



63 Alexander Street, Manly

63 Alexander Street, Manly, 2095

Development Application

DRAWING LIST		
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0 - GENERAL		
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9 - DIAGRAMS & SCHEDULES		
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DA-0-903	OPEN SPACE - DIAGRAM	B

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Nominated Architects:
Robert Nigel Dickson
Registration No: 5364
Fergus William Cumming
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A	ISSUE FOR REVIEW	04/02/2018	DH	VT
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G	ISSUE FOR DA LODGEMENT	26/07/2019	CB	VT
H	ISSUE FOR DA	14/08/2019	OP	PB

PROJECT
63 Alexander Street, Manly

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CLIENT
Angela Tesoriero and Paul Taylor

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DRAWING
COVER SHEET

PROJECT NO.	DRAWING NO.	REVISION	COMMENCEMENT
19-002	DA-0-001	H	22/02/2019
		DRAWN DH	AUTHORISED VT



Project:

63 Alexander Street

Address:

63 Alexander Street, Manly, 2095

DR Project No.:

19-002

Manly LEP 2013	
Land zoning:	R1 - General Residential
FSR:	0.60:1

Manly DCP 2013			
Setbacks:		Unchanged	
Front Setback:		Prevailing setback	
Rear Setback:		8 meters	
Side Setbacks:	Ground	-	1/3 height of adjacent external wall
	Upper levels	-	of proposed building

Project Summary Details	
Site area:	410 m²
Available maximum GFA:	246 m²
Existing /Proposed GFA:	429.0 m²
Existing /Proposed GFA:	1.05:1
Proposed Height:	Unchanged

Manly LEP 2013

Gross Floor Area (GFA) definition:

Gross floor area means the sum of the floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls seperating the building from any other building, measured at a height of 1.4 meters above the floor, and includes:

(a) the area of a mezzanine, and

(b) habitable rooms in a basement or an attic, and

(c) any shop, auditorium, cinema, and the like, in a basement or attic,

(d) any area for common vertical circulation, such as lifts and stairs, and

(e) any basement:

(i) Storage

(ii) Vehicular access, loading areas, garbage and services, and

(f) plant rooms, lift towers and other areas used exclusively for mechanical services or ducting, and

(g) car parking to meet any requirements of the consent authority (including access to that car

(h) any space used for the loading and or unloading of goods (including access to it), and

(i) terraces and balconies with outer walls less than 1.4 metres high, and

(j) voids above a floor at the level of a storey or storey above.

