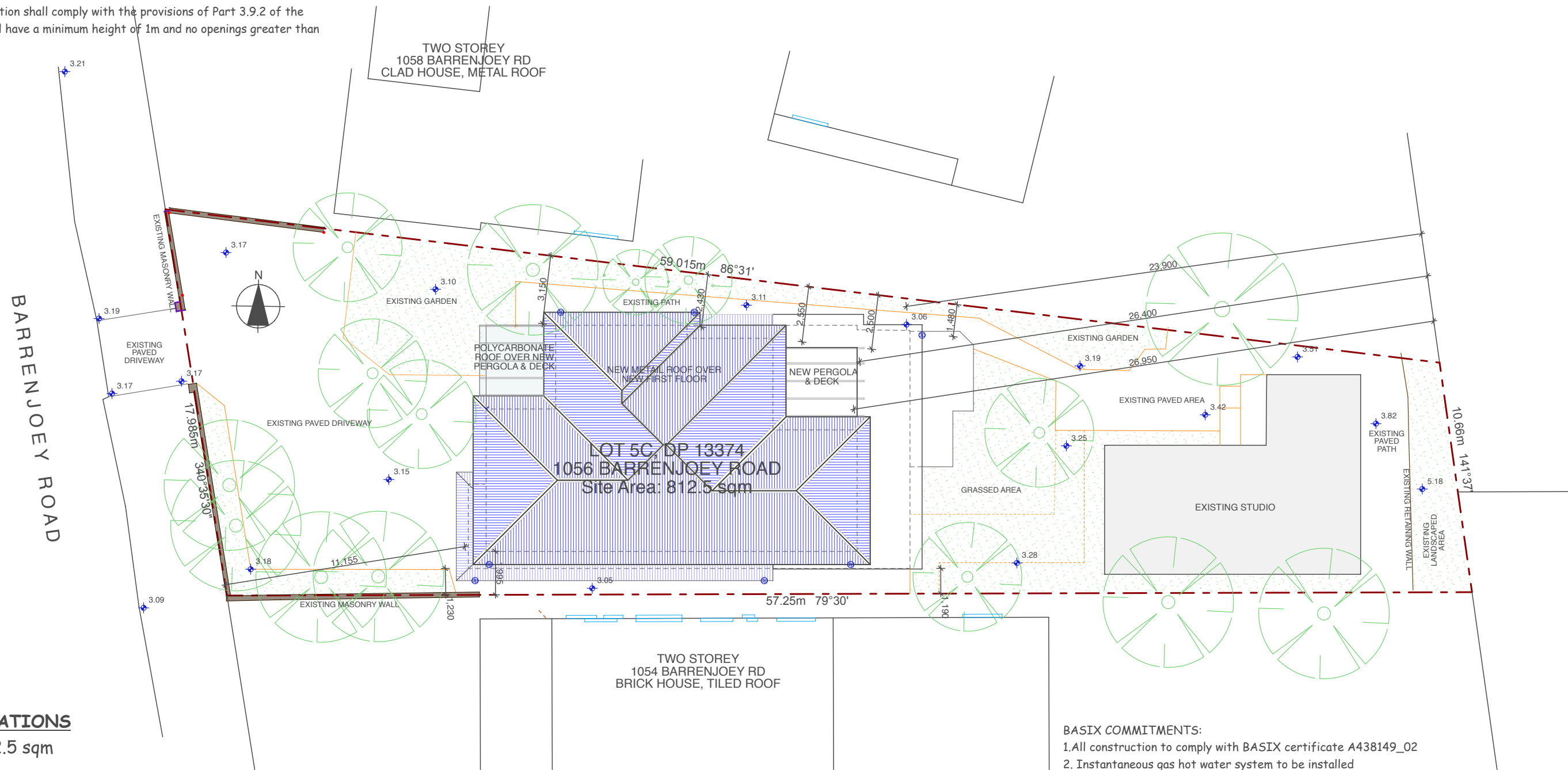


GENERAL NOTES

1. The Works shall be constructed in accordance with NCC2019/BCA and all relevant Australian Standards together with any amendment or replacement of those Standards

2.Smoke alarms shall be installed in accordance with 3.7.5 of the BCA, AS 3786 and Manufacturers Specification recommendations and connected to consumer mains power and interconnected where there is more than one alarm

3. Balustrade construction shall comply with the provisions of Part 3.9.2 of the BCA . Balustrades shall have a minimum height of 1m and no openings greater than 125mm



