DRAWING No. DESCRIPTION

DA5004

DA5005

Rapíd Plans www.rapídplans.com.au

P.O. Box 6193 Frenchs Forest DC NSW 2086

Fax: (02) 9905-8865 Mobile: 0414-945-024

Email: gregg@rapidplans.com.au

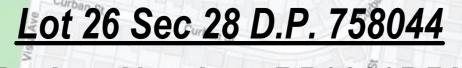


# **DEVELOPMENT APPLICATION**

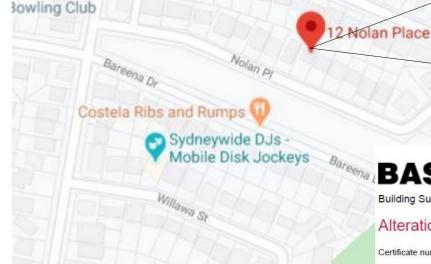
Alterations & Additions To Existing Residence

For Fe Design Interiors

12 Nolan Place, Balgowlah Heights 2093



Project Number: RP0320BRU



Snowbird Lodge



Building Sustainability Index www.basix.nsw.gov.au

## Alterations and Additions

Certificate number: A377470

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Date of issue: Friday, 15, May 2020

must be lodged within 3 months of the date of issue







Project address	
Project name	Bruzzano
Street address	12 Nolan Pl
Local Government Area	Northern Be
Plan type and number	Deposited F
Lot number	26
Section number	28
Project type	
Dwelling type	Separate dv
Type of alteration and addition	My renovati and include

escription

Bruzzano				
12 Nolan Place Balgowlah Heights 2093				
Northern Beaches Council				
Deposited Plan 758044				
26				
28				
Separate dwelling house				
My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).				

Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: Rapid Plans

ABN (if applicable): 43150064592

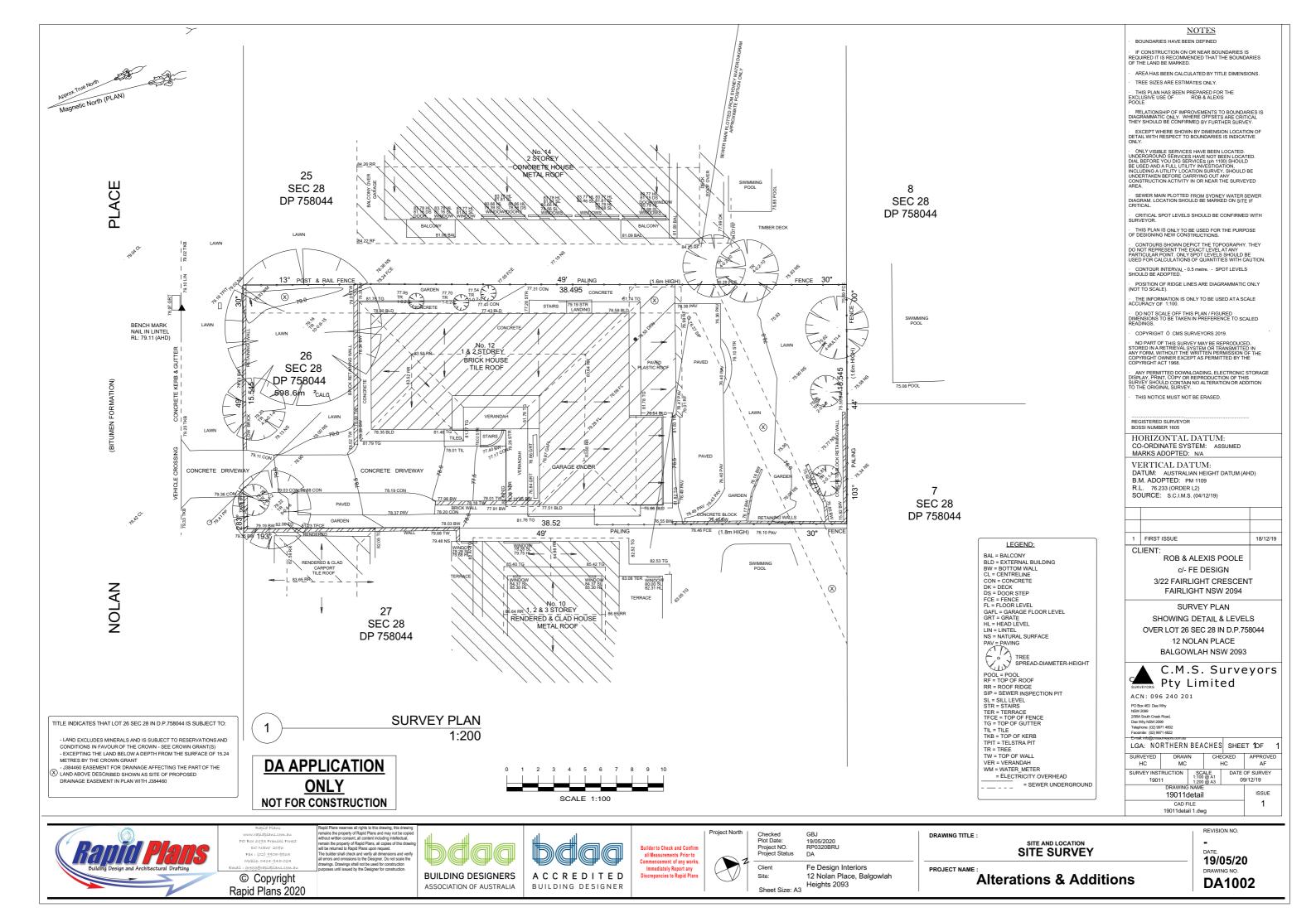
DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	-	- 19/05/20
DA1001	A4 NOTIFICATION PLAN	_	- 19/05/20
DA1002	SITE SURVEY	_	- 19/05/20
DA1003	SITE PLAN	_	- 19/05/20
DA1004	Existing Lower Ground Floor Plan	-	- 19/05/20
DA1005	Existing Ground Floor Plan	-	- 19/05/20
DA1006	Existing First Floor Plan	-	- 19/05/20
DA1007	Demolition Lower Ground Floor Plan	-	- 19/05/20
DA1008	Demolition Ground Floor Plan	-	- 19/05/20
DA1009	Demolition First Floor Plan	-	- 19/05/20
DA1010	Excavation & Fill Plan	-	- 19/05/20
DA1011	Landscape Open Space Plan Existing	-	- 19/05/20
DA1012	Landscape Open Space Plan Proposed	-	- 19/05/20
DA1013	Landscape Plan	-	- 19/05/20
DA1014	Sediment & Erosion Plan	-	- 19/05/20
DA1015	Waste Management Plan	-	- 19/05/20
DA1016	Stormwater Plan	-	- 19/05/20
DA1017	Floor Space Ratio Plan	-	- 19/05/20
DA2001	LOWER GROUND FLOOR	-	- 19/05/20
DA2002	GROUND FLOOR	-	- 19/05/20
DA2003	FIRST FLOOR	-	- 19/05/20
DA2004	ROOF	-	- 19/05/20
DA3000	SECTION 1	-	- 19/05/20
DA3001	SECTION DRIVE	-	- 19/05/20
DA3002	SECTION POOL	-	- 19/05/20
DA4000	ELEVATIONS 1	-	- 19/05/20
DA4001	ELEVATIONS 2	-	- 19/05/20
DA4002	ELEVATIONS 3	-	- 19/05/20
DA4003	ELEVATION FRONT FENCE	-	- 19/05/20
DA5000	PERSPECTIVE	-	- 19/05/20
DA5001	MATERIAL & COLOUR SAMPLE BOARD	-	- 19/05/20
DA5002	SHADOW PLAN 21 JUN at 0900h	-	- 19/05/20
DA5003	SHADOW PLAN 21 JUN at 1200h	-	- 19/05/20
DA5004	SHADOW DLAN 21 JUN et 1500b		10/05/20

