

DEVELOPMENT APPLICATION(S)

THIS PROPOSED SEPARATE GARAGE DEVELOPMENT APPLICATION TO BE READ IN CONJUNCTION WITH THE APPROVED HOUSE DA 2022/1956

FLOOD NOTES

REFER TO THE GARAGE DA FLOOD MANAGEMENT REPORT CONCLUSIONS/RECOMMENDATIONS:

- THE PROPOSED GARAGE DOORS ARE TO BE OF PERMEABLE CONSTRUCTION TO A MINIMUM HEIGHT OF RL 3.66m AHD.
- ALL NEW ELECTRICAL EQUIPMENT, POWER POINTS, WIRING, FUEL LINES, SEWERAGE SYSTEMS OR ANY OTHER SERVICE PIPES AND CONNECTIONS MUST BE WATERPROOFED AND/OR LOCATED ABOVE THE FLOOD PLANNING LEVEL (FPL). ANY EXISTING ELECTRICAL EQUIPMENT AND POWER POINTS LOCATED BELOW THE FLOOD PLANNING LEVEL - RL 3.66m AHD - MUST HAVE RESIDUAL CURRENT DEVICES INSTALLED THAT TURN OFF ALL ELECTRICITY SUPPLY TO THE PROPERTY WHEN FLOOD WATERS ARE DETECTED.
- A SUITABLY QUALIFIED STRUCTURAL ENGINEER TO CERTIFY AT CONSTRUCTION CERTIFICATE STAGE THAT THE STRUCTURAL INTEGRITY OF THE PROPOSED ADDITIONS IS MAINTAINED TO THE FPL LEVEL - RL 3.66m AHD, ACCOUNTING FOR FORCES OF FLOODWATER, DEBRIS AND BUOYANCY.
- THE NATURAL GROUND LEVELS FOR THE PRE-DEVELOPMENT STATE ARE TO BE MAINTAINED FOR THE POST-DEVELOPMENT STATE OF THE SITE.
- A LAMINATED COPY OF THE FLOOD EMERGENCY RESPONSE PLANS APPENDED TO THIS REPORT IS TO BE PROVIDED TO THE RESIDENTS OF THE DWELLING.

PROJECT TEAM

- CLIENT**
 Ken & Meaghan Hoetmer
 15 RIVERVIEW PARADE, MANLY
 PHONE: 0403944576
 EMAIL: EUGENE@DU PLESSIS ARCHITECTS.COM.AU
 CONTACT: MEAGHAN HOETMER
- ARCHITECT**
 DU PLESSIS + DU PLESSIS ARCHITECTS
 20 MULGOWRIE CRESCENT, BALGOWLAH HEIGHTS NSW 2093
 PHONE: 0403944576
 EMAIL: EUGENE@DU PLESSIS ARCHITECTS.COM.AU
 CONTACT: EUGENE DU PLESSIS
- CIVIL/HYDRAULIC ENGINEER**
 NY CIVIL ENGINEERING
 PHONE: 0418334977
 EMAIL: ADMIN@NYCIVIL.COM.AU
 CONTACT: NADER ZAKI
- GEOTECHNICAL ENGINEER**
 WHITE GEOTECHNICAL GROUP
 PHONE: 79032214
 EMAIL: INFO@WHITEGEO.COM.AU
 CONTACT: BEN WHITE
- ARBORIST**
 SEASONS TREE CONSULTING
 PHONE: 0415981074
 EMAIL: DAVID@SEASONTREECONSULTING.COM.AU
 CONTACT: DAVID GOWENLOCK
- LANDSCAPE ARCHITECT**
 NICOLE COURT LANDSCAPE DESIGNS
 PHONE: 042445074
 EMAIL: NICOLE@NICOLECOURT.COM.AU
 CONTACT: NICOLE COURT
- BUSHFIRE CONSULTANT**
 PETERSON BUSHFIRE CONSULTING
 PHONE: 0400224880
 EMAIL: PETERSON@BUSHFIRE.COM.AU
 CONTACT: DAVID PETERSON
- SURVEYOR**
 STUTCHBURY AQUINES Pty Ltd
 20 SOU 248 RIVERVIEW PARADE, SYDNEY
 PHONE: 99781900
 EMAIL: INFO@STUTCHBURY.NET.AU
 CONTACT: STUTCHBURY
- COUNCIL**
 NORTHERN BEACHES COUNCIL
 TOWN HALL 1 BELGRAVE STREET MANLY NSW 2095
 PHONE: 99781900
 EMAIL: MANLY@NORTHERNBEACHES.NSW.GOV.AU
 CONTACT: GENERAL MANAGER

ABBREVIATIONS

- AC AIR CONDITIONED
- ADH ADJUSTABLE HEIGHT DATUM
- AG AGGREGATE
- AL ALUMINIUM
- AW AWNING
- B BALUSTRADE
- BL BLANKET
- BM BENCHMARK
- BO BOTTOM OF WALL
- BR BRICK WALL
- CC CONCRETE
- CL CENTRE LINE
- CW CONCRETE WALL
- CO COLUMN
- DM DIMENSION
- DN DOWNPIPE
- EJ EXPANSION JOINT
- F FALL TO SCREED
- FG FINISHED FLOOR LEVEL
- FR FIRE RESISTANT
- FW FLOOR WASTE
- G GLASS
- GLV GALVANIZED
- HWS HOT WATER SYSTEM
- IM IMPERMEABLE
- IR IRON ROOFING
- MV MECHANICAL VENTILATION
- NGL NATURAL GROUND LEVEL
- NTS NOT TO SCALE
- OC OFF FORM CONCRETE
- OG OBTUSE GLAZING
- OH OVER HEAD
- P PLASTER
- PS PRIVACY SCREEN
- PL PLASTERBOARD WALL
- REF REFERENCE
- RHW RAIN WATER HEAD
- RWP RAIN WATER PIPE
- RL REDUCED LEVEL
- RE REINFORCED CONCRETE
- SB MAIN ELECTRICAL SWITCH BOARD
- SC STEEL COLUMN
- SHR SHOWER
- SID SLIDING DOOR
- SPEC SPECIFICATION
- SS STAINLESS STEEL
- SW STORM WATER PIT
- T TIMBER DECKING
- TO TOP OF WALL
- US UNDERSIDE
- V VENTILATION
- WPM WATER PROOFING MEMBRANE

DRAWING SYMBOLS

- WINDOW LABEL
- DOOR LABEL
- JOINERY DETAIL REFERENCE
- PLAN / SECTION REFERENCE
- SECTION LINES
- ROOM LABELS & FLOOR FINISH
- FLOOR LEVEL RLS
- TOP OF STRUCTURE RLS

DRAWING LIST

| GWS NO. | DRAWING NAME | ISSUE | REV. | SCALE | DATE |
|---------|--------------------------|-------|------|-------|------------|
| A.01 | TITLE PAGE & SITE PLAN | DA | A | 1:100 | 24.07.2024 |
| A.02 | GARAGE GROUND FLOOR PLAN | | | | |
| A.03 | GARAGE ROOF PLAN | | | | |
| A.04 | SECTION X-A | | | | |
| A.05 | ELEVATIONS | | | | |

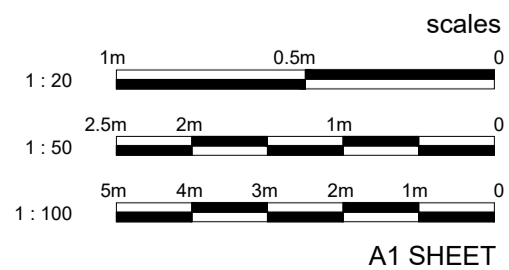
OTHER
 DA 101 FLOOD STORAGE PLAN
 DA 201 LANDSCAPE AREA CALCULATION PLAN



Location Plan
 N.T.S

Site Plan
 SCALE 1:100/A1

House
 Residential Alterations & Additions
 BCA Class 1a
 15 RIVERVIEW PARADE, NORTH MANLY
 D.P. 366644
 SITE AREA 580.6m²