SITE CALCULATIONS

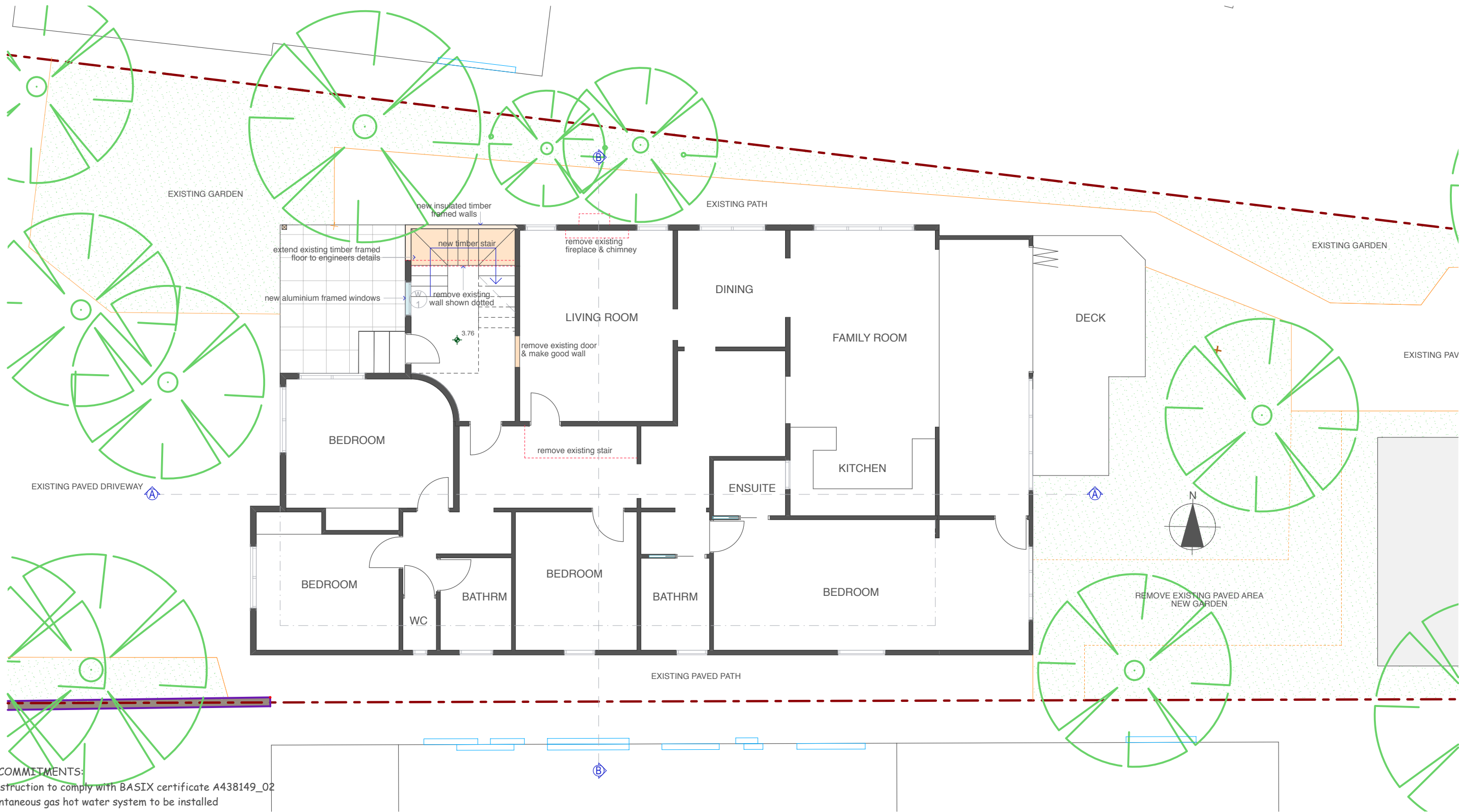
Site Area : 812.5 sqm

Existing Landscaped area - 188sqm = 23.14%

Proposed Landscaped area - 213 sqm = 26.22%
+ 48 sqm (impervious uncovered recreational space)
TOTAL Landscaped area -261sqm = 32.12%

- BASIX COMMITMENTS:
- 1.All construction to comply with BASIX certificate A438149_02
 - 2. Instantaneous gas hot water system to be installed
 - 3.40% of all new or altered lighting fixtures to be fluorescent, compact fluorescent or LED
 - 4. Minimum 3 star water rating shower heads to be installed
 - 5. Minimum 3 star water rating toilets to be installed
 - 6.Minimum 3 star water taps to be installed
 - 7.Minimum R0.6 insulation to be installed below all suspended timber framed floors with enclosed subfloor
 - 8. Minimum R1.3 insulation to be installed to all external timber framed walls (minimum combined Rvalue with construction R1.7)
 - 9.Flat ceilings with pitched roofs to have minimum 55m foil backed insulating blanket installed below all roofs with minimum R1.95 insulation to ceiling