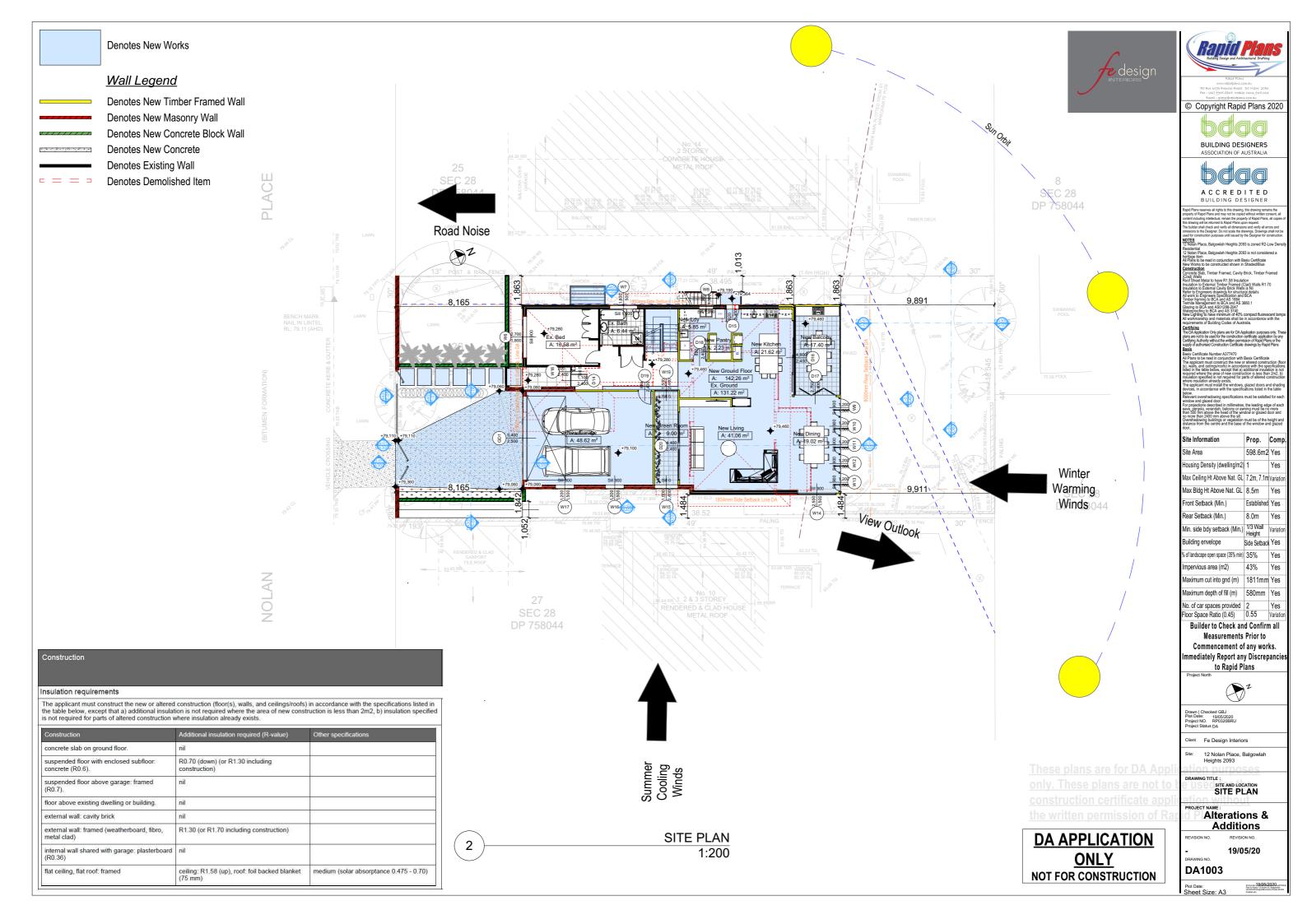
SHADOW PLAN 21 JUN at 1500h

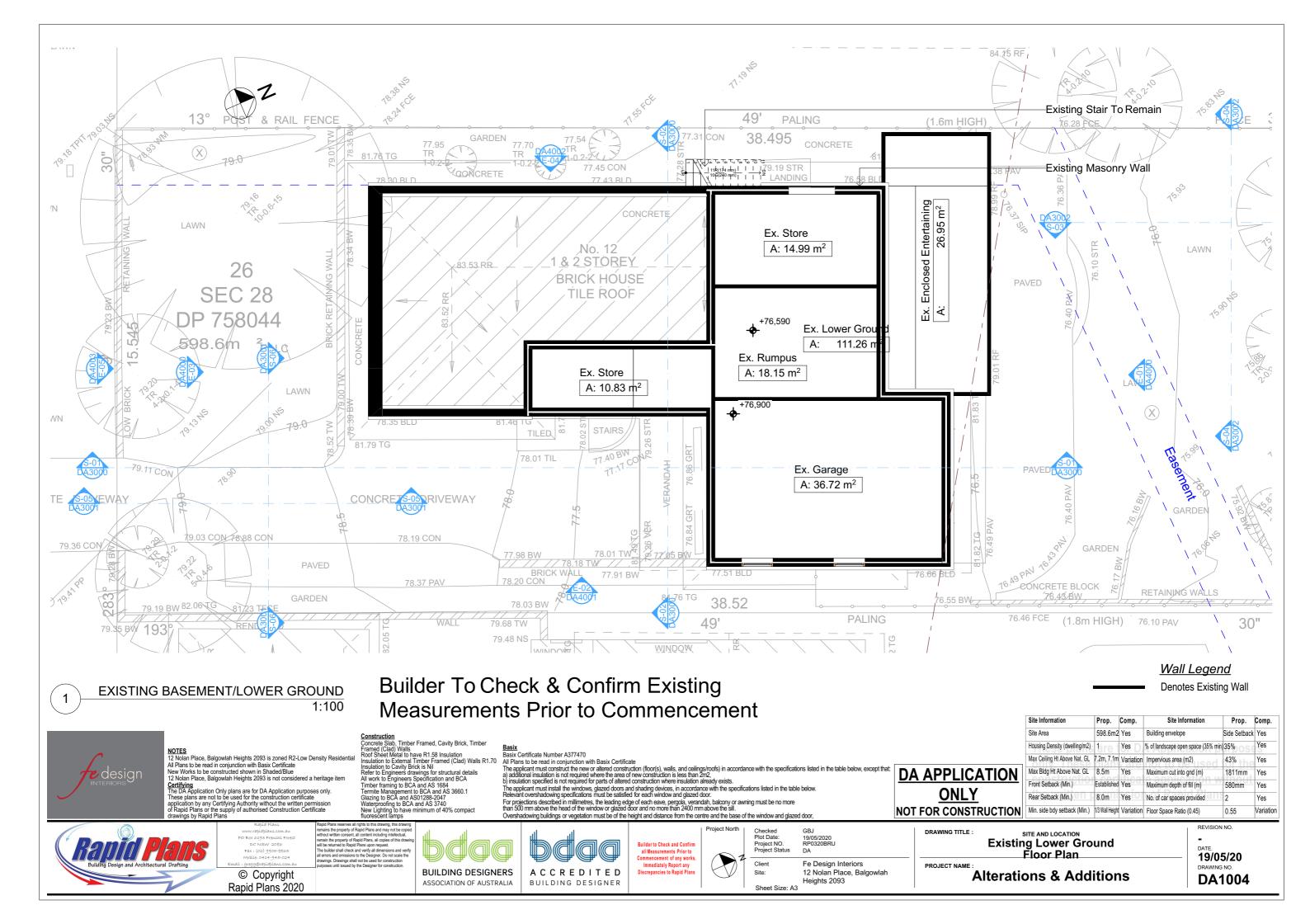
WALL ELEVATION SHADOWS 1

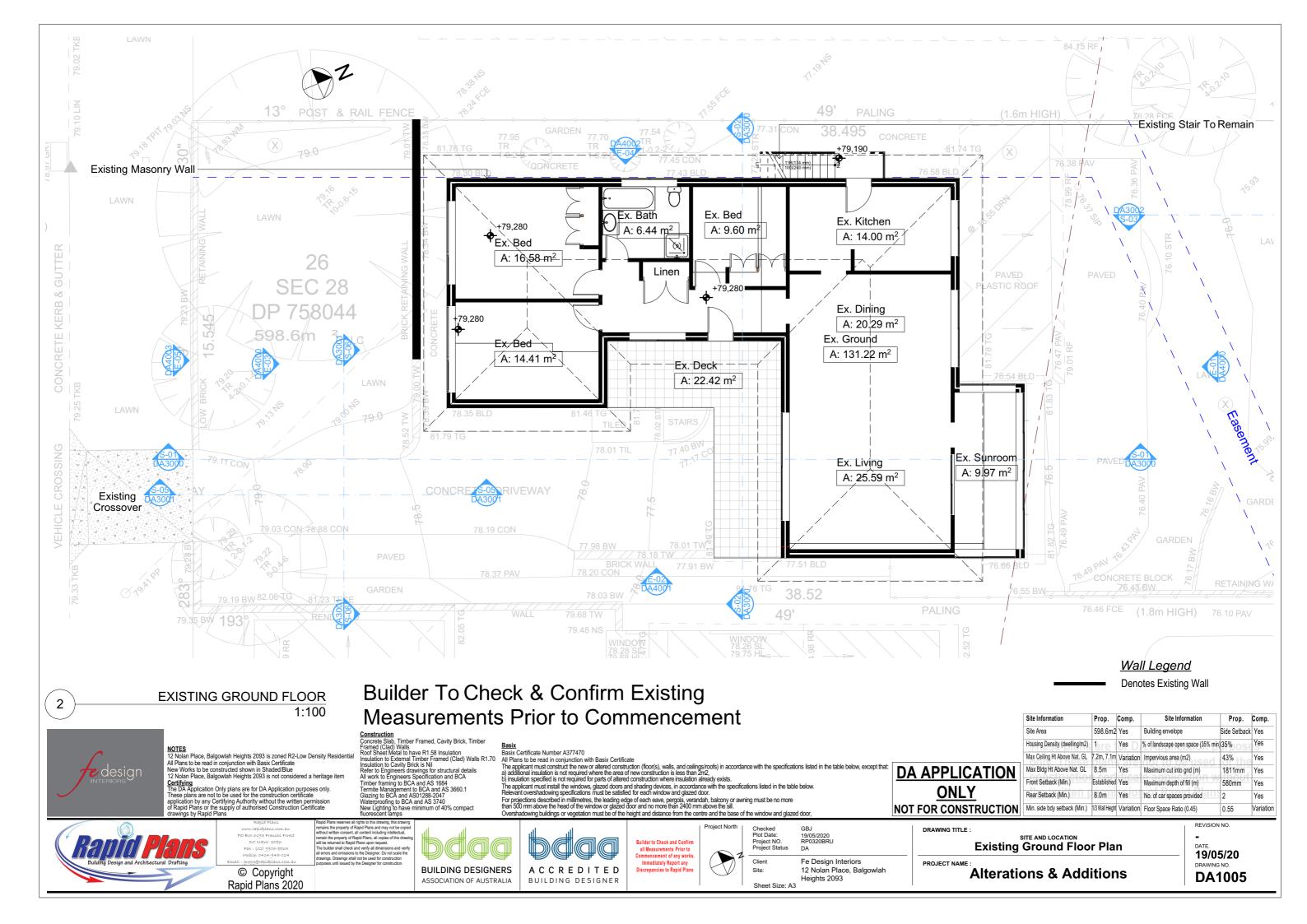
- 19/05/20

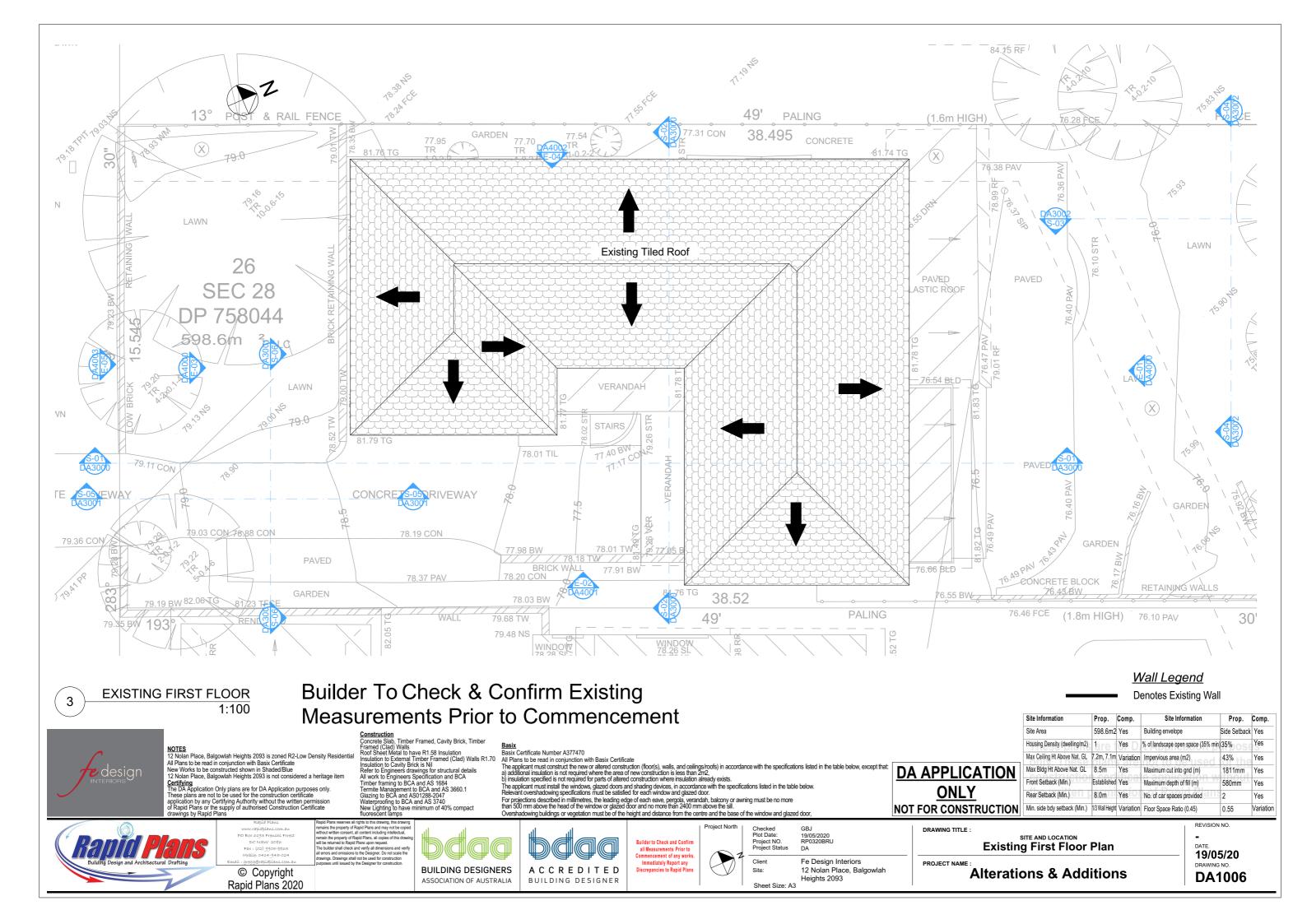
- 19/05/20

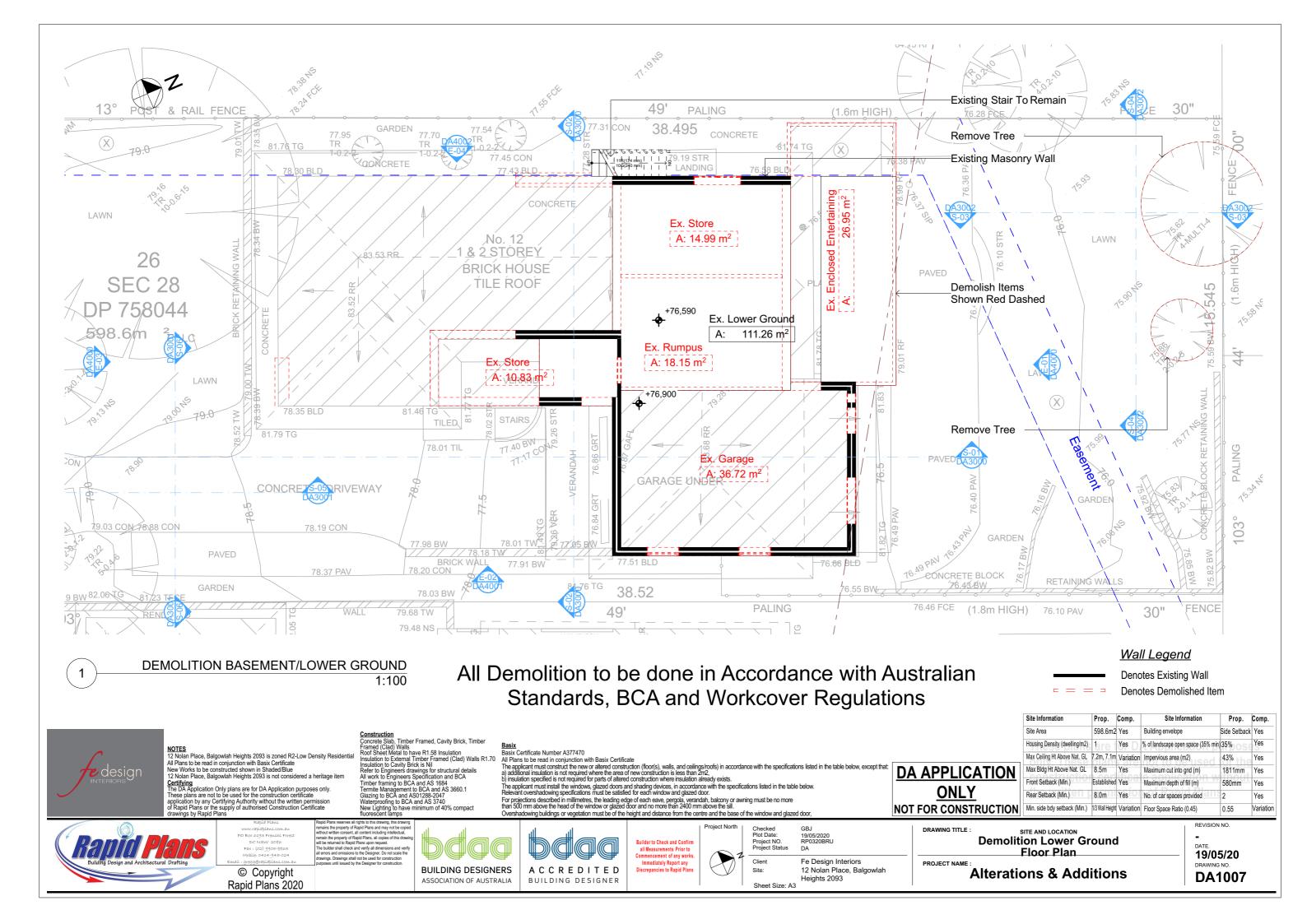


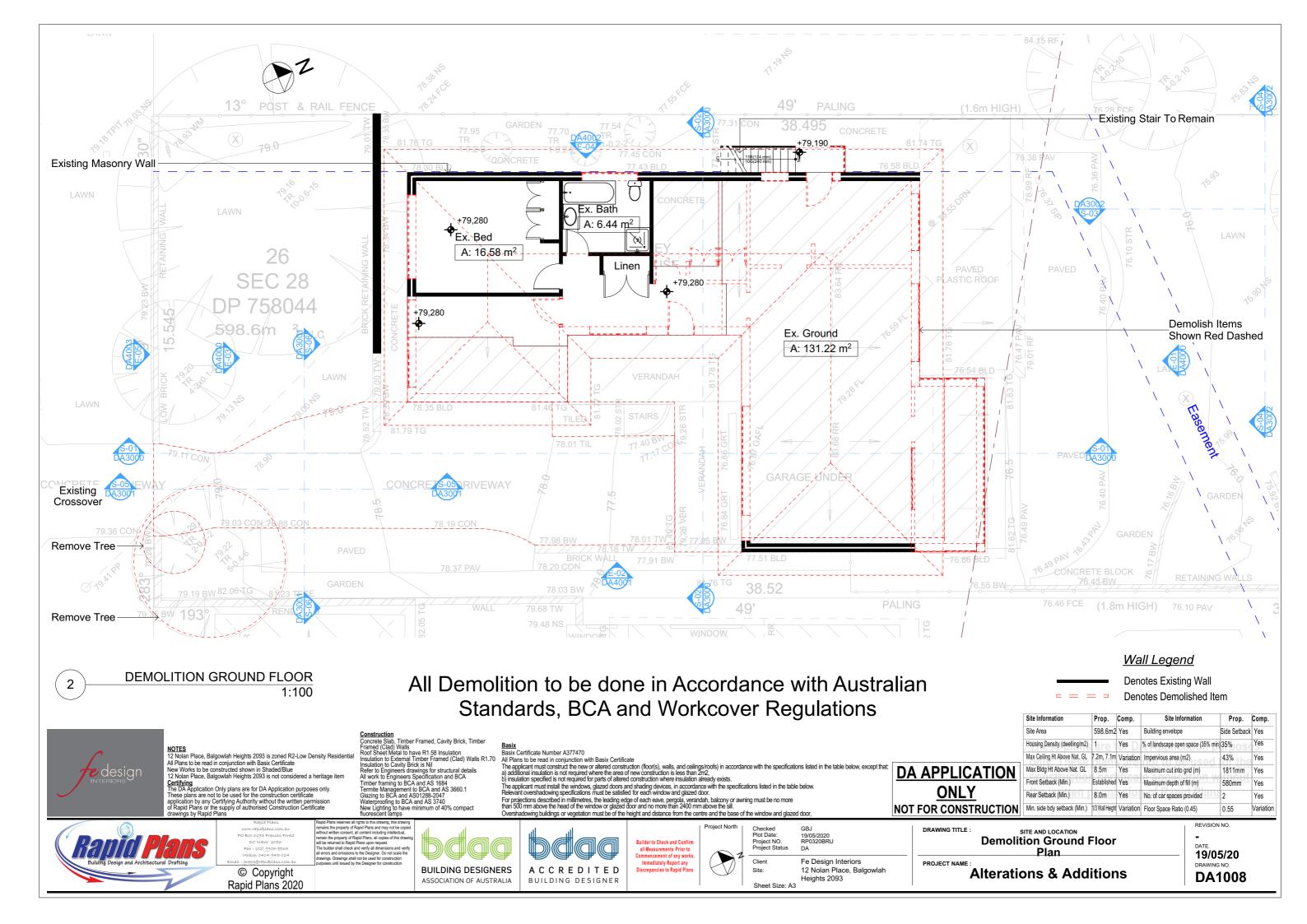


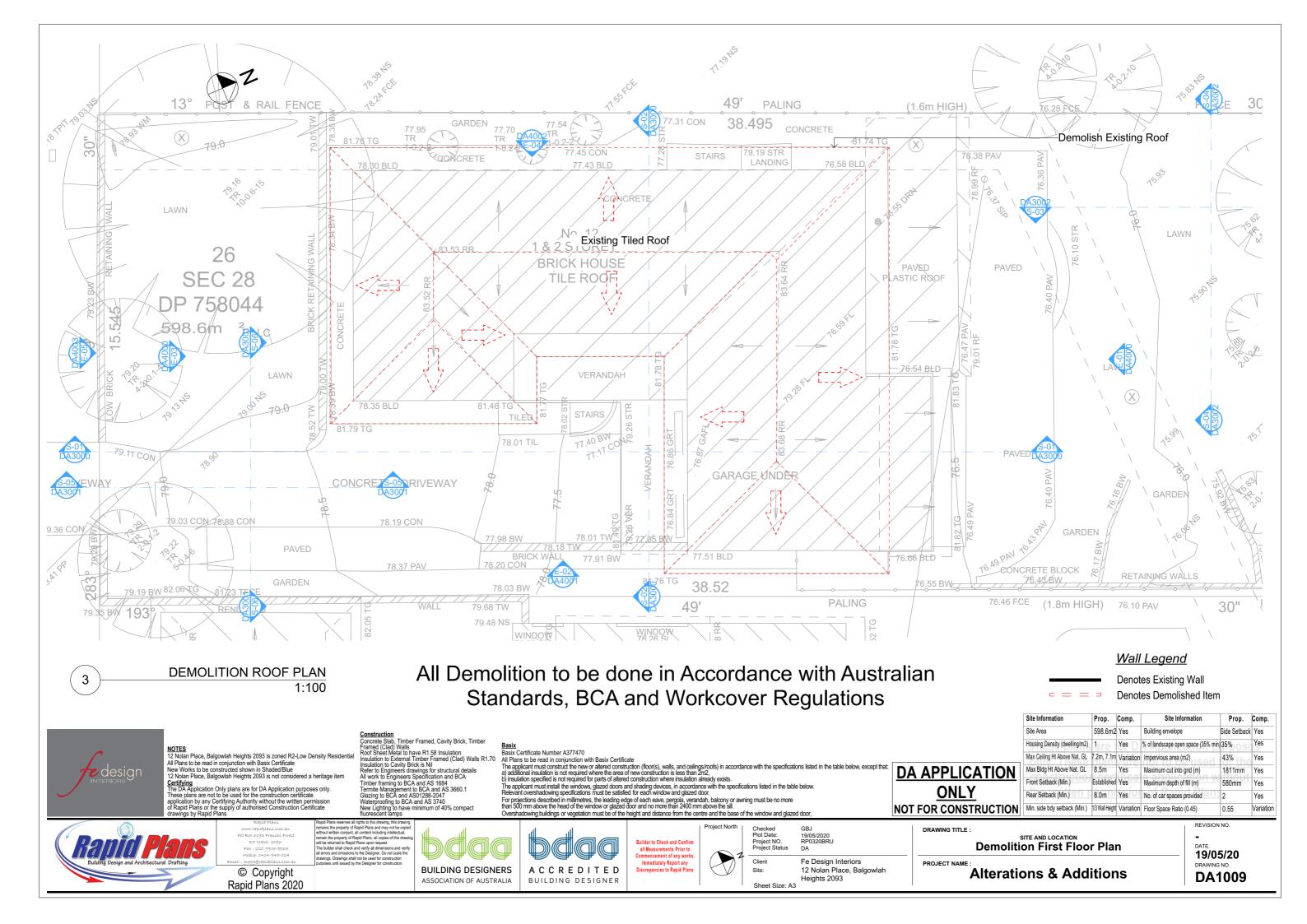


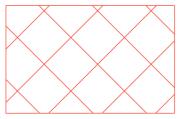












JEU 20 DP 758044

2

Denotes Excavation Area

A: 142,26 m<sup>2</sup>

Ex. Ground

A: 131.22 m<sup>2</sup>

New Living A: 41,06 m<sup>2</sup>



Area=37.16m3

Denotes Fill Area

SEC 2





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Site Information	Prop.	Com
Site Area	598.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variatio
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Established	Yes
Rear Setback (Min.)	8.0m	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variatio
Building envelope	Side Setback	Yes
% of landscape open space (35% min)	35%	Yes
Impervious area (m2)	43%	Yes
Maximum cut into gnd (m)	1811mm	Yes
Maximum depth of fill (m)	580mm	Yes
No. of car spaces provided	2	Yes
Floor Space Ratio (0.45)	0.55	Variatio

Builder to Check and Confirm all Measurements Prior to Commencement of any works. mmediately Report any Discrepancie to Rapid Plans



lient Fe Design Interiors

Site: 12 Nolan Place, Balgowlah Heights 2093

DRAWING TITLE:
SITE AND LOCATION
Excavation & Fill Plan

ROJECT NAME:
Alterations &

**Additions** 

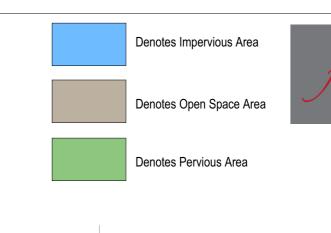
19/05/20

**ONLY** 

NOT FOR CONSTRUCTION

DA1010 R:Currert 19/05/2020;usPCO Rob & Alaxis 12 Nolan St, Salgoulah VachiCAD Dwgirl Bruzzano Poole-22-OA FinalisA.pln









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Site Information	Prop.	Comp
Site Area	598.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Established	Yes
Rear Setback (Min.)	8.0m	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation
Building envelope	Side Setback	Yes
% of landscape open space (35% min)	35%	Yes
Impervious area (m2)	43%	Yes
Maximum cut into gnd (m)	1811mm	Yes
Maximum depth of fill (m)	580mm	Yes
No. of car spaces provided	2	Yes
Floor Space Ratio (0.45)	0.55	Variation

Builder to Check and Confirm all Measurements Prior to Commencement of any works. mmediately Report any Discrepancie to Rapid Plans

ient Fe Design Interiors

12 Nolan Place, Balgowlah Heights 2093

Landscape Open Space
Plan Existing

Alterations &

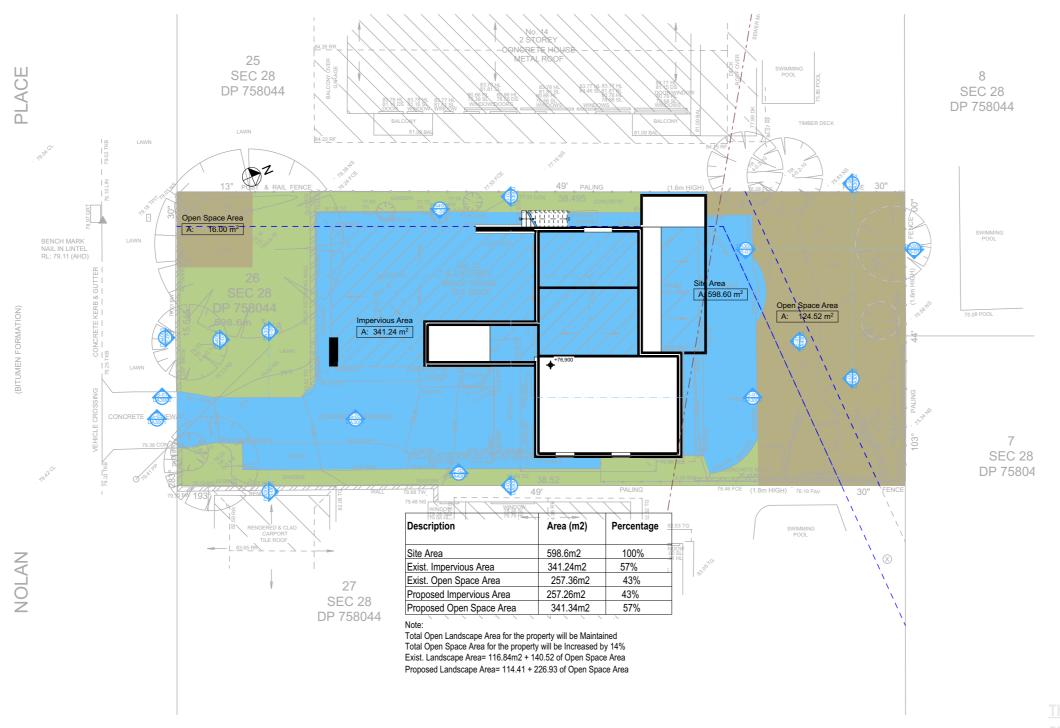
**Additions** 

19/05/20

**DA1011** 

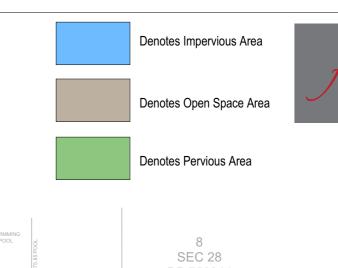
R:Current 19/05/2020 sePOO Rob & Alexie 12 Notes St. Balgowlah NothCAD DwglvBruzzano-Poole-22-GA FinalsA.pin

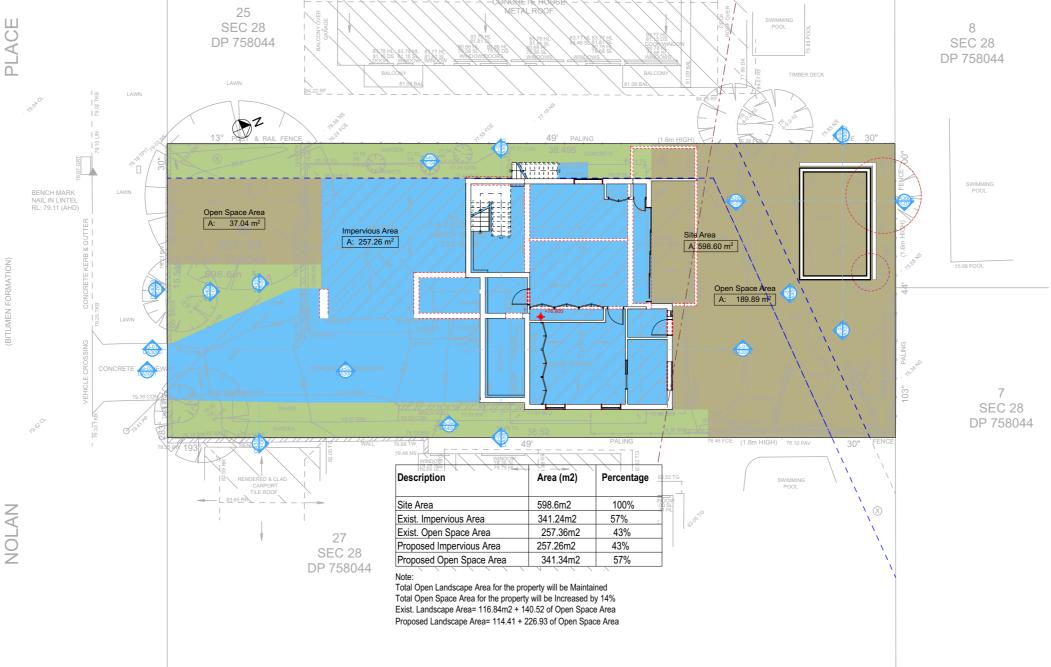




1LANDSCAPE OPEN SPACE EXISTING

1:200





LANDSCAPE OPEN SPACE PROPOSED 1:200

**DA APPLICATION ONLY** NOT FOR CONSTRUCTION



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0001,		
Site Information	Prop.	Comp
Site Area	598.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variatio
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Established	Yes
Rear Setback (Min.)	8.0m	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variatio
Building envelope	Side Setback	Yes
% of landscape open space (35% min)	35%	Yes
Impervious area (m2)	43%	Yes
Maximum cut into gnd (m)	1811mm	Yes
Maximum depth of fill (m)	580mm	Yes
No. of car spaces provided	2	Yes
Floor Space Ratio (0.45)	0.55	Variation

Builder to Check and Confirm all Measurements Prior to Commencement of any works. mmediately Report any Discrepancie to Rapid Plans



ient Fe Design Interiors

12 Nolan Place, Balgowlah Heights 2093

DRAWING TITL SITE AND LOCATION

Landscape Open Space

Plan Proposed

Alterations & **Additions** 