A1 SHEET

LEGEND

- DEMOLITION
- EXISTING HOUSE WALLS & OTHER TO BE DEMOLISHED
- EXISTING HOUSE WALLS
- MASONRY, P BOARD, ETC WALLS ETC TO BE RETAINED
- PROPOSED ALTS & ADDS WALLS
- NEW WALLS AS SELECTED TO FUTURE DETAIL
- PROPOSED GARAGE EXTENSION
- ADJOINING BUILDINGS
- NEIGHBOURING BUILDINGS
- ADJOINING HOUSES
- FLOOR
- SELECTED TILES & SET-OUT TO DETAIL
- FLOOR
- SELECTED PAVERS TO FALLS
- FLOOR
- SELECTED CARPET OVER ACOUSTIC UNDERLAY
- ROOF
- COLORBOND METAL ROOFING TO FALLS
- CONCRETE
- OFF FORM REINFORCED CONCRETE AS INDICATED
- SWIMMING POOL
- POOL TO STANDARDS AND TO FUTURE DETAIL
- LANDSCAPING
- EXISTING GARDEN LANDSCAPE AREAS, TREES, ETC AS IS

NOTES

- **SITE SURVEY INFORMATION:** THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM THE TSS SURVEY PLANS #201738. REFER TO THE SURVEY DRAWING TO CONFIRM DIMENSIONS, SETTING FEATURES, LEVELS & DATUM. HOUSE WALL MEASUREMENTS (INTERNAL) BY TSS SURVEY PLANS #201738 IS TO BE CONFIRMED ON SITE BY SURVEY BEFORE CONSTRUCTION COMMENCES.
- **COORDINATION:** REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS WITH THE SPECIFICATION FOR BUILDING WORKS. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- **DETAIL DRAWINGS:** UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- **EXECUTION OF THE WORKS:** EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN STANDARDS, OTHER PUBLISHED STANDARDS AND THE REQUIREMENTS OF COUNCIL AND/OR OTHER AUTHORITIES.

ISSUE DATE DESCRIPTION

| ISSUE | DATE | DESCRIPTION |
|-------|------------|-------------|
| A | 24.07.2024 | PRELIMINARY |

CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.
 REQUIRED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 ALL DIMENSIONS ARE IN MILLIMETRES (MM).
 PLEASE NOTIFY DU PLESSIS + DU PLESSIS ARCHITECTS IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND.
 COPYRIGHT APPLIES TO THIS DOCUMENT.
 THE DESIGN IS THE PROPERTY OF DU PLESSIS + DU PLESSIS ARCHITECTS. REPRODUCTION OF ANY KIND IS NOT PERMITTED WITHOUT CONSENT.
 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH CONSULTANT & OTHER DETAIL DOCUMENTATION, SPECIFICATIONS, REPORTS & OTHER.
 ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND COUNCIL BUILDING REQUIREMENTS.

DU PLESSIS + DU PLESSIS ARCHITECTS

20 MULGOWRIE CRESCENT
 BALGOWLAH HEIGHTS NSW 2093
 0403944576
 e@droom.com.au
 www.droom.com.au
 NSW REGISTERED ARCHITECT #7435
 NOMINATED ARCHITECT: Eugene du Plessis

PROJECT TITLE
 HOETMER House - Garage DA

CLIENT
 Ken & Meaghan Hoetmer

ADDRESS
 15 Riverview Parade
 North Manly NSW 2100

DRAWING TITLE
 TITLE PAGE
 SITE PLAN

DRAWN: D DU PLESSIS
 CHECKED: E DU PLESSIS

SCALE:
 1:100 [A1]

DRAWING NO:
 A.01

ISSUE: A
 DATE: 24.07.2024

DRAWING STATUS:
 DEVELOPMENT APPLICATION

DEVELOPMENT APPLICATION(S)

THIS PROPOSED SEPARATE GARAGE DEVELOPMENT APPLICATION TO BE READ IN CONJUNCTION WITH THE APPROVED HOUSE DA 2022/1956

FLOOD NOTES

REFER TO THE GARAGE DA FLOOD MANAGEMENT REPORT CONCLUSIONS/RECOMMENDATIONS:

- THE PROPOSED GARAGE DOORS ARE TO BE OF PERMEABLE CONSTRUCTION TO A MINIMUM HEIGHT OF RL 3.66m AHD.
- ALL NEW ELECTRICAL EQUIPMENT, POWER POINTS, WIRING, FUEL LINES, SEWERAGE SYSTEMS OR ANY OTHER SERVICE PIPES AND CONNECTIONS MUST BE WATERPROOFED AND/OR LOCATED ABOVE THE FLOOD PLANNING LEVEL (FPL). ANY EXISTING ELECTRICAL EQUIPMENT AND POWER POINTS LOCATED BELOW THE FLOOD PLANNING LEVEL - RL 3.66m AHD - MUST HAVE RESIDUAL CURRENT DEVICES INSTALLED THAT TURN OFF ALL ELECTRICITY SUPPLY TO THE PROPERTY WHEN FLOOD WATERS ARE DETECTED.
- A SUITABLY QUALIFIED STRUCTURAL ENGINEER TO CERTIFY AT CONSTRUCTION CERTIFICATE STAGE THAT THE STRUCTURAL INTEGRITY OF THE PROPOSED ADDITIONS IS MAINTAINED TO THE FPL LEVEL - RL 3.66m AHD, ACCOUNTING FOR FORCES OF FLOODWATER, DEBRIS AND BUOYANCY.
- THE NATURAL GROUND LEVELS FOR THE PRE-DEVELOPMENT STATE ARE TO BE MAINTAINED FOR THE POST-DEVELOPMENT STATE OF THE SITE.
- A LAMINATED COPY OF THE FLOOD EMERGENCY RESPONSE PLANS APPENDED TO THIS REPORT IS TO BE PROVIDED TO THE RESIDENTS OF THE DWELLING.

LEGEND

- DEMOLITION
EXISTING HOUSE WALLS & OTHER TO BE DEMOLISHED
- EXISTING HOUSE WALLS
MASONRY, P BOARD, ETC WALLS ETC TO BE RETAINED
- PROPOSED ALTS & ADDS WALLS
NEW WALLS AS SELECTED TO FUTURE DETAIL
- PROPOSED GARAGE EXTENSION
ADDITIONAL BUILDINGS
ADJOINING HOUSES
- FLOOR
SELECTED HARDWOOD TIMBER FLOORING
- FLOOR
SELECTED TILES & SET-OUT TO DETAIL
- FLOOR
SELECTED PAVERS TO FALLS
- FLOOR
SELECTED CARPET OVER ACOUSTIC UNDERLAY
- ROOF
COLORBOND METAL ROOFING TO FALLS
- CONCRETE
GFF FORM REINFORCED CONCRETE AS INDICATED
- SWIMMING POOL
POOL TO STANDARDS AND TO FUTURE DETAIL
- LANDSCAPING
EXISTING GARDEN LANDSCAPE AREAS, TREES, ETC AS IS
- LEVELS AS PER SURVEY PLAN

NOTES

- **SITE SURVEY INFORMATION:**
THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM THE TSS SURVEY PLANS #201738. REFER TO THE SURVEY DRAWING TO CONFIRM DIMENSIONS, EXISTING FEATURES, LEVELS & DATUM. HOUSE WALL MEASUREMENTS (INTERNAL) BY TSS SURVEY PLANS #201738-2 TO BE CONFIRMED ON SITE BY SUBLETT BEFORE CONSTRUCTION COMMENCES.
- **COORDINATION:**
REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS WITH THE SPECIFICATION FOR BUILDING WORKS. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- **DETAIL DRAWINGS:**
UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- **EXECUTION OF THE WORKS:**
EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN STANDARDS, OTHER PUBLISHED STANDARDS AND THE REQUIREMENTS OF COUNCIL AND/OR OTHER AUTHORITIES.

| ISSUE | DATE | DESCRIPTION |
|-------|------------|-------------|
| A | 24.07.2024 | PRELIMINARY |

CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.
 REQUIRED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 ALL DIMENSIONS ARE IN MILLIMETRES (MM).
 PLEASE NOTIFY DU PLESSIS - DU PLESSIS ARCHITECTS IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND.
 COPYRIGHT APPLIES TO THIS DOCUMENT.
 THE DESIGN IS THE PROPERTY OF DU PLESSIS - DU PLESSIS ARCHITECTS. REPRODUCTION OF ANY KIND IS NOT PERMITTED WITHOUT CONSENT.
 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH CONSULTANT & OTHER DETAIL DOCUMENTATION, SPECIFICATIONS, REPORTS & OTHER.
 ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND COUNCIL BUILDING REQUIREMENTS.

