555
http://www.enstruct.com.au

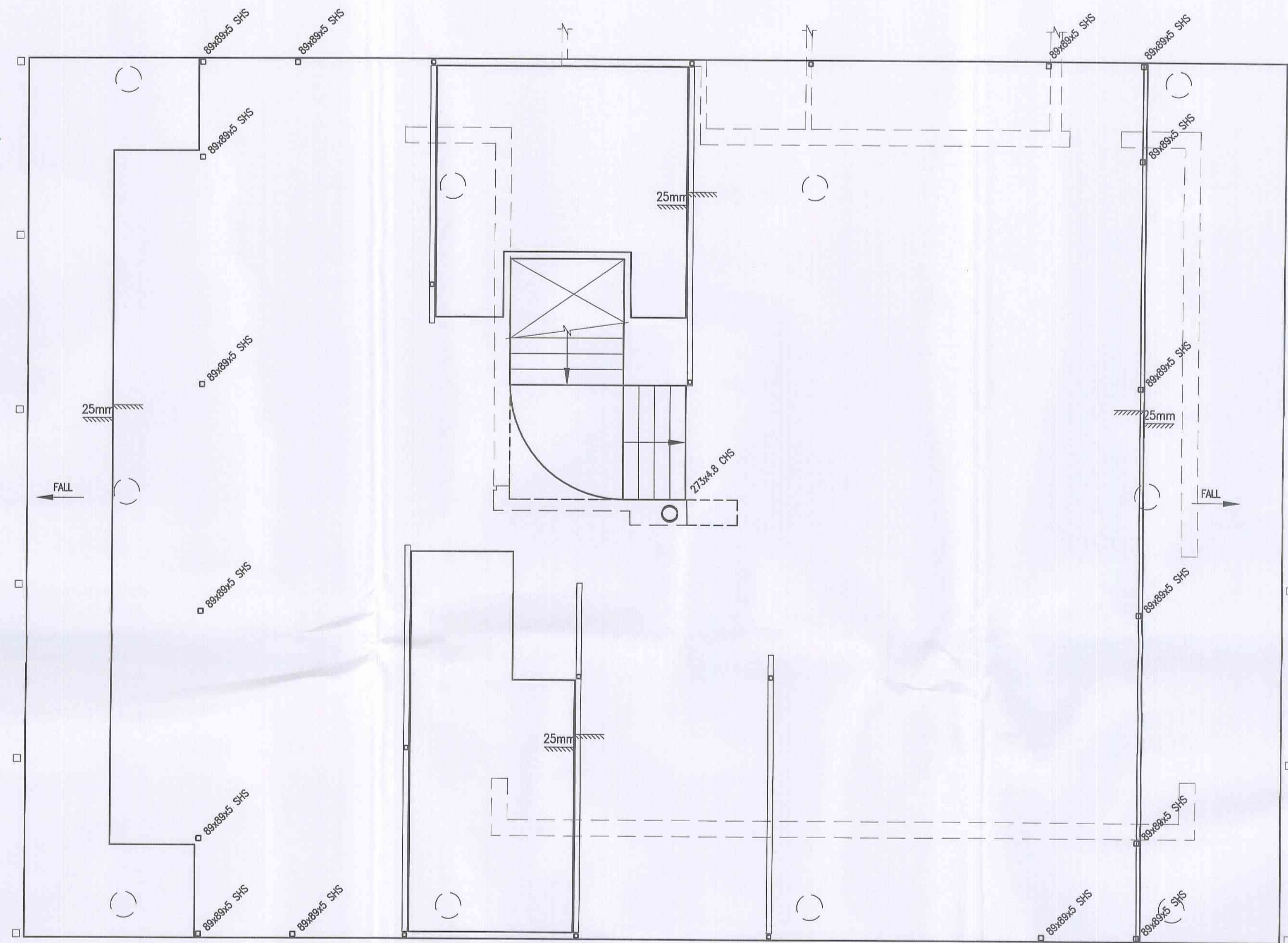
project
PROPOSED ALTERATIONS & ADDITIONS
TO NORTH PALM BEACH SURG CLUB
GOVERNOR PHILLIP PARK