19/05/20

DA1012

R:Current 19/05/2020 sePOO Rob & Alexie 12 Notes St. Balgowlah NothCAD DwglvBruzzano-Poole-22-GA FinalsA.pin







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2 Notial Flack, balgowiah Flegins 2033 is 2011e0 R2-2008 Lesidential 2 Notian Place, Balgowiah Heights 2033 is not considered a eritage item II Plans to be read in conjunction with Basix Certificate lew Works to be constructed shown in Shaded/Blue onstruction

oncrete Siab, Timber Framed, Cavity Brick, Timber Framed Walls
of Sheet Metal to have R1.56 Insulation
suitation to Edemail Timber Framed (Clar) Walls R1.70
utilities to Edemail Timber Framed (Clar) Walls R1.70
ifer to Engineers drawing, for structural details
work to Engineers Specification and BCA
mber framing to BCA and A\$ 1584
mile Management to BCA and A\$ 3606.1

Slazing to BCA and AS01288-2047 Valetproofing to BCA and AS 3740 Vew Lighting to have minimum of 40% compact fluorescent till vill workmanship and materials shall be in accordance with the equirements of building Codes of Australia. Pertifying IPB DA Annigation Only rilans are for DA Annigation numoses only.

a DA Aprilication Only plans are for DA Application purposes only. The ns are not to be used for the construction certificate application by any riflying Authority without the written permission of Rapid Plans or the poly of authorised Construction Certificate drawings by Rapid Plans six.

The applicant must constitute the new or altered construction (§), wells, and oedingstrools in accordance with the specificalt insted in the table below, except that a) additional insulation is required where the area of new constructions is less than 2m2. I insulation specified is not required for parts of altered construction where insulation arteady exists.

The applicant must install the windows, glazed doors and shad devices, in accordance with the specifications itseld in the table

Relevant overshadowing specifications must be satisfied for ewindow and glazard door. For projections described in millimetres, the leading edge of esave, pergola, everandah, balcony or awing must be no more than 500 mm above the head of the window or glazed door an on more than 2400 mm above the sill. Overshadowing buildings or vegetation must be of the height, idistance from the centre and the base of the window and glaz

Builder to Check and Confirm all Measurements Prior to Commencement of any works. mmediately Report any Discrepancie to Rapid Plans

Floor Space Ratio (0.45) 0.55 Variation

Project North



Project NO. RP0320BRU Project Status DA

Client Fe Design Interiors

**DA APPLICATION** 

**ONLY** 

NOT FOR CONSTRUCTION

ite: 12 Nolan Place, Balgowlah Heights 2093

RAWING TITLE:
SITE AND LOCATION
Landscape Plan

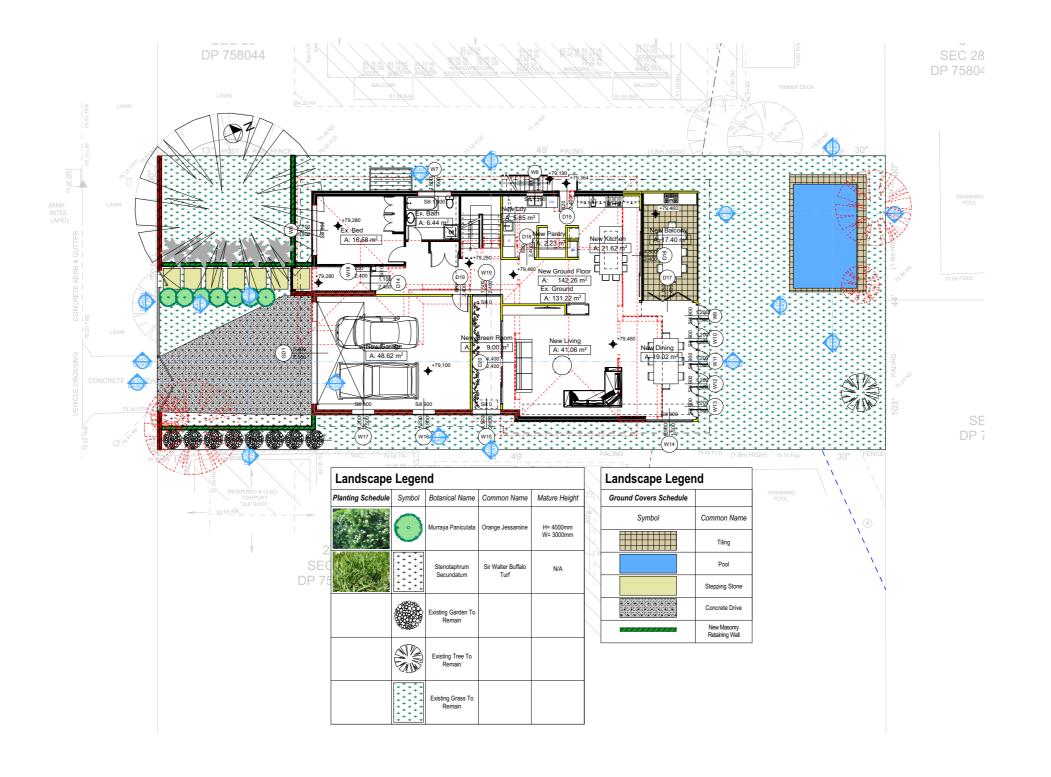
Additions

Additions

19/05/20

- 19/05/2 DRAWING NO. DA1013

Plot Date: Scared 19/05/2020 applications of the Control of the Co



LANDSCAPE PLAN 1:200

2



**Denotes New Works** 

Wall Legend

**Denotes New Timber Framed Wall** 

Denotes New Concrete Block Wall

Denotes New Masonry Wall

**Denotes New Concrete** 

**Denotes Existing Wall** 

Denotes Demolished Item

**ONLY** 

NOT FOR CONSTRUCTION





BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



Site Information	Prop.	Comp
Site Area	598.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Established	Yes
Rear Setback (Min.)	8.0m	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation
Building envelope	Side Setback	Yes
% of landscape open space (35% min)	35%	Yes
Impervious area (m2)	43%	Yes
Maximum cut into gnd (m)	1811mm	Yes
Maximum depth of fill (m)	580mm	Yes
No. of car spaces provided	2	Yes
Floor Space Ratio (0.45)	0.55	Variation

