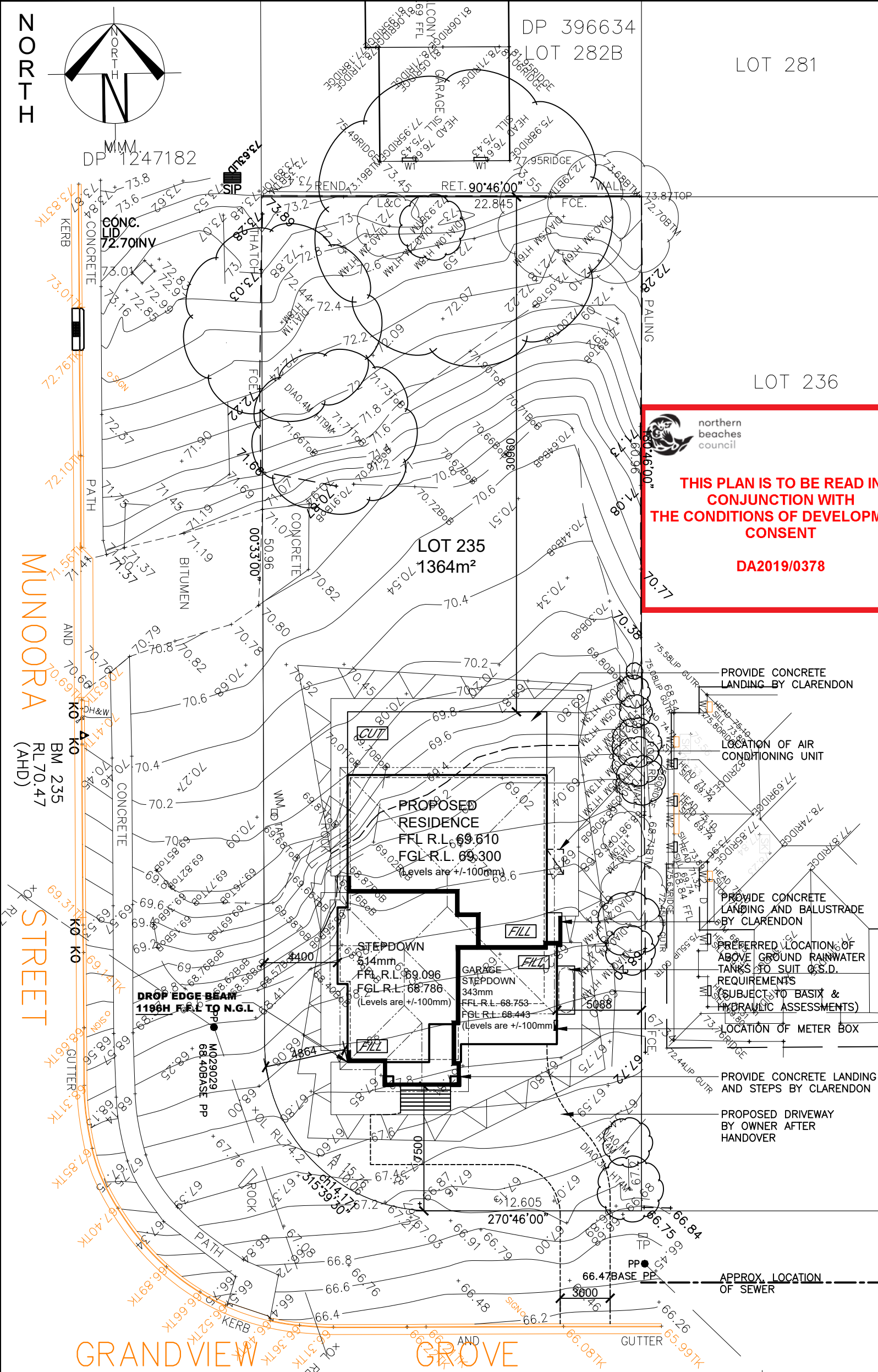




LOT 235
D.P: 4889
L.G.A: NORTHERN BEACHES

**SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
MANLY DCP 2013**

SITE AREA	1364 m²
FLOOR SPACE RATIO	
GROUND FLOOR:	155.8 m²
FIRST FLOOR:	170.4 m²
TOTAL LIVING AREA:	326.2 m²
(EXCL. EXTERNAL WALLS/GARAGE/PORCH/STAIR VOID)	
FLOOR SPACE RATIO:	23.9 %
MAX. ALLOWABLE BY COUNCIL:	45 %

