

13 KALIANNA CRESCENT BEACON HILL 2100
LOT 6 D.P. 25924

Site Area: 668.3m2
Council: Northern Beaches Council
Zone: R2 General Residential
Acide Sulfate Soils: N/A

WARRINGAH COUNCIL CONTROLS

Height of Building: 8.5m
Building Envelope: 4m and 45 degrees
Front Setback: 6.5m
Side Setback: 0.9m
Rear Setback: 6m
Minimum Landscape: 40%
Bushfire Prone Land: No
Landslip Risk: Area B

SCHEDULE OF COLOURS AND MATERIALS

UPSTAIRS FRAMED AND CLAD WHITE WEATHERBOARD



EXISTING RETAINED BRICKWORK PAINTED WHITE



NEW WHITE POWDERCOATED FRONT FENCING



UPSTARIS ROOFING EXTRA WIDE FASCIA IN MEDIUM/ DARK COLOUR



LOWER ROOFING BEHIND PARAPET CLAD IN WHITE WEATHERBOARD



Layout ID	NAME	ID	Drawing Scale
DA01	Drawing List		
DA01	Location		
DA02	Survey		1:1
DA03	Proposed Site Plan	P-1	1:200
DA04	Site Analysis	P-2	1:200
DA05	Specifications		1:1
DA06	Existing Ground Floor	P-4	1:100
DA06	Existing Lower Ground	P-3	1:100
DA07	East	E-02	1:200
DA07	North	E-01	1:200
DA07	South	E-03	1:200
DA07	West	E-04	1:200
DA08	Ground Floor Demolition	P-5	1:100
DA09	Lower Ground	P-6	1:100
DA10	Ground Floor	P-7	1:100
DA11	Proposed 2nd Floor	P-8	1:100
DA12	Proposed Roof Plan	P-09	1:100
DA13	North	E-05	1:100
DA13	South	E-06	1:100
DA14	East	E-07	1:100
DA14	West	E-08	1:100
DA15	Section	A-A	1:100
DA15	Section	B-B	1:100
DA16	9AM Existing	S-9E	1:400
DA16	9AM Proposed	S-9P	1:400
DA17	12PM Existing	S-12E	1:400
DA17	12PM Proposed	S-12P	1:400



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Alterations and Additions

Certificate number: A390076

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General Notes

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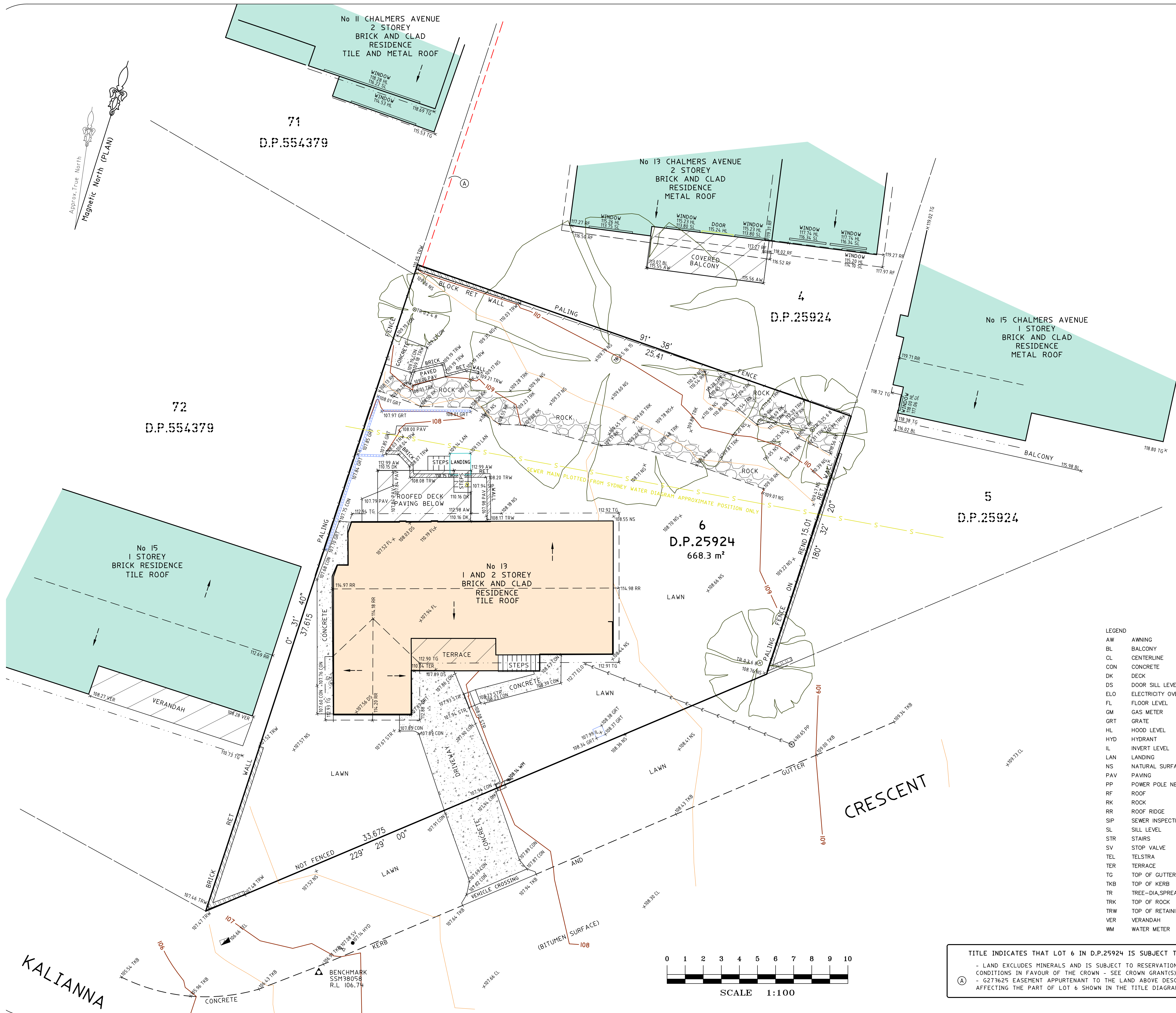
Contact: Stacey Holden

Address: Unit 15, 28-34 Roseberry Street Balgowlah NSW 2093

P 0418 881 898 | E stacey@yourbeautifulhome.com.au | W yourbeautifulhome.com.au

PROJECT :	HANSON RENOVATION
CLIENT :	ELIZABETH & BEN HANSON
SITE :	13 KALIANNA CRESCENT BEACON HILL 2100
SITE :	LOT 6 D.P. 25924 668.3m2

DEVELOPMENT APPLICATION		
DATE :	12/2/21	Site and Location
PROJECT NO:	200120	Drawing List & Site Location
DRAWN BY:	SH	DA01



BOUNDARIES HAVE NOT BEEN DEFINED, A PRELIMINARY BOUNDARY SURVEY FOR DESIGN AND DA PURPOSES HAS BEEN UNDERTAKEN. LOT DIMENSIONS HAVE BEEN TAKEN FROM THE TITLE DIAGRAM. SITE AREA HAS BEEN CALCULATED FROM THESE DIMENSIONS - BOUNDARY DEFINITION IS SUBJECT TO FURTHER SURVEY.

IF CONSTRUCTION ON OR NEAR BOUNDARIES IS REQUIRED IT IS RECOMMENDED THAT THE BOUNDARIES OF THE LAND BE MARKED.

- TREE SIZES ARE ESTIMATES ONLY.
- THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF ELIZABETH & BEN HANSON
- RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
- EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
- ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. DIAL BEFORE YOU DIG SERVICES (ph 1100) SHOULD BE USED AND A FULL UTILITY INVESTIGATION, INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.
- CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.
- THIS PLAN IS ONLY TO BE USED FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS.
- CONTOURS SHOWN DEPICT THE TOPOGRAPHY. EXCEPT AT SPOT LEVELS SHOWN, THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
- CONTOUR INTERVAL - 0.5 metre - SPOT LEVELS SHOULD BE ADOPTED.
- POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE).
- THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.
- DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS.
- IF ACCURATE TRUE NORTH IS REQUIRED A FURTHER SURVEY WOULD BE NECESSARY.
- COPYRIGHT WATERVIEW SURVEYING SERVICES
- NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM, WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER EXCEPT AS PERMITTED BY THE COPYRIGHT ACT 1968.
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ACN 610 583 572
michael@wvsurveying.com.au
0474 843 180