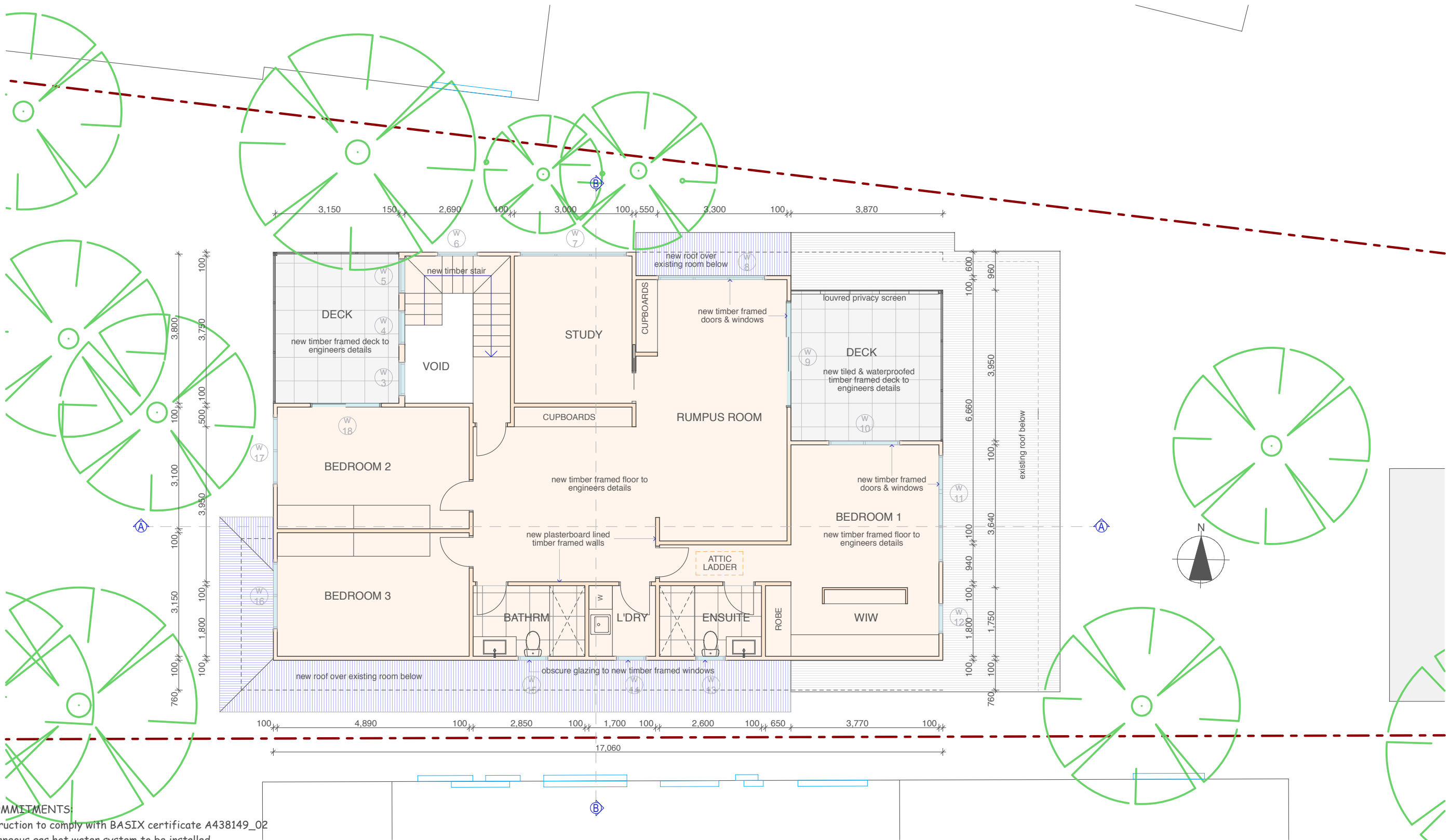
AMENDMENTS 'A' -APRIL 2022 -RUMPUS ROOM REDUCED IN SIZE, W7 & W8 MODIFIED SIZE	JO WILLMORE DESIGNS 11 Hudson Parade Clareville NSW 2107 9918 2479 ABN 27 370 370 173	PROPOSED ALTERATIONS & ADDITIONS for: J.Bryant at: LOT 5C, DP 13374, 1056 Barrenjoey Road PALM BEACH 2108	drawing title	date: November 2021
			SITE PLAN	scale: 1:200 (A3)
			NOTE: Use figured dimension only. Do not scale off drawings . All levels and dimensions to be verified prior to construction of work	drawing number DA- 01A



BASIX COMMITMENTS:

- 1.All construction to comply with BASIX certificate A438149_02
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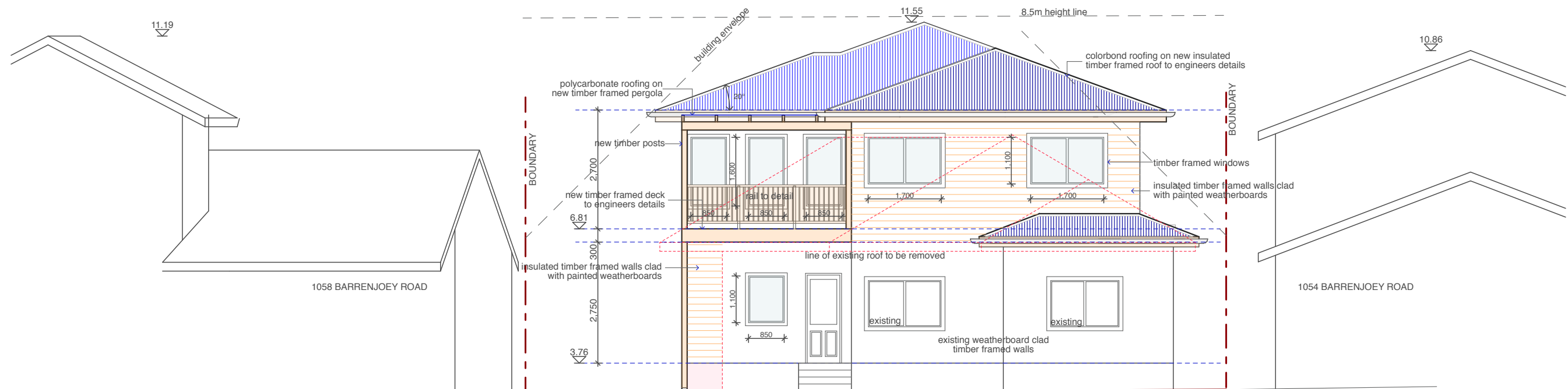
AMENDMENTS 'A'-APRIL 2022 -RUMPUS ROOM REDUCED IN SIZE, W7 & W8 MODIFIED SIZE	JO WILLMORE DESIGNS 11 Hudson Parade Clareville NSW 2107 9918 2479 ABN 27 370 370 173	PROPOSED ALTERATIONS & ADDITIONS for: J.Bryant at: LOT 5C, DP 13374, 1056 Barrenjoey Road PALM BEACH 2108	drawing title	date: November 2021
			GROUND FLOOR PLAN	scale: 1:100 (A3)
			NOTE: Use figured dimension only. Do not scale off drawings . All levels and dimensions to be verified prior to construction of work	drawing number DA- 02A