TOTAL OPEN SPACE	
TOTAL OPEN SPACE AREA:	1077.4 m²
(EXCLUDES BUILDINGS AND DRIVEWAY)	79.0 %
MIN. REQUIRED BY COUNCIL:	55 %
LANDSCAPED AREA	
TOTAL LANDSCAPE AREA:	1034.2 m²
(EXCLUDES HARD SURFACES)	96.0 %
MIN. REQUIRED BY COUNCIL:	35 %
(% OF TOTAL OPEN SPACE)	

PRIVATE OPEN SPACE	
TOTAL OPEN SPACE AREA:	791.8 m²
(MIN. DIMENSION OF 3.0m)	
MIN. REQUIRED BY COUNCIL:	12 m²

HEIGHT RESTRICTION	
MAXIMUM RIDGE HEIGHT	8.5 m
MAXIMUM WALL HEIGHT	6.5 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)	

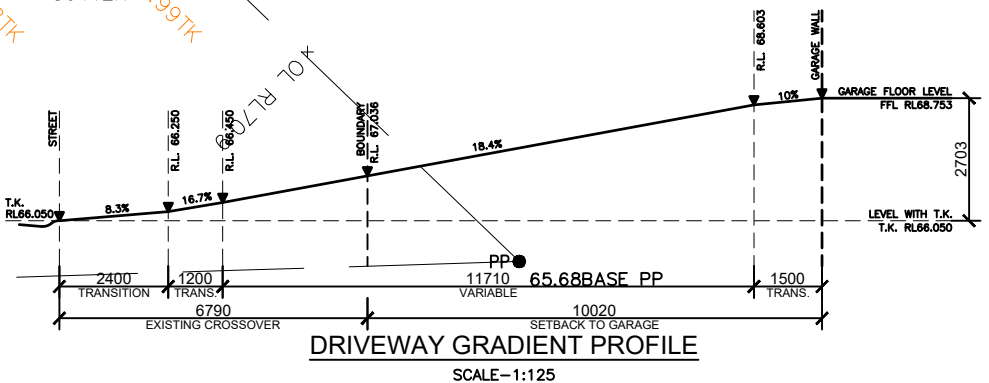
Maximum 1000mm CUT
Maximum 1000mm FILL
NO EXCAVATION WITHIN 900mm OF BDY

WIND CLASSIFICATION: "N2"
SLAB CLASSIFICATION: "M"

NOTE:
ALL GROUND LINES ARE APPROXIMATE.
EXTENT OF FILL & BATTER WILL BE
DETERMINED ON SITE. SEDIMENT BARRIERS
ARE TO BE CUSTOMISED SITE SPECIFIC