Builder to Check and Confirm all Measurements Prior to Commencement of any works. mediately Report any Discrepanci to Rapid Plans



Fe Design Interiors

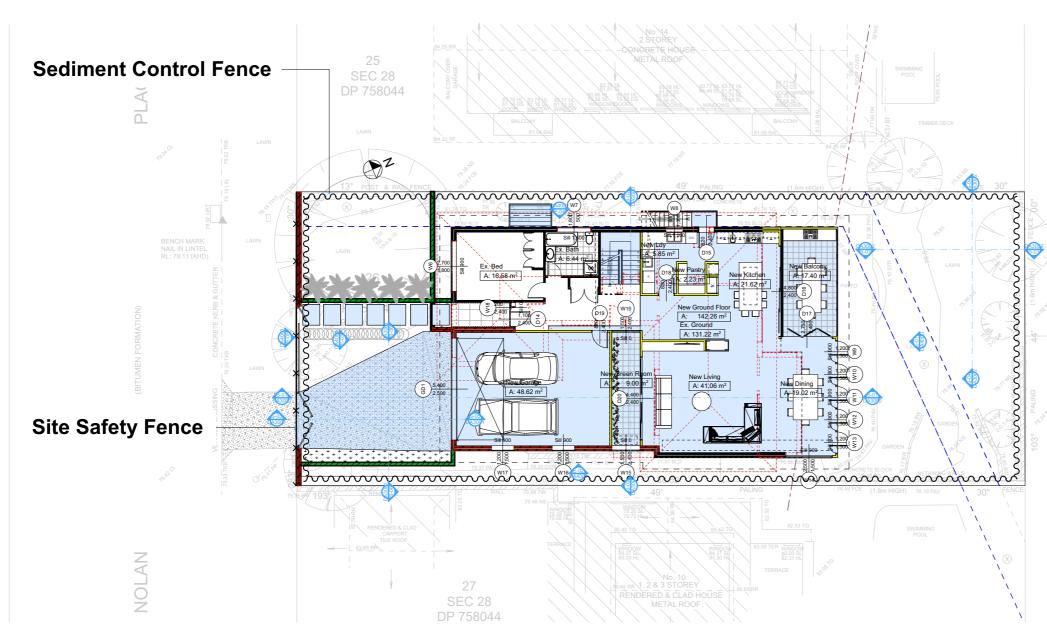
12 Nolan Place, Balgowlal Heights 2093

Site and Location
Sediment & Erosion Plan

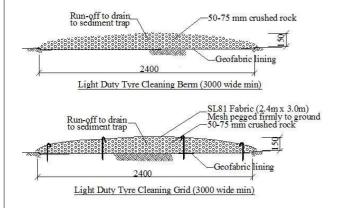
Alterations & **Additions** 

19/05/20

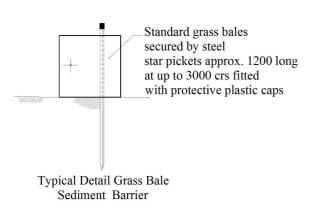
**DA1014** 

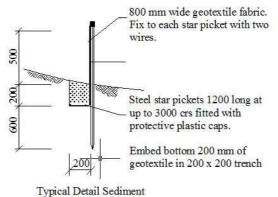


**SEDIMENT & EROSION CONTROL PLAN** 1:200

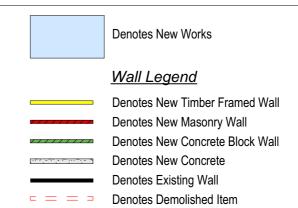


2





**DA APPLICATION** Control Barrier







PO Tex 6/35 Frenche Frent Do NSOV 2006
First (CD) 9/06-5565 Million 244-94-5-024
Email: grapp@majdplans.com.au

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IZ Nolan Place, Balgowlah Heights 2093 is zoned R2-Low D Kesidential I 2 Nolan Place, Balgowlah Heights 2093 is not considered a terlage Item II Plans to be read in conjunction with Basix Certificate Vew Works to be constructed shown in Shaded/Blue Construction

Construction
Concrete Slab, Timber Framed, Cavity Brick, Timber Fr
(Clad) Walls
Roof Sheet Media to have R1.58 Insulation
Insulation to External Timber Framed (Clad) Walls R1.7
Insulation to External Cavity Brick Walls is Mill
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber Training to BCA and AS 1694
Termile Management to BCA and AS 3690.1

Slazing to BCA and AS01288-2047 Valterproofing to BCA and AS 3740 Vew Lighting to have minimum of 40% compact fluorescent I Ill workmanship and materials shall be in accordance with the equirements of Building Codes of Australia.

IDA Application Only plans are for DA Application purposes only. The is are not to be used for the construction certificate application by any fifting Authority without the written permission of Rapid Plans or the ply of authorised Construction Certificate drawings by Rapid Plans six.

Set Certificate Number A377470

Plans to be read in conjunction with Basix Certificate applicant must construct the new or altered construction (flo walls, and ceilingsfroots) in accordance with the specification of the table below, except that a) additional insulation or und where the area of new construction is less than 2712, b) round where the area of new construction is less than 2712, b) construction of the construction of the construction per insulation largedly exists.

- applicant must install the windows, glazed doors and shadin cises, in accordance with the specifications isled in the table.

veni oversteadowing specimentum size of satisfied on experimental or section of the composition of the compo

Site Information Prop. Comp.
Site Area 598.6m2 Yes
Housing Density (dwelling/m2) 1 Yes
Max Ceiling Ht Above Nat. GL 7.2m, 7.1m Variation
Max Bldg Ht Above Nat. GL 8.5m Yes
Front Setback (Min.) Established Yes
Rear Setback (Min.) 8.0m Yes
Min. side bdy setback (Min.) 1/13 Wall Height
Building envelope Side Setback Yes
tof landscape open space (35% min) 35% Yes
mpervious area (m2) 43% Yes
Maximum cut into gnd (m) 1811mm Yes
Maximum depth of fill (m) 580mm Yes
No. of car spaces provided 2 Yes
Floor Space Ratio (0.45) 0.55 Variation

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancion to Rapid Plans

ject North

n | Checked GBJ Date: 19/05/2020 act NO. RP0320BRU

Client Fe Design Interiors

ite: 12 Nolan Place, Balgowlah Heights 2093

Heights 2093

DRAWING TITLE:
SITE AND LOCATION
Waste Management Plan

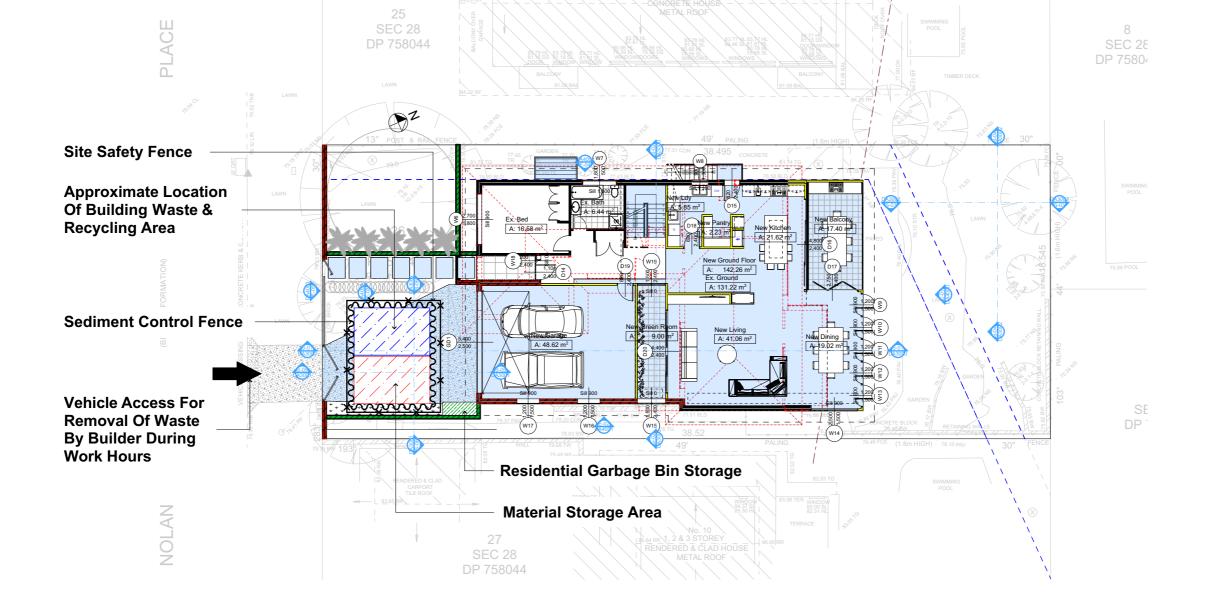
Alterations & Additions

Addition:

19/05/20 wing no.

DA1015

Date: R:Gument.
Rot A Alex
Vechicks)
Rot Size : A 3



2

The applicant must install the following heating system for the swimming pool that is part of this development: solar (gas boosted).



Wall Legend

Denotes Demolished Item







A C C R E D I T E D

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issulation to External Cavity Brick Walls is Nill added to Engineers drawings for structural details after to Engineers Geodetication and BCA commission of the Commission of

ritifying DA Application Only plans are for DA Application purposes only. Thes ns are not to be used for the construction certificate application by any rithing Authority without the written permission of Rapid Plans or the ply of authorised Construction Certificate drawings by Rapid Plans six

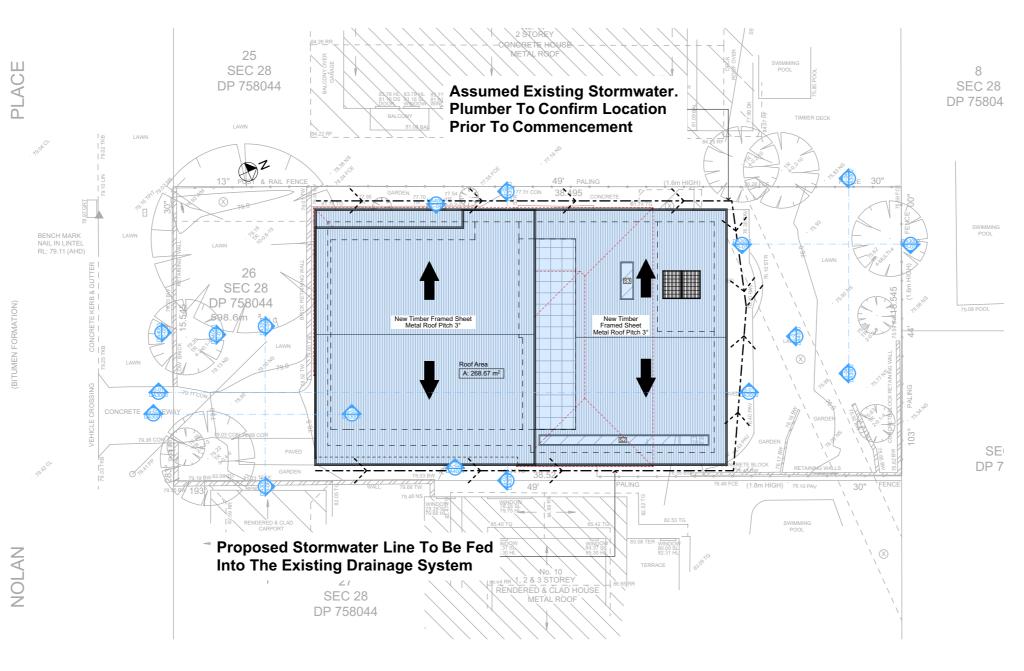
II Plans to be read in conjunction with Basix Certificate he applicant must construct the new or altered construction (floor it, walls, and ceilings/roofs) in accordance with the specifications clear in the table below, except that a) additional insulation is not outside where the area of new construction is less than 2nd, b) there is suited in already exists.

There insulation already exists.

The applicant must install the windows, glazed doors and shading evices, in accordance with the specifications istled in the table

www. overshadowing specifications must be satisfied for each ow and glazed door, must be satisfied for each ow and glazed door, must be satisfied for each own and glazed door, must be satisfied for each operation and satisfied for each of the satisfied

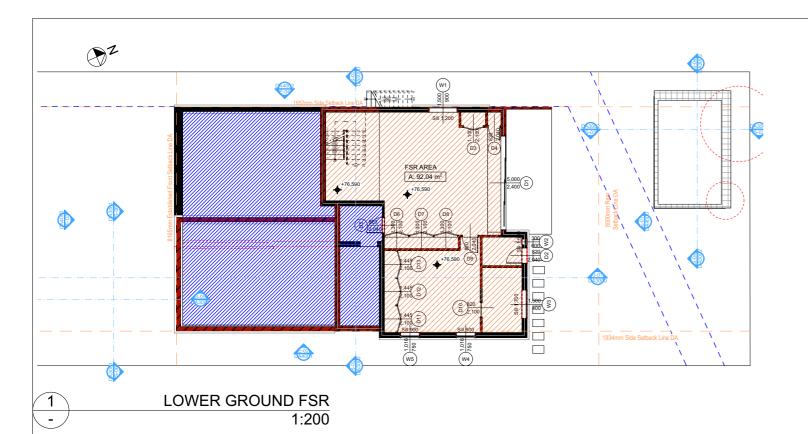
SE 1811mm Yes ximum cut into gnd (m) DP 7 eximum depth of fill (m) No. of car spaces provided 2 oor Space Ratio (0.45) 0.55 Builder to Check and Confirm all Measurements Prior to Commencement of any works. nmediately Report any Discrepanc to Rapid Plans Alterations & **Additions DA APPLICATION** 19/05/20 **ONLY DA1016** NOT FOR CONSTRUCTION

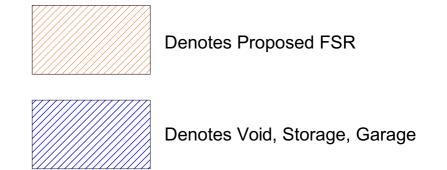


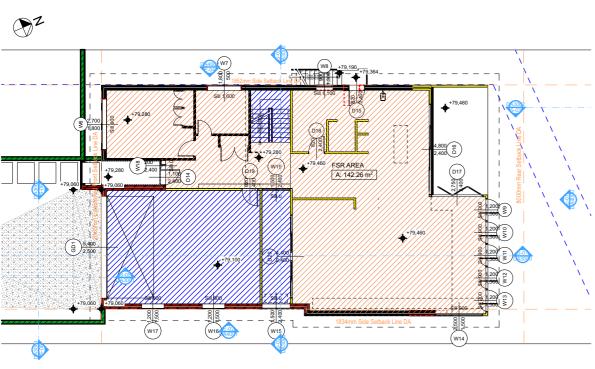
Plumber To Confirm Location Of Existing Stormwater/Sewer Prior To Commencement