drawing title
GROUND FLOOR
SECTIONS AND DETAILS

status
FOR INFORMATION ONLY

scale at A1 1:20	drawn by J.D.B.	checked J.F.	date FEB 12'
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project no. 4387	drawing no. ST-012	rev. 01
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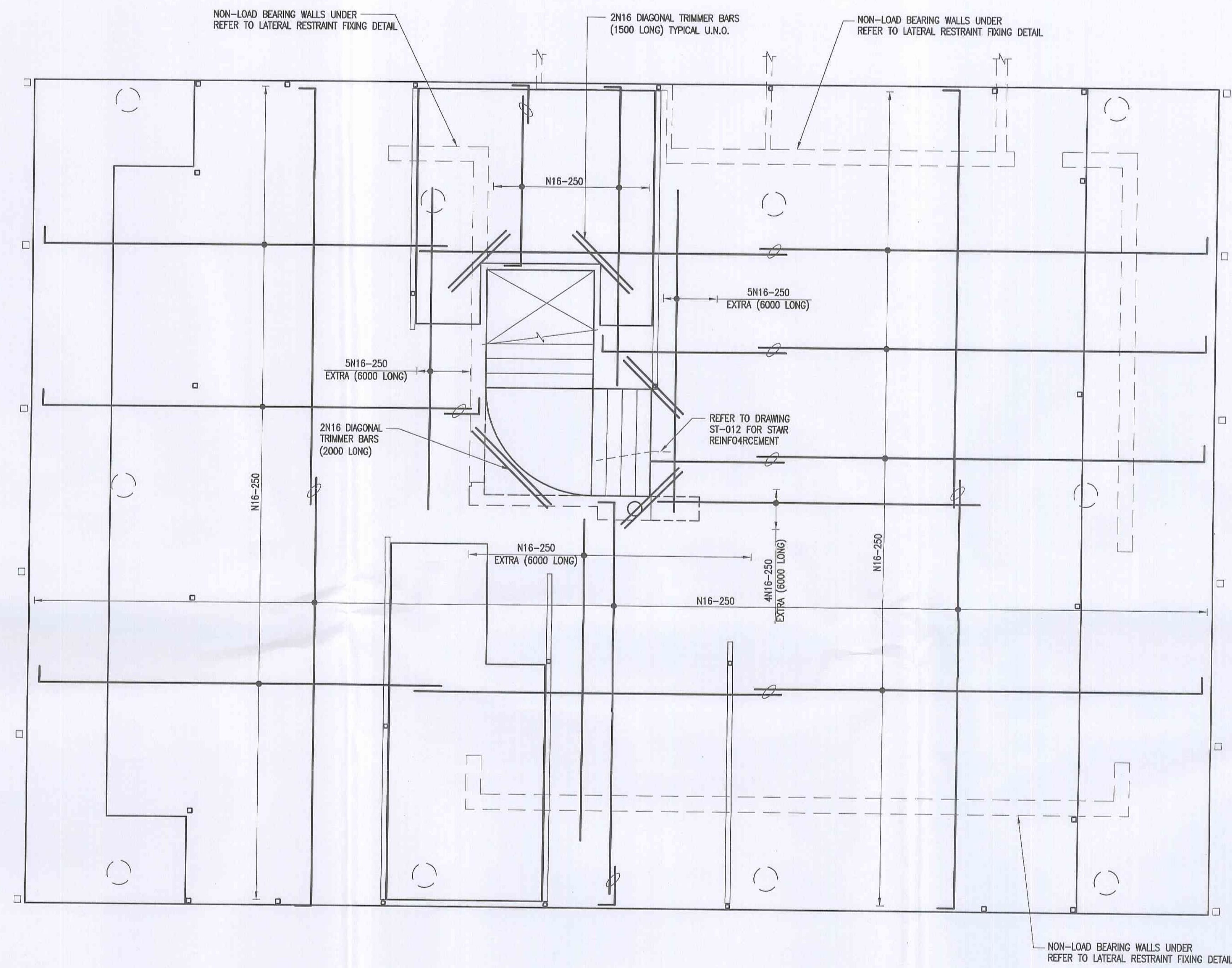
SCALE 1:50
- 275 THICK SLAB $f'_c = 40\text{MPa}$

01	-	FOR INFORMATION	J.D.B.	J.F.
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rev	date	description	drn	ch'k
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project no. 4387	drawing no. ST-021	rev. 01
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- B = BOTTOM BAR TOP LAYER
- BB = BOTTOM BAR BOTTOM LAYER