Vertical Datum
DATUM: AUSTRALIAN HEIGHT DATUM (AHD)
B.M. SSM38058
R.L. 106.74
SOURCE: S.C.I.M.S. 9/12/2019

Client Details
ELIZABETH & BEN HANSON
13 KALIANNA CRESCENT
BEACON HILL NSW 2100

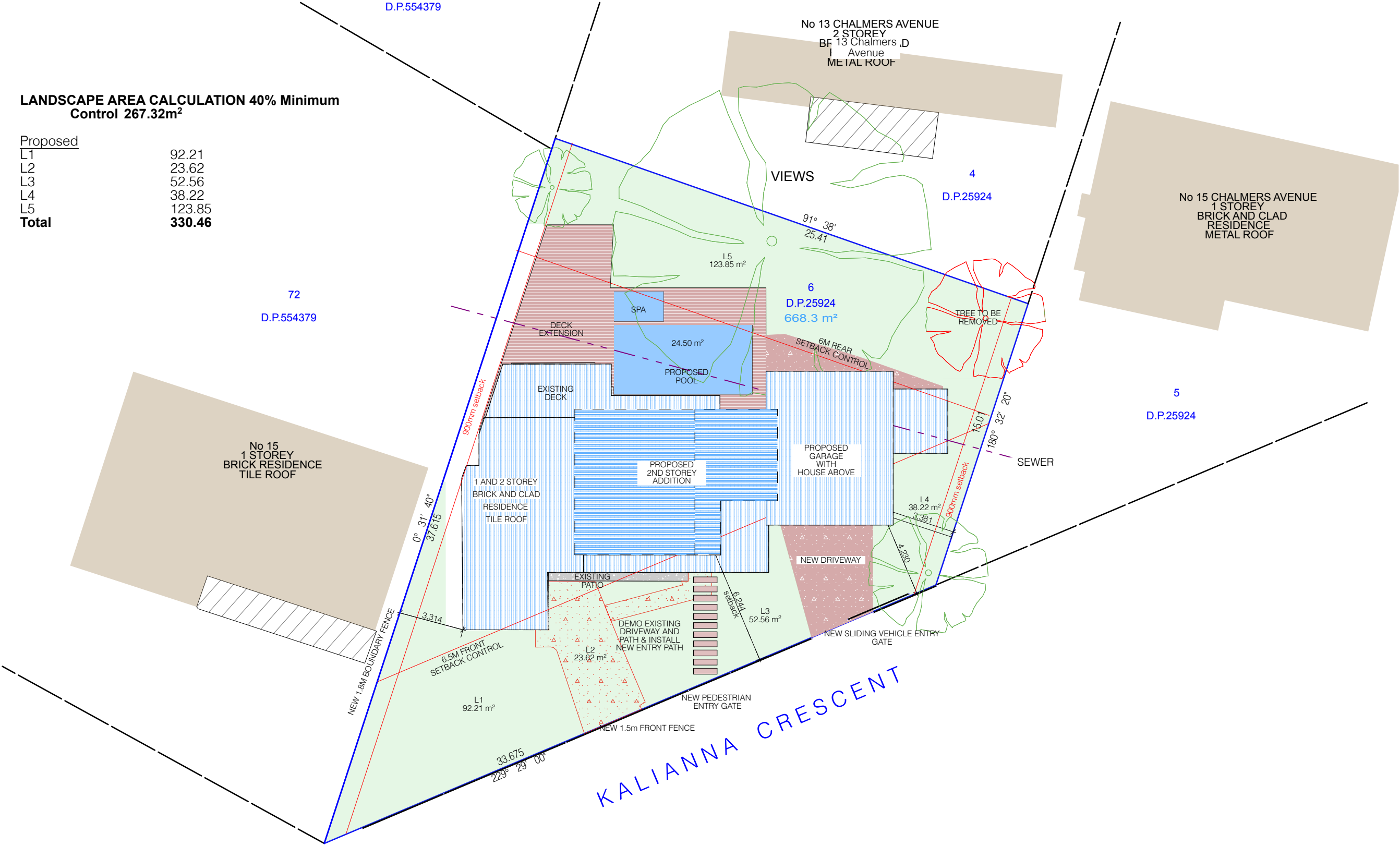
Drawing Title
DETAIL & LEVELS AND INTERNALS OVER
13 KALIANNA CRESCENT
BEACON HILL NSW 2100
BEING LOT 6 IN DP.25924

PROJECT: 1049	PAGE 1 OF 2
Date of survey: 06/12/2019	Drawing No. 1049detail 1
Scale 1:100 @ A1	Rev. B

TITLE INDICATES THAT LOT 6 IN D.P.25924 IS SUBJECT TO:
- LAND EXCLUDES MINERALS AND IS SUBJECT TO RESERVATIONS AND CONDITIONS IN FAVOUR OF THE CROWN - SEE CROWN GRANT(S).
- G273625 EASEMENT APPURTENANT TO THE LAND ABOVE DESCRIBED AFFECTING THE PART OF LOT 6 SHOWN IN THE TITLE DIAGRAM

LANDSCAPE AREA CALCULATION 40% Minimum
Control 267.32m²

Proposed	
L1	92.21
L2	23.62
L3	52.56
L4	38.22
L5	123.85
Total	330.46



P-1

Proposed Site Plan
1:200

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SITE : LOT 6 D.P. 25924 668.3m2

DEVELOPMENT APPLICATION

DATE : 12/2/21

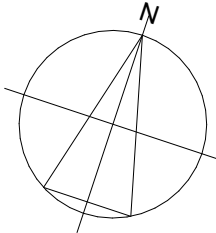
Site and Location

PROJECT NO: 200120

Proposed Site Plan

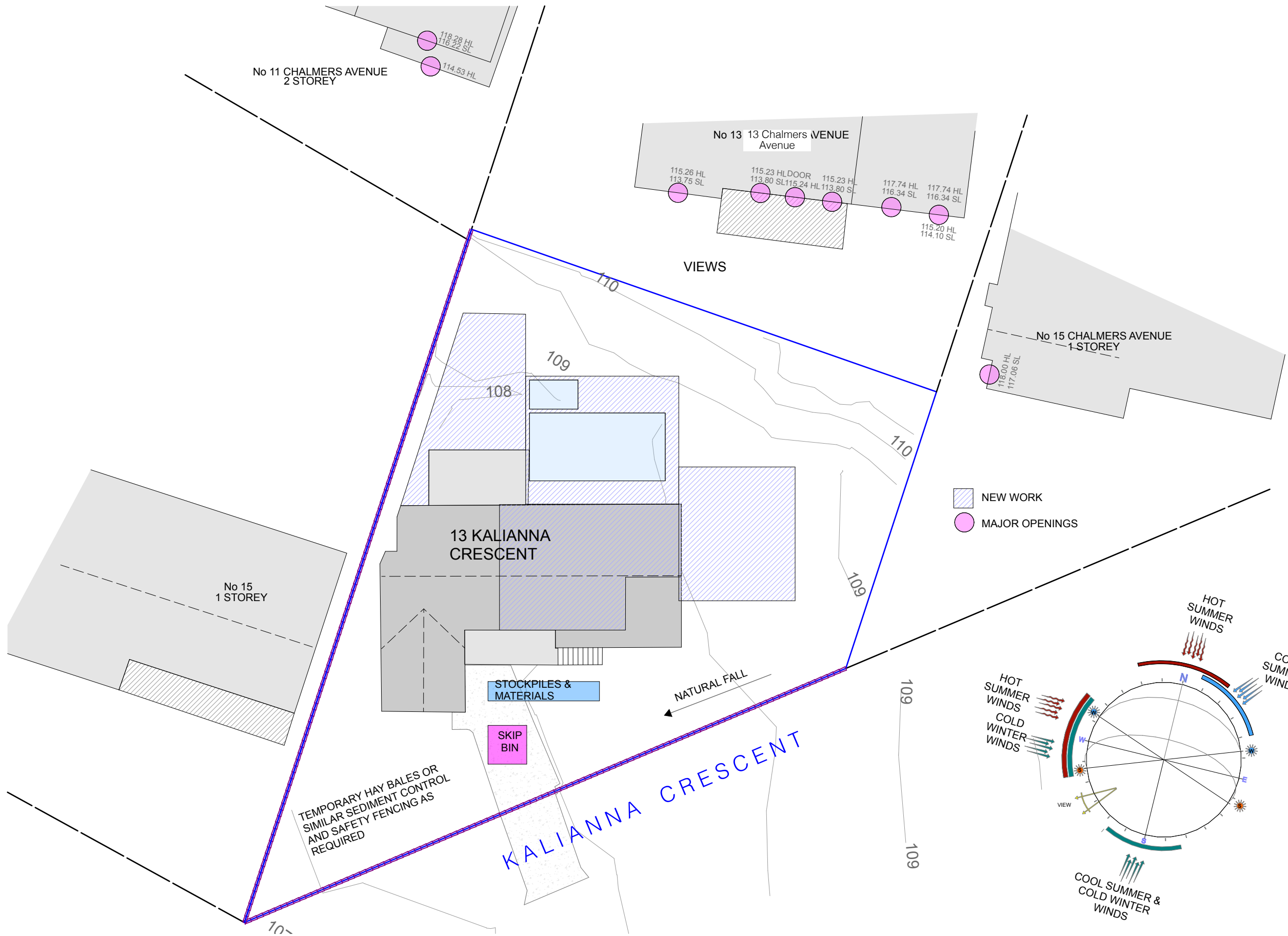
DRAWN BY: SH

DA03



Site Analysis
1:200

P-2



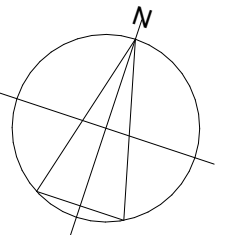
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DEVELOPMENT APPLICATION	
DATE :	12/2/21
PROJECT NO:	200120
DRAWN BY:	SH
Site and Location	
Site Analysis	
DA04	



ICC 2019 - SPECIFICATIONS FOR RESIDENTIAL (CLASS 1 AND 10) BUILDINGS NOTE:

HE BUILDING WILL BE CONSTRUCTED IN ACCORDANCE WITH THE RELEVANT STANDARDS REFERRED TO BELOW, NOT ALL STANDARDS REFERENCED BELOW WILL BE APPLICABLE.

.1.1 EARTHWORKS

All earthworks will be carried out in accordance with Part 3.1.1 of the NCC or in accordance with details provided y a practising structural engineer.

.1.3 DRAINAGE

All drainage works will be carried out in accordance with AS/NZS 3500.3 – Domestic Installations – Plumbing and rainage Stormwater Drainage or in accordance with Parts 3.1.3.3 to 3.1.3.5 of the NCC.

.1.4 TERMITE RISK MANAGEMENT

Termite management systems will be installed to minimise the risk of termite attack to primary building elements in cordance with AS 3660.1 – Termite Management or have been tested and passed the tests required by Section 5 S 3660.3

Termite management systems will be installed to minimise the risk of termite attack to primary building elements for oncrete slabs on ground in accordance with Part 3.1.4.3 of the NCC.

Termite management systems will be installed to minimise the risk of termite attack to primary building elements for .suspended floors in accordance with Part 3.1.4.4 of the NCC.

Attachments to buildings will be installed to minimise the risk of termite attack to primary building elements in cordance with Part 3.1.4.4 of the NCC.