1:200

STORMWATER PLAN







 $\bigcirc$ Z 1,200 N FIRST FLOOR FSR

**GROUND FLOOR FSR** 1:200

NOTES
12 Nolan Place, Balgowlah Heights 2093 is zoned R2-Low Density Residential All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
12 Nolan Place, Balgowlah Heights 2093 is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only.
These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Concrete Slab, Timber Framed, Cavity Brick, Timber Framed (Clad) Walls
Roof Sheet Metal to have R1.58 Insulation
Insulation to External Timber Framed (Clad) Walls R1.70
Insulation to Cavity Brick is Nil
Refer to Engineers Grawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 0366.1
Glazing to BCA and AS 3740
New Lightling to have minimum of 40% compact
fluorescent lamps

# Basix Certificate Number A377470

Basix Certificate Number A37/4/U

All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

# **DA APPLICATION ONLY** NOT FOR CONSTRUCTION

1:200

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	598.6m2	Yes	Building envelope	Side Setback	Yes
Housing Density (dwelling/m2)	are f	Yes	% of landscape open space (35% min	35% 056	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variation	Impervious area (m2)	43%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	1811mm	Yes
Front Setback (Min.)	Established	Yes	Maximum depth of fill (m)	580mm	Yes
Rear Setback (Min.)	8.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation	Floor Space Ratio (0.45)	0.55	Variation

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Discrepancies to Rapid Plans

North	Ci Pi Pr Pr
<b>^</b> ′	CI
\//	Si

Checked Plot Date: Project NO. Project Status 19/05/2020 RP0320BRU DA

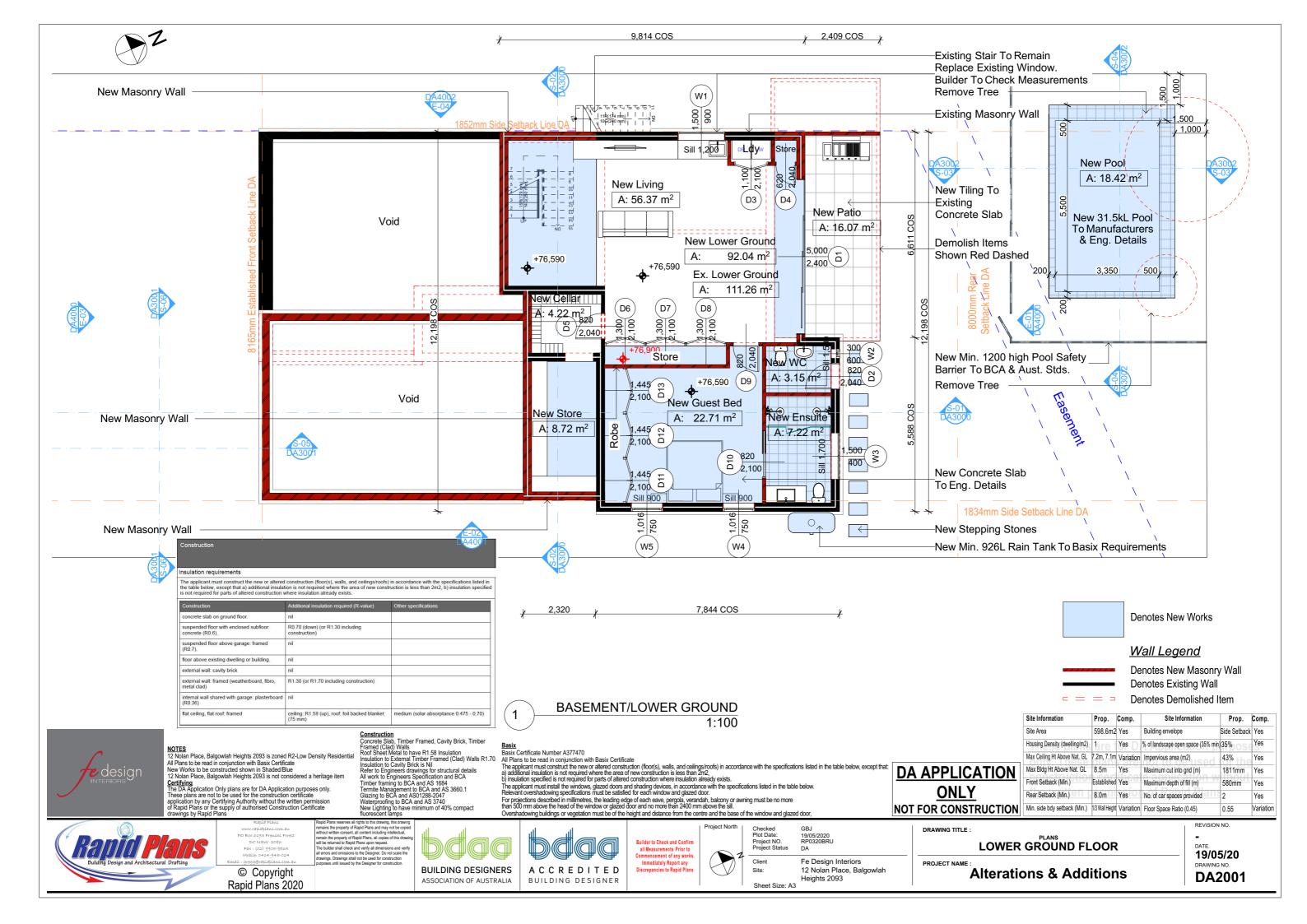
Fe Design Interiors 12 Nolan Place, Balgowlah DRAWING TITLE :

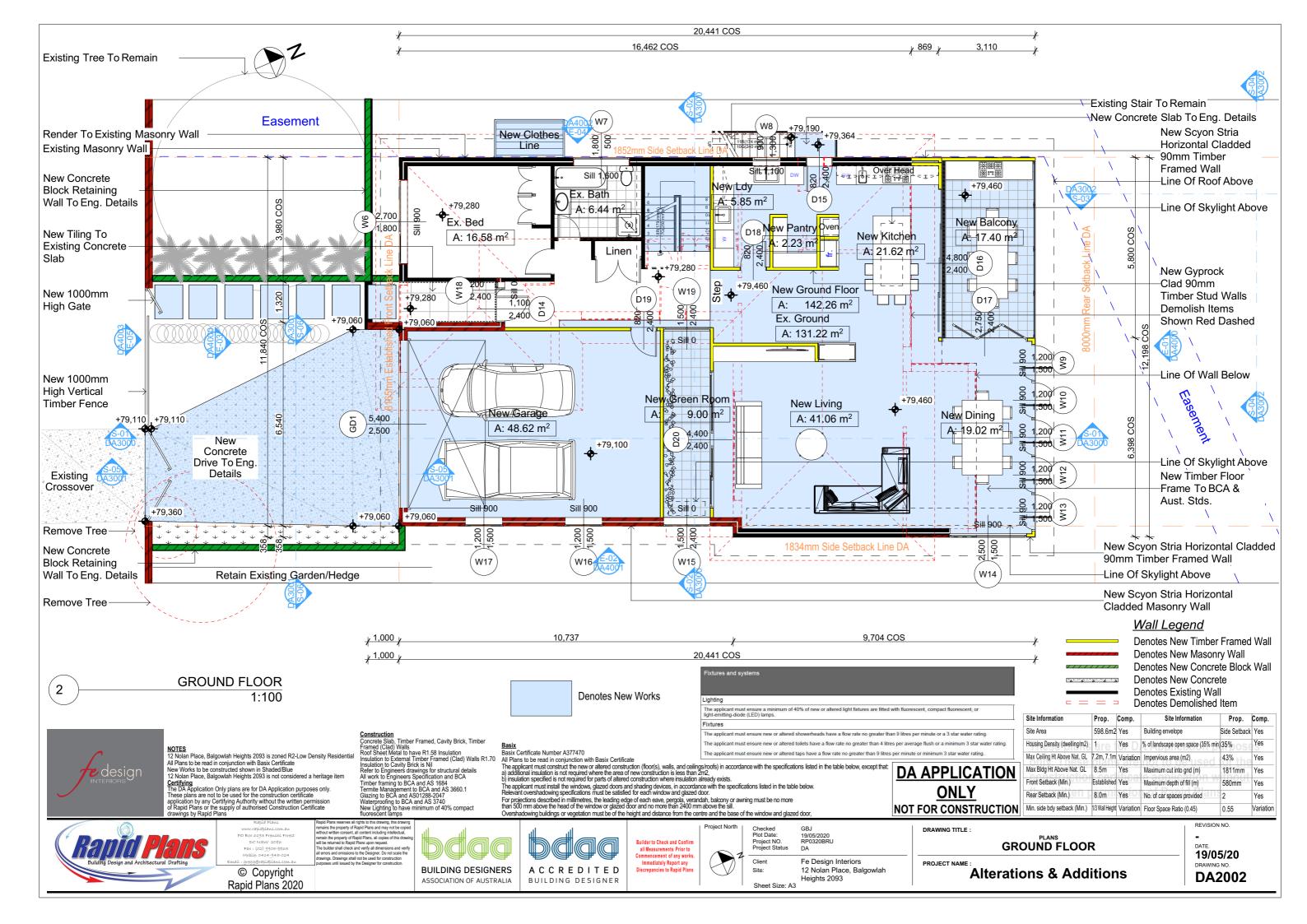
SITE AND LOCATION
Floor Space Ratio Plan