**STORMWATER TO
STREET VIA RAINWATER
TANK AND O.S.D**
REFER TO HYDRAULIC DETAILS

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**
DA2019/0378



SITE PLAN

SCALE 1:200

GENERAL NOTES
A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

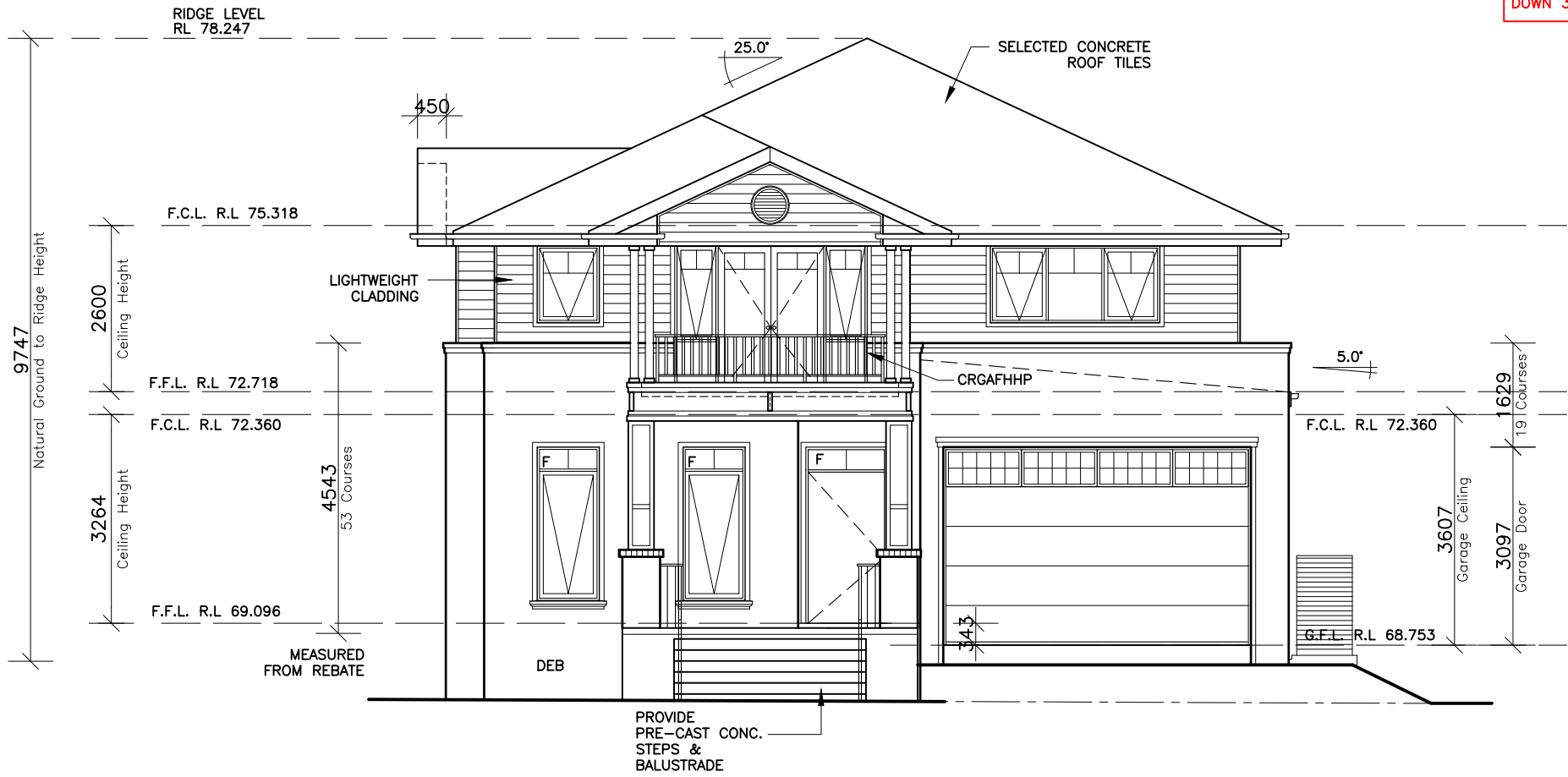
CLIENT'S SIGNATURE:	DATE:	PRODUCT: BOSTON 42 Hamptons R/H Garage Sapphire Specification	CLIENT: Ms. WEIR SITE ADDRESS: Lot 235 No.50 (DP 4889) Grandview Grove SEAFORTH 2092	DA Drawings DRAWN: BG DATE: 04.02.19 RATIO @ A3: 1:250 SHEET: 2 Rev: C JOB No: 29913445 NSW
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ClarendonHomes
BL No. 2298C
ABN 18 003 892 706
Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