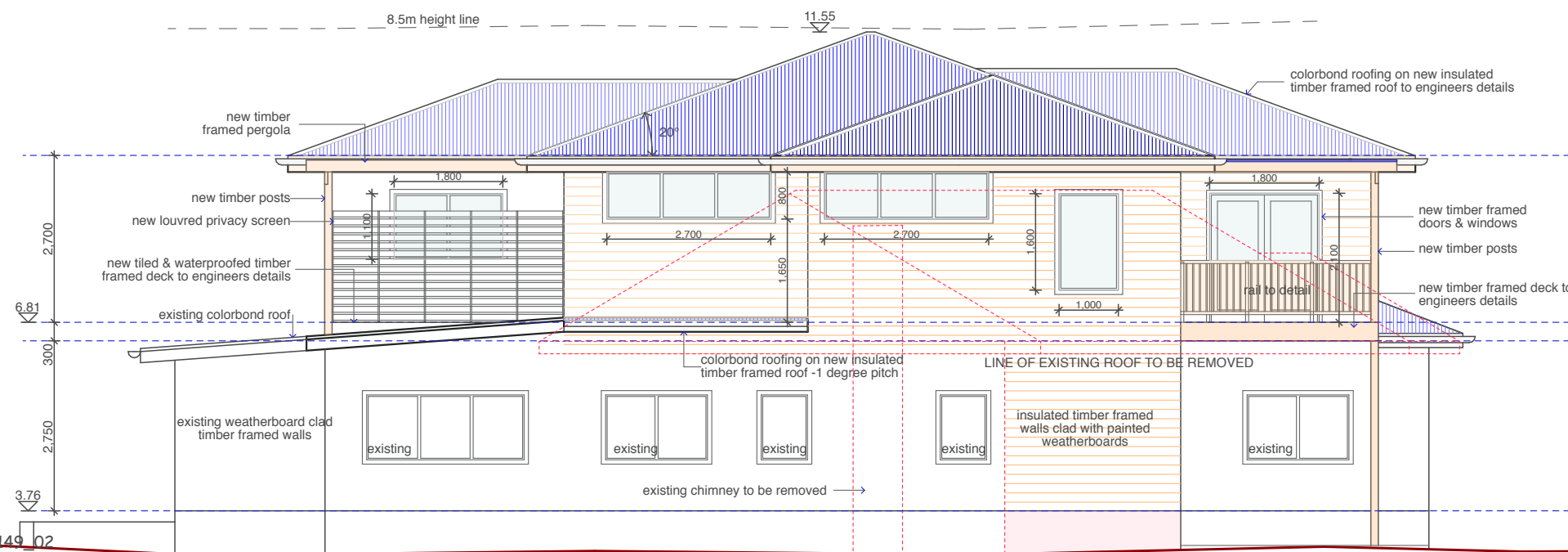
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AMENDMENTS 'A'-APRIL 2022 -RUMPUS ROOM REDUCED IN SIZE, W7 & W8 MODIFIED SIZE	JO WILLMORE DESIGNS 11 Hudson Parade Clareville NSW 2107 9918 2479 ABN 27 370 370 173	PROPOSED ALTERATIONS & ADDITIONS for: J.Bryant at: LOT 5C, DP 13374, 1056 Barrenjoey Road PALM BEACH 2108	drawing title	date: November 2021
			FIRST FLOOR PLAN NOTE: Use figured dimension only. Do not scale off drawings . All levels and dimensions to be verified prior to construction of work	scale: 1:100 (A3) drawing number DA- 03A