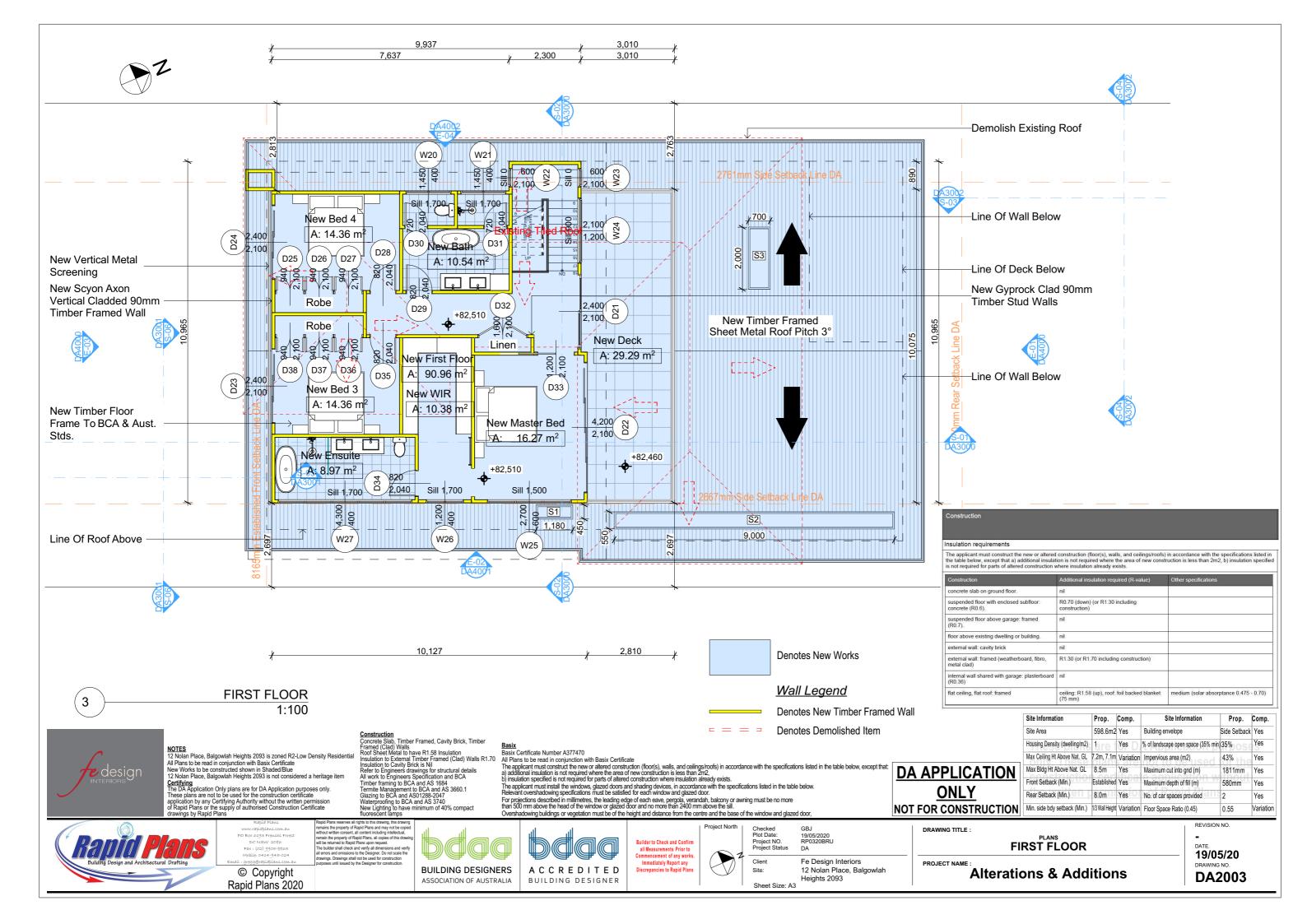
REVISION NO. 19/05/20 **DA1017** 

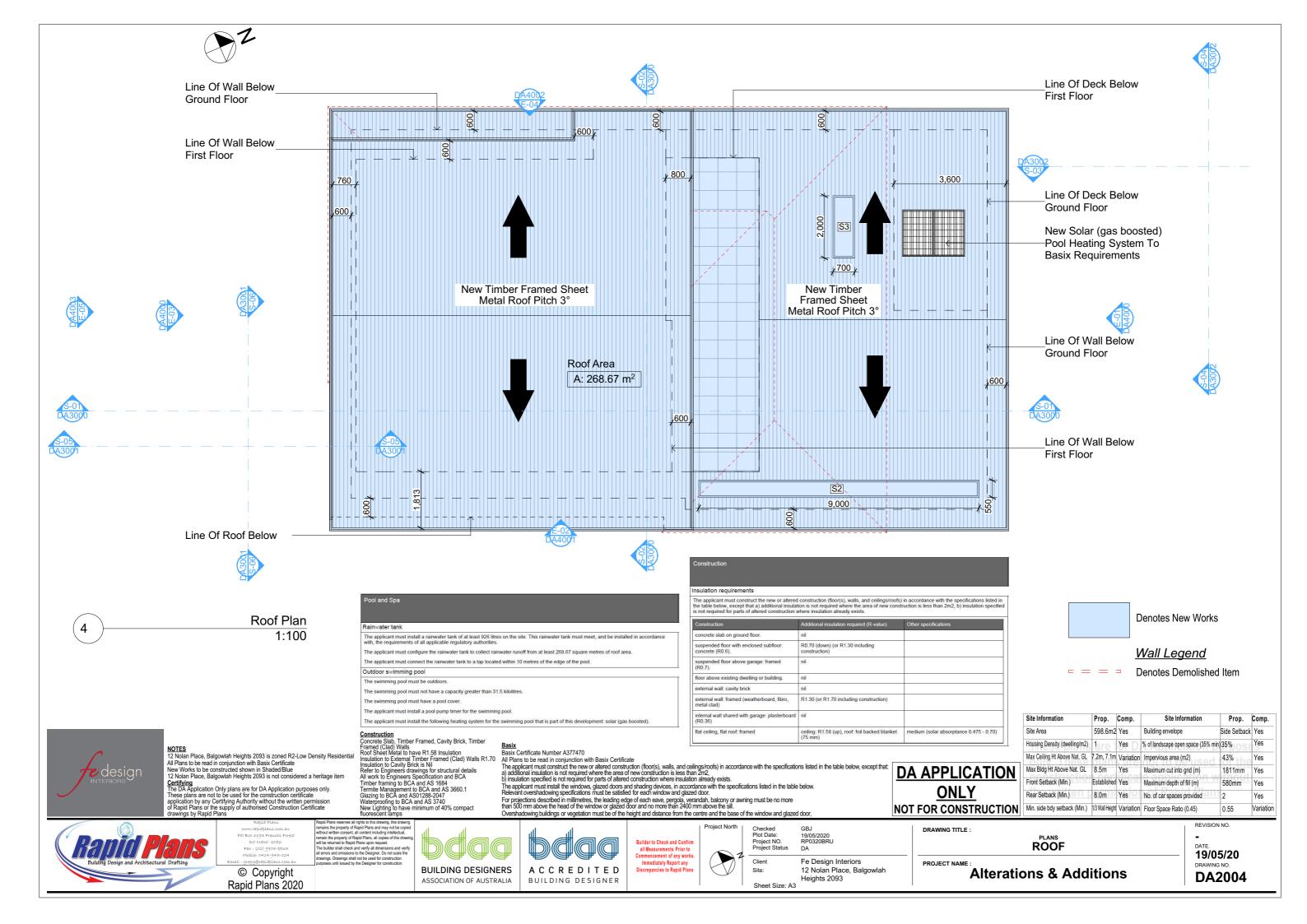
Heights 2093

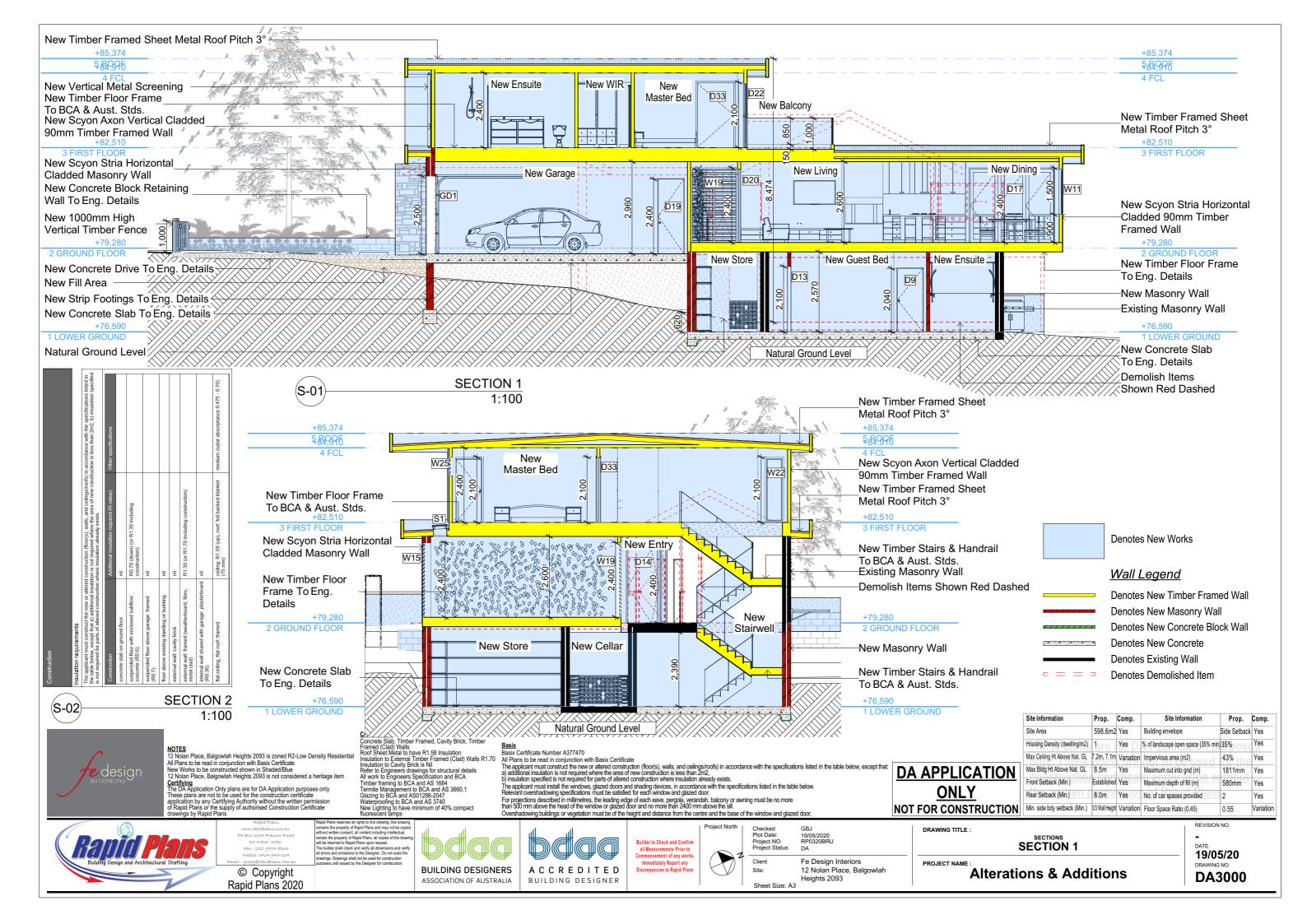
PROJECT NAME : **Alterations & Additions** 

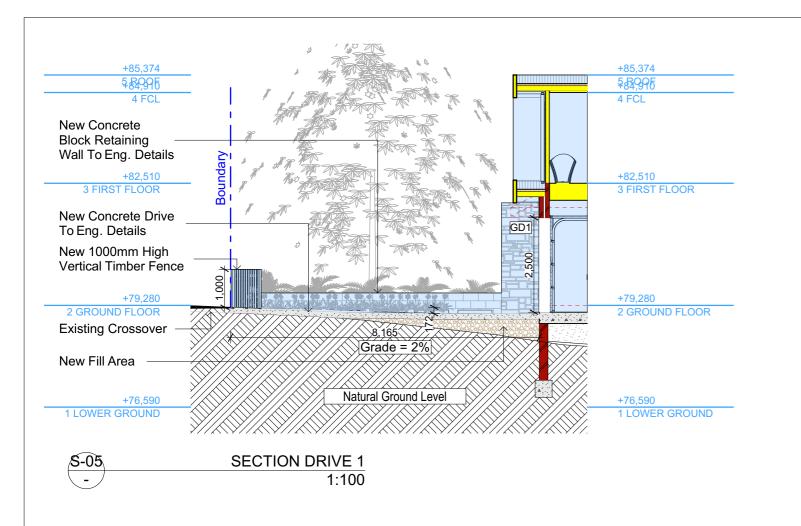


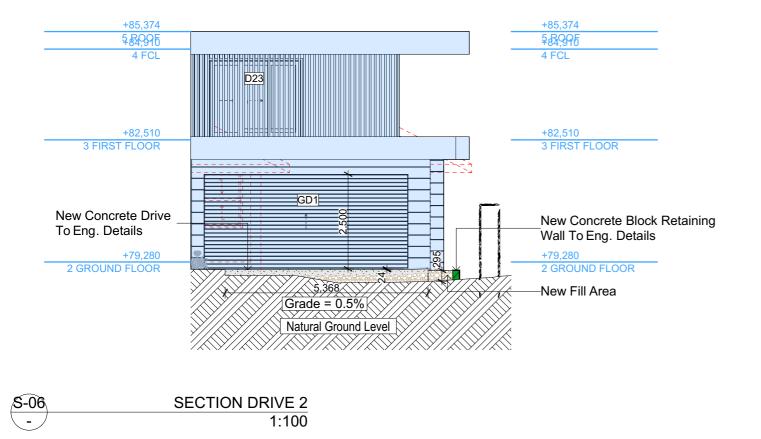


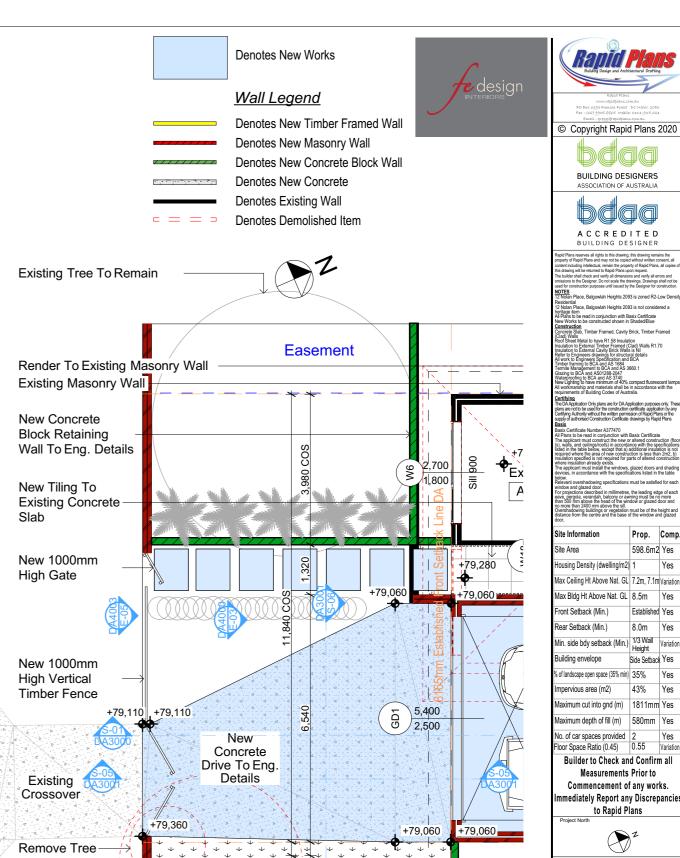












Retain Existing Garden/Hedge

**DA APPLICATION** 

**ONLY** 

NOT FOR CONSTRUCTION

**GROUND FLOOR** 

1:100

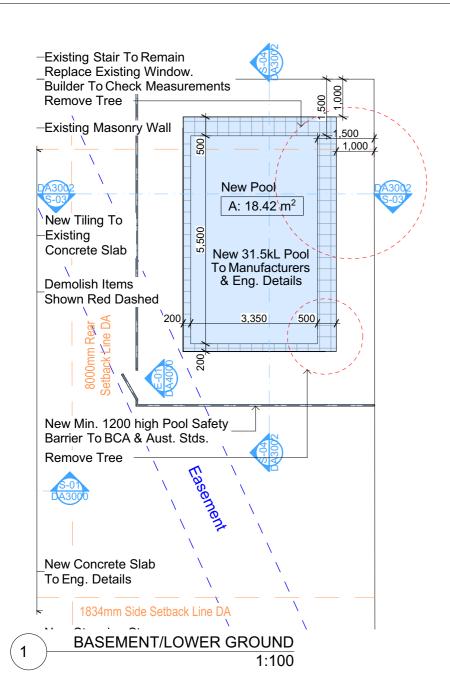
**New Concrete** 

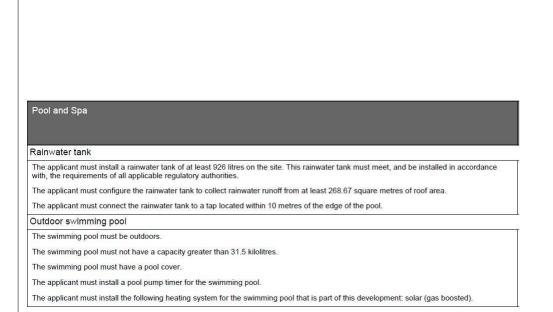
Remove Tree

**Block Retaining** 

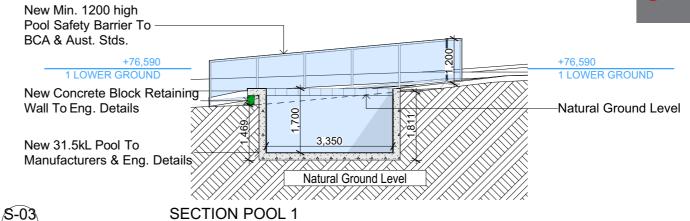
Wall To Eng. Details

Impervious area (m2)
Imperviou

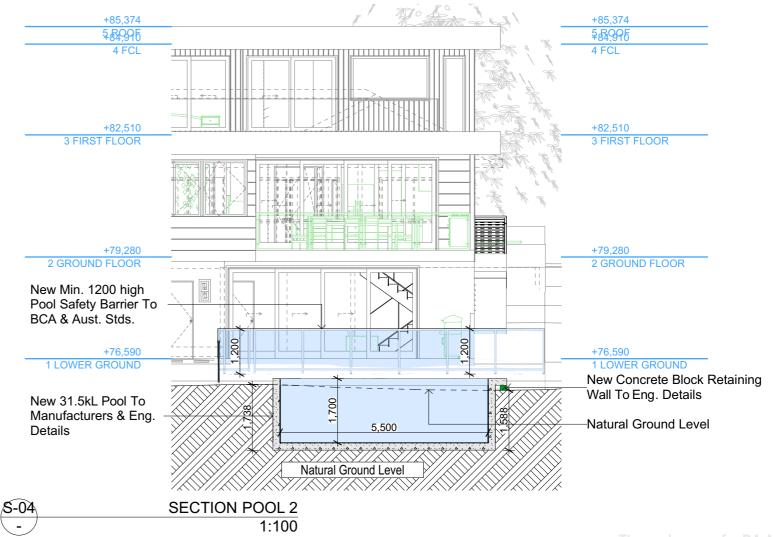








1:100



Denotes New Works

Wall Legend

**Denotes New Concrete** 

Denotes Demolished Item

Denotes New Concrete Block Wall

**DA APPLICATION ONLY** NOT FOR CONSTRUCTION



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**BUILDING DESIGNERS** 

ACCREDITED

Site Information	Prop.	Com
Site Area	598.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variatio
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Established	Yes
Rear Setback (Min.)	8.0m	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variatio
Building envelope	Side Setback	Yes
% of landscape open space (35% min)	35%	Yes
Impervious area (m2)	43%	Yes
Maximum cut into gnd (m)	1811mm	Yes
Maximum depth of fill (m)	580mm	Yes
No. of car spaces provided	2	Yes
Floor Space Ratio (0.45)	0.55	Variatio