DU PLESSIS ARCHITECTS
 20 MULGOWRIE CRESCENT
 BALGOWLAH HEIGHTS NSW 2093
 0403944576
 e@droom.com.au
 www.droom.com.au
 NSW REGISTERED ARCHITECT #7435
 NOMINATED ARCHITECT Eugene du Plessis

PROJECT TITLE:
HOETMER House - Garage DA
 CLIENT:
Ken & Meaghan Hoetmer
 ADDRESS:
15 Riverview Parade North Manly NSW 2100

DRAWING TITLE:
PROPOSED GARAGE GROUND FLOOR PLAN

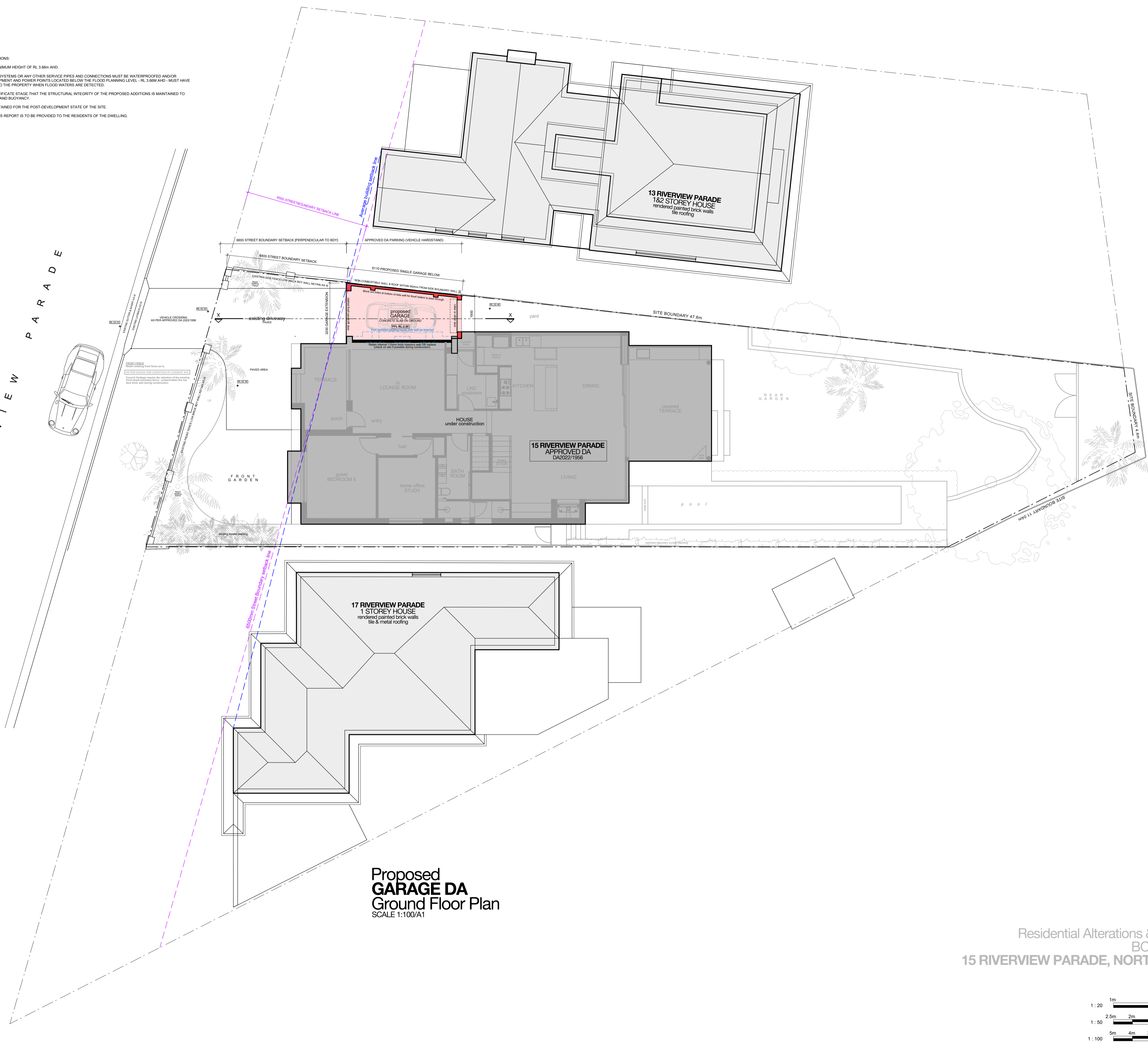
DRAWN: D DU PLESSIS
 CHECKED: E DU PLESSIS

SCALE:
 1:100 [A1]

DRAWING NO:
A.02

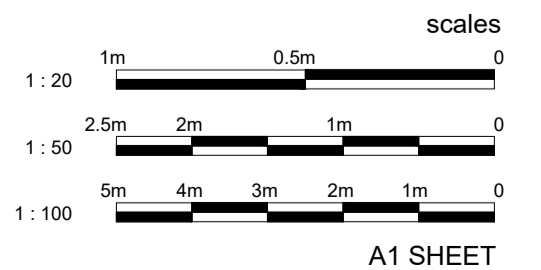
ISSUE: A
 DATE: 24.07.2024

DRAWING STATUS:
DEVELOPMENT APPLICATION



Proposed Garage DA
 Ground Floor Plan
 SCALE 1:100/A1

House Residential Alterations & Additions
 BCA Class 1a
15 RIVERVIEW PARADE, NORTH MANLY
 D.P. 366644
 SITE AREA 580.6m²



A1 SHEET

DEVELOPMENT APPLICATION(S)

THIS PROPOSED SEPARATE GARAGE DEVELOPMENT APPLICATION TO BE READ IN CONJUNCTION WITH THE APPROVED HOUSE DA 2022/1896

FLOOD NOTES

REFER TO THE GARAGE DA FLOOD MANAGEMENT REPORT CONCLUSIONS/RECOMMENDATIONS:

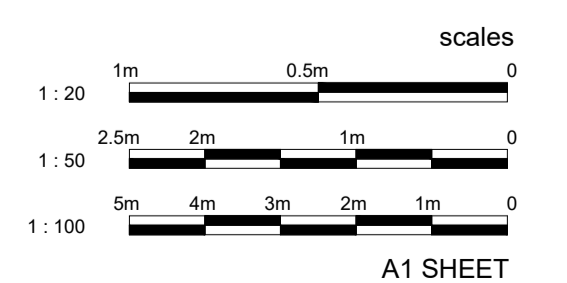
- THE PROPOSED GARAGE DOORS ARE TO BE OF PERMEABLE CONSTRUCTION TO A MINIMUM HEIGHT OF RL 3.66m AHD.
- ALL NEW ELECTRICAL EQUIPMENT, POWER POINTS, WIRING, FUEL LINES, SEWERAGE SYSTEMS OR ANY OTHER SERVICE PIPES AND CONNECTIONS MUST BE WATERPROOFED AND/OR LOCATED ABOVE THE FLOOD PLANNING LEVEL (FPL). ANY EXISTING ELECTRICAL EQUIPMENT AND POWER POINTS LOCATED BELOW THE FLOOD PLANNING LEVEL - RL 3.66m AHD - MUST HAVE RESIDUAL CURRENT DEVICES INSTALLED THAT TURN OFF ALL ELECTRICITY SUPPLY TO THE PROPERTY WHEN FLOOD WATERS ARE DETECTED.
- A SUITABLY QUALIFIED STRUCTURAL ENGINEER TO CERTIFY AT CONSTRUCTION CERTIFICATE STAGE THAT THE STRUCTURAL INTEGRITY OF THE PROPOSED ADDITIONS IS MAINTAINED TO THE FPL LEVEL - RL 3.66m AHD, ACCOUNTING FOR FORCES OF FLOODWATER, DEBRIS AND BUOYANCY.
- THE NATURAL GROUND LEVELS FOR THE PRE-DEVELOPMENT STATE ARE TO BE MAINTAINED FOR THE POST-DEVELOPMENT STATE OF THE SITE.
- A LAMINATED COPY OF THE FLOOD EMERGENCY RESPONSE PLANS APPENDED TO THIS REPORT IS TO BE PROVIDED TO THE RESIDENTS OF THE DWELLING.

