

# STATEMENT OF ENVIRONMENTAL EFFECTS

## 23 Marinella St Manly Vale

Development Application  
Alterations and Additions

Submitted to Northern Beaches Council  
2025

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## 1.0 Introduction

This Statement of Environmental Effects (SEE) has been prepared by Rachel Blenkinsop for the subject site, 23 Marinella St Manly Vale, to accompany a Development Application (DA), for alterations and additions to an existing structure. Replacement of the proposed and approved (under CDC ) window at the front of the building with a garage door and a change of use of the front rumpus room to a garage.

The report has been prepared on behalf of the owner Marinella Trust.

The proposed development does not constitute *integrated or designated development* under the Environmental Planning and Assessment Act 1979, (the Act) and is assessed in this SEE under s.4.15.

The SEE should be read in conjunction with the following documents:

1. Architectural Drawings prepared by Nikki Mote Architects;
2. Land Survey, prepared by Ensure Consulting;
3. Bushfire Report



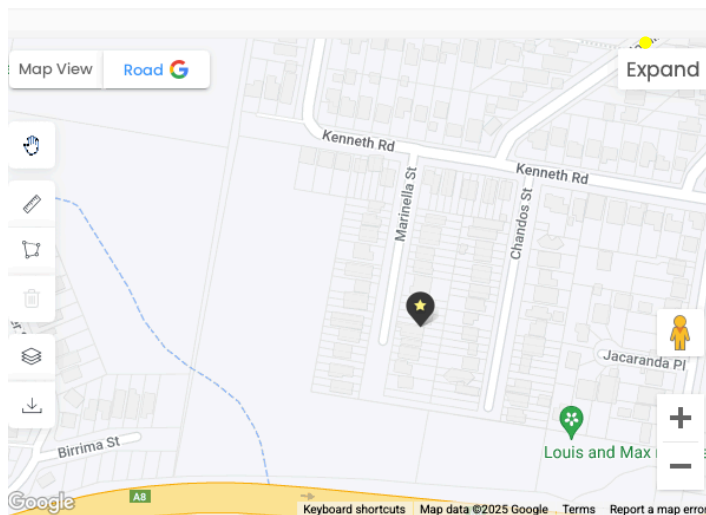
## 2.0 Site Location and Context

The subject site is located in the local government area of Northern Beaches Council.

The subject site is located within Manly Vale, legally described as Lot 46 Sec 2 DP976580.



Figure 1: Site (source: RPdata)



The site contains a currently under construction new residential dwelling.

The site is sloping.

The immediately surrounding area comprises of low-density residential dwellings, including predominately one and two-story houses.

### **3.0 Proposed Development Application**

The proposed development application is for

1. Change of use of the front room on the ground floor to a garage.
2. Replacement of a proposed and approved (under CDC) window at the front ground level of the building with a garage door.

The opening aperture will remain unchanged.

The proposed change will help to reduce vehicle parking on an already congested street by providing off street parking.

## **4.0 Environmental Planning and Assessment ACT 1979**

### **Assessment**

This application is made pursuant to s.4.12 of the NSW Environmental Planning and Assessment Act 1979, (the Act), and is assessed under s.4.15.

The proposed development does not constitute designated development or integrated development.

### **4.1 Planning Controls**

The relevant planning controls applicable to the proposed development are listed below:

- Northern Beaches Local Environmental Plan (LEP)
- Northern Beaches Development Control Plan (DCP)

### **4.2 State Environmental Planning Policy - BASIX**

Relevant provisions require that all works over \$50,000.00 must be certified as achieving BASIX.

The works are not over \$50,000.