2 FOOTINGS AND SLABS

Footings and slabs will be designed and installed in accordance with AS 2870 – Residential Slabs and Footings – onstruction or they will be designed by a practising structural engineer in accordance with AS 2870 – Residential labs and Footings – Construction.

.3 MASONRY

Unreinforced masonry, reinforced masonry, masonry accessories and weatherproofing of masonry will be designed nd installed in accordance with AS 3700 – Masonry Structures; or, AS 4773 – Masonry for Small Buildings, Parts 1 nd 2.

Earthwall construction will be designed and installed in accordance with CSIRO – NBTC Bulletin 5, Earthwall onstruction 4th Edition 1987.

.4.1 SUBFLOOR VENTILATION

Subfloor ventilation will be designed and installed in accordance with Part 3.4.1.2 (Acceptable Construction ractice) of the NCC)

.4.2 STEEL FRAMING

Steel framing will be designed and constructed by a practising structural engineer in accordance with one of the llowing manuals:

- AS 4100 – Steel structures.
- AS/NZS 4600 – Cold-formed steel structures.
- NASH – Residential and low-rise steel framing – Part 1 Design
- NASH – Residential and low-rise steel framing – Part 2 Design solutions

.4.3 TIMBER FRAMING

Timber framing will be designed and constructed in accordance with AS 1684.2 – Residential Timber Framed onstruction – Non-Cyclonic Areas; or,

Timber framing will be designed and constructed in accordance with details provided by a practising structural ngineer.

Prefabricated wall frames and roof trusses will be designed and constructed in accordance with structural ngineer's details supplied by the manufacturer.

.4.4 STRUCTURAL STEEL MEMBERS

Structural steel members will be designed and constructed in accordance with the details provided by a practising ructural engineer; or,
Structural steel framing will be designed and constructed in accordance with Parts 3.4.4.1 to 3.4.4.4 (Acceptable onstruction Practice) of the NCC.

.5.1 ROOF CLADDING

Metal sheet roofing will be installed in accordance with AS 1562.1 – Design and installation of sheet roof and wall adding – Metal.

Roof tiles will be installed in accordance with AS 2049 – Roof Tiles & AS 2050 – Installation of Roof Tiles.

Terra cotta, fire-cement and timber slates and shingles will be installed in accordance with AS 4597

Corrugated fibre-reinforced cement roofing will be installed in accordance with AS/NZS 1562.2 – Design and istallation of Sheet Roof and Wall Cladding.

Asphalt shingles will be installed in accordance with ASTM D3018-90 - Asphalt shingles.

A pliable membrane underlay will be installed in accordance with AS/NZS 4200 – Installation of pliable membrane nderlay.

3.5.3 GUTTERS AND DOWNPIPES

- Gutters and downpipes will be designed and installed in accordance with Parts 3.5.3.1 to 3.5.3.5 (Acceptable Construction Practice) of the NCC.

3.5.4 WALL CLADDING

- Timber weatherboard cladding will be installed in accordance with Part 3.5.4.2 (Acceptable Construction Practice) of the NCC. Openings in cladding will be flashed in accordance with Part 3.5.4.6

- Fibre cement and hardboard wall cladding boards will be installed in accordance with Part 3.5.4.3 (Acceptable Construction Practice) of the NCC. Openings in cladding will be flashed in accordance with Part 3.5.4.6.

- Fibre cement, hardboard and plywood sheet cladding will be installed in accordance with Part 3.5.4.4 (Acceptable Construction Practice) of the NCC. Openings in cladding will be flashed in accordance with part 3.5.4.6.

- Eaves and soffit linings will be designed and installed in accordance with part 3.5.4.5 (Acceptable Construction Practice) of the NCC.

- Metal wall cladding will be designed and constructed in accordance with AS 1562.1 – Design and Installation of Sheet Roof & Wall Cladding – Metal.

3.5.5 METAL WALL CLADDING

- Metal wall cladding will be designed and constructed in accordance with AS 1562.1 – Design and Installation of Sheet Roof & Wall Cladding – Metal.

3.6 GLAZING AND WINDOWS

- External windows including sliding doors with frames, adjustable louvres and window walls with one piece framing will be designed and constructed in accordance with AS 2047 – Windows in buildings – Selection and Installation.

- The following glazed assemblies will be designed and constructed in accordance with AS 1288 – Glass in buildings – Selection and Installation:

- o All glazed assemblies not in an external wall
- o Hinged doors including French doors and bi-fold doors
- o Revolving doors
- o Fixed Louvres
- o Skylights and roof lights and windows in other than the vertical plane
- o Sliding doors without a frame
- o Windows constructed on-site and architectural one-off windows that are not design tested in accordance with AS 2047
- o Second hand, reused, recycled, and replacement windows
- o Heritage windows

3.7.2 FIRE SEPARATION

- Fire separation will be designed and constructed in accordance with parts 3.7.2.1 to 3.7.2.8 (Acceptable Construction Practice) of the NCC.

3.7.4 FIRE SEPARATION OF GARAGE TOP DWELLINGS

- Fire separation of garage top dwellings will be designed and constructed in accordance with Acceptable Construction Practice of the NCC.

3.7.5 SMOKE ALARMS

- Smoke alarms must comply with AS 3786 (except that in a Class 10a private garage where the use of the area is likely to result in smoke alarms causing spurious signals). Acceptable Construction Practice of the NCC.

3.8.1.2 WET AREAS

- Wet areas will be constructed to be waterproof or water resistant in accordance with AS3740 – Waterproofing of domestic wet areas.

3.8.1.3 EXTERNAL ABOVE GROUND MEMBRANES

- Waterproofing for external above ground membranes will comply with AS4654.1 & AS4654.2.

3.8.2 ROOM HEIGHTS

- Ceiling heights will be constructed in accordance with Part 3.8.2 (Acceptable Construction Practice) of the NCC.

3.8.3 FACILITIES

- Sanitary compartments will be constructed in accordance with part 3.8.3 (Acceptable Construction Practice) of the NCC.

3.8.4 LIGHT

- Lighting will be provided in accordance with Part 3.8.4 (Acceptable Construction Practice) of the NCC.

3.8.5 VENTILATION

- Ventilation will be provided in accordance with Part 3.8.5 (Acceptable Construction Practice) of the NCC.

3.8.6 SOUND INSULATION

- Sound insulation will be provided in accordance with part 3.8.6 (Acceptable Construction Practice) of the NCC.

3.8.7 CONDENSATION MANAGEMENT

- Condensation management will be provided in accordance with part 3.8.7 (Acceptable Construction Practice) of the NCC.

3.9.1 STAIR AND RAMP CONSTRUCTION

- Stairs and ramps will be constructed in accordance with Part 3.9.1.2 to 3.9.1.5 (Acceptable Construction Practice) of the NCC.

- Stair treads will have a slip resistance classification in accordance with Table 3.9.1.1 of the NCC.

3.9.2 BARRIERS & HANDRAILS

- Barriers and handrails will be constructed in accordance with Part 3.9.2.1 to 3.9.2.5 (Acceptable Construction Practice) of the NCC.

3.9.2.6 PROTECTION OF OPENABLE WINDOWS

- Openable windows will be constructed and protected in accordance with Parts 3.9.2.6 and 3.9.2.7 (Acceptable Construction Practice) of the NCC.

3.10 ANCILLARY PROVISIONS AND ADDITIONAL CONSTRUCTION REQUIREMENTS

3.10.1 SWIMMING POOLS

- Child proof barriers around the swimming pool will comply with the Swimming Pools Act 1992 (NSW) and the Swimming Pools Regulation 2018 and AS 1926.1 - Swimming Pool Safety, Part 1: Safety Barriers for Swimming Pools.

- Swimming pool water recirculation systems shall comply with AS 1926.3 – Water Recirculation and Filtration Systems.

- Spa pool water recirculation systems shall comply with AS 1926.3 – Water Recirculation and Filtration Systems except that the specified distance between two outlets connected to a common line must not be less than 600mm.

3.10.2 EARTHQUAKE AREAS

- In areas of seismic activity the building will be constructed in accordance with acceptable construction practice of the NCC

3.10.3 FLOOD HAZARD AREAS

- In areas of flood harzards the building will be constructed in accordance with the ABCB standard of Contraction of Buildings in flood hazards with acceptable construction practice of the NCC

3.10.5 BUSHFIRE ZONES

- In bushfire zones the building will be constructed in accordance with the AS3959 or NASH Standards - Steel Framed Construction in Bushfire areas (except as amended by Planning for Bush Fire Protection and Secion 9 for Bushfire Attack Level FZ (BAL-FZ) with acceptable construction practice of the NCC

3.10.7 BOILERS, PRESSURE VESSELS, HEATING APPLIANCES, FIREPLACES, CHIMNEYS AND FLUES

- Domestic solid-fuel burning appliances shall be installed in accordance with AS/NZS 2918 – Domestic solid fuel burning appliances – Installation.

- Open fireplace construction and chimney construction installation of boilers and pressure vessels will be designed and constructed in accordance with parts 3.10.7.2 to 3.10.7.4 (Acceptable Construction Practice) of the NCC.

- Insert fireplace and flues will be designed and constructed in accordance with parts 3.10.7.4 (Acceptable Construction Practice) of the BCA.

- Free standing appliances will be designed and constructed in accordance with Parts 3.10.7.5 (Acceptable Construction Practice) of the NCC.