WEST ELEVATION

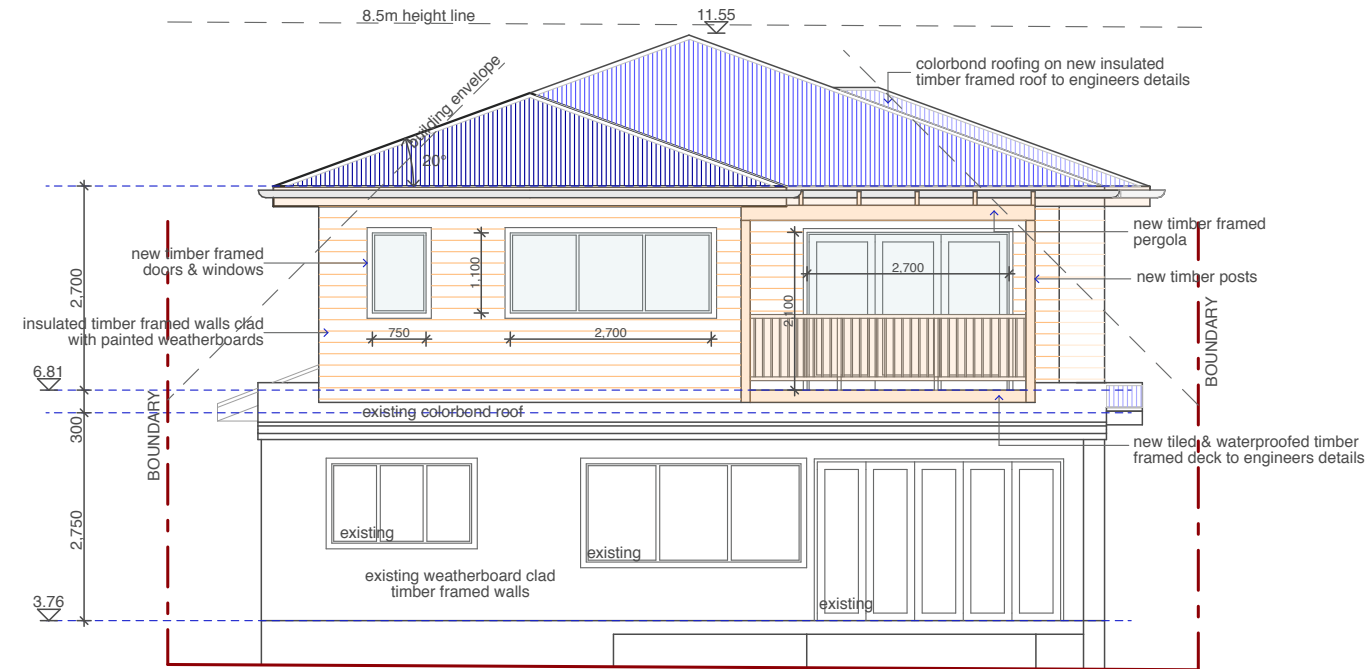


NORTH ELEVATION

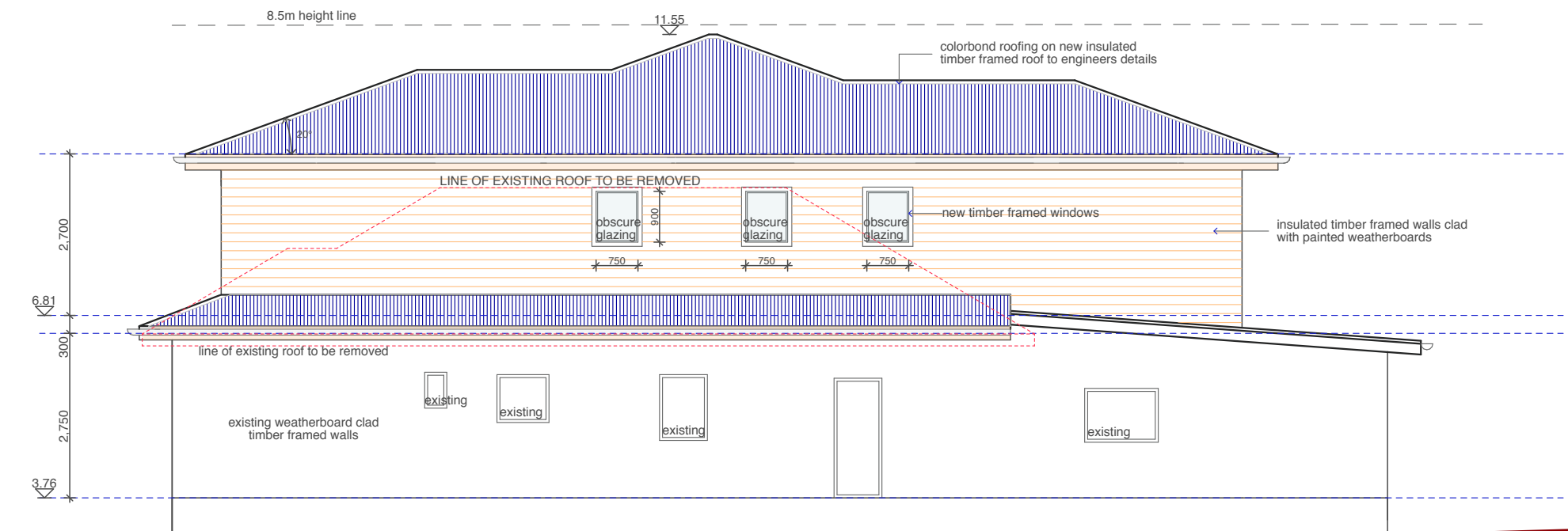
BASIX COMMITMENTS:

- 1.All construction to comply with BASIX certificate ~~4438149~~ 02
2. Instantaneous gas hot water system to be installed
- 3.40% of all new or altered lighting fixtures to be fluorescent, compact fluorescent or LED
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			ELEVATIONS	scale: 1:100 (A3)
			NOTE: Use figured dimension only. Do not scale off drawings . All levels and dimensions to be verified prior to construction of work	drawing number DA- 04A