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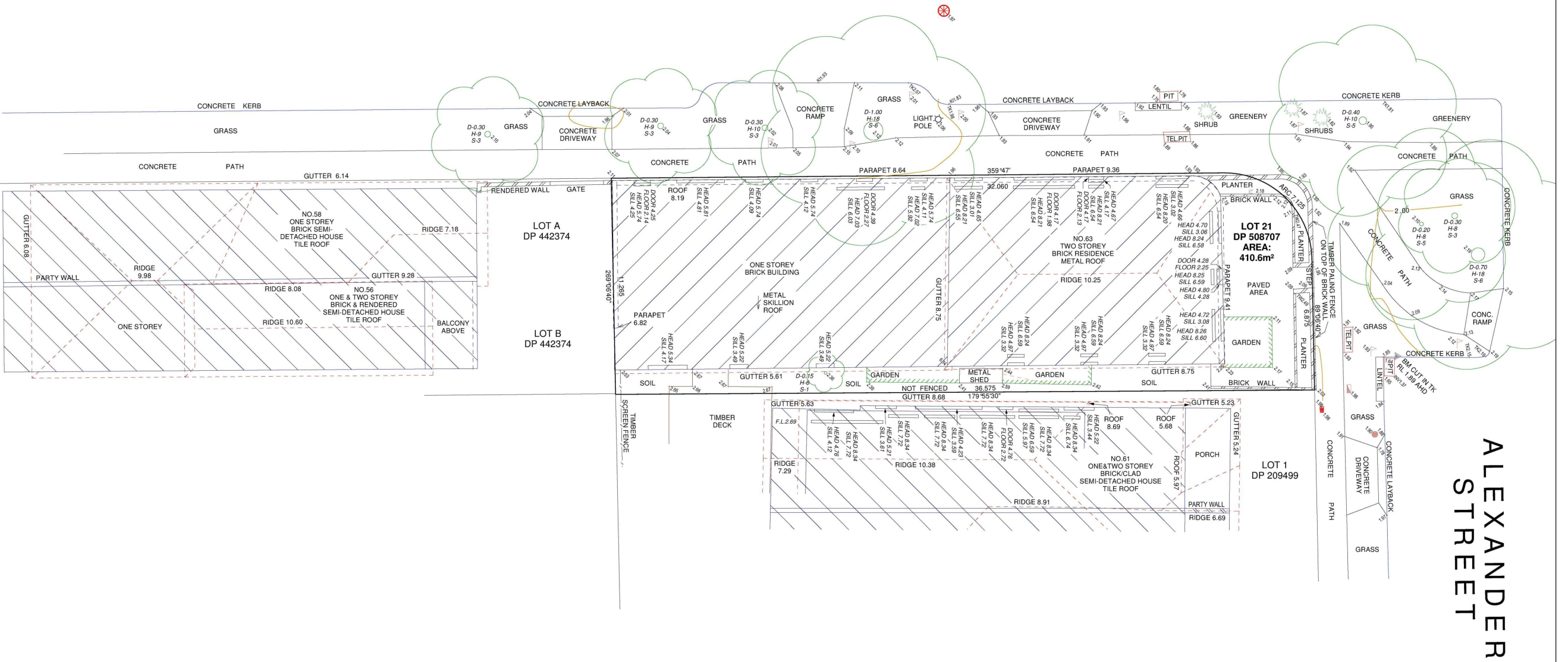
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PROJECT SUMMARY			
PROJECT NO.	DRAWING NO.	REVISION	COMMENCEMENT
19-002	DA-0-002	H	22/02/2019
		DRAWN	AUTHORISED
		CB	VT



BALGOWLAH ROAD

ABOUT 10°
T.N.
M.M.
ALL BEARINGS ARE ON MAGNETIC MERIDIAN
TAKEN FROM DP 508707 DATED 1976



ALEXANDER STREET



SUITE 7/14 FRENCH AVENUE AVENUE, BANKSTOWN
PH: 02 9708 0177 FAX: 02 9708 0255 E: info@sydney-surveyors.com.au

NOTE: NO BOUNDARY SURVEY HAS BEEN CARRIED OUT
IMPROVEMENTS ON OR NEAR THE BOUNDARIES ARE SHOWN DIAGRAMMATICALLY ONLY
THE EXACT LOCATION OF UNDERGROUND SERVICES ARE UNKNOWN

▲ BENCH MARK	TELSTRA PIT	WATER METER	SEWER MANHOLE	STOP VALVE
TREES	HYDRANT	GAS METER	POWER POLE	DRAIN / GRATE

SHEET 01 OF 01	REF: 16355/1A
	SCALE: 1:100 @A1
	GRID:
	DATUM: CORSNET
REGISTERED SURVEYOR	DATE: 24/05/2019

PLAN SHOWING DETAIL AND LEVELS AT
63 ALEXANDER STREET, MANLY
LOT 21 IN D.P.508707



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DRAWING
SURVEY PLAN BY SYDNEY
SURVEYORS

PROJECT NO.	DRAWING NO.	REVISION	COMMENCEMENT
19-002	DA-0-100	D	22/02/2019
NOT TO SCALE		DRAWN SS	AUTHORISED VT

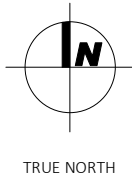




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DRAWING			
SITE LOCATION PLAN			
PROJECT NO.	DRAWING NO.	REVISION	COMMENCEMENT
19-002	DA-0-101	E	22/02/2019
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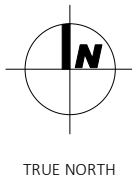


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DRAWING SITE ANALYSIS			
PROJECT NO. 19-002	DRAWING NO. DA-0-102	REVISION E	COMMENCEMENT 22/02/2019
NOT TO SCALE	DRAWN CB	AUTHORISED VT	