01	-	FOR INFORMATION	W.S.	J.F.
rev	date	description	drm	ch'k

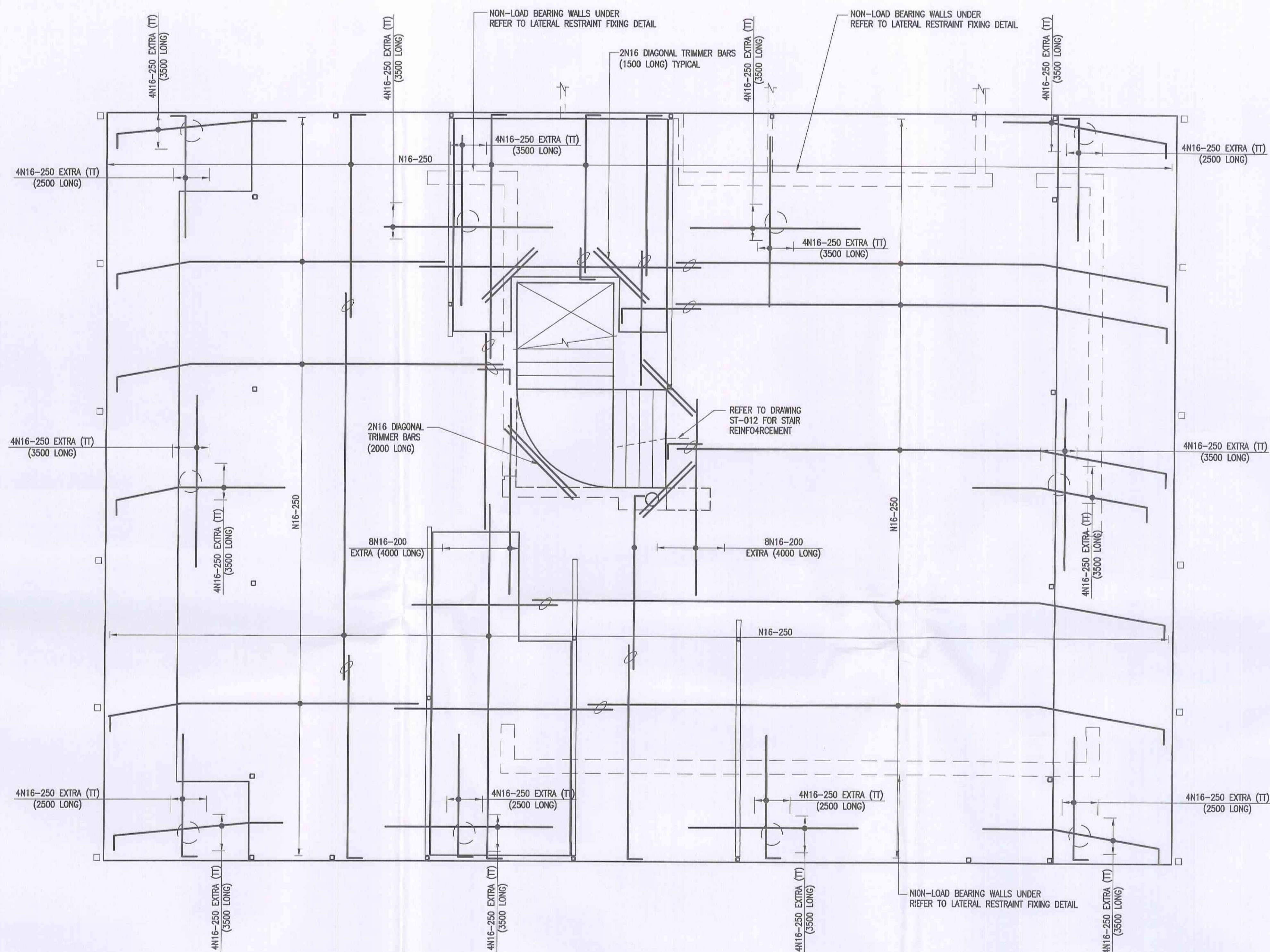
enstruct

PROPOSED ALTERATIONS & ADDITIONS
TO NORTH PALM BEACH SURG CLUB
GOVERNOR PHILLIP PARK

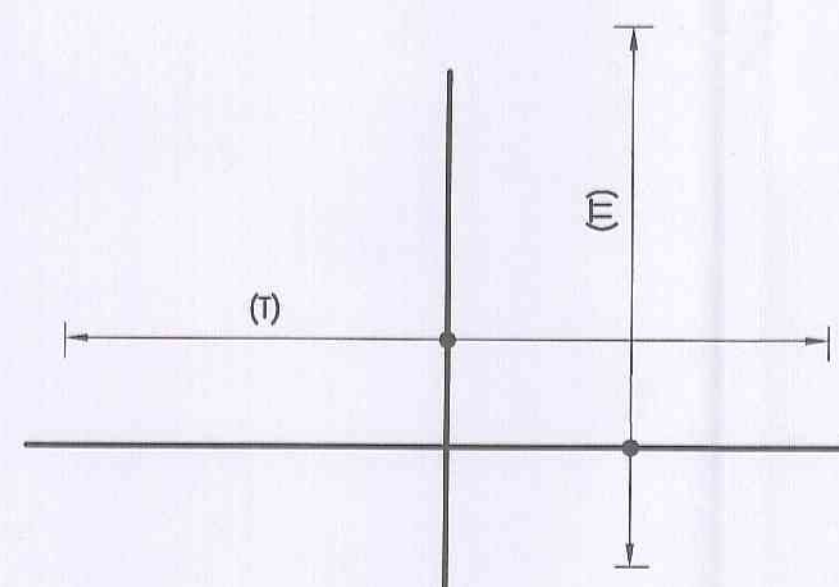
LEVEL 01
BOTTOM REINFORCEMENT PLAN

FOR INFORMATION ONLY

scale at A1	drawn by	checked	date
1:50	J.D.B.	J.F.	FEB 12'
project no.	drawing no.	rev.	
4387	ST-022	01	



1. COVER TO REINFORCEMENT = 30mm
2. DISTRIBUTION REINFORCEMENT TO BE N12-300 NOT SHOWN ON PLAN
3. ALL TOP AND BOTTOM REINFORCEMENT TO BE COGGED AT EDGES



- T = TOP BAR BOTTOM LAYER
- TT = TOP BAR TOP LAYER

[illegible]

rev	date	description	drn	ch'k
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project