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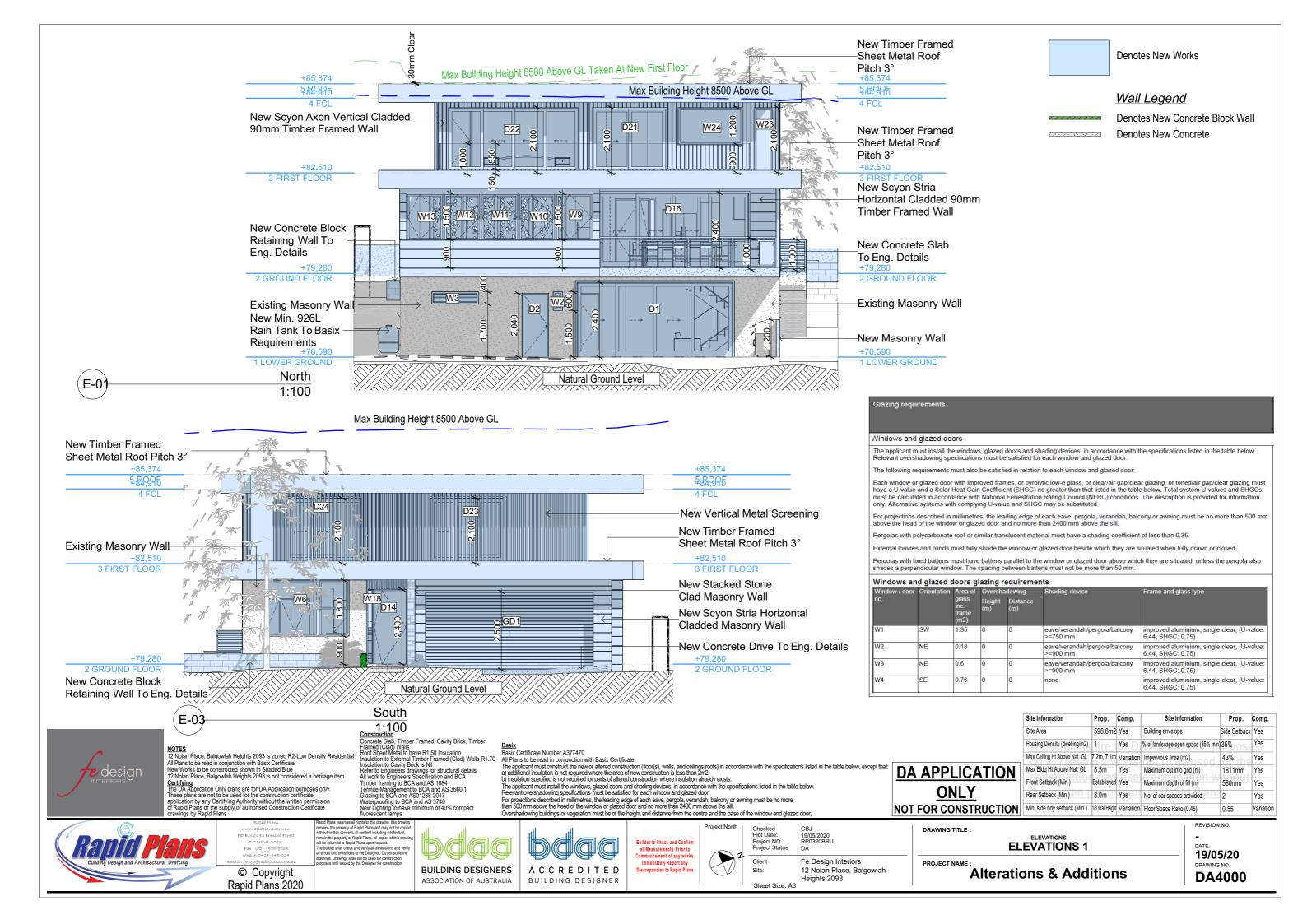
12 Nolan Place, Balgowlah Heights 2093

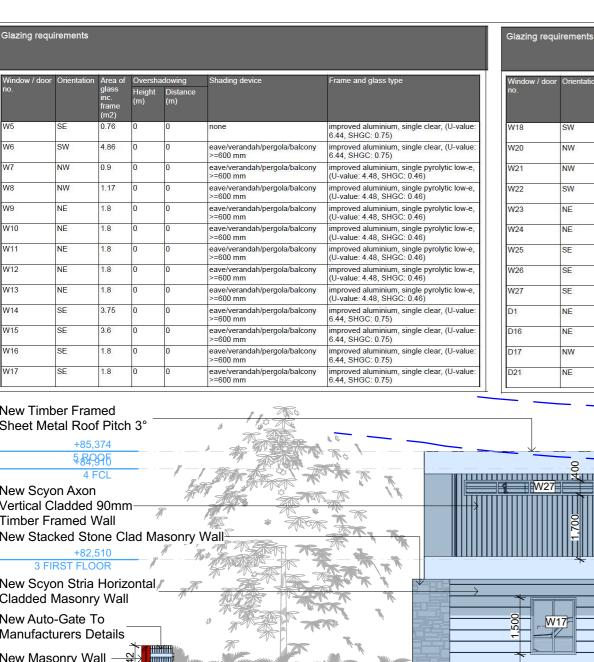
VING TITLE : SECTION POOL

> Alterations & **Additions**

19/05/20

**DA3002** 





Window / door Orientation			adowing	Shading device	Frame and glass type	
no.		glass inc. frame (m2)	Height (m)	Distance (m)		
W18	SW	0.48	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value 6.44, SHGC: 0.75)
W20	NW	0.58	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e (U-value: 4.48, SHGC: 0.46)
W21	NW	0.58	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e (U-value: 4.48, SHGC: 0.46)
W22	SW	1.26	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single pyrolytic low-e (U-value: 4.48, SHGC: 0.46)
W23	NE	1.26	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e (U-value: 4.48, SHGC: 0.46)
W24	NE	2.52	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e (U-value: 4.48, SHGC: 0.46)
W25	SE	1.62	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value 6.44, SHGC: 0.75)
W26	SE	0.48	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value 6.44, SHGC: 0.75)
W27	SE	1.72	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value 6.44, SHGC: 0.75)
D1	NE	12	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value 6.44, SHGC: 0.75)
D16	NE	11.52	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value 6.44, SHGC: 0.75)
D17	NW	6.6	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value 6.44, SHGC: 0.75)
D21	NE	5.04	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e (U-value: 4.48, SHGC: 0.46)

Window / door	Orientation	Area of	Overshadowing		Shading device	Frame and glass type
no.		glass inc. frame (m2)	Height (m)	Distance (m)		
D22	NE	8.82	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e (U-value: 4.48, SHGC: 0.46)
)23	SW	5.04	0	0	external louvre/blind (adjustable)	improved aluminium, single clear, (U-value 6.44, SHGC; 0.75)

### Skylights

Glazing requirements

The applicant must install the skylights in accordance with the specifications listed in the table below

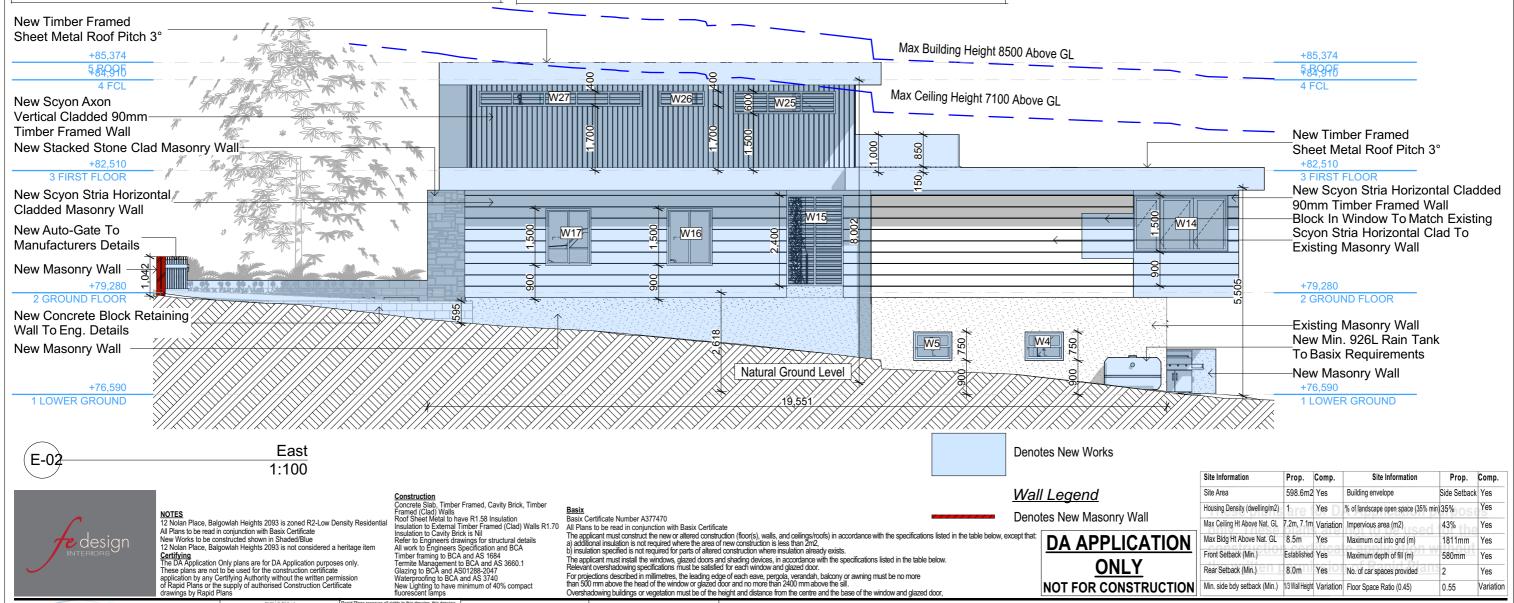
The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in

External awnings and louvres must fully shade the skylight above which they are situated when fully drawn or closed

### Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	0.4	external fixed awning or blind	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S2	4.1	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S3	1.15	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)





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**Builder to Check and Confirm** Discrepancies to Rapid Plan

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,



Checked Plot Date: Project NO. Project Status

Site:

DA

Fe Design Interiors

12 Nolan Place, Balgowlah Heights 2093

DRAWING TITLE

ONLY

**ELEVATIONS 2** 

Rear Setback (Min.)

NOT FOR CONSTRUCTION Min. side bdy setback (Min.) 1/3 Wall Height Variation Floor Space Ratio (0.45) 0.55 REVISION NO. 19/05/20

2

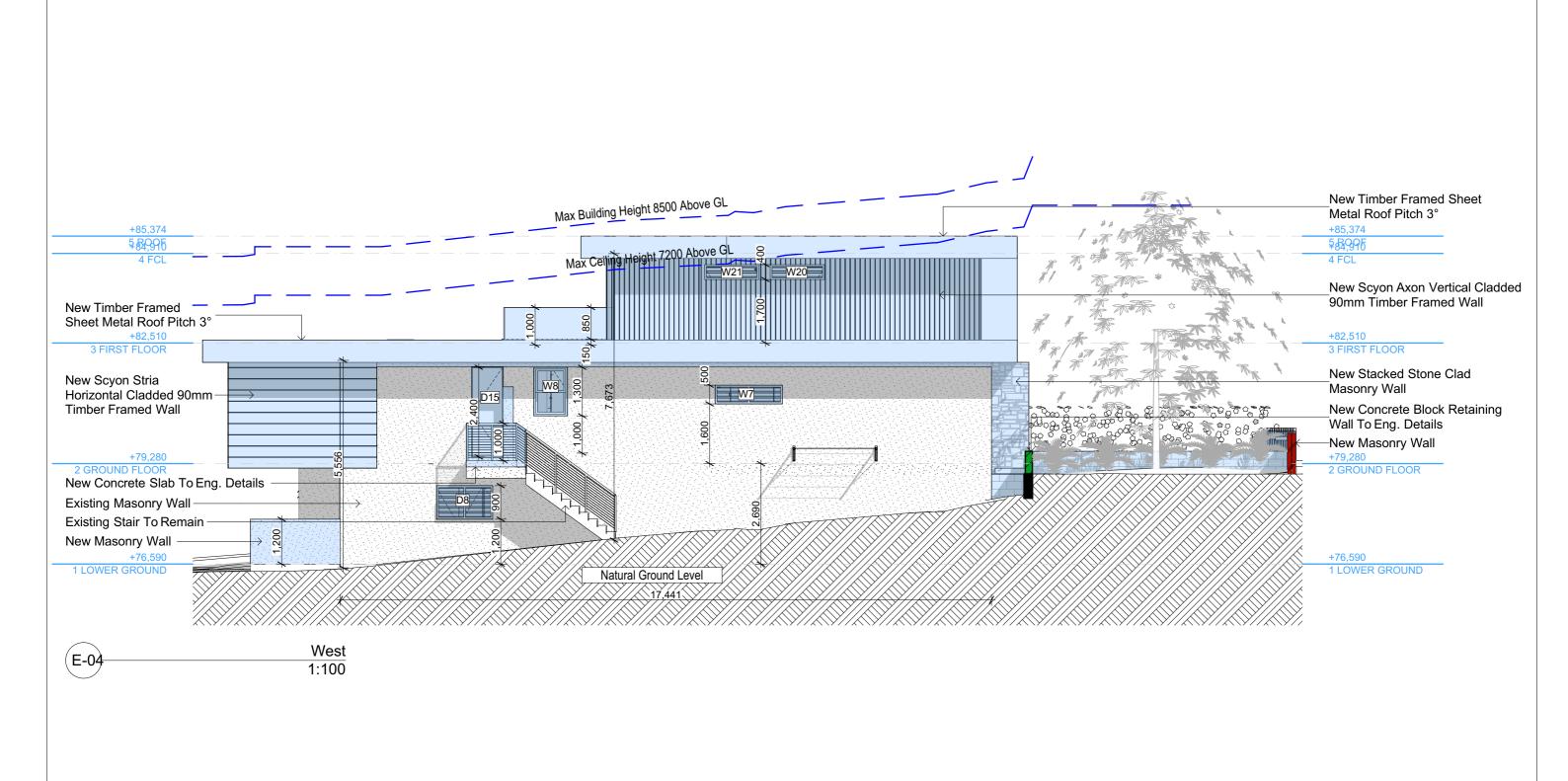
Yes

Variation

8.0m Yes No. of car spaces provided

**Alterations & Additions** 

**DA4001** 





NOTES
12 Nolan Place, Balgowlah Heights 2093 is zoned R2-Low Density Residential All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
12 Nolan Place, Balgowlah Heights 2093 is not considered a heritage item

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

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Construction
Concrete Slab, Timber Framed, Cavity Brick, Timber Framed (Clad) Walls
Roof Sheet Metal to have R1.58 Insulation
Insulation to External Timber Framed (Clad) Walls R1.70
Insulation to Cavity Brick is Nil
Refer to Engineers geoffication and BCA
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1884
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 370.288-2047
Waterproofing to BCA and AS 3740
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix Certificate Number A377470

Basix Certificate Number A3774/0
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door

**DA APPLICATION** ONLY

Prop. Comp. Prop. Comp. 598.6m2 Yes Side Setback Yes % of landscape open space (35% min) 35% 43% 1811mm Yes Established Yes 580mm Yes 8.0m Yes No. of car spaces provided Yes NOT FOR CONSTRUCTION Min. side bdy setback (Min.) 1/3 Wall Height Variation Floor Space Ratio (0.45) 0.55 Variation



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Checked Plot Date: Project NO. Project Status 19/05/2020 RP0320BRU DA

Fe Design Interiors 12 Nolan Place, Balgowlah Heights 2093

DRAWING TITLE ELEVATIONS 3

REVISION NO. 19/05/20

**DA4002** 

**Alterations & Additions** 





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Site Information	Prop.	Comp
Site Area	598.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Established	Yes
Rear Setback (Min.)	8.0m	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation
Building envelope	Side Setback	Yes
% of landscape open space (35% min)	35%	Yes
Impervious area (m2)	43%	Yes
Maximum cut into gnd (m)	1811mm	Yes
Maximum depth of fill (m)	580mm	Yes
No. of car spaces provided	2	Yes
Floor Space Ratio (0.45)	0.55	Variation
Builder to Check an	d Confirr	n all

Measurements Prior to Commencement of any works. mmediately Report any Discrepancie to Rapid Plans

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12 Nolan Place, Balgowlah Heights 2093

AWING TITLE: ELEVATIONS

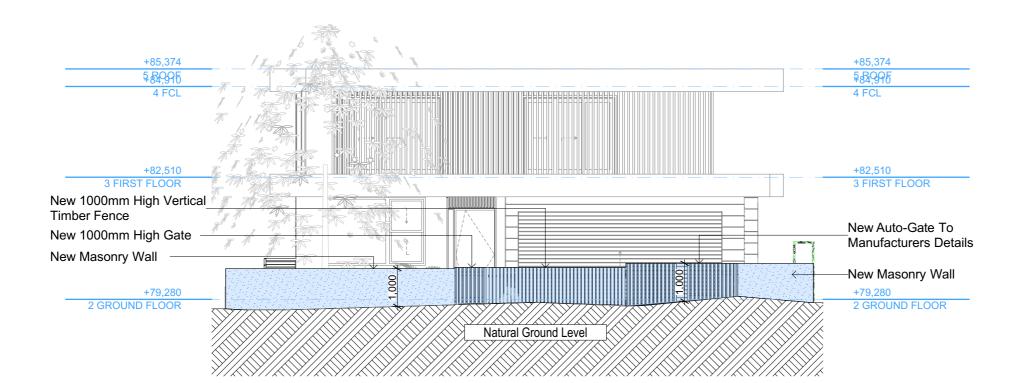
ELEVATION FRONT
FENCE

Alterations & **Additions** 

19/05/20

DA4003

R:Current 19/05/2020 sePOO Rob & Alexie 12 Notes St. Balgowlah NothCAD DwglvBruzzano-Poole-22-GA FinalsA.pin