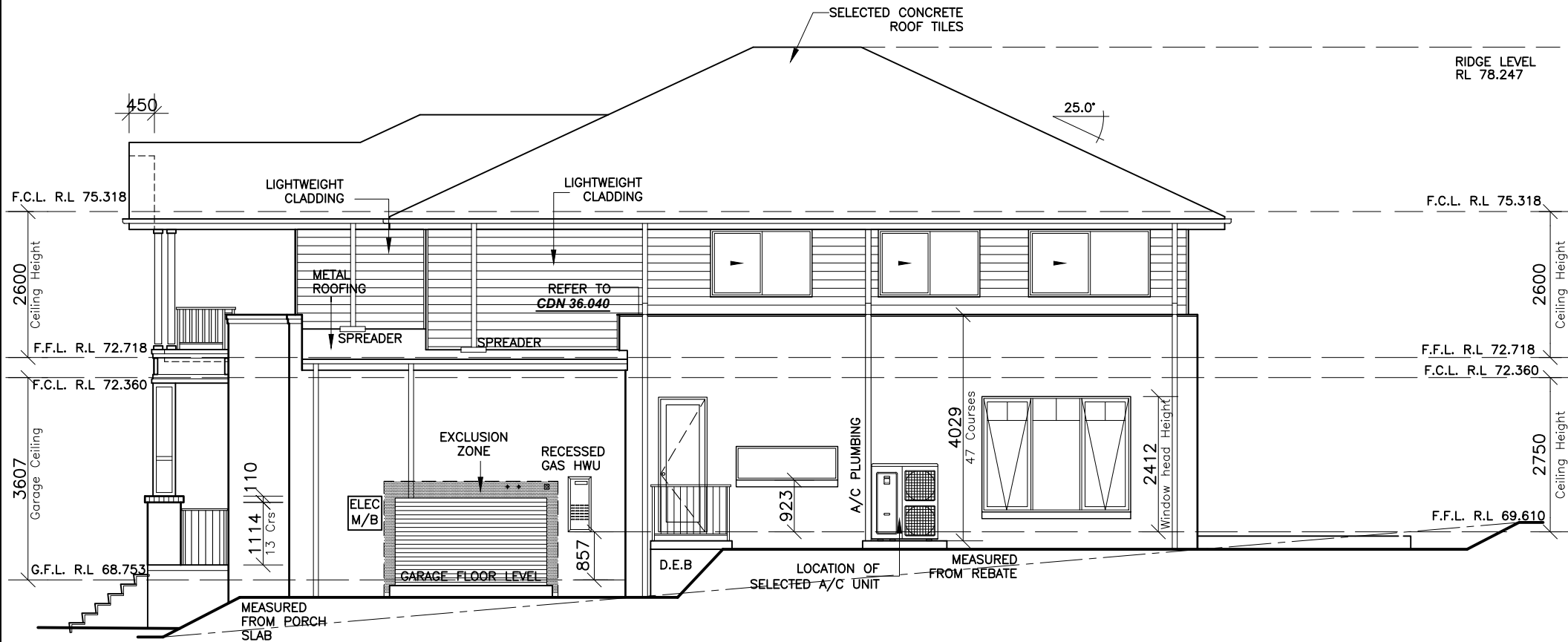
NOTES:
FOR DROP-OFF'S REFER
TO FRAMING DETAILS
CDN 21.010-21.080

NOTE TO FRAMEMAKER:

FIRST FLOOR WET AREAS TO
HAVE FLOOR JOISTS STEPPED
DOWN 37mm



SOUTH ELEVATION - 1



EAST ELEVATION - 2



northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2019/0378

CLIENT'S SIGNATURE: _____

DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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DIMENSIONS TO BE READ IN
PREFERENCE TO SCALING