15 RIVERVIEW PARADE



PROPOSED GARAGE
Roof Plan
SCALE 1:100/A1

House
Residential Alterations & Additions
BCA Class 1a
15 RIVERVIEW PARADE, NORTH MANLY
D.P. 366644
SITE AREA 580.6m²



LEGEND

- DEMOLITION EXISTING HOUSE WALLS & OTHER TO BE DEMOLISHED
- EXISTING HOUSE WALLS MASONRY, P BOARD, ETC WALLS ETC TO BE RETAINED
- PROPOSED ALTS & ADDS WALLS NEW WALLS AS SELECTED TO FUTURE DETAIL
- PROPOSED GARAGE EXTENSION
- ADDITIONAL BUILDINGS ADJOINING HOUSES
- FLOOR SELECTED HARDWOOD TIMBER FLOORING
- FLOOR SELECTED TILES & SET-OUT TO DETAIL
- FLOOR SELECTED PAVERS TO FALLS
- FLOOR SELECTED CARPET OVER ACOUSTIC UNDERLAY
- ROOF COLORBOND METAL ROOFING TO FALLS
- CONCRETE OFF FORM REINFORCED CONCRETE AS INDICATED
- SWIMMING POOL POOL TO STANDARDS AND TO FUTURE DETAIL
- LANDSCAPING EXISTING GARDEN LANDSCAPE AREAS, TREES, ETC AS IS
- LEVELS AS PER SURVEY PLAN

NOTES

- **SITE SURVEY INFORMATION:** THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM THE TSS SURVEY PLANS #201738. REFER TO THE SURVEY DRAWING TO CONFIRM DIMENSIONS, EXISTING FEATURES, LEVELS & DATUM. HOUSE WALL MEASUREMENTS (INTERNAL) BY TSS SURVEY PLANS #201738 TO BE CONFIRMED ON SITE BY SUBLETT BEFORE CONSTRUCTION COMMENCES.
- **COORDINATION:** REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS WITH THE SPECIFICATION FOR BUILDING WORKS. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- **DETAIL DRAWINGS:** UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- **EXECUTION OF THE WORKS:** EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN STANDARDS, OTHER PUBLISHED STANDARDS AND THE REQUIREMENTS OF COUNCIL AND/OR OTHER AUTHORITIES.

| ISSUE | DATE | DESCRIPTION |
|-------|------------|-------------|
| A | 24.07.2024 | PRELIMINARY |

CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.
REQUIRED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
ALL DIMENSIONS ARE IN MILLIMETRES (MM).
PLEASE NOTIFY DU PLESSIS + DU PLESSIS ARCHITECTS IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND.
COPYRIGHT APPLIES TO THIS DOCUMENT.
THE DESIGN IS THE PROPERTY OF DU PLESSIS + DU PLESSIS ARCHITECTS. REPRODUCTION OF ANY KIND IS NOT PERMITTED WITHOUT CONSENT.
THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH CONSULTANT & OTHER DETAIL DOCUMENTATION, SPECIFICATIONS, REPORTS & OTHER.
ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND COUNCIL BUILDING REQUIREMENTS.

DU PLESSIS
DU PLESSIS ARCHITECTS
20 MULGOWRIE CRESCENT
BALGOWLAH HEIGHTS NSW 2093
0403944576
e@droom.com.au
www.droom.com.au
NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT Eugene du Plessis

PROJECT TITLE:
HOETMER House - Garage DA
CLIENT:
Ken & Meaghan Hoetmer
ADDRESS:
15 Riverview Parade North Manly NSW 2100

DRAWING TITLE:
PROPOSED GARAGE ROOF PLAN

DRAWN: D DU PLESSIS
CHECKED: E DU PLESSIS

SCALE:
1:100 [A1]

DRAWING NO:
A.03

ISSUE: **A** DATE: **24.07.2024**

DRAWING STATUS:
DEVELOPMENT APPLICATION

DEVELOPMENT APPLICATION(S)

THIS PROPOSED SEPARATE GARAGE DEVELOPMENT APPLICATION TO BE READ IN CONJUNCTION WITH THE APPROVED HOUSE DA 20221956

FLOOD NOTES

REFER TO THE GARAGE DA FLOOD MANAGEMENT REPORT CONCLUSIONS/RECOMMENDATIONS:

- THE PROPOSED GARAGE DOORS ARE TO BE OF PERMEABLE CONSTRUCTION TO A MINIMUM HEIGHT OF RL 3.66m AHD.
- ALL NEW ELECTRICAL EQUIPMENT, POWER POINTS, WIRING, FUEL LINES, SEWERAGE SYSTEMS OR ANY OTHER SERVICE PIPES AND CONNECTIONS MUST BE WATERPROOFED AND/OR LOCATED ABOVE THE FLOOD PLANNING LEVEL (FPL). ANY EXISTING ELECTRICAL EQUIPMENT AND POWER POINTS LOCATED BELOW THE FLOOD PLANNING LEVEL - RL 3.66m AHD - MUST HAVE RESIDUAL CURRENT DEVICES INSTALLED THAT TURN OFF ALL ELECTRICITY SUPPLY TO THE PROPERTY WHEN FLOOD WATERS ARE DETECTED.
- A SUITABLY QUALIFIED STRUCTURAL ENGINEER TO CERTIFY AT CONSTRUCTION CERTIFICATE STAGE THAT THE STRUCTURAL INTEGRITY OF THE PROPOSED ADDITIONS IS MAINTAINED TO THE FPL LEVEL - RL 3.66m AHD, ACCOUNTING FOR FORCES OF FLOODWATER, DEBRIS AND BUOYANCY.
- THE NATURAL GROUND LEVELS FOR THE PRE-DEVELOPMENT STATE ARE TO BE MAINTAINED FOR THE POST-DEVELOPMENT STATE OF THE SITE.
- A LAMINATED COPY OF THE FLOOD EMERGENCY RESPONSE PLANS APPENDED TO THIS REPORT IS TO BE PROVIDED TO THE RESIDENTS OF THE DWELLING.

LEGEND

- DEMOLITION
EXISTING HOUSE WALLS & OTHER TO BE DEMOLISHED
- EXISTING HOUSE WALLS
MASONRY, P BOARD, ETC WALLS ETC TO BE RETAINED
- PROPOSED ALTS & ADDS WALLS
NEW WALLS AS SELECTED TO FUTURE DETAIL
- PROPOSED GARAGE EXTENSION
ADDITIONAL BUILDING SLAB
- NEIGHBOURING BUILDINGS
ADJOINING HOUSES
- FLOOR
SELECTED HARDWOOD TIMBER FLOORING
- FLOOR
SELECTED TILES & SET-OUT TO DETAIL
- FLOOR
SELECTED PAVERS TO FALLS
- FLOOR
SELECTED CARPET OVER ACOUSTIC UNDERLAY
- ROOF
COLORBOND METAL ROOFING TO FALLS
- CONCRETE
OFF FORM REINFORCED CONCRETE AS INDICATED
- SWIMMING POOL
POOL TO STANDARDS AND TO FUTURE DETAIL
- LANDSCAPING
EXISTING GARDEN LANDSCAPE AREAS, TREES, ETC AS IS
- LEVELS AS PER SURVEY PLAN

NOTES

- **SITE SURVEY INFORMATION:**
THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM THE TSS SURVEY PLANS #201738. REFER TO THIS SURVEY DRAWING TO CONFIRM DIMENSIONS, EXISTING FEATURES, LEVELS & DATUM. HOUSE WALL MEASUREMENTS (INTERNAL) BY TSS SURVEY PLANS #201738-2 TO BE CONFIRMED ON SITE BY SUBLETT BEFORE CONSTRUCTION COMMENCES.
- **COORDINATION:**
REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS WITH THE SPECIFICATION FOR BUILDING WORKS. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- **DETAIL DRAWINGS:**
UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- **EXECUTION OF THE WORKS:**
EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN STANDARDS, OTHER PUBLISHED STANDARDS AND THE REQUIREMENTS OF COUNCIL AND/OR OTHER AUTHORITIES.

| ISSUE | DATE | DESCRIPTION |
|-------|------------|-------------|
| A | 24.07.2024 | PRELIMINARY |

CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.
 REQUIRED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 ALL DIMENSIONS ARE IN MILLIMETRES (MM).
 PLEASE NOTIFY DU PLESSIS + DU PLESSIS ARCHITECTS IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND.
 COPYRIGHT APPLIES TO THIS DOCUMENT.
 THE DESIGN IS THE PROPERTY OF DU PLESSIS + DU PLESSIS ARCHITECTS. REPRODUCTION OF ANY KIND IS NOT PERMITTED WITHOUT CONSENT.
 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH CONSULTANT & OTHER DETAIL DOCUMENTATION, SPECIFICATIONS, REPORTS & OTHER.
 ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND COUNCIL BUILDING REQUIREMENTS.