- Boilers and pressure vessels will be designed and constructed in accordance with part 3.10.7.6 (Acceptable Construction Practice) of the NCC

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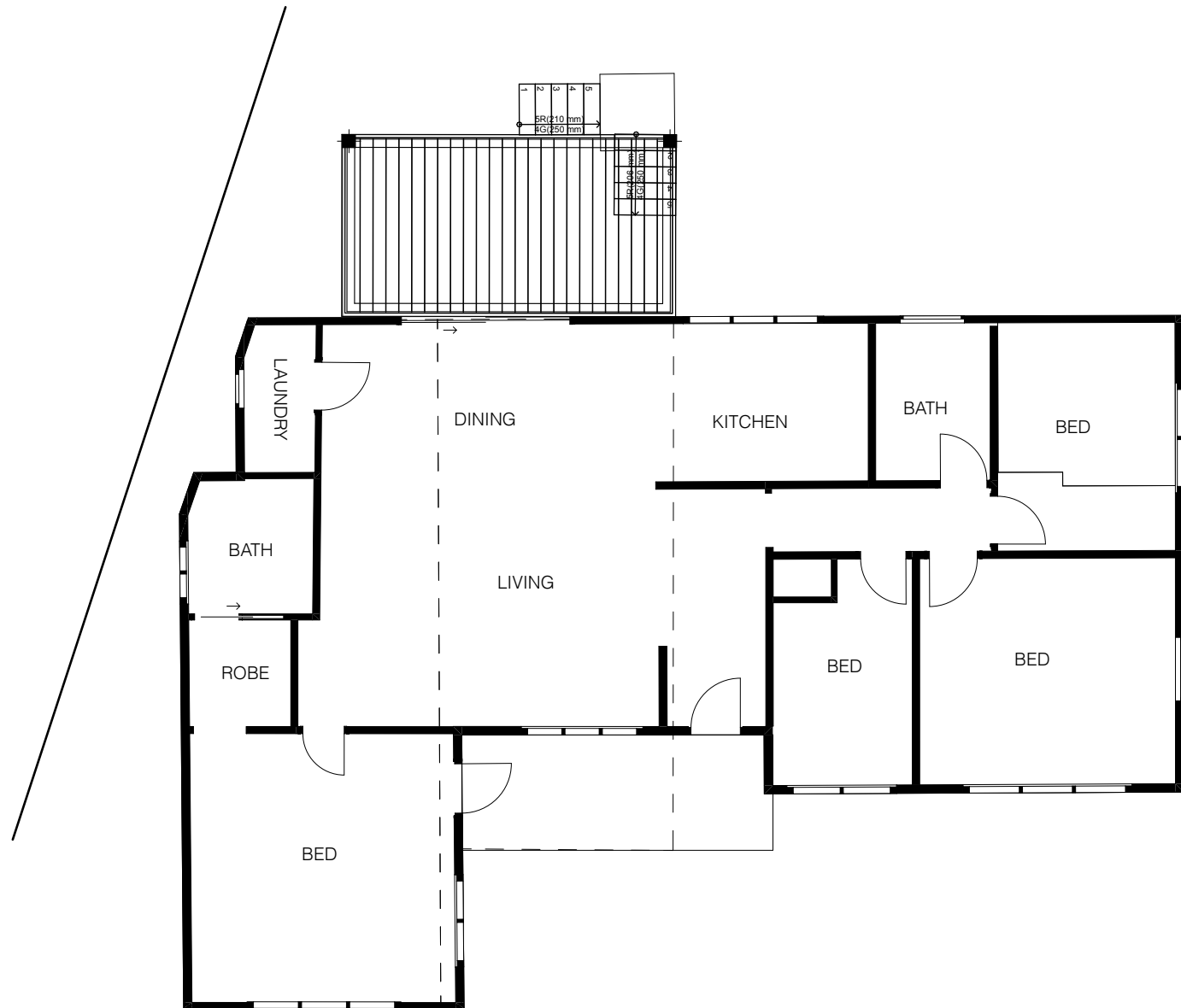
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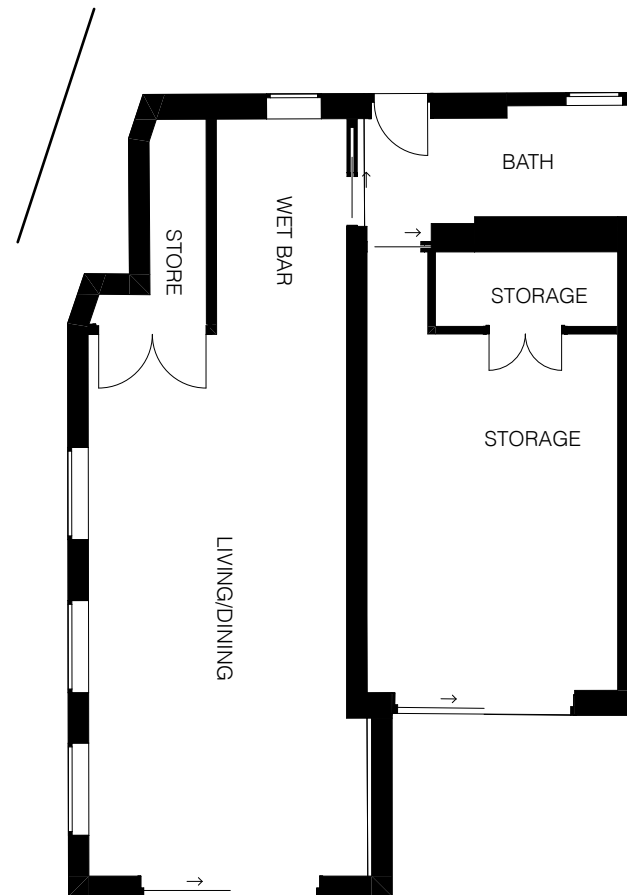
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DEVELOPMENT APPLICATION		
DATE :	12/2/21	Site and Location
PROJECT NO:	200120	Specifications
DRAWN BY:	SH	DA05



P-4 Existing Ground Floor
1:100



P-3 Existing Lower Ground
1:100

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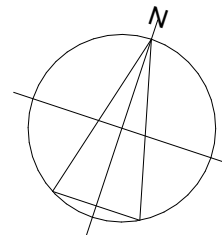
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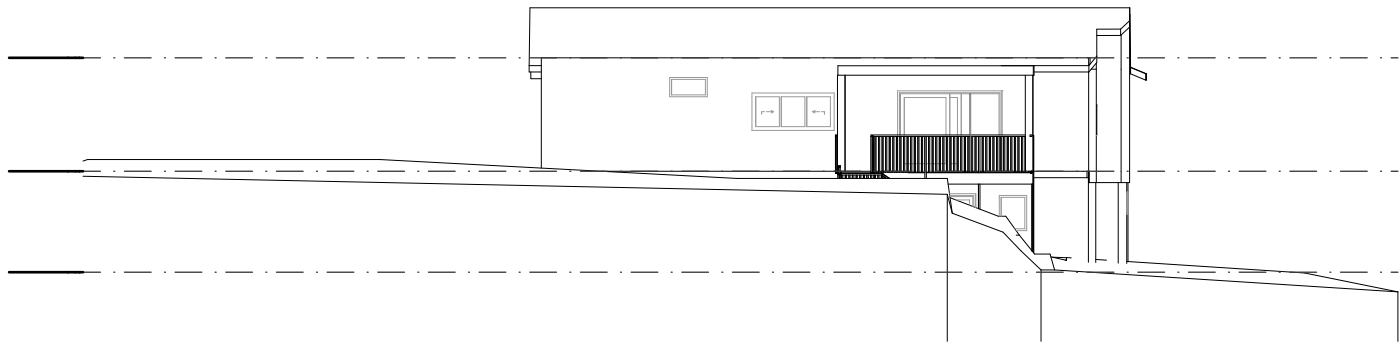
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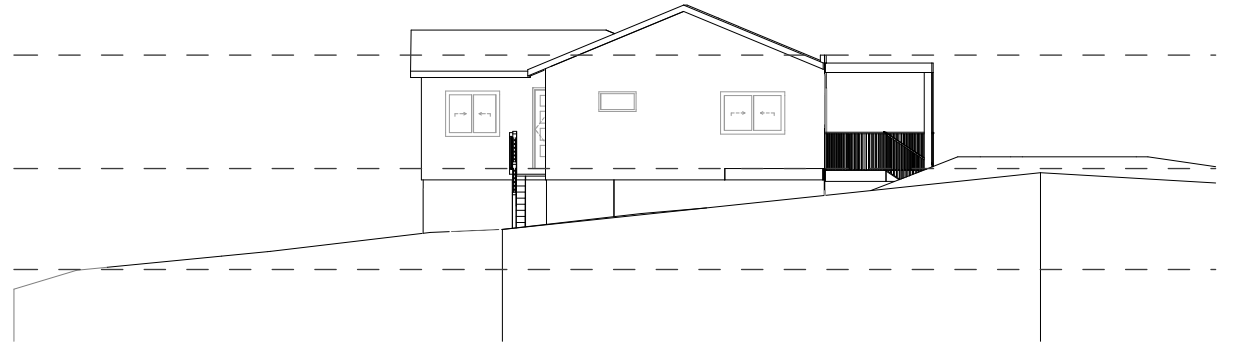
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DEVELOPMENT APPLICATION		
DATE :	12/2/21	Existing Plans
PROJECT NO:	200120	Existing Floor Plans
DRAWN BY:	SH	DA06