PRODUCT:
BOSTON 42
Hamptons
R/H Garage

Sapphire Specification

CLIENT:
Ms. WEIR

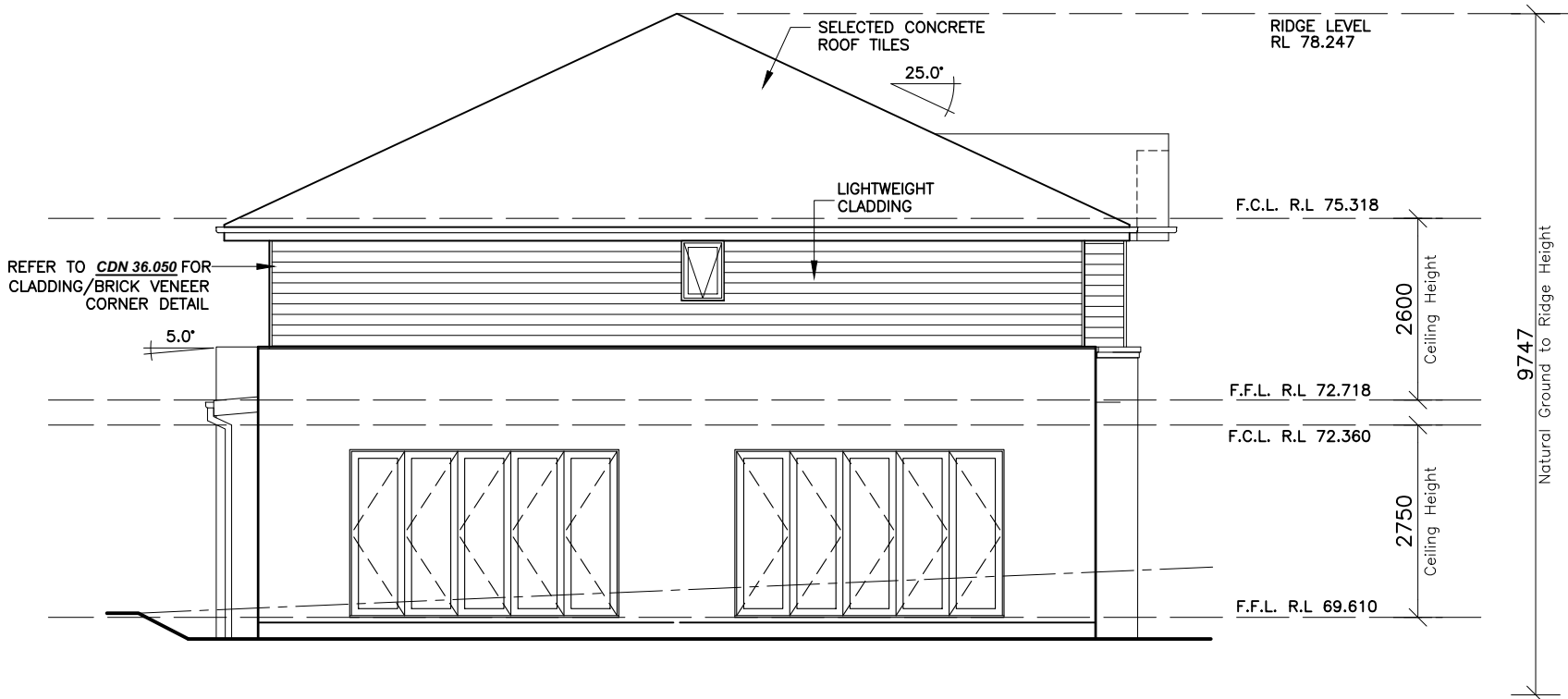
SITE ADDRESS:
Lot 235 No.50 (DP 4889)
Grandview Grove
SEAFORTH 2092

DA Drawings

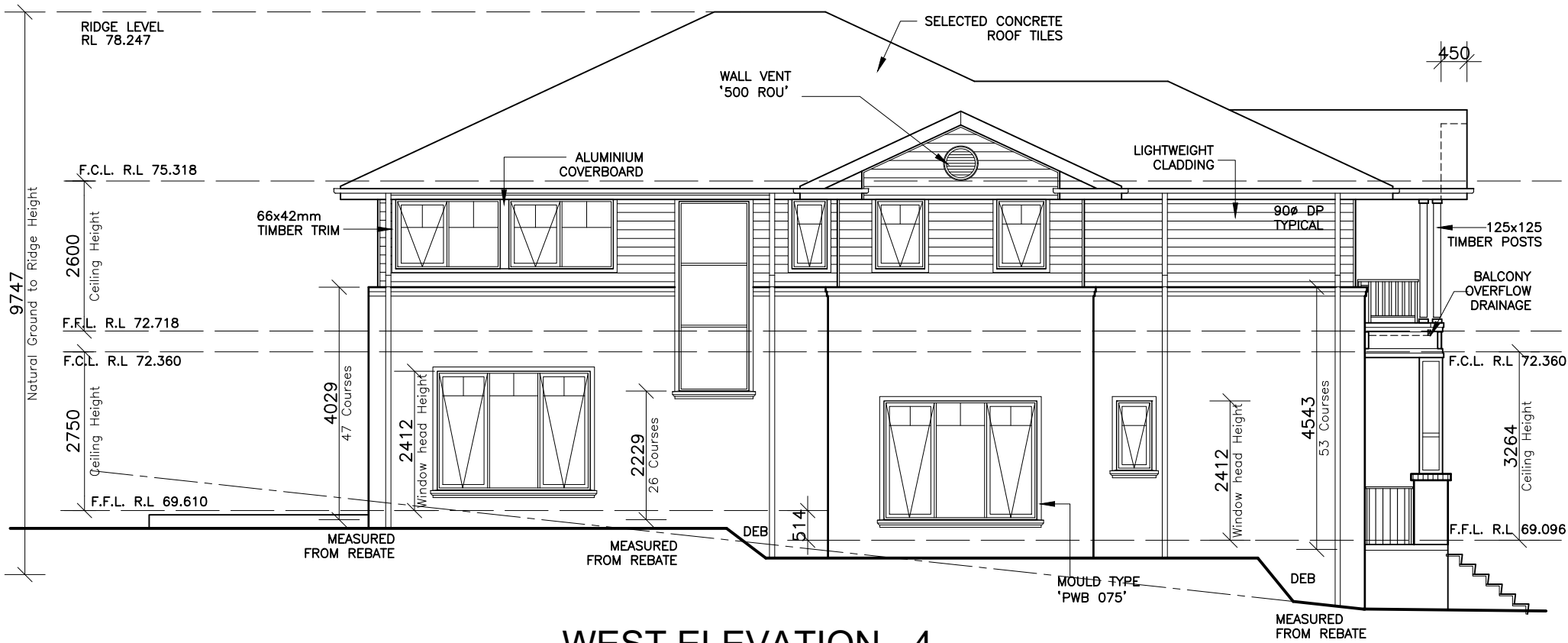
DRAWN: SMC	DATE: 12.03.19	Rev: C
RATIO @ A3: 1:100	CHECKED: Checked By	
SHEET: 5	JOB No: 29913445	NSW