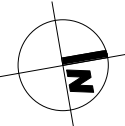


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63 Alexander Street, Manly

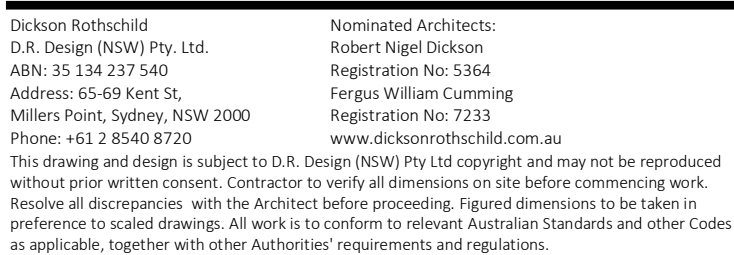
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DRAWING			
SITE PLAN			
PROJECT NO.	DRAWING NO.	REVISION	COMMENCEMENT
19-002	DA-0-103	F	22/02/2019
SCALE @ A3	DRAWN	AUTHORISED	
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DRAWING			
ROOF PLAN - EXISTING			
PROJECT NO.	DRAWING NO.	REVISION	COMMENCEMENT
19-002	DA-0-133	E	22/02/2019
SCALE @ A3		DRAWN	AUTHORISED
1 : 100		DH	VT