E-01 North
1:200



E-02 East
1:200



E-03 South
1:200



E-04 West
1:200

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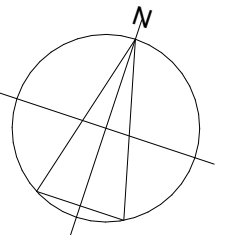
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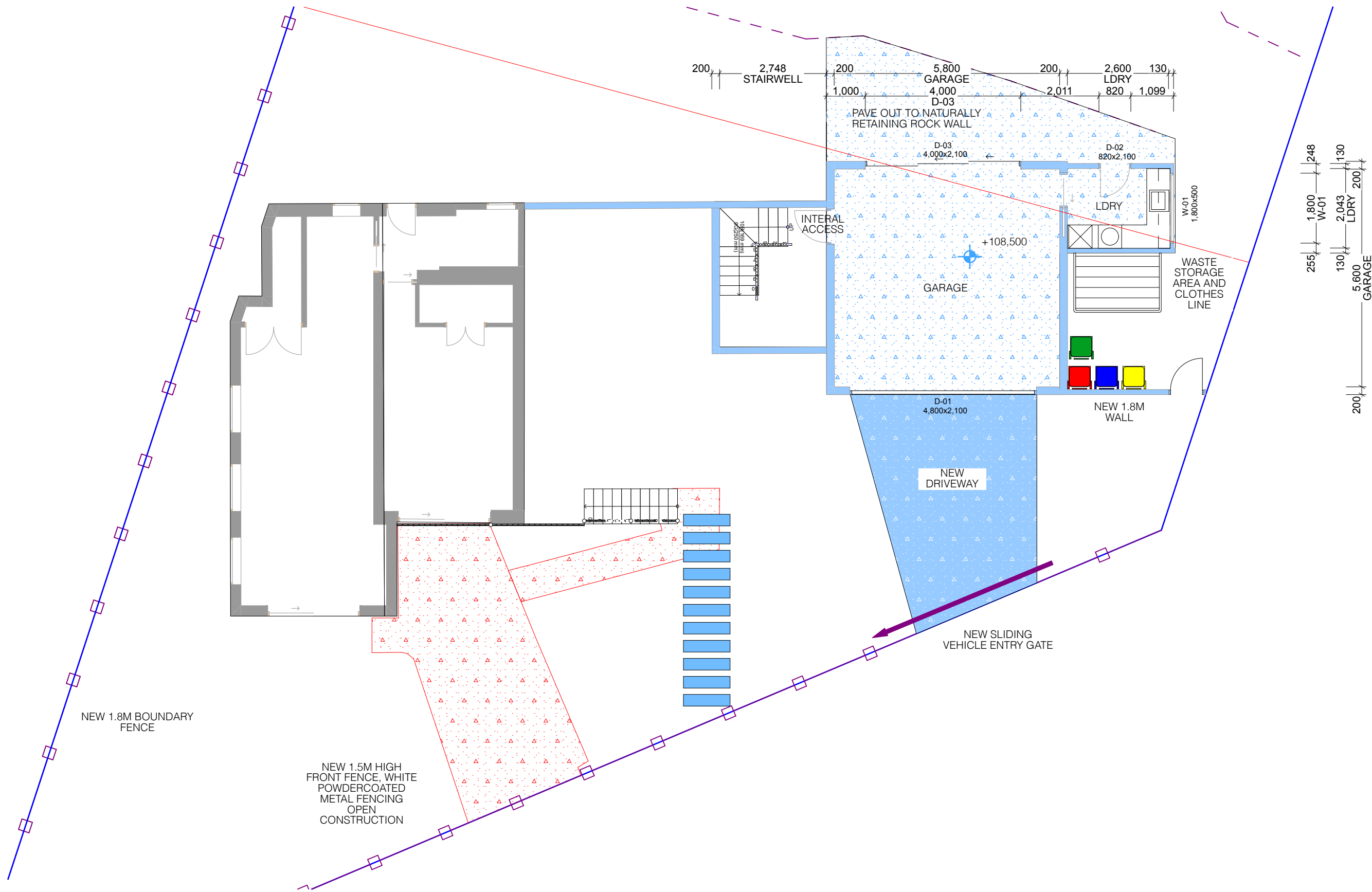
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DEVELOPMENT APPLICATION	
DATE :	12/2/21 Existing Plans
PROJECT NO:	200120 Existing Elevations
DRAWN BY:	SH DA07





P-6

Lower Ground
1:100

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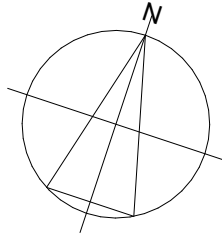
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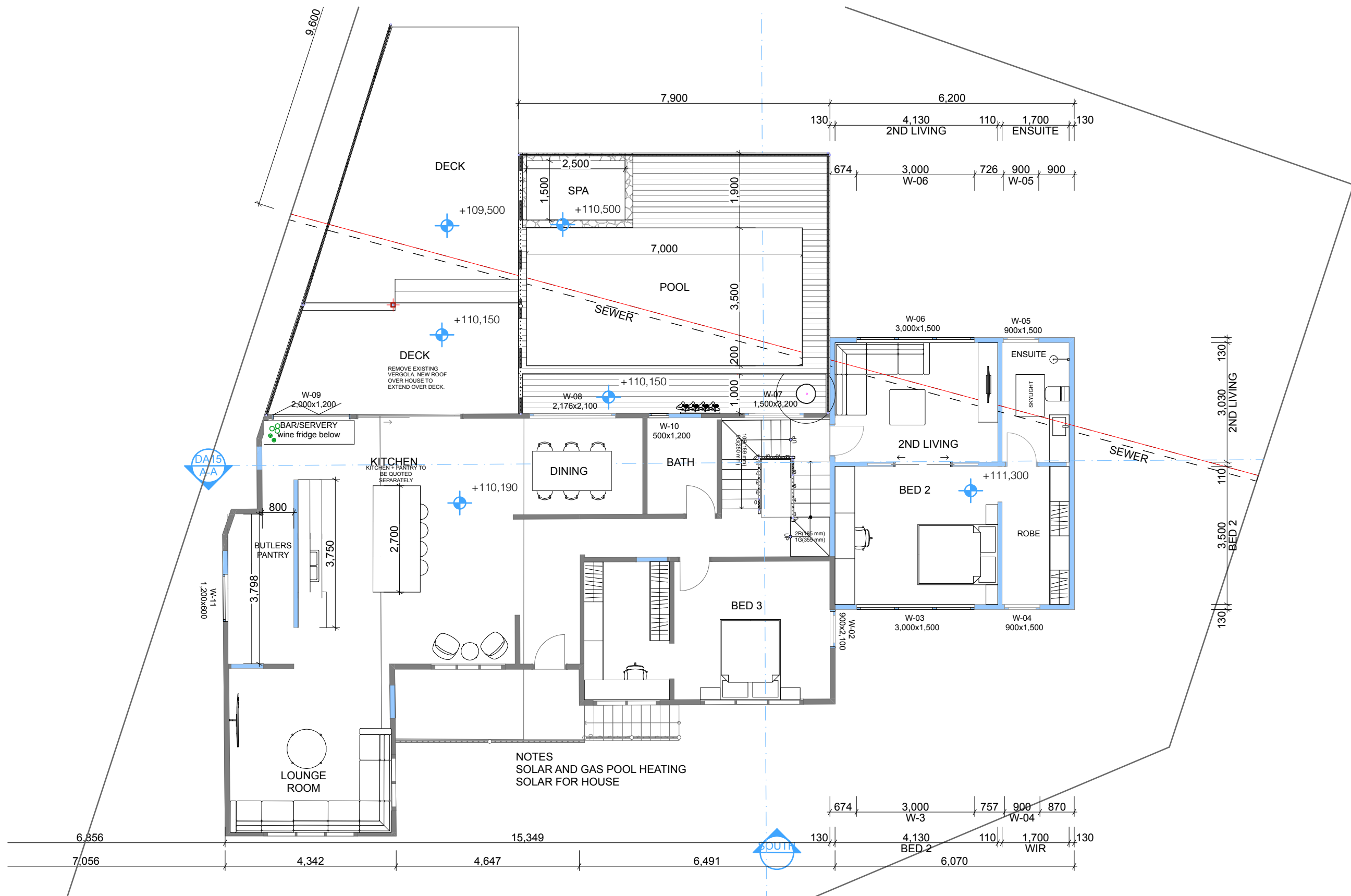
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P 0418 881 898 | E stacey@yourbeautifulhome.com.au | W yourbeautifulhome.com.au

PROJECT :	HANSON RENOVATION
CLIENT :	ELIZABETH & BEN HANSON
SITE :	13 KALIANNA CRESCENT BEACON HILL 2100
SITE :	LOT 6 D.P. 25924 668.3m2

DEVELOPMENT APPLICATION		
DATE :	12/2/21	Proposed Floor Plans
PROJECT NO:	200120	Proposed Lower Ground Floor
DRAWN BY:	SH	DA09





P-7

Ground Floor
1:100

your beautiful Home.