NOTES:
FOR DROP-OFF'S REFER
TO FRAMING DETAILS
CDN 21.010-21.080

NOTE TO FRAMEMAKER:
FIRST FLOOR WET AREAS TO
HAVE FLOOR JOISTS STEPPED
DOWN 37mm



NORTH ELEVATION - 3



WEST ELEVATION - 4



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CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2019/0378

CLIENT'S SIGNATURE: _____ DATE: _____

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Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
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DIMENSIONS TO BE READ IN
PREFERENCE TO SCALING

PRODUCT:
BOSTON 42
Hamptons
R/H Garage
Sapphire Specification

CLIENT:
Ms. WEIR
SITE ADDRESS:
Lot 235 No.50 (DP 4889)
Grandview Grove
SEAFORTH 2092

DA Drawings

DRAWN: SMC	DATE: 12.03.19	Rev: C
RATIO @ A3: 1:100	CHECKED: Checked By	
SHEET: 6	JOB No: 29913445	NSW

ClarendonHomes

SEAFORTH

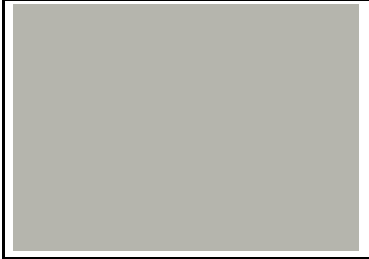
BOSTON 42 - HAMPTONS FAÇADE

Lot 235 No. 50 Grandview Grove

EXTERNAL COLOUR SELECTIONS

Original - 2 April 2019

MAIN BODY (BRICK)



Bristol | Canyon Cloud P201-N4

FRONT DOOR



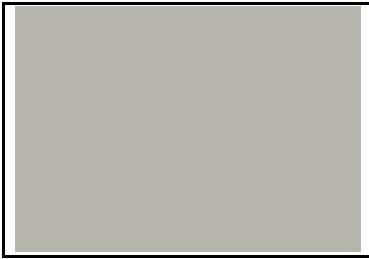
Taubmans | Surfmist CB 23

ROOF (TILE)