PROPOSED ALTERATIONS & ADDITIONS
TO NORTH PALM BEACH SURG CLUB
GOVERNOR PHILLIP PARK

drawing title

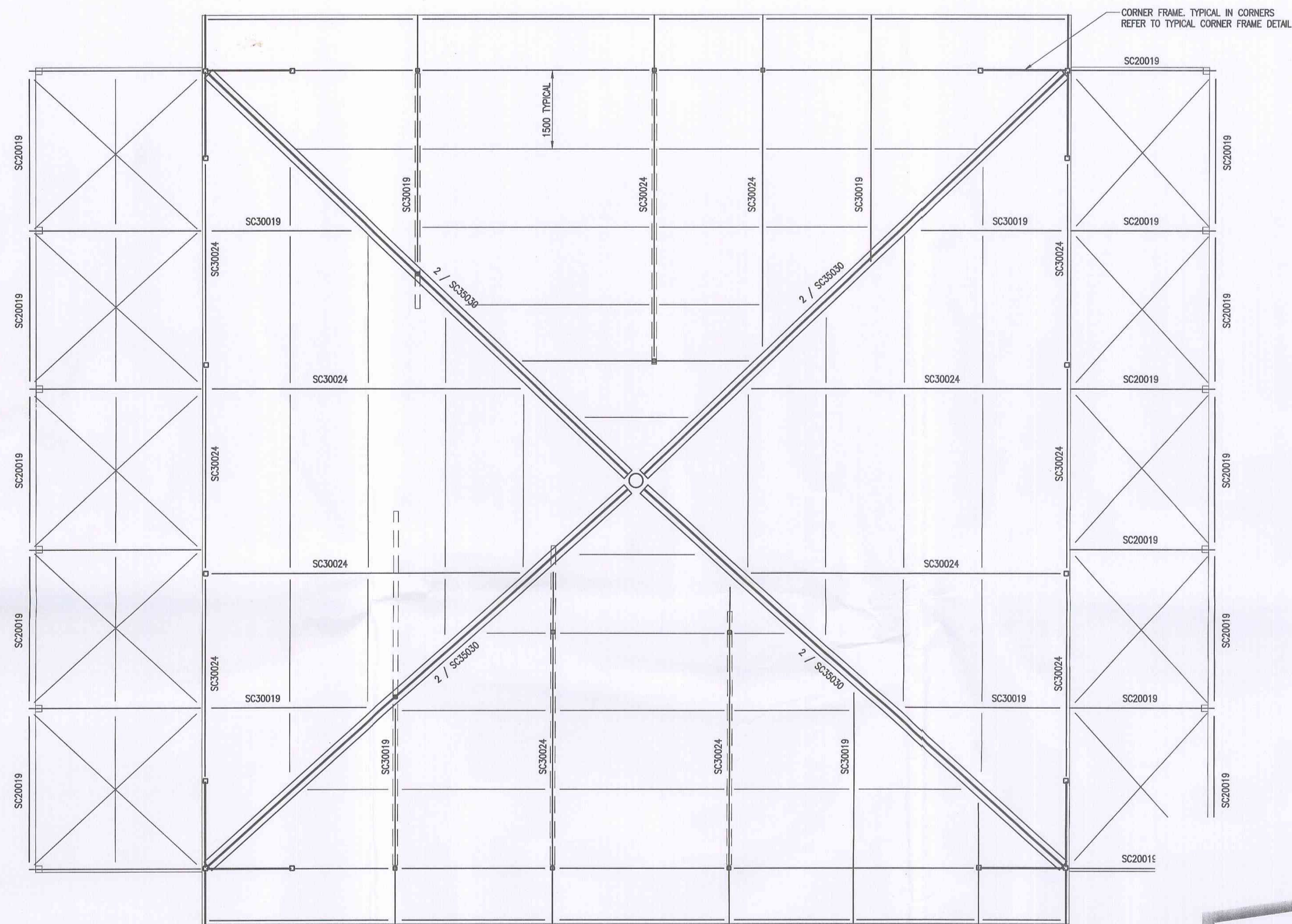
LEVEL 01
TOP REINFORCEMENT PLAN

status

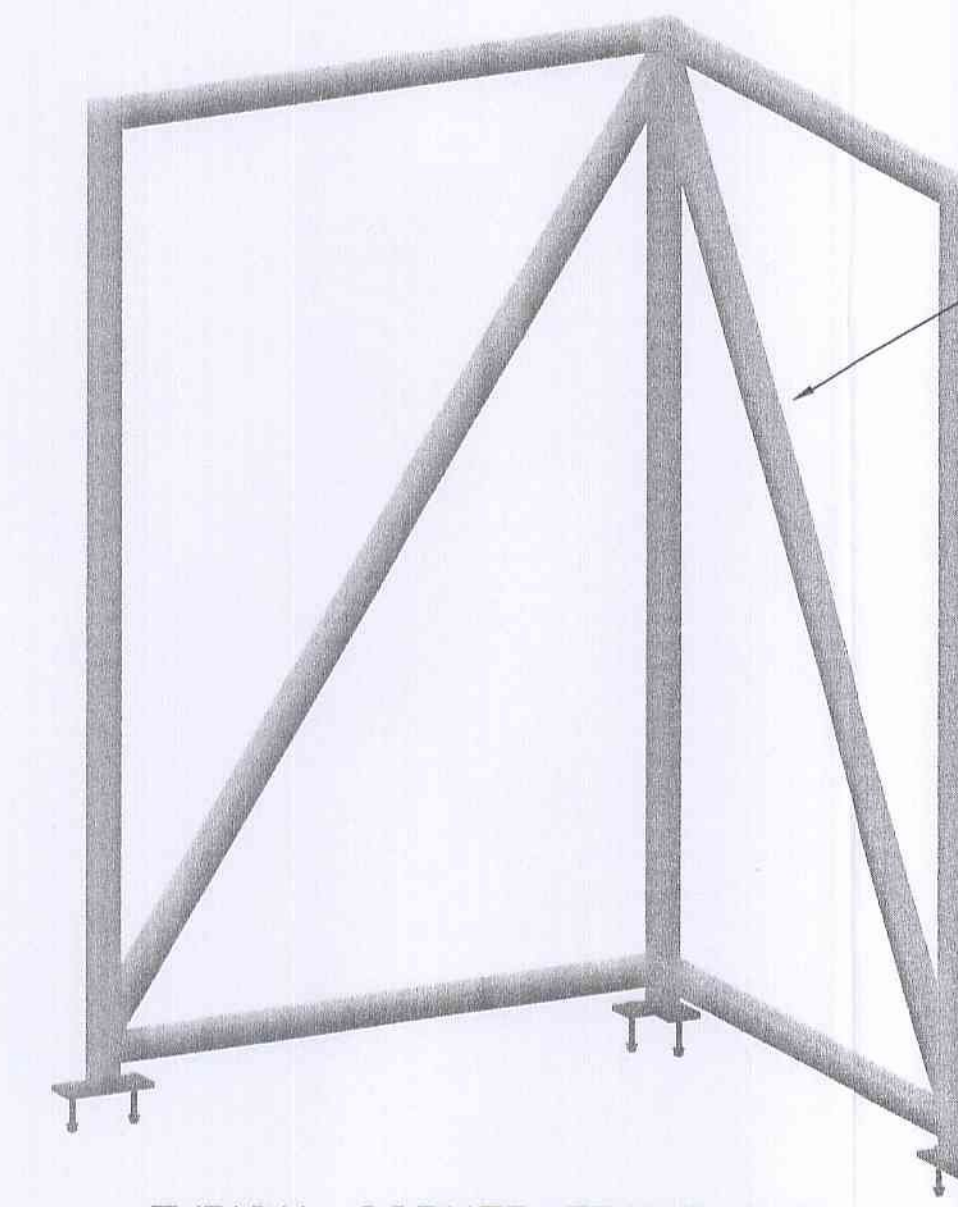
FOR INFORMATION ONLY

scale at A1 1:50	drawn by J.D.B.	checked J.F.	date FEB 12'
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project no.	drawing no.	rev.
4387	ST-023	01



- ??



89x89x5 SHS TYPICAL.
BOTTOM HORIZONTAL MEMBERS TO
BE 75mm OFF LEVEL 1.
16mm BASE PLATE
6mm C.F.W. TO COLUMNS
2 M16 CHEMSET REO 502

rev	date	description	drn	ch'k
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enstruct

drawing title

ROOF
GENERAL ARRANGEMENT

status **FOR INFORMATION ONLY**

scale at A1 1:50	drawn by J.D.B.	checked J.F.	date DATE
project no. 4387	drawing no. ST-031	rev. 01	



Office of
State Revenue

000001 000
NORTH PALM BEACH SURF LIFE SAVING CLUB INC
PO Box 40