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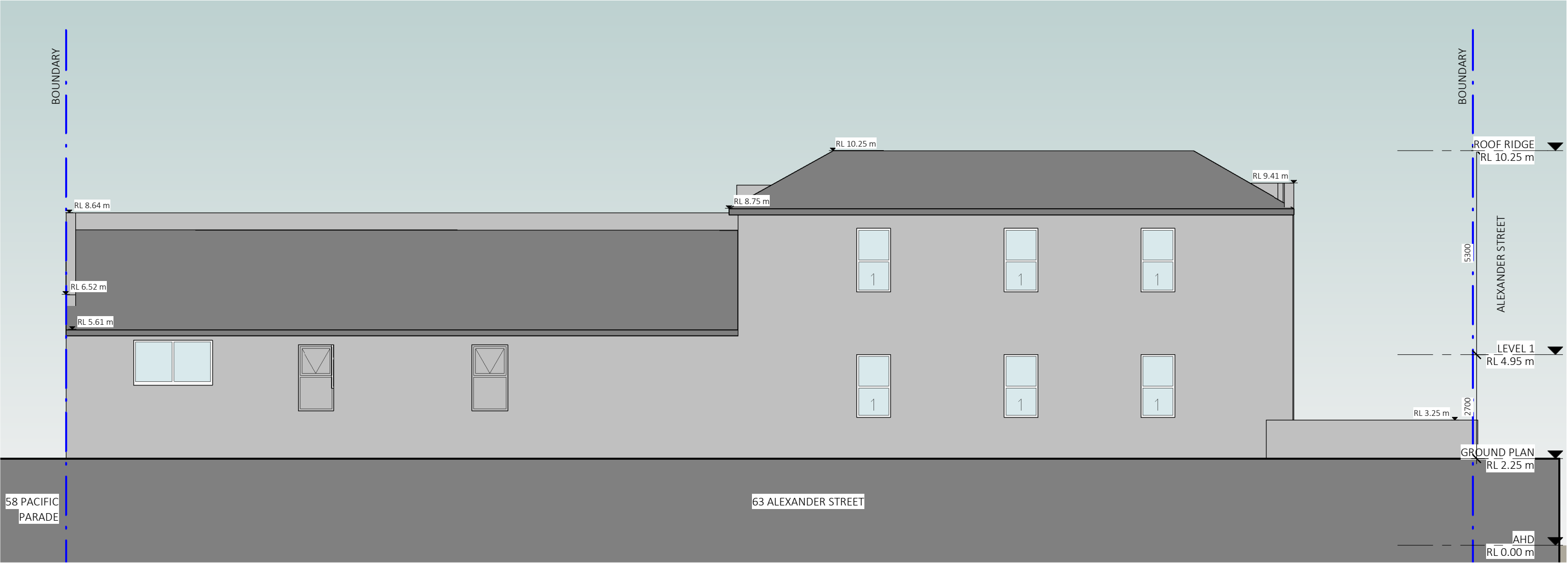
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DRAWING			
WEST ELEVATION - BALGOWLAH ST - EXISTING			
PROJECT NO.	DRAWING NO.	REVISION	COMMENCEMENT
19-002	DA-0-141	H	22/02/2019
SCALE @ A3		DRAWN	AUTHORISED
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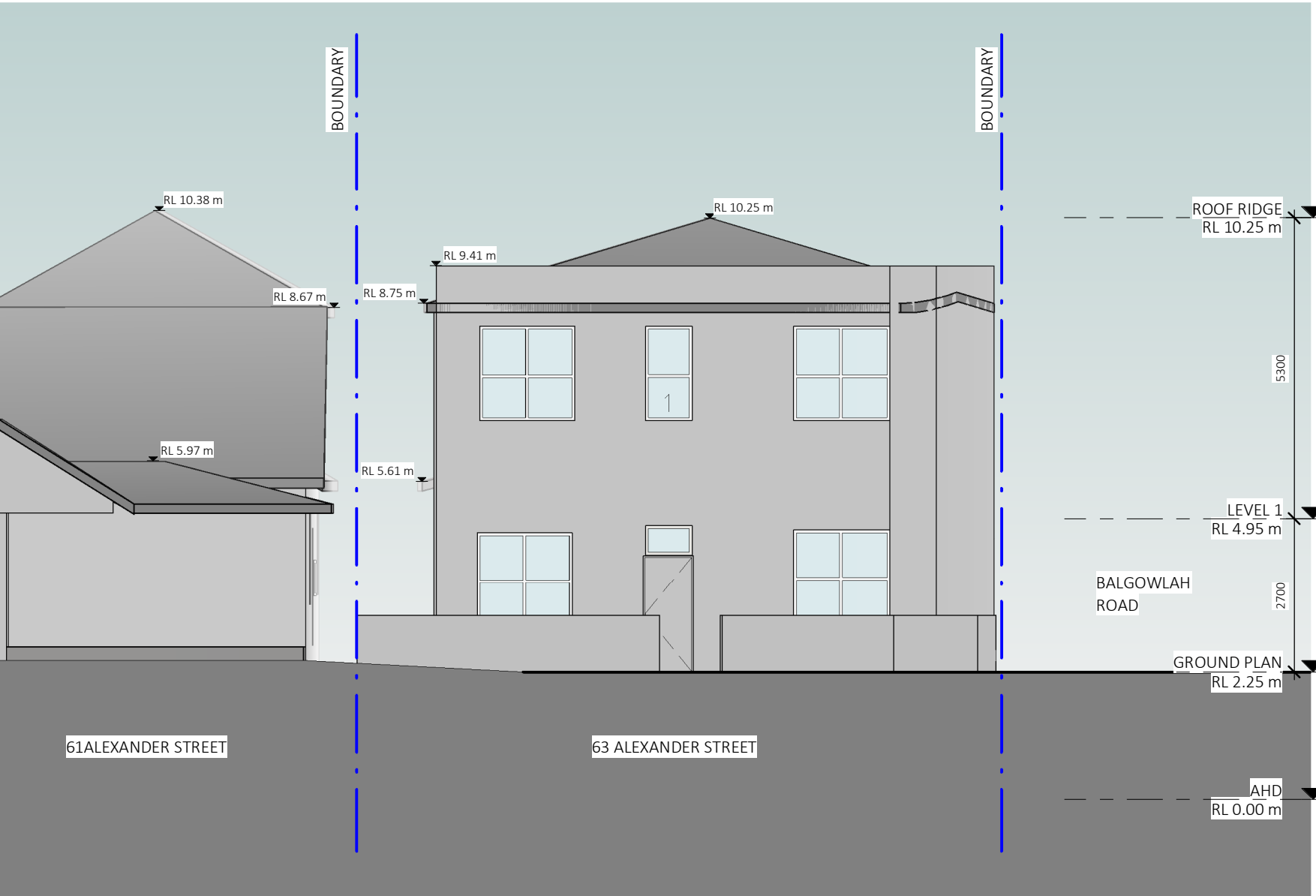
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DRAWING			
EAST ELEVATION - EXISTING			
PROJECT NO.	DRAWING NO.	REVISION	COMMENCEMENT
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PROJECT
63 Alexander Street, Manly