Boral | Terracotta | Eclipse

PAINT FINISH 1



Bristol | Canyon Cloud P201-N4

PAINT FINISH 2



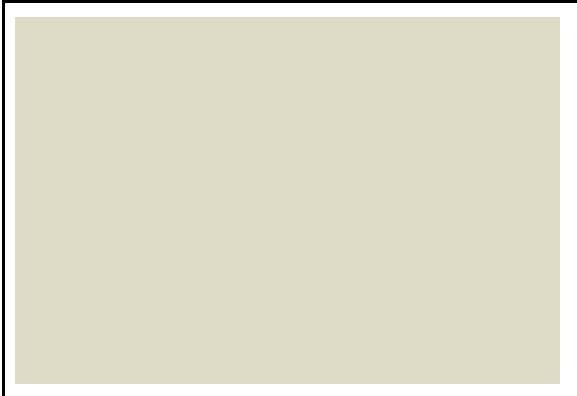
Taubmans | Surfmist CB 23

FEATURE TILE



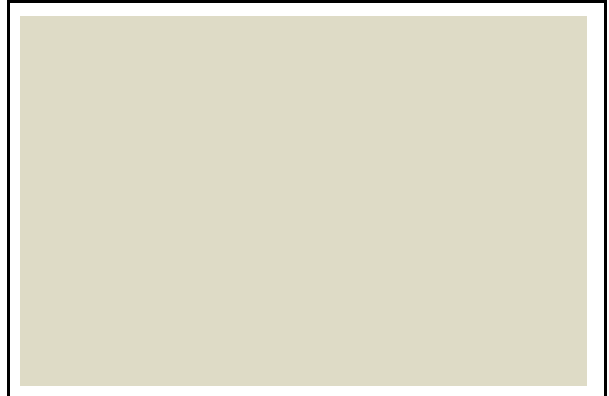
Tile Direct | Bluestone/ Flame

GUTTER/FASCIA



Colorbond | Surfmist

WINDOWS



Taubmans Surfmist CB23

GARAGE



Dynamic | Ranch Stockton on Surfmist



**THIS PLAN IS TO BE READ IN
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CONSENT**

DA2019/0378

No. 48
LOT 236 D.P. 4889
EXISTING 2 STOREY
BRICK HOUSE

DENOTES 1.5m DRAINAGE EASEMENT

PROPOSED LOT 2351
AREA = 753.97 m²

GRANDVIEW GROVE

 northern
beaches
council

**THIS PLAN IS TO BE READ IN
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CONSENT**

DA2019/0378

MUNOORA STREET

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Revision						Disclaimer and Copyright: ALL DIMENSIONS TO BE CHECKED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION. USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE THESE DRAWINGS, PLANS, AND SPECIFICATIONS AND THE COPYRIGHT ARE THE PROPERTY OF ORION CONSULTING ENGINEERS PTY LTD AND MUST NOT BE REPRODUCED OR COPIED WHOLLY OR IN PART WITHOUT THE PERMISSION OF ORION CONSULTING ENGINEERS PTY LTD	Scale: 0 1 2 3 4 5 6 7 8 9 10 SCALE 1:100 (A1) SCALE 1:200 (A3)	For: PDC HOLDINGS PTY LTD	By: ABN:25 604 069 981 PO Box:7936, BAULKHAM HILLS NSW 2153 T:(02) 8660 0035 E:info@orionconsulting.com.au	Project: 50 GRANDVIEW GROVE, SEAFORTH	Title: PLAN OF PROPOSED SUBDIVISION	Project No. 18-48 Milestone DA Plan 001 Revision A	
	A	KW	CW	JM	29/07/2019								ISSUED FOR DEVELOPMENT APPLICATION
	First Issue	KW	CW	JM	29/07/2019								
	Drawn	Design	Appd.	Date	Revision Description								

No. 48
LOT 236 D.P. 4889
EXISTING 2 STOREY
BRICK HOUSE

DENOTES 1.5m DRAINAGE EASEMENT

PROPOSED LOT 235A
AREA = 753.97 m²

6 metres

2 metres

12.605

4:15.725

GRANDVIEW GROVE

LOT RANGE	1-2
TOTAL LOTS - R2	2
TOTAL LOT AREA	1,364m ²
AVERAGE LOT SIZE	682m ²
TOTAL RESIDUE LOTS	0
TOTAL RESIDUE AREA	0



MUNOORA STREET

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By:  **Orion Consulting**

 **CONSULT AUSTRALIA**
Member Firm

ABN: 25 604 069 981 **PO Box:** 7936, BAULKHAM HILLS NSW 2153 T:(02) 8660 0035 E:info@orionconsulting.com.au

50 GRANDVIEW GROVE,
SEAFORTH
ROAD & DRAINAGE DESIGN

PLAN OF
SUBDIVISION
(Building Footprint)
Amended 24 July 2019

Project No.
18-48
Milestone
DA
Plan
003
Revision
E