PALM BEACH NSW 2108

Issue date: 25-NOV-2011
Client ID: 112458698
Correspondence ID: 155315411

Exemption approval

We have approved your recent request for an exemption from:

- duty in respect of an application to register a motor vehicle in New South Wales, under the *Duties Act 1997*.

This exemption is effective from 09-OCT-2008 and your exemption will be reviewed every three years from the date of issue.

To make sure your exemption remains valid, you must advise us any time there is a change of business name or changes to your organisation's objects of non-profit status with your constitution, rules or memorandum/articles of association.

Yours sincerely,

Tony Newbury
Chief Commissioner of State Revenue

Your logo here

Fire safety schedule

SECTION A Development details

Unit/Street no.	Street name	
1193A	BARRENJOEY ROAD	
Suburb or town	State	Postcode
PALM BEACH	NSW	2108

SECTION B Details of construction certificate (CC)

Name of certifying authority	CC number/identifier	Date of CC
TOM BOWDEN	2011/4538	13 AUGUST 2012

SECTION C Statutory fire safety measures (as set out under clause 166 EP&A Reg)

No.	Measure	Particulars of measures (including where the requirement for the measure is set out or described eg in building plans or in an alternative solution report)	Currently implemented Yes/No	Proposed implementation Yes/No	Minimum performance standard
1	FIRE HYDRANT	BCA CLAUSE E1.3	NO	YES	AS 2419.1
2	FIRE HOSE REEL	BCA CLAUSE E1.4	NO	YES	AS2441
3	PORTABLE FIRE EXTINGUISHERS	BCA CLAUSE E1.6	NO	YES	AS 2444
4	SMOKE DETECTION	BCA Table E2.2a & Specification E2.2A (4)	YES	YES	AS 1670.1
5	OCCUPANT WARNING SYSTEM	BCA Table E2.2a & Specification E2.2A (4)	NO	YES	AS 1670.1
6	EMERGENCY LIGHTING	BCA CLAUSE E4.2	YES	YES	AS 2293.1
7	EXIT SIGNS	BCA CLAUSE E4.5	YES	YES	AS 2293.1