DU PLESSIS + DU PLESSIS ARCHITECTS
 20 MULGOWRIE CRESCENT
 BALGOWLAH HEIGHTS NSW 2093
 0403944576
 e@droom.com.au
 www.droom.com.au
 NSW REGISTERED ARCHITECT #7435
 NOMINATED ARCHITECT Eugene du Plessis

PROJECT TITLE:
HOETMER House - Garage DA
 CLIENT:
 Ken & Meaghan Hoetmer
 ADDRESS:
 15 Riverview Parade
 North Manly NSW 2100

DRAWING TITLE:
PROPOSED GARAGE SECTION X-X

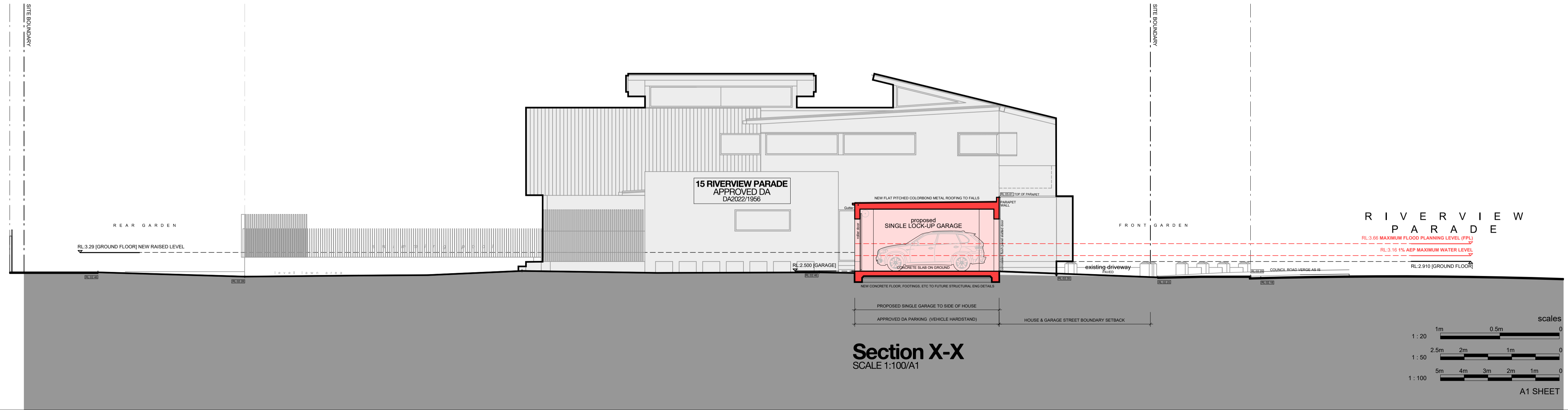
DRAWN: D DU PLESSIS
 CHECKED: E DU PLESSIS

SCALE:
 1:100 [A1]

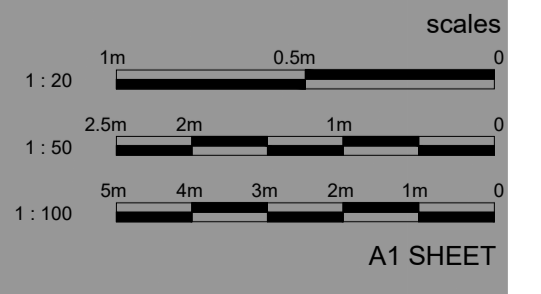
DRAWING NO:
A.04

ISSUE: A
 DATE: 24.07.2024

DRAWING STATUS:
DEVELOPMENT APPLICATION



Section X-X
 SCALE 1:100/A1



A1 SHEET

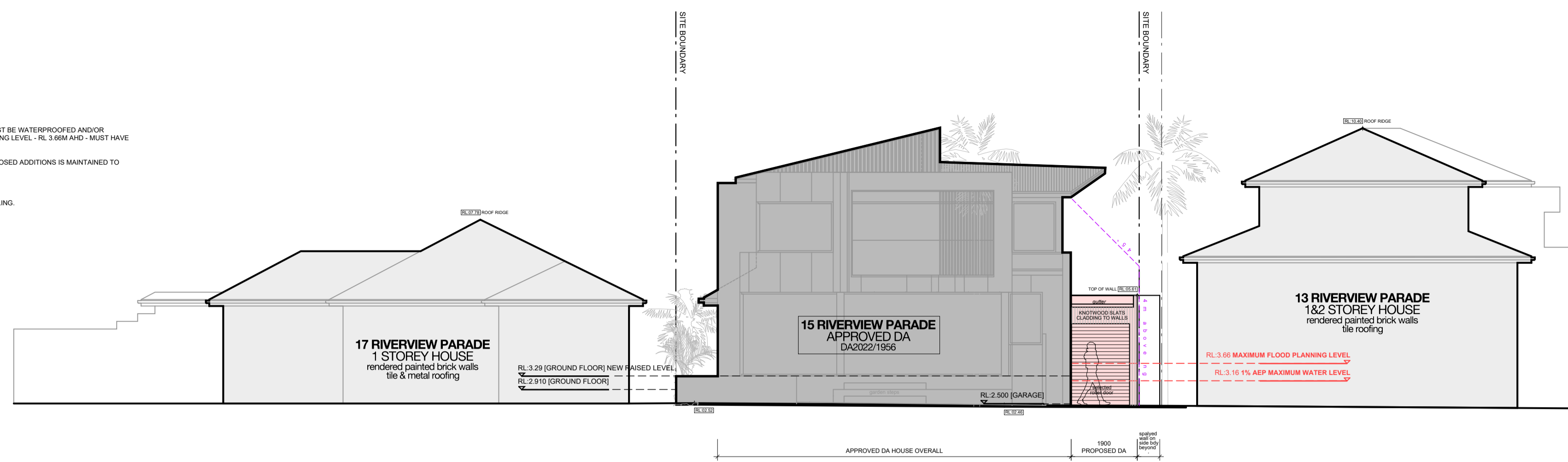
DEVELOPMENT APPLICATION(S)

THIS PROPOSED SEPARATE GARAGE DEVELOPMENT APPLICATION TO BE READ IN CONJUNCTION WITH THE APPROVED HOUSE DA 2022/1956

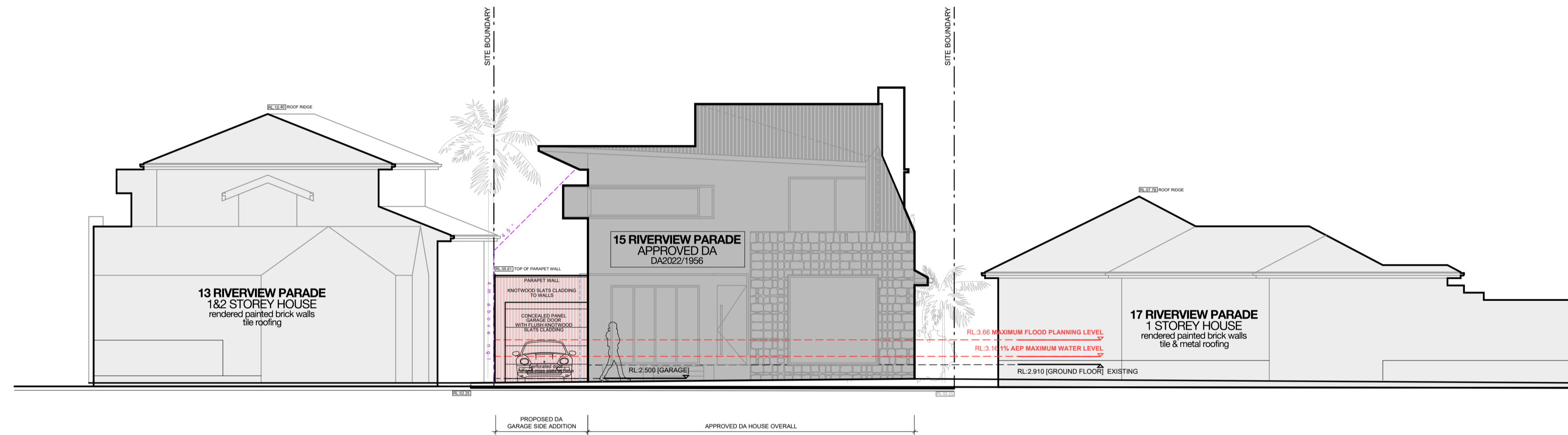
FLOOD NOTES

REFER TO THE GARAGE DA FLOOD MANAGEMENT REPORT CONCLUSIONS/RECOMMENDATIONS:

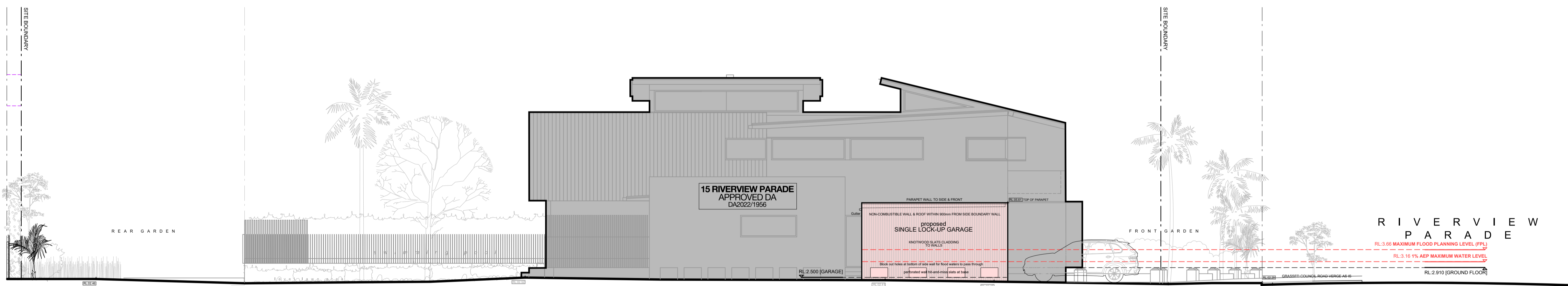
- THE PROPOSED GARAGE DOORS ARE TO BE OF PERMEABLE CONSTRUCTION TO A MINIMUM HEIGHT OF RL 3.66m AHD.
- ALL NEW ELECTRICAL EQUIPMENT, POWER POINTS, WIRING, FUEL LINES, SEWERAGE SYSTEMS OR ANY OTHER SERVICE PIPES AND CONNECTIONS MUST BE WATERPROOFED AND/OR LOCATED ABOVE THE FLOOD PLANNING LEVEL (FPL). ANY EXISTING ELECTRICAL EQUIPMENT AND POWER POINTS LOCATED BELOW THE FLOOD PLANNING LEVEL - RL 3.66m AHD - MUST HAVE RESIDUAL CURRENT DEVICES INSTALLED THAT TURN OFF ALL ELECTRICITY SUPPLY TO THE PROPERTY WHEN FLOOD WATERS ARE DETECTED.
- A SUITABLY QUALIFIED STRUCTURAL ENGINEER TO CERTIFY AT CONSTRUCTION CERTIFICATE STAGE THAT THE STRUCTURAL INTEGRITY OF THE PROPOSED ADDITIONS IS MAINTAINED TO THE FPL LEVEL - RL 3.66m AHD, ACCOUNTING FOR FORCES OF FLOODWATER, DEBRIS AND BUOYANCY.
- THE NATURAL GROUND LEVELS FOR THE PRE-DEVELOPMENT STATE ARE TO BE MAINTAINED FOR THE POST-DEVELOPMENT STATE OF THE SITE.
- A LAMINATED COPY OF THE FLOOD EMERGENCY RESPONSE PLANS APPENDED TO THIS REPORT IS TO BE PROVIDED TO THE RESIDENTS OF THE DWELLING.



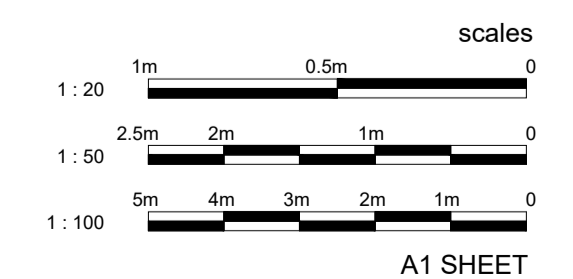
Proposed GARAGE
Rear Elevation (East)
SCALE 1:100/A1



Proposed GARAGE
Front Elevation (West)
SCALE 1:100/A1



Proposed GARAGE
Side Elevation (North)
SCALE 1:100/A1



LEGEND

- DEMOLITION
EXISTING HOUSE WALLS & OTHER TO BE DEMOLISHED
- EXISTING HOUSE WALLS
MASONRY, P BOARD, ETC WALLS ETC TO BE RETAINED
- PROPOSED ALTS & ADDS WALLS
NEW WALLS AS SELECTED TO FUTURE DETAIL
- PROPOSED GARAGE EXTENSION
ADDITIONAL BUILDING ELEMENTS, EXISTING FEATURES
- NEIGHBOURING BUILDINGS
ADJOINING HOUSES
- FLOOR
SELECTED HARDWOOD TIMBER FLOORING
- FLOOR
SELECTED TILES & SET-OUT TO DETAIL
- FLOOR
SELECTED PAVERS TO FALLS
- FLOOR
SELECTED CARPET OVER ACOUSTIC UNDERLAY
- ROOF
COLORBOND METAL ROOFING TO FALLS
- CONCRETE
GFF FORM REINFORCED CONCRETE AS INDICATED
- SWIMMING POOL
POOL TO STANDARDS AND TO FUTURE DETAIL
- LANDSCAPING
EXISTING GARDEN LANDSCAPE AREAS, TREES, ETC AS IS
- LEVELS AS PER SURVEY PLAN

NOTES

- **SITE SURVEY INFORMATION:**
THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM THE TSS SURVEY PLANS #201738. REFER TO THE SURVEY DRAWING TO CONFIRM DIMENSIONS, EXISTING FEATURES, LEVELS & DATUM. HOUSE WALL MEASUREMENTS (INTERNAL) BY TSS SURVEY PLANS #201738-2 TO BE CONFIRMED ON SITE BY SURVEY BEFORE CONSTRUCTION COMMENCES.
- **COORDINATION:**
REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS WITH THE SPECIFICATION FOR BUILDING WORKS. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- **DETAIL DRAWINGS:**
UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- **EXECUTION OF THE WORKS:**
EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN STANDARDS, OTHER PUBLISHED STANDARDS AND THE REQUIREMENTS OF COUNCIL AND/OR OTHER AUTHORITIES.

| ISSUE | DATE | DESCRIPTION |
|-------|------------|-------------|
| A | 24.07.2024 | PRELIMINARY |

CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.

REQUIRED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.

ALL DIMENSIONS ARE IN MILLIMETRES (MM).

PLEASE NOTIFY DU PLESSIS - DU PLESSIS ARCHITECTS IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND. COPYRIGHT APPLIES TO THIS DOCUMENT.

THE DESIGN IS THE PROPERTY OF DU PLESSIS - DU PLESSIS ARCHITECTS. REPRODUCTION OF ANY KIND IS NOT PERMITTED WITHOUT CONSENT.

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH CONSULTANT & OTHER DETAIL DOCUMENTATION, SPECIFICATIONS, REPORTS & OTHER.

ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND COUNCIL BUILDING REQUIREMENTS.

DU PLESSIS
+ **DU PLESSIS ARCHITECTS**

20 MULGOWRIE CRESCENT
BALGOWLAH HEIGHTS NSW 2093

0403944576
e@droom.com.au
www.droom.com.au

NSW
REGISTERED
ARCHITECT
#7435

NOMINATED
ARCHITECT:
Eugene du Plessis

PROJECT TITLE:
HOETMER House - Garage DA

CLIENT:
Ken & Meaghan Hoetmer

ADDRESS:
**15 Riverview Parade
North Manly NSW 2100**

DRAWING TITLE:
PROPOSED GARAGE ELEVATIONS

| | |
|------------------------|--------------------------|
| DRAWN: D DU PLESSIS | CHECKED: E DU PLESSIS |
|------------------------|--------------------------|

SCALE:
1:100 [A1]

DRAWING NO:
A.05

| | |
|--------------------|----------------------------|
| ISSUE: A | DATE: 24.07.2024 |
|--------------------|----------------------------|

DRAWING STATUS:
DEVELOPMENT APPLICATION

FLOOD INFORMATION



FLOOD INFORMATION REPORT – COMPREHENSIVE

Property: 15 Riverview Parade NORTH MANLY NSW 2100
 Lot DP: Lot A DP 366644
 Issue Date: 15/10/2021
 Flood Study Reference: Manly Lagoon Flood Study 2013, BMT WBM

Flood Information for lot 1:

Flood Risk Precinct – See Map A

Flood Planning Area – See Map A

Maximum Flood Planning Level (FPL) 2.1: 3.66 m AHD

1% AEP Flood – See Flood Map B

1% AEP Maximum Water Level 2: 3.16 m AHD

1% AEP Maximum Depth from natural ground level: 0.96 m

1% AEP Maximum Velocity: 0.57 m/s

1% AEP Hydraulic Categorisation: NA See Flood Map D

Probable Maximum Flood (PMF) – See Flood Map C

PMF Maximum Water Level 1: 5.66 m AHD

PMF Maximum Depth from natural ground level: 3.47 m

PMF Maximum Velocity: 0.95 m/s

PMF Hydraulic Categorisation: NA See Flood Map E

FLOOD NOTES

REFER TO THE GARAGE DA FLOOD MANAGEMENT REPORT CONCLUSIONS/RECOMMENDATIONS:

- THE PROPOSED GARAGE DOORS ARE TO BE OF PERMEABLE CONSTRUCTION TO A MINIMUM HEIGHT OF RL 3.66m AHD.
- ALL NEW ELECTRICAL EQUIPMENT, POWER POINTS, WIRING, FUEL LINES, SEWERAGE SYSTEMS OR ANY OTHER SERVICE PIPES AND CONNECTIONS MUST BE WATERPROOFED AND/OR LOCATED ABOVE THE FLOOD PLANNING LEVEL (FPL). ANY EXISTING ELECTRICAL EQUIPMENT AND POWER POINTS LOCATED BELOW THE FLOOD PLANNING LEVEL - RL 3.66m AHD - MUST HAVE RESIDUAL CURRENT DEVICES INSTALLED THAT TURN OFF ALL ELECTRICITY SUPPLY TO THE PROPERTY WHEN FLOOD WATERS ARE DETECTED.
- A SUITABLY QUALIFIED STRUCTURAL ENGINEER TO CERTIFY AT CONSTRUCTION CERTIFICATE STAGE THAT THE STRUCTURAL INTEGRITY OF THE PROPOSED ADDITIONS IS MAINTAINED TO THE FPL LEVEL - RL 3.66m AHD, ACCOUNTING FOR FORCES OF FLOODWATER, DEBRIS AND BUOYANCY.
- THE NATURAL GROUND LEVELS FOR THE PRE-DEVELOPMENT STATE ARE TO BE MAINTAINED FOR THE POST-DEVELOPMENT STATE OF THE SITE.
- A LAMINATED COPY OF THE FLOOD EMERGENCY RESPONSE PLANS APPENDED TO THIS REPORT IS TO BE PROVIDED TO THE RESIDENTS OF THE DWELLING.

LEGEND

- BUILDING, EXISTING HOUSE SITE STRUCTURES ON GROUND (AS IS)
 - PORTION OF PROPOSED BLD & OTHER ABOVE GROUND SITE STRUCTURES RAISED UP ABOVE NGL FOR FLOOD
 - BUILDING, NEW SWIMMING POOL, IN GROUND (NEW)
 - SITE FLOOD STORAGE AREA INCLUDING AREAS BELOW GROUND LEVEL FLOOR TO ALLOW STORAGE OF FLOOD WATERS UNDERNEATH
 - EXISTING SITE STORAGE AREA CALCULATION
 - 580 SQM SITE AREA, 144 SQM EXISTING HOUSE (ON GROUND)
 - 436 SQM EXISTING SITE FLOOD WATER STORAGE AREA
 - PROPOSED SITE STORAGE AREA CALCULATION
 - 580 SQM SITE AREA, 599 SQM PART OF EXISTING HOUSE RETAINED (ON GROUND), 531 SQM NEW SWIMMING POOL, (IN GROUND)
 - 458 SQM PROPOSED SITE FLOOD WATER STORAGE AREA
- Note: Net loss of overall site flood storage area as a result of the proposed Garage DA on the site.

NOTES

- SITE SURVEY INFORMATION:** THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM THE TSS SURVEY PLANS #201738. REFER TO THE SURVEY DRAWINGS TO CONFIRM DIMENSIONS, EXISTING FEATURES, LEVELS & DATUM. HOUSE WALL MEASUREMENTS (INTERNAL) BY TSS SURVEY PLANS #201738 IS TO BE CONFIRMED ON SITE BY BUILDERS BEFORE CONSTRUCTION COMMENCES.
- COORDINATION:** REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS WITH THE SPECIFICATION FOR BUILDING WORKS. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- DETAIL DRAWINGS:** UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- EXECUTION OF THE WORKS:** EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN STANDARDS, OTHER PUBLISHED STANDARDS AND THE REQUIREMENTS OF COUNCIL AND/OR OTHER AUTHORITIES.

| ISSUE | DATE | DESCRIPTION |
|-------|------------|-------------|
| A | 24.07.2024 | PRELIMINARY |

CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.
 REQUIRED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 ALL DIMENSIONS ARE IN MILLIMETRES (MM).
 PLEASE NOTIFY DU PLESSIS - DU PLESSIS ARCHITECTS IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND.
 COPYRIGHT APPLIES TO THIS DOCUMENT.
 THE DESIGN IS THE PROPERTY OF DU PLESSIS - DU PLESSIS ARCHITECTS. REPRODUCTION OF ANY KIND IS NOT PERMITTED WITHOUT CONSENT.
 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH CONSULTANT & OTHER DETAIL DOCUMENTATION, SPECIFICATIONS, REPORTS & OTHER.
 ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND COUNCIL BUILDING REQUIREMENTS.

DU PLESSIS ARCHITECTS
 20 MULGOWRIE CRESCENT
 BALGOWLAH HEIGHTS NSW 2093
 0403944576
 e@droom.com.au
 www.droom.com.au
 NSW REGISTERED ARCHITECT #7435
 NOMINATED ARCHITECT: Eugene du Plessis

PROJECT TITLE:
HOETMER House - Garage DA
 CLIENT:
 Ken & Meaghan Hoetmer
 ADDRESS:
 15 Riverview Parade
 North Manly NSW 2100

DRAWING TITLE:
FLOOD PLANS

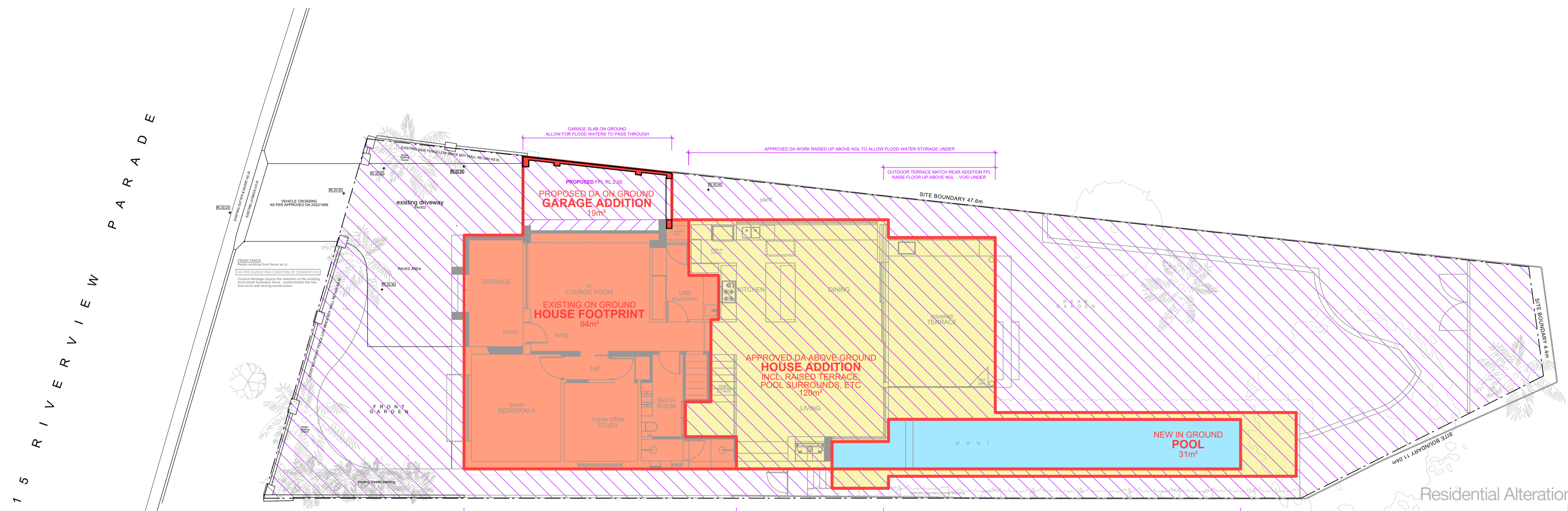
DRAWN: D DU PLESSIS
 CHECKED: E DU PLESSIS