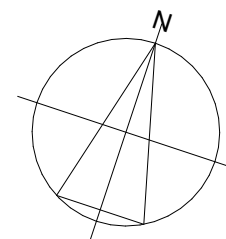
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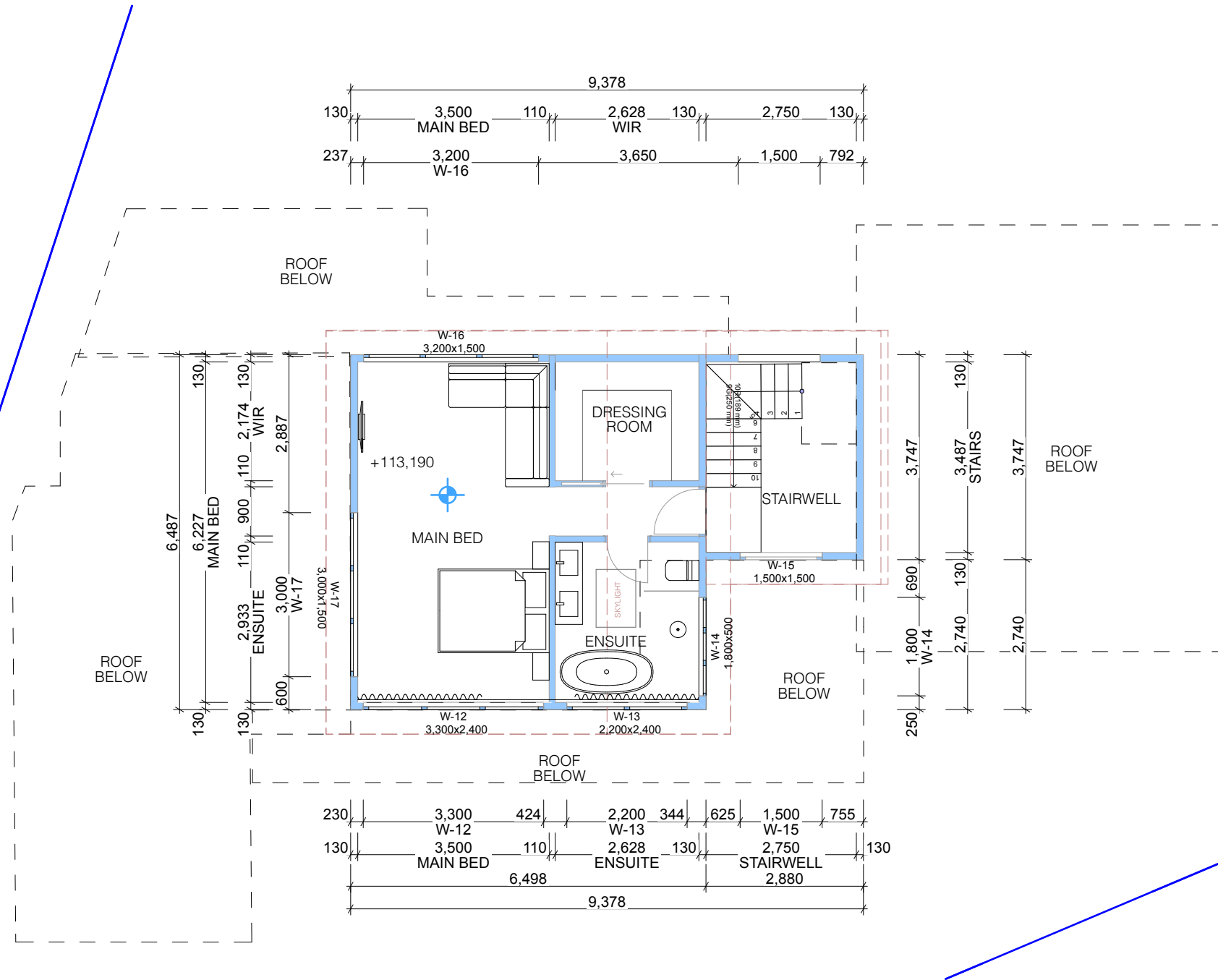
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PROJECT :	HANSON RENOVATION
CLIENT :	ELIZABETH & BEN HANSON
SITE :	13 KALIANNA CRESCENT BEACON HILL 2100
SITE :	LOT 6 D.P. 25924 668.3m2

DEVELOPMENT APPLICATION	
DATE :	12/2/21
PROJECT NO:	200120
DRAWN BY:	SH
Proposed Floor Plans	
Proposed Ground Floor	
DA10	





P-8 Proposed 2nd Floor
1:100

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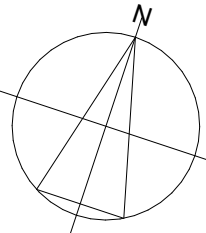
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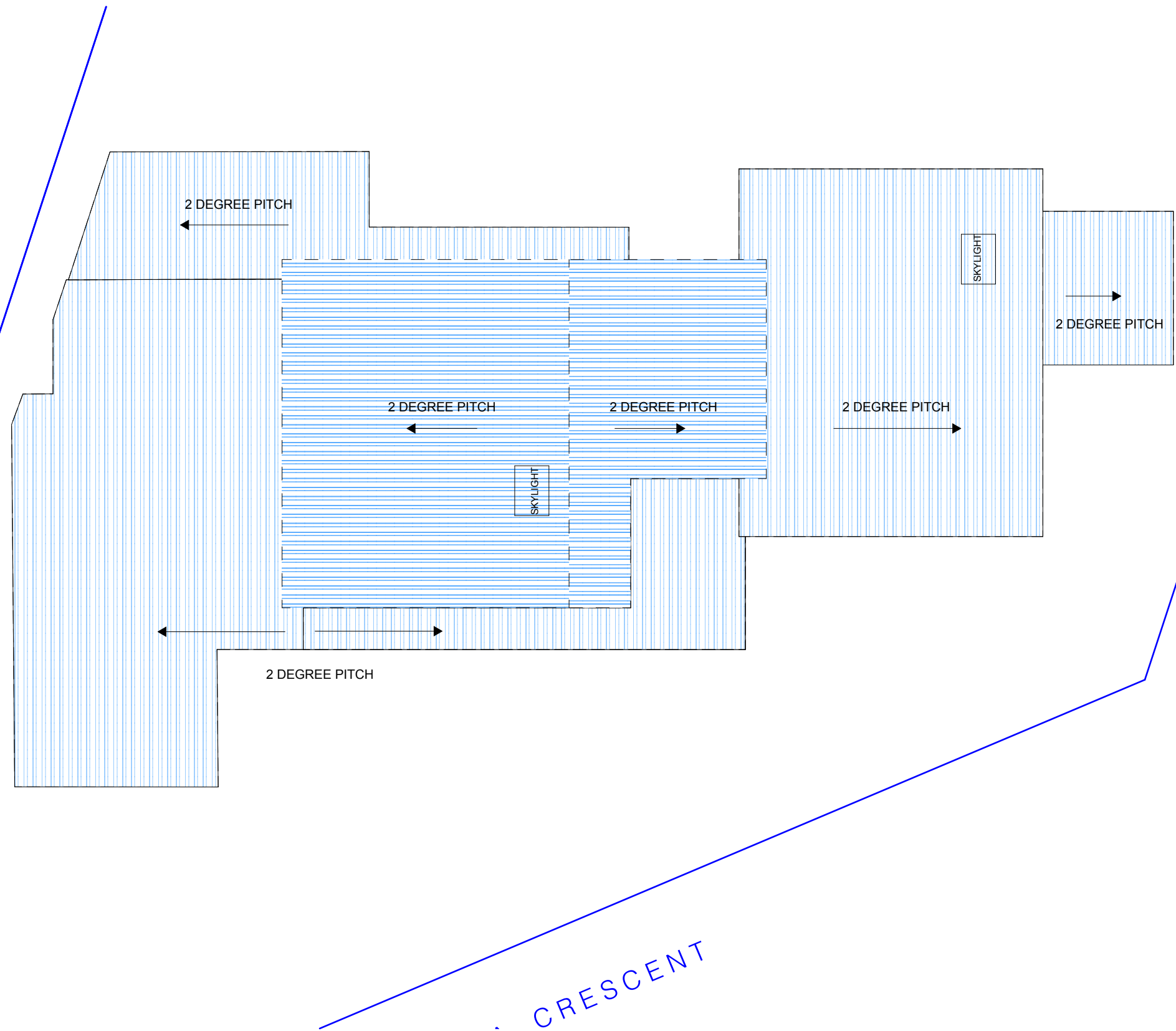
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CLIENT :	ELIZABETH & BEN HANSON
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SITE :	LOT 6 D.P. 25924 668.3m2

DEVELOPMENT APPLICATION		
DATE :	12/2/21	Proposed Floor Plans
PROJECT NO:	200120	Proposed First Floor
DRAWN BY:	SH	DA11





P-09

Proposed Roof Plan
1:100

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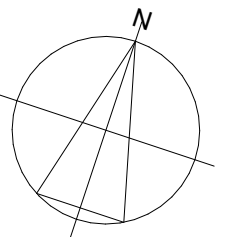
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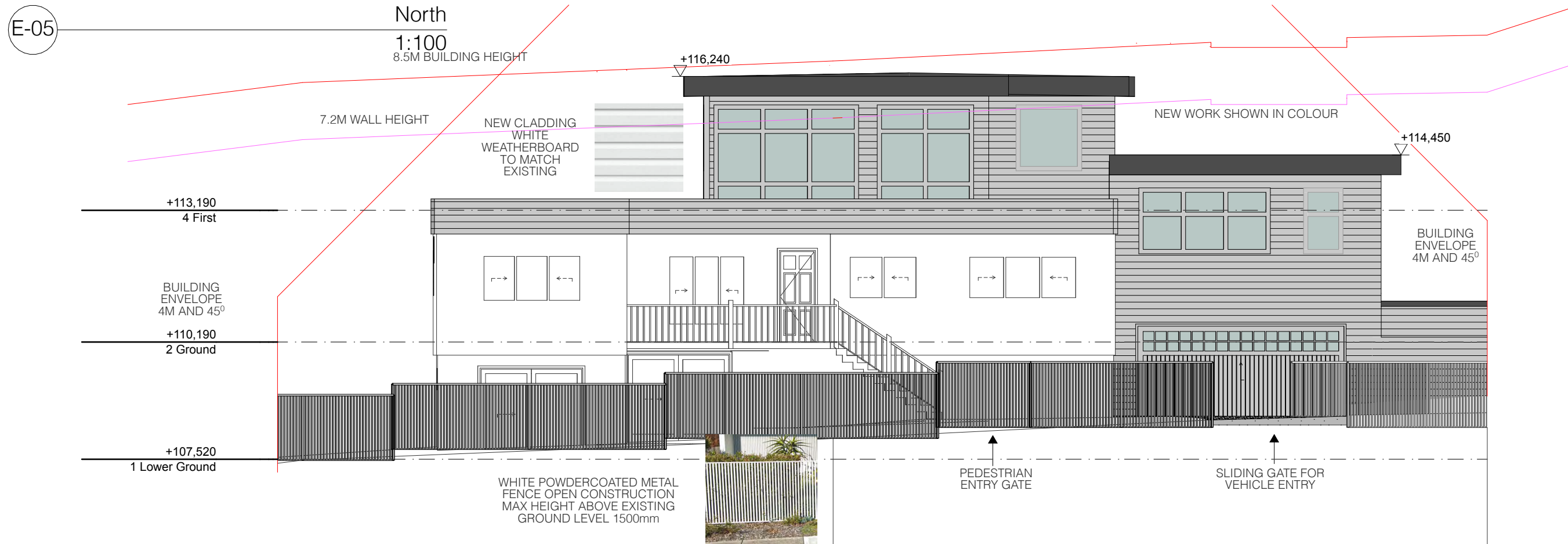
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PROJECT :	HANSON RENOVATION
CLIENT :	ELIZABETH & BEN HANSON
SITE :	13 KALIANNA CRESCENT BEACON HILL 2100
SITE :	LOT 6 D.P. 25924 668.3m2