EAST ELEVATION

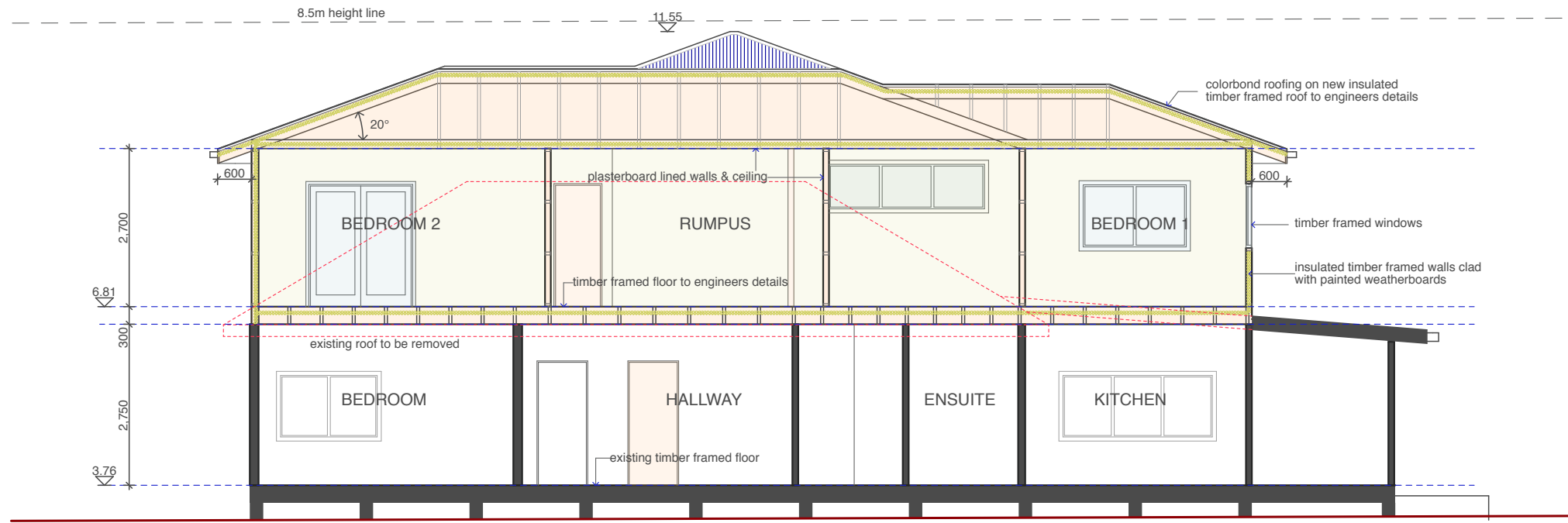


SOUTH ELEVATION

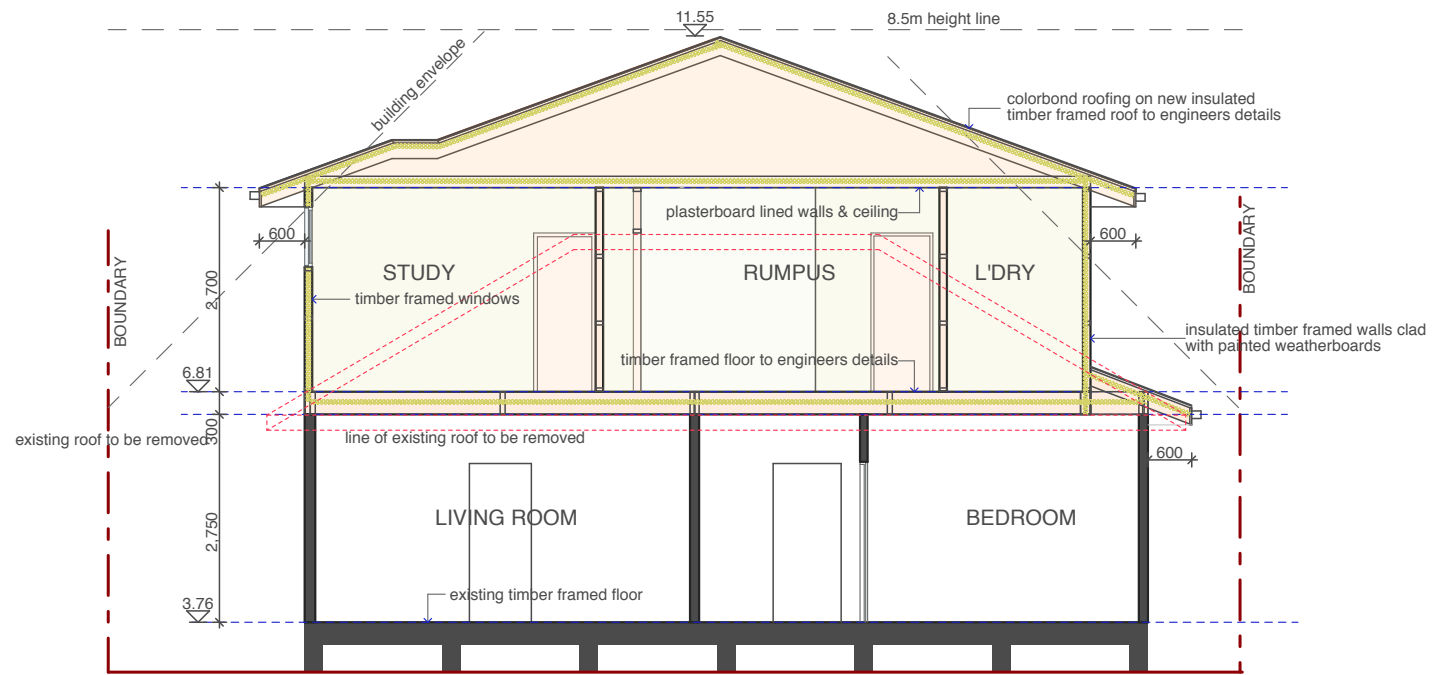
BASIX COMMITMENTS:

- 1.All construction to comply with BASIX certificate A438149_02
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AMENDMENTS 'A'-APRIL 2022 -RUMPUS ROOM REDUCED IN SIZE, W7 & W8 MODIFIED SIZE	JO WILLMORE DESIGNS 11 Hudson Parade Clareville NSW 2107 9918 2479 ABN 27 370 370 173	PROPOSED ALTERATIONS & ADDITIONS for: J.Bryant at: LOT 5C, DP 13374, 1056 Barrenjoey Road PALM BEACH 2108	drawing title	date: November 2021
			ELEVATIONS	scale: 1:100 (A3)
			NOTE: Use figured dimension only. Do not scale off drawings . All levels and dimensions to be verified prior to construction of work	drawing number DA- 05A



SECTION AA

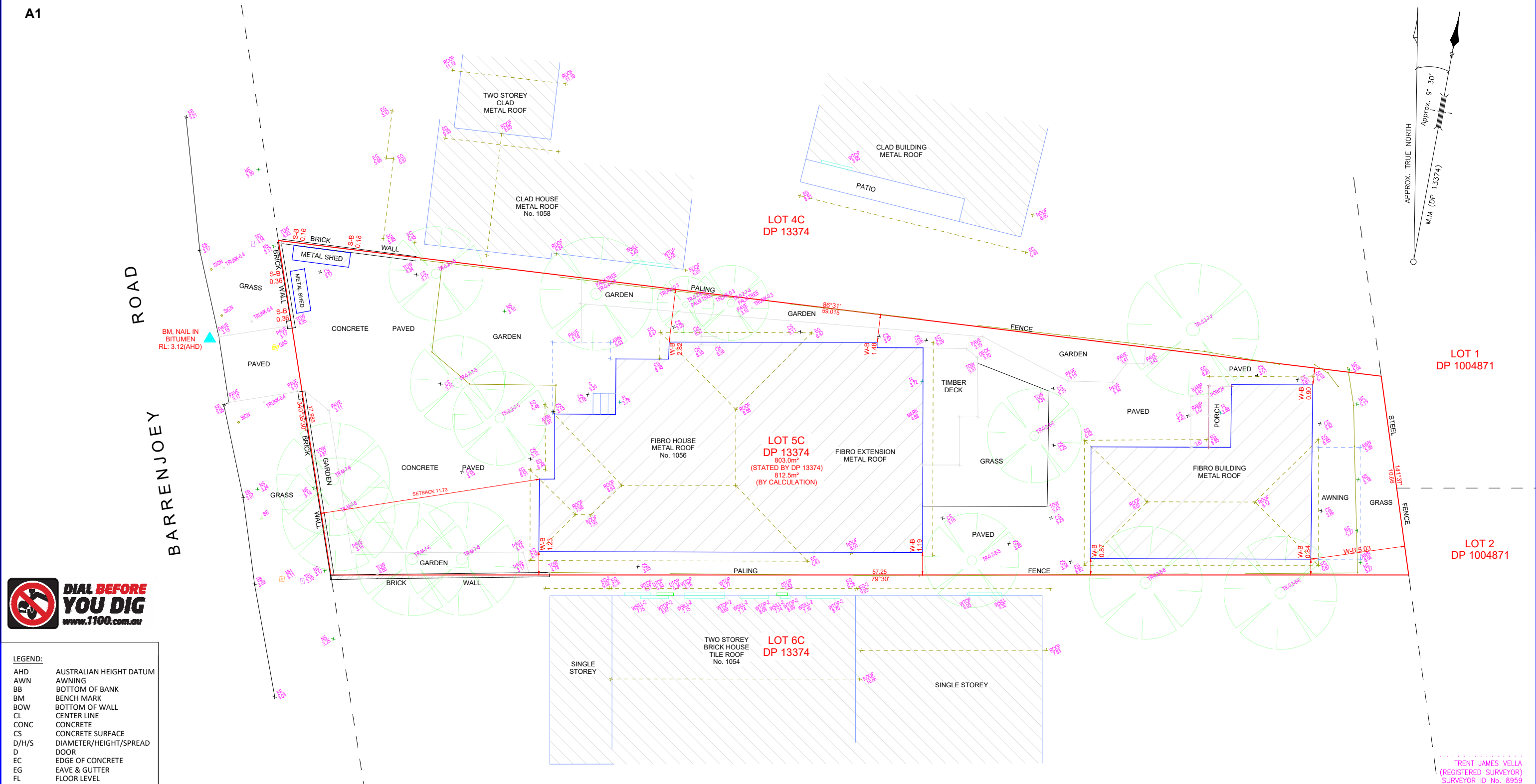


SECTION BB

BASIX COMMITMENTS:

1. All construction to comply with BASIX certificate A438149_02
2. Instantaneous gas hot water system to be installed
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6. Minimum 3 star water taps to be installed
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<p>AMENDMENTS</p> <p>'A' - APRIL 2022 - RUMPUS ROOM REDUCED IN SIZE, W7 & W8 MODIFIED SIZE</p>	<p>JO WILLMORE DESIGNS</p> <p>11 Hudson Parade</p> <p>Clareville NSW 2107</p> <p>9918 2479</p> <p>ABN 27 370 370 173</p>	<p>PROPOSED ALTERATIONS & ADDITIONS</p> <p>for: J. Bryant</p> <p>at: LOT 5C, DP 13374, 1056 Barrenjoey Road</p> <p>PALM BEACH 2108</p>	<p>drawing title</p> <p>SECTIONS</p> <p>NOTE: Use figured dimension only. Do not scale off drawings. All levels and dimensions to be verified prior to construction of work</p>	<p>date: November 2021</p> <p>scale: 1:100 (A3)</p> <p>drawing number</p> <p>DA- 06A</p>
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LEGEND:	
AHD	AUSTRALIAN HEIGHT DATUM
AWN	AWNING
BB	BOTTOM OF BANK
BM	BENCH MARK
BOW	BOTTOM OF WALL
CL	CENTER LINE
CONC	CONCRETE
CS	CONCRETE SURFACE
D/H/S	DIAMETER/HEIGHT/SPREAD
D	DOOR
EC	EDGE OF CONCRETE
EG	EAVE & GUTTER
FL	FLOOR LEVEL
GDN	GARDEN
HYD	HYDRANT
IL	INVERT LEVEL
LH	LAMP HOLE
NS	NATURAL SURFACE
PAV	PAVERS
PP	POWER POLE
RL	REDUCED LEVEL
S	STEPS
S-B	SHED TO BOUNDARY
SL	SURFACE LEVEL
SILL	WINDOW SILL
SV	STOP VALE
TB	TOP OF BANK
TEL	TELSTRA PIT
TK	TOP OF KERB
TOW	TOP OF WALL
TRW	TOP OF RETAINING WALL
VC	VEHICLE CROSSING
W	WINDOW
W-B	WALL TO BOUNDARY
WM	WATER METER
WTOP	TOP OF WINDOW

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C&A SURVEYORS
30 Grose Street, Parramatta, NSW 2150
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www.candasurveyors.com.au

DETAIL & BOUNDARY IDENTIFICATION
SURVEY OF
LOT 5C IN DP 13374, LOCATED AT
No.1056, BARRENJOEY ROAD, PALM BEACH.

S

W

E

TELSTRA PIT

WATER METER

STOP VALE

HYDRANT

POWER POLE

APPROXIMATE LOCATION OF BURIED
SEWER MAIN BY SYDNEY WATER RECORDS
WATER MAIN (WM)
ELECTRIC LINE

S

D

TREE

D/H/S

DIAMETER/HEIGHT/SPREAD

INSTRUCTING PARTY:		JOHN BRYANT		SURVEYED BY: AA		DATUM: AHD			
LGA: NORTHERN BEACHES	AREA BY DP:	803.0 m²	DRAWN BY: SE	CHECKED BY: JD					
SURVEY DATE: 23/8/2021	AREA BY CALC:	812.5 m²	SCALE: 1:100@A1	REF.NO: 18685 - 21 DET/ID					
DATE DRAWN: 30/8/2021	CONTOUR INTERVAL	--m	REV NO: 01	SHEET: 1 OF 1					

THE SUBJECT TITLE NOTES : AS AT 20/8/2021

- RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- B66281 COVENANT
- AF80092 MORTGAGE TO AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED

NOTES:

A) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. SERVICES MAY EXIST WHICH ARE NOT SHOWN. THE RELEVANT SERVICE AUTHORITY SHOULD BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.

B) DIAMETER, HEIGHT & SPREAD OF TREES ARE APPROXIMATE ONLY.

C) LEVELS SHOWN ARE OF AUSTRALIAN HEIGHT DATUM.
ORIGIN OF LEVELS : SSM 12815, RL 3.40(AHD), CLASS E.



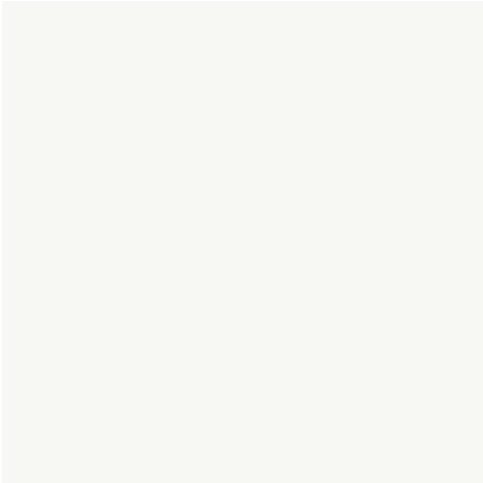

D) USE STATED DIMENSIONS. DO NOT SCALE.

E) THESE NOTES FORM PART OF THIS PLAN AND CANNOT BE REMOVED.

F) NO COVENANTS AND/OR RESTRICTIONS HAVE BEEN INVESTIGATED BY C & A SURVEYORS PTY LTD.

TRENT JAMES VELLA
(REGISTERED SURVEYOR)
SURVEYOR ID No. 8959

COLOUR SCHEDULE
ALTERATIONS & ADDITIONS
1056 BARRENJOEY ROAD, PALM BEACH
FOR: J. BRYANT

ROOF	WALLS
 <p>NEW & EXISTING -CORRUGATED COLORBOND ‘ WINDSPRAY’</p>	 <p><small>Dulux 4115</small> Silver Tea Set</p> <p>WEATHERBOARDS PAINTED SIMILAR TO DULUX ‘ SILVER TEA SET’</p>
TRIM/POSTS/FASCIAS	WINDOWS
 <p>PAINTED - WHITE</p>	 <p>TIMBER FRAMED- PAINTED WHITE</p>