SCALE:
 1:100 [A1]

DRAWING NO:
DA.101

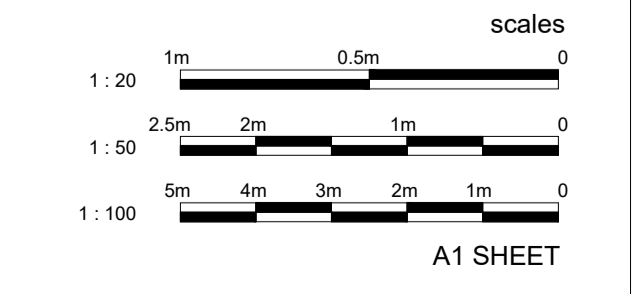
ISSUE: A
 DATE: 24.07.2024

DRAWING STATUS:
DEVELOPMENT APPLICATION



PROPOSED Flood Storage Plan
 SCALE 1:100/A1

House Residential Alterations & Additions
 BCA Class 1a
15 RIVERVIEW PARADE, NORTH MANLY
 D.P. 366644
 SITE AREA 580.6m²



PROPOSED LANDSCAPED AREA

LANDSCAPE OPEN SPACE (LOS) AREA CALCULATIONS

| | |
|--------------|---------------------------|
| FRONT GARDEN | 056.8m ² |
| REAR GARDEN | 105.8m ² |
| POOL | 031.4m ² |
| Total | 294.0m² |

| | |
|--------------|---------------------|
| PROPOSED LOS | 298.4m ² |
| SITE AREA | 680.0m ² |

PROPOSED LANDSCAPE OPEN SPACE AREA = 44% (DCP Requirement 40%)

NOTE: THE PROPOSED GARAGE ADDITION WILL RESULT IN ZERO CHANGE TO THE APPROVED HOUSE DA LANDSCAPE OPEN SPACE AREAS.

LEGEND

- SITE BOUNDARY AS PER SITE SURVEY PLAN
- LANDSCAPED AREA AS PER NBC COUNCIL LEP DEFINITION
- LANDSCAPED AREA NOT INCLUDED IN LOR CALCULATIONS NARROW PLANTING STRIPS <math>< 2m</math>

NOTES

- **SITE SURVEY INFORMATION:** THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM THE TRUE NORTH SURVEY PLAN #870624. REFER TO THE SURVEY DRAWINGS TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM. HOUSE WALL MEASUREMENTS (INTERNAL) BY THE ARCHITECT TO BE CONFIRMED ON SITE BEFORE CONSTRUCTION COMMENCES.
- **COORDINATION:** REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS WITH THE SPECIFICATION FOR BUILDING WORKS. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- **DETAIL DRAWINGS:** UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- **EXECUTION OF THE WORKS:** EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN STANDARDS, OTHER PUBLISHED STANDARDS AND THE REQUIREMENTS OF COUNCIL AND/OR OTHER AUTHORITIES.

ISSUE | DATE | DESCRIPTION

| ISSUE | DATE | DESCRIPTION |
|-------|------------|-------------|
| A | 24.07.2024 | PRELIMINARY |

CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.
 REQUIRED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
 ALL DIMENSIONS ARE IN MILLIMETRES (MM).
 PLEASE NOTIFY DU PLESSIS - DU PLESSIS ARCHITECTS IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND.
 COPYRIGHT APPLIES TO THIS DOCUMENT.
 THE DESIGN IS THE PROPERTY OF DU PLESSIS - DU PLESSIS ARCHITECTS. REPRODUCTION OF ANY KIND IS NOT PERMITTED WITHOUT CONSENT.
 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH CONSULTANT & OTHER DETAIL DOCUMENTATION, SPECIFICATIONS, REPORTS & OTHER.
 ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND COUNCIL BUILDING REQUIREMENTS.

DU PLESSIS ARCHITECTS

20 MULGOWRIE CRESCENT
 BALGOWLAH HEIGHTS NSW 2093
 0403944576
 @droom.com.au
 www.droom.com.au
 NSW REGISTERED ARCHITECT #7435
 NOMINATED ARCHITECT: Eugene du Plessis

PROJECT TITLE:
HOETMER House - Garage DA

CLIENT:
Ken & Meaghan Hoetmer

ADDRESS:
**15 Riverview Parade
 North Manly NSW 2100**

DRAWING TITLE:
COUNCIL LOS AREA CALCULATION PLAN

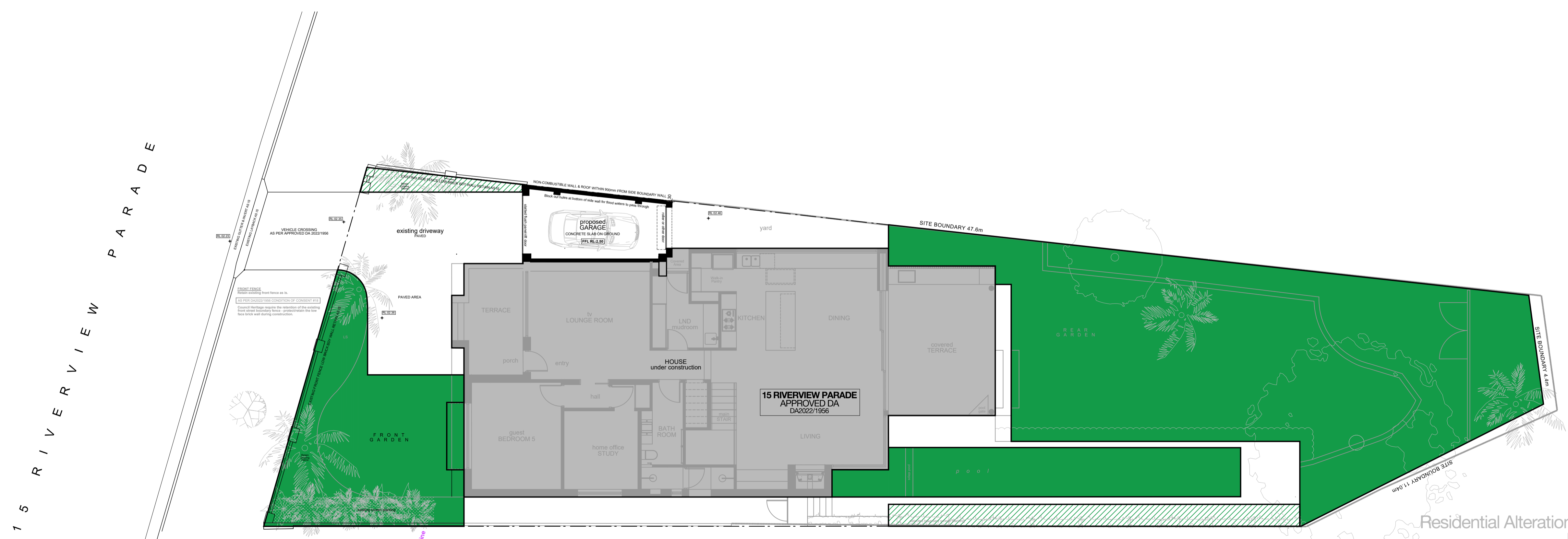
DRAWN: D DU PLESSIS
 CHECKED: E DU PLESSIS

SCALE:
 1:100 [A1]

DRAWING NO:
DA.201

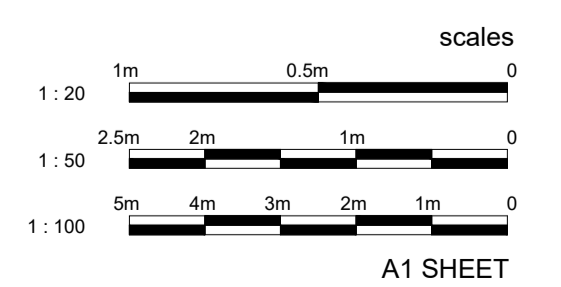
ISSUE: A
 DATE: 24.07.2024

DRAWING STATUS:
DEVELOPMENT APPLICATION



Landscape Open Space Area Calculation Plan
 SCALE 1:100/A1

House Residential Alterations & Additions
 BCA Class 1a
15 RIVERVIEW PARADE, NORTH MANLY
 D.P. 366644
 SITE AREA 580.6m²



A1 SHEET