DEVELOPMENT APPLICATION		
DATE :	12/2/21	Proposed Floor Plans
PROJECT NO:	200120	Proposed Roof Plan
DRAWN BY:	SH	DA12





E-06

South
1:100

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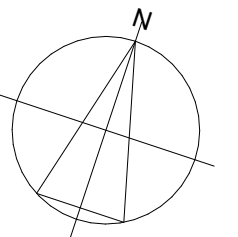
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PROJECT :	HANSON RENOVATION
CLIENT :	ELIZABETH & BEN HANSON
SITE :	13 KALIANNA CRESCENT BEACON HILL 2100
SITE :	LOT 6 D.P. 25924 668.3m2

DEVELOPMENT APPLICATION		
DATE :	12/2/21	Proposed Elevations & Sections
PROJECT NO:	200120	South & North
DRAWN BY:	SH	DA13



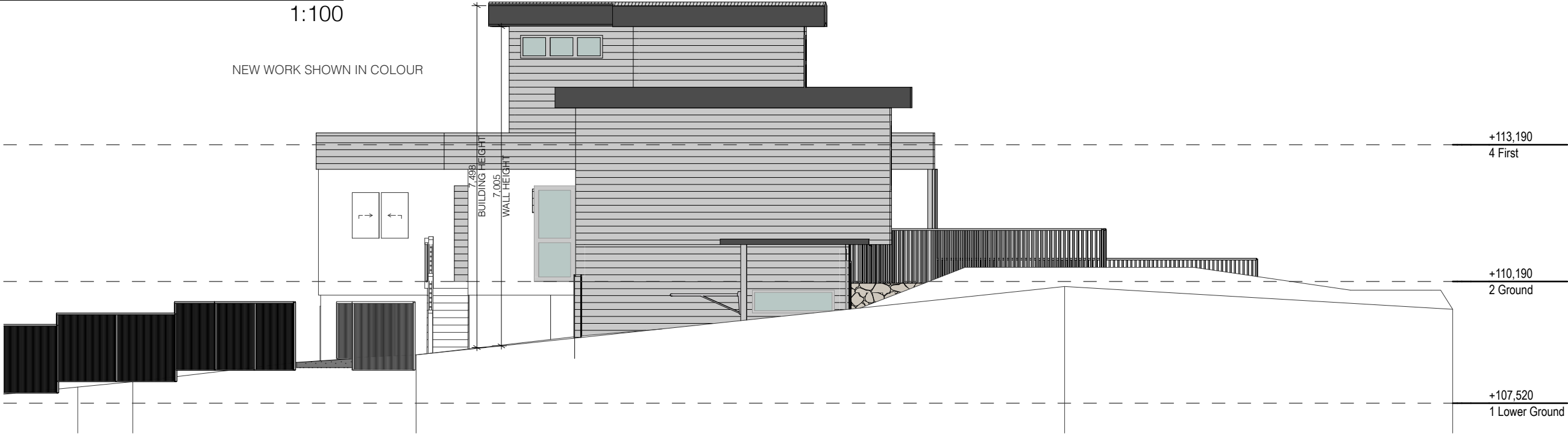
NEW WORK SHOWN IN COLOUR



E-08

West
1:100

NEW WORK SHOWN IN COLOUR



E-07

East
1:100

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beautiful
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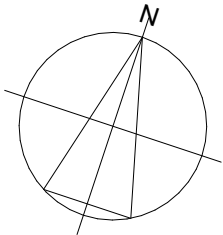
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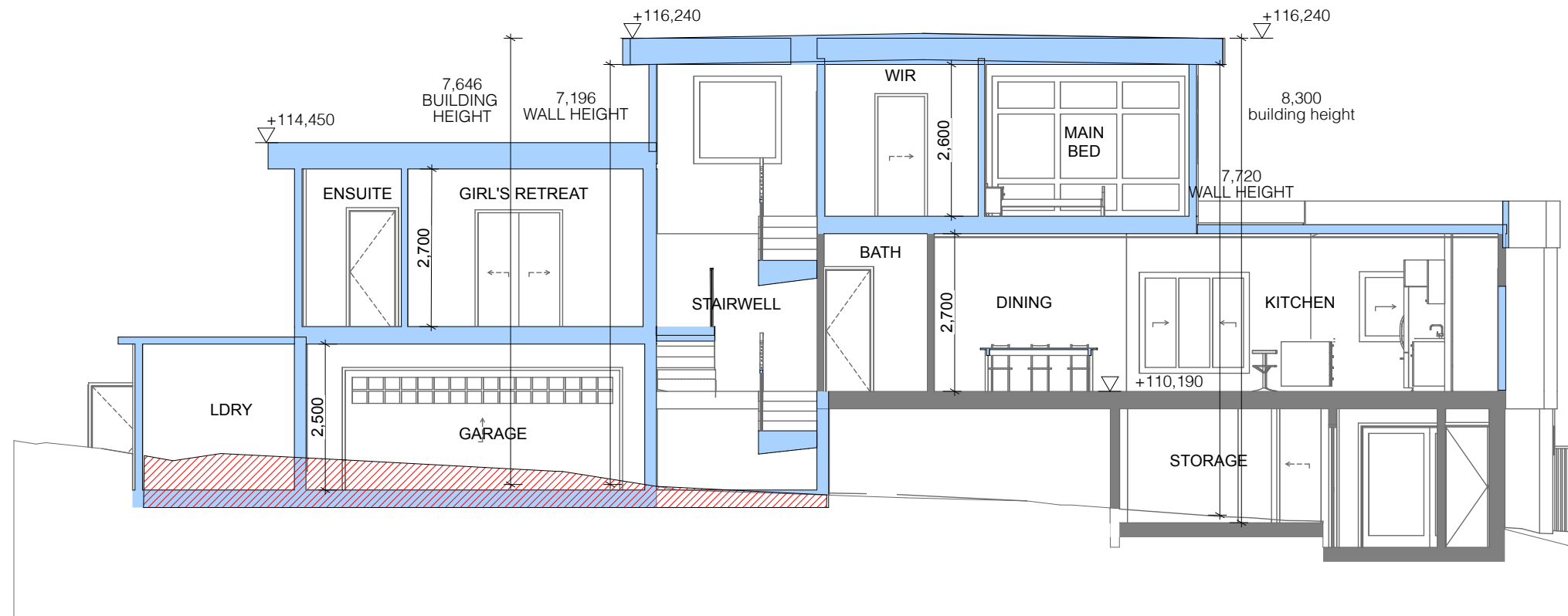
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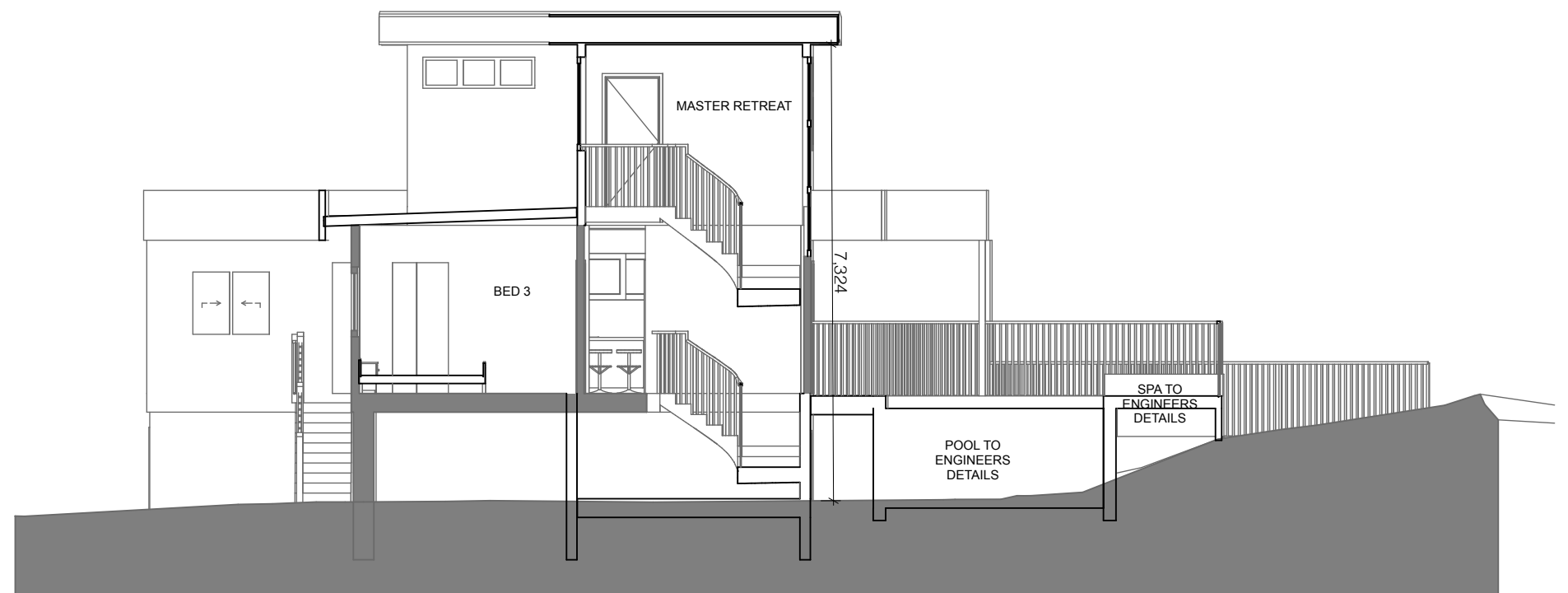
PROJECT :	HANSON RENOVATION
CLIENT :	ELIZABETH & BEN HANSON
SITE :	13 KALIANNA CRESCENT BEACON HILL 2100
SITE :	LOT 6 D.P. 25924 668.3m2