E-05 Front Fence 1:100

**DA APPLICATION ONLY** NOT FOR CONSTRUCTION





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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Site Information	Prop.	Comp.
Site Area	598.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Established	Yes
Rear Setback (Min.)	8.0m	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation
Building envelope	Side Setback	Yes
% of landscape open space (35% min)	35%	Yes
Impervious area (m2)	43%	Yes
Maximum cut into gnd (m)	1811mm	Yes
Maximum depth of fill (m)	580mm	Yes
No. of car spaces provided	2	Yes
Floor Space Ratio (0.45)	0.55	Variation

Builder to Check and Confirm all Measurements Prior to Commencement of any works. mmediately Report any Discrepancie to Rapid Plans

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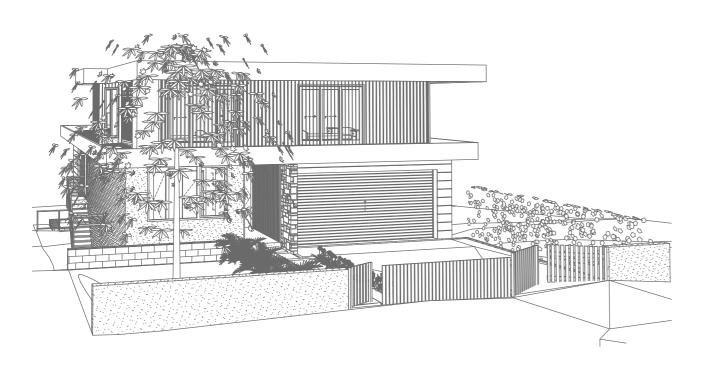
12 Nolan Place, Balgowlah Heights 2093

SHADOW PLANS
PERSPECTIVE

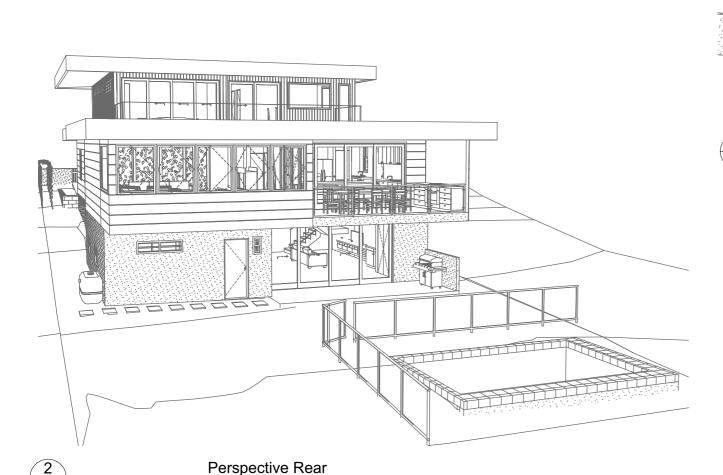
Alterations & Additions

19/05/20

DA5000



Perspective Front 1:200



1:200

Perspective Front 2 1:200

**DA APPLICATION ONLY** NOT FOR CONSTRUCTION



Denotes Glass Balustrade (Typical). Owner To Confirm Type & Colour



Denotes Concrete Drive (Typical). Owner To Confirm Type & Colour







ACCREDITED

door,		
Site Information	Prop.	Comp.
Site Area	598.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m, 7.1m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Established	Yes
Rear Setback (Min.)	8.0m	Yes
Min. side bdy setback (Min.)	1/3 Wall Height	Variation
Building envelope	Side Setback	Yes
% of landscape open space (35% min)	35%	Yes
Impervious area (m2)	43%	Yes
Maximum cut into gnd (m)	1811mm	Yes
Maximum depth of fill (m)	580mm	Yes
No. of car spaces provided	2	Yes
Floor Space Ratio (0.45)	0.55	Variation

Builder to Check and Confirm all Measurements Prior to Commencement of any works. mmediately Report any Discrepancies to Rapid Plans

lient Fe Design Interiors

Site: 12 Nolan Place, Balgowlah Heights 2093

DRAWING TITLE SHADOW PLANS
MATERIAL & COLOUR
SAMPLE BOARD

Alterations & **Additions** 

19/05/20

R:Current 19/05/2020 usPO Rob B. Alaxis 12 Notan St. Balgovlah NochCAD Dwglri Bruzzano-Poole-22-C FinalaA.pin

DA5001







Denotes Tiling (Typical). Owner To Confirm Type & Colour





Denotes Rendered Masonry & Vertical Timber Fence (Typical). Owner To Confirm Type & Colour

Denotes Sheet Metal Roofing (Typical). Owner To Confirm Type & Colour



Denotes Skylight (Typical). Owner To Confirm Type & Colour



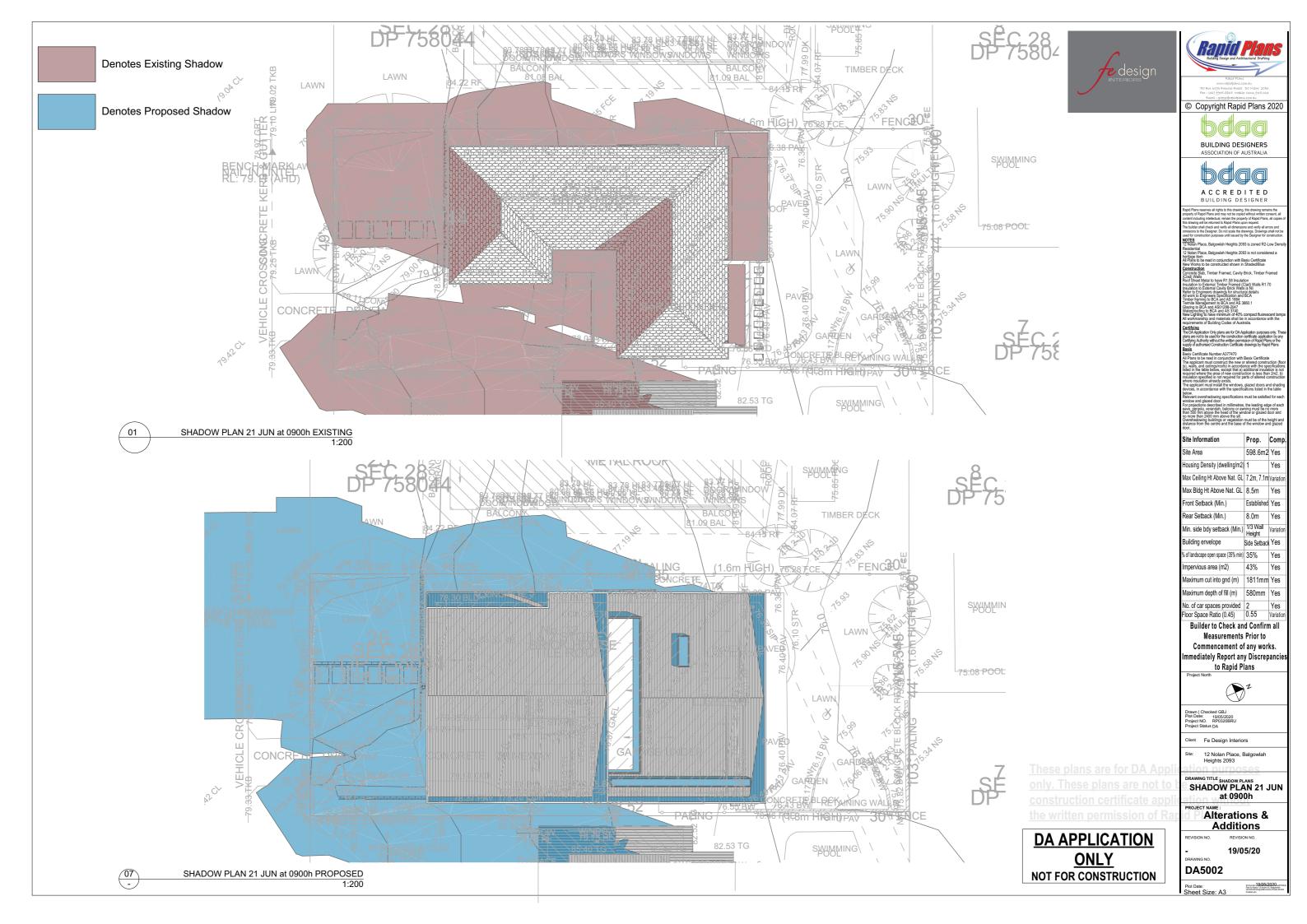


Denotes Rendered Wall (Typical). Owner To Confirm Type & Colour

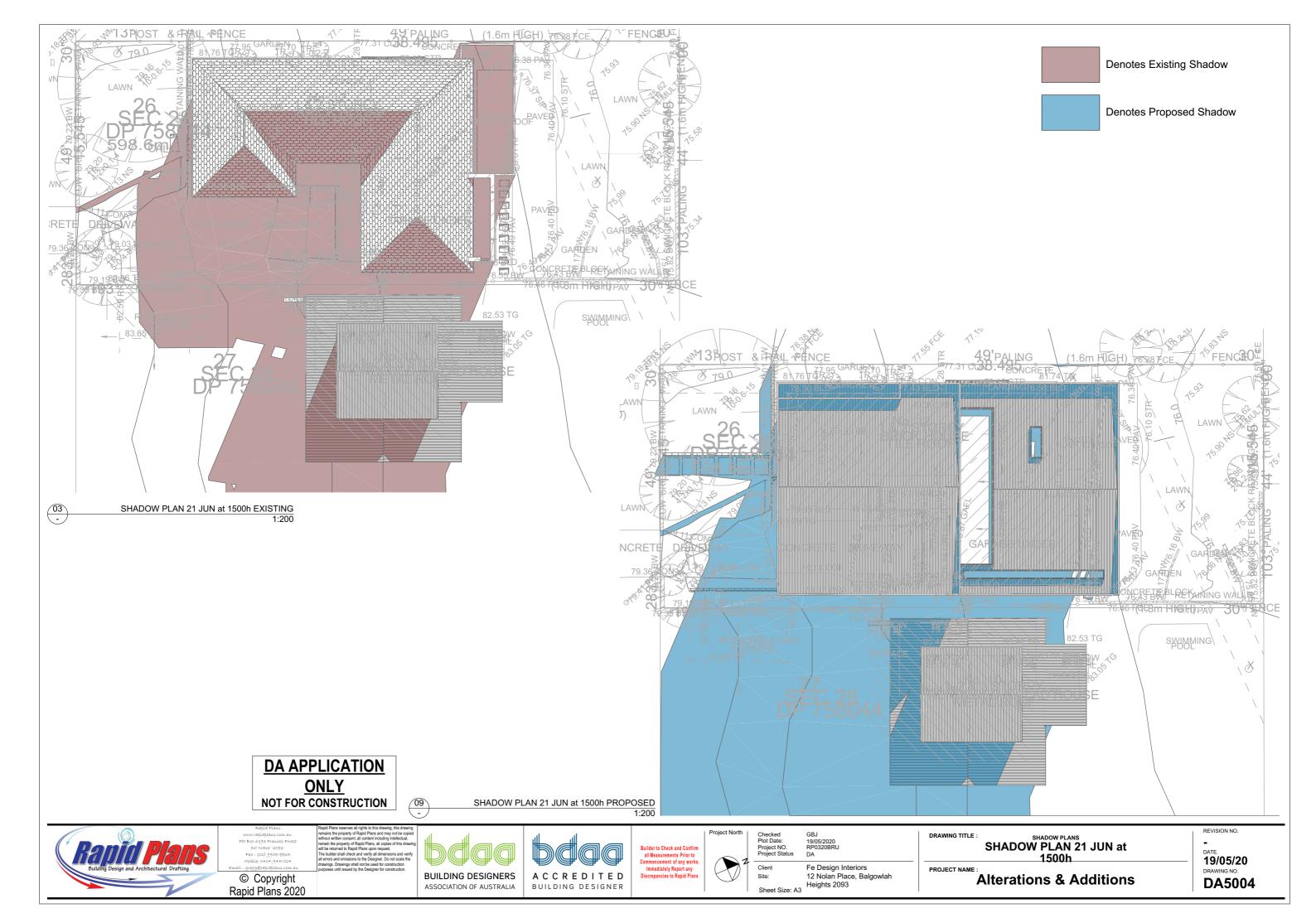


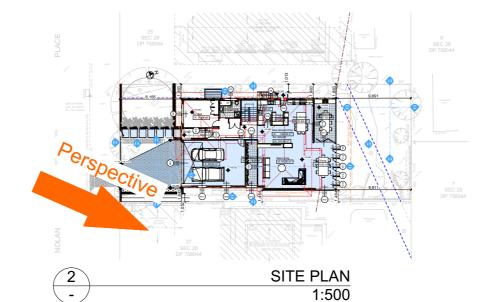
Denotes Scyon Axon Vertical Cladding (Typical). Owner To Confirm Type & Colour

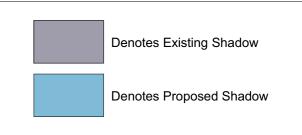
**DA APPLICATION ONLY** NOT FOR CONSTRUCTION

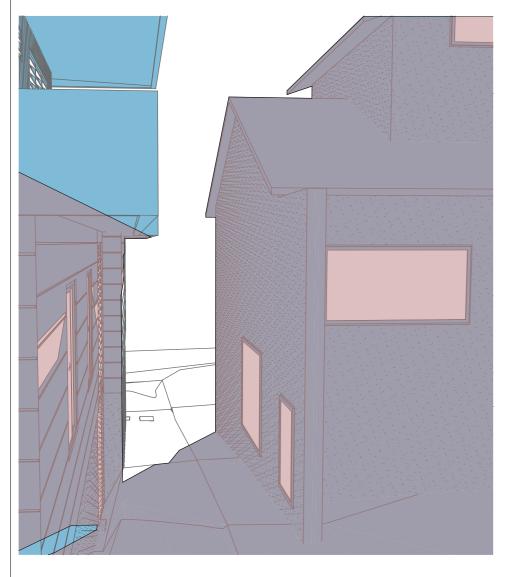


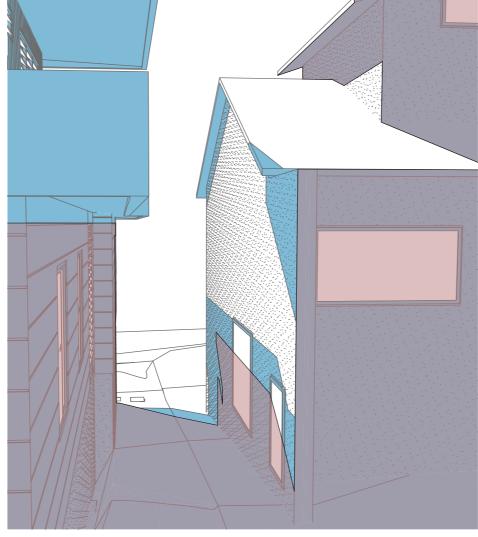












21 JUN at 0900h PROPOSED 1:200

> **DA APPLICATION** <u>ONLY</u> NOT FOR CONSTRUCTION

21 JUN at 1200h PROPOSED 1:200

21 JUN at 1500h PROPOSED 1:200



BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA





Fe Design Interiors 12 Nolan Place, Balgowlah Sheet Size: A3

DRAWING TITLE :

PROJECT NAME :

SHADOW PLANS
WALL ELEVATION
SHADOWS 1 **Alterations & Additions** 

REVISION NO. DATE. 19/05/20 **DA5005**