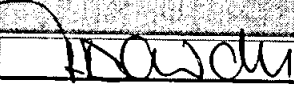
SECTION D Other fire safety measures

No.	Measure	Particulars of measures (including where the requirement for the measure is set out or described eg in building plans or in an alternative solution report)	Currently implemented Yes/No	Proposed implementation Yes/No	Minimum performance standard
A	NIL				

SECTION E Critical fire safety measures (Measures listed above that must be assessed and certified at intervals of less than 12 months)

Measure number/letter	Intervals for supplementary fire safety statements
NIL	

SECTION F Certifying authority

Name	TOM BOWDEN	Signature	
Accreditation No.	BPB 0042	Date	13 AUGUST 2012

enstruct

26 March 2012

Job No 4387

Insight Building Certifiers Pty Ltd
c/- North Palm Beach Surf Life Saving Club
Governor Phillip Pk Palm Beach
NSW 2108

enstruct group pty ltd

ABN 32 094 570 671
Tel: +61 2 8904 1444
Fax: +61 2 8904 1555
www.enstruct.com.au
Level 4, 2 Glen Street,
Mills Point,
NSW, 2061,
Australia

For the attention of: **Tom Bowden**

Dear Sir,

Proposed First Floor extension over current Boat Shed building

This is to confirm that the First Floor extensions over the boatshed have been designed to be independent of the existing building, except that the perimeter Ground Floor walls are to receive lateral restraint off the new structure at First Floor level to resist wind and other loads. No vertical loading from the proposed First Floor or Roof is to be transferred to the existing structure. All vertical elements are to pass through the existing Ground Floor slab without transfer of load to the slab.

I am an appropriately qualified and competent person in this area and as such can certify that the building structure has been designed to comply with the the relevant Australian Standards and the requirements of the Building Code of Australia.

Yours sincerely,



for
enstruct group pty ltd
Ross Clarke BE, MScEng, MIEAust, CPEng, NPER
Director
for
enstruct group pty ltd



CERTIFICATE OF DESIGN COMPLIANCE

29th June 2012

Applicant:	Graham Howard President North Palm Beach Surf Life Saving Club Inc. PO Box 40 Palm Beach NSW 2108
Site Address:	Governor Phillip Park Beach Road Palm Beach NSW 2108
BCA Classification:	Class 3 and 9b

This Certificate of Design Compliance is to certify that the new building work at the above mentioned development complies as a Class 3 and 9b building with the requirements, as stated below, of the Disability (Access to Premises-Buildings) Standards 2010, the Deemed To Satisfy provisions, as stated below, of Parts D3, E3.6 and F2.4 of the Building Code of Australia (BCA) and the technical requirements of AS1428.1-2009-Design for access and mobility and AS1735.7-1998-Stairway Lifts.

Disability (Access to Premises-Buildings) Standards 2010:

1. The 'Affected Part' of the building from the principal public entrance to Level 1.
2. The new building work within the 'New Part' on Level 1.

Specifically, the design complies with the following clauses of the BCA:

D3.1, D3.2(b)(i), D3.3(a)(ii), D3.3(b), E3.6(a), E3.6(b), F2.4(a), F2.4(b), F2.4(c), F2.4(e) and F2.4(f).

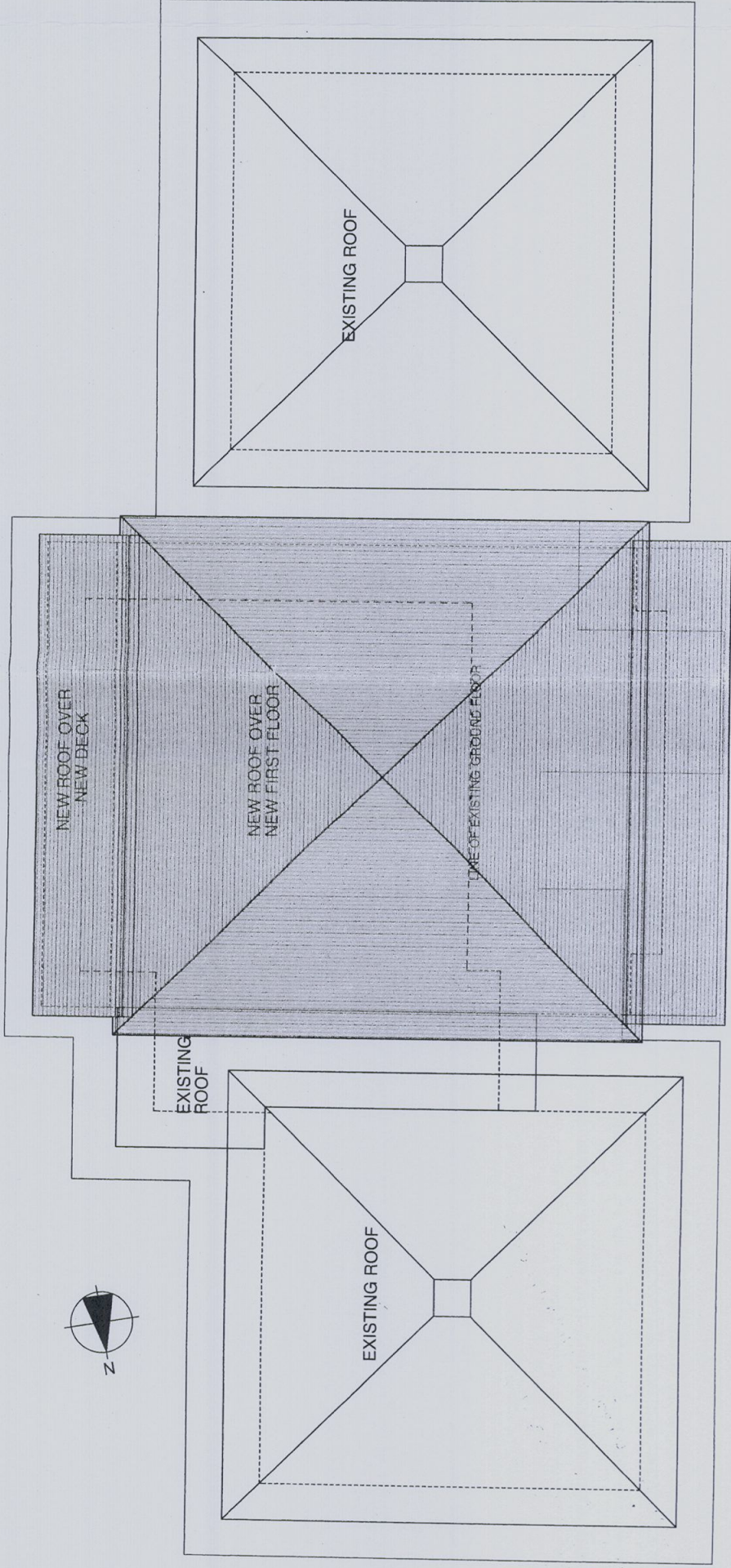
Construction Certificate Drawings:

Drawing:	Amendment:	Date:
Ground Floor Plan	3	02.06.2012
First Floor Plan	4	27.06.2012

I am an appropriately qualified person in this area and as such can certify that the design of the new building work at the above mentioned development complies with the above requirements and which is detailed on the above drawings:

Signed,

Richard Klinger - ACAA
Accredited Access Consultant
29th June 2012



ROOF PLAN

PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

concrete edge

BITUMEN ROAD

power pole

SYDNEY WATER
APPROVED

1. Position of structure in relation to Sydney Water's assets is satisfactory.
2. Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licensed plumber/drafter.
3. It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.
4. Any Plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NSW Code of Practice.
5. Gutters, Inspection Shafts and Boundary Traps shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.
6. Property No. 3400024

Reece, Mona Vale
Quick Check Agent on behalf of
SYDNEY WATER

Per: *[Signature]* 03.11.11

AMENDMENTS

JO WILLMORE DESIGNS
11 Hudson Parade
Clareville NSW 2107
9918 2479
ABN 27 370 370 173

PROPOSED ALTERATIONS & ADDITIONS
TO NORTH PALM BEACH SURF CLUB
GOVERNOR PHILLIP PARK

drawing title

ROOF PLAN

NOTE: Use figured dimension only.
Do not scale off drawings. All levels and
dimensions to be verified prior to construction
of work.

date: MAY 2011

scale: 1:200 (A3)

drawing number

DA-1C