DEVELOPMENT APPLICATION		
DATE :	12/2/21	Proposed Elevations & Sections
PROJECT NO:	200120	East & West
DRAWN BY:	SH	DA14





A-A Section
1:100



B-B Section
1:100

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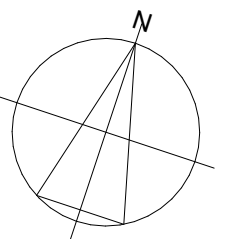
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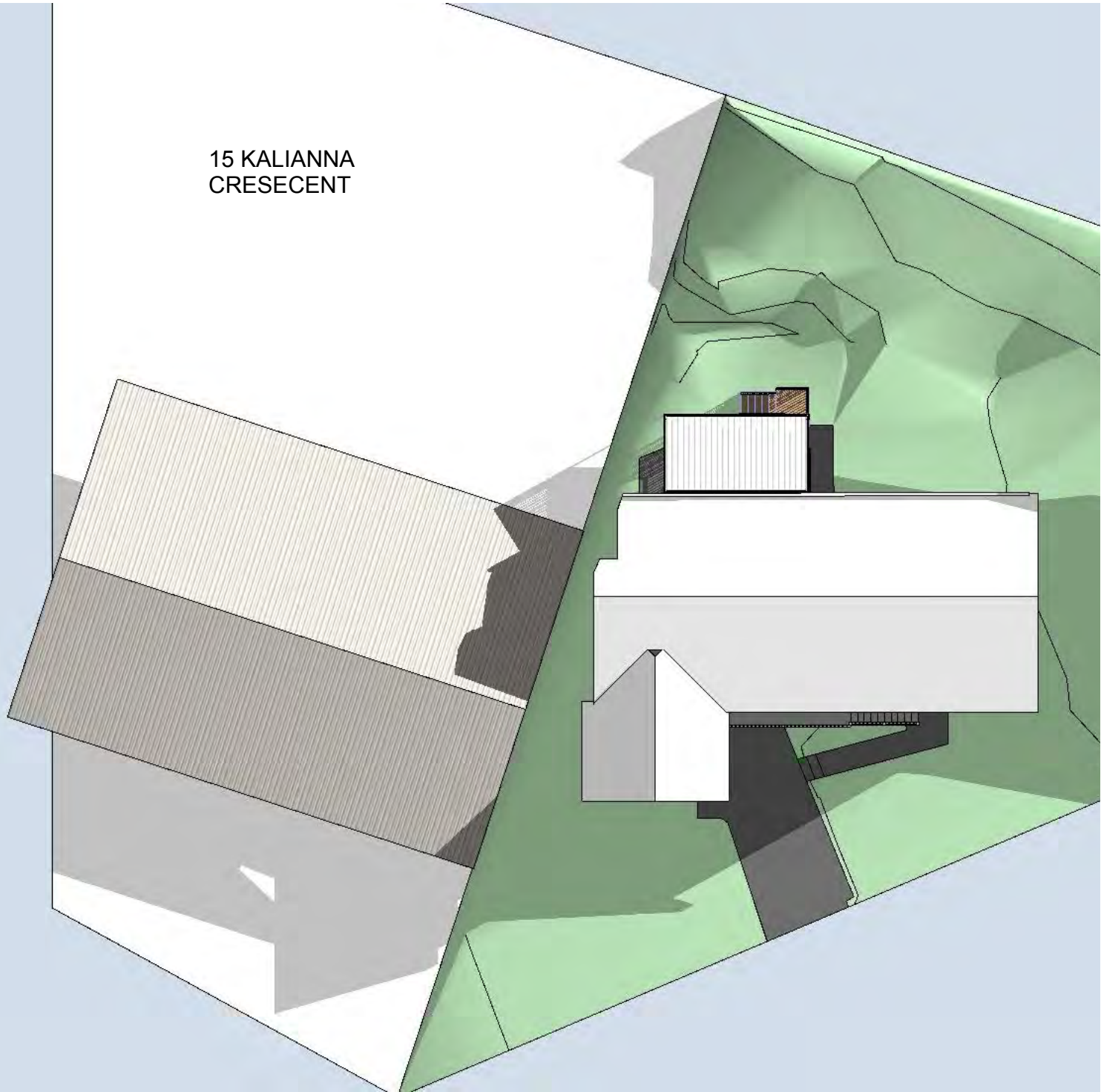
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SITE :	13 KALIANNA CRESCENT BEACON HILL 2100
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DEVELOPMENT APPLICATION		
DATE :	12/2/21	Section
PROJECT NO:	200120	Sections
DRAWN BY:	SH	DA15





S-9E

9AM Existing
1:400



S-9P

9AM Proposed
1:400

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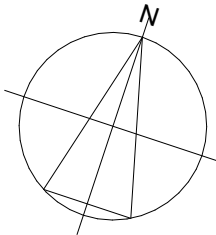
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DEVELOPMENT APPLICATION	
DATE :	12/2/21
PROJECT NO:	200120
DRAWN BY:	SH
Shadow Diagrams	
9AM SHADOW DIAGRAMS	
DA16	





S-12E

12PM Existing
1:400

S-12P

12PM Proposed
1:400

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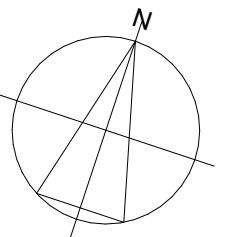
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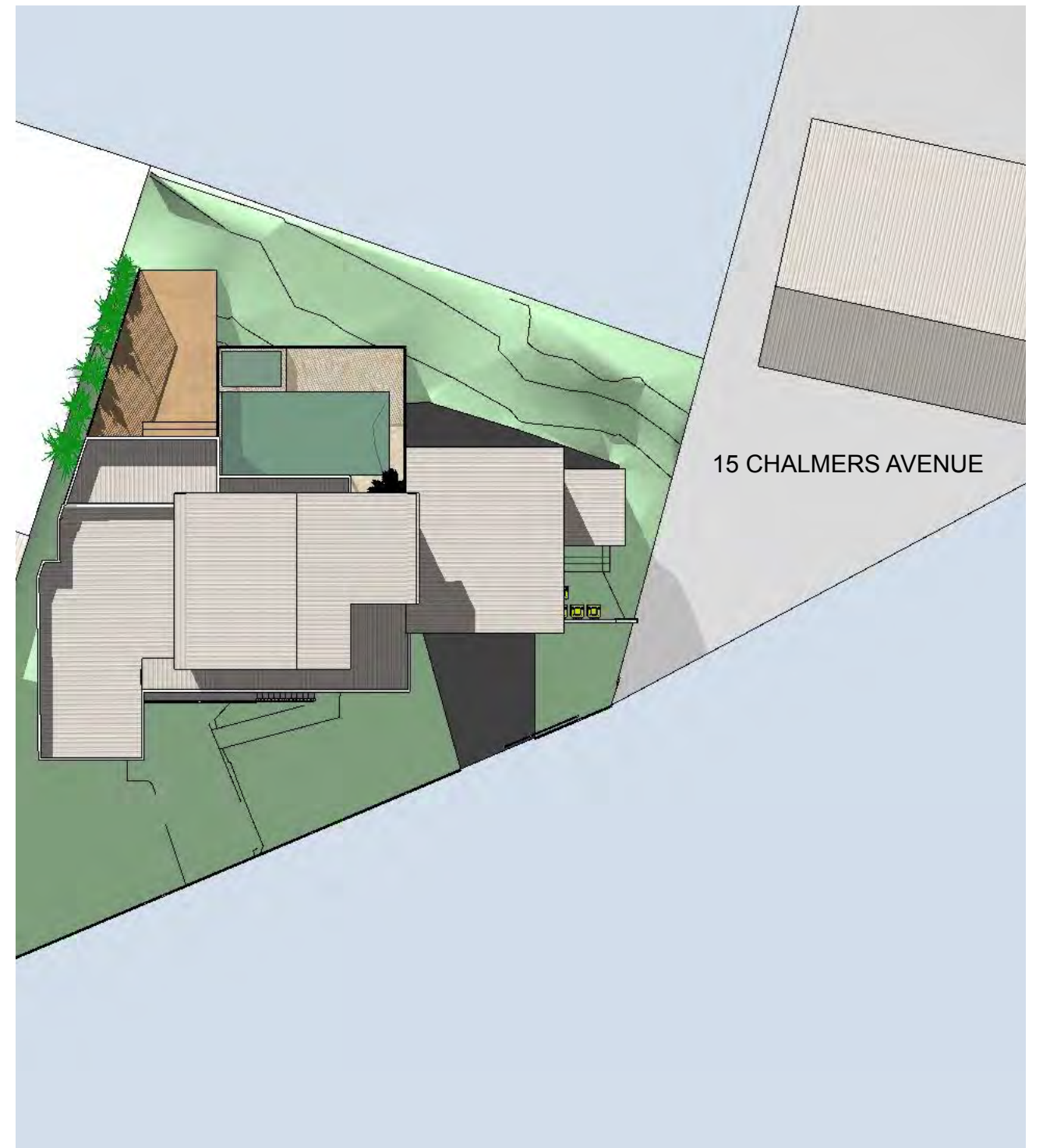
DEVELOPMENT APPLICATION	
DATE :	12/2/21
PROJECT NO:	200120
DRAWN BY:	SH
Shadow Diagrams	
12 SHADOW DIAGRAM	
DA17	





S-3E

3PM Existing
1:400



S-3P

3PM Proposed
1:400

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DEVELOPMENT APPLICATION	
DATE :	12/2/21
PROJECT NO:	200120
DRAWN BY:	SH
Shadow Diagrams	
3PM SHADOW DIAGRAM	
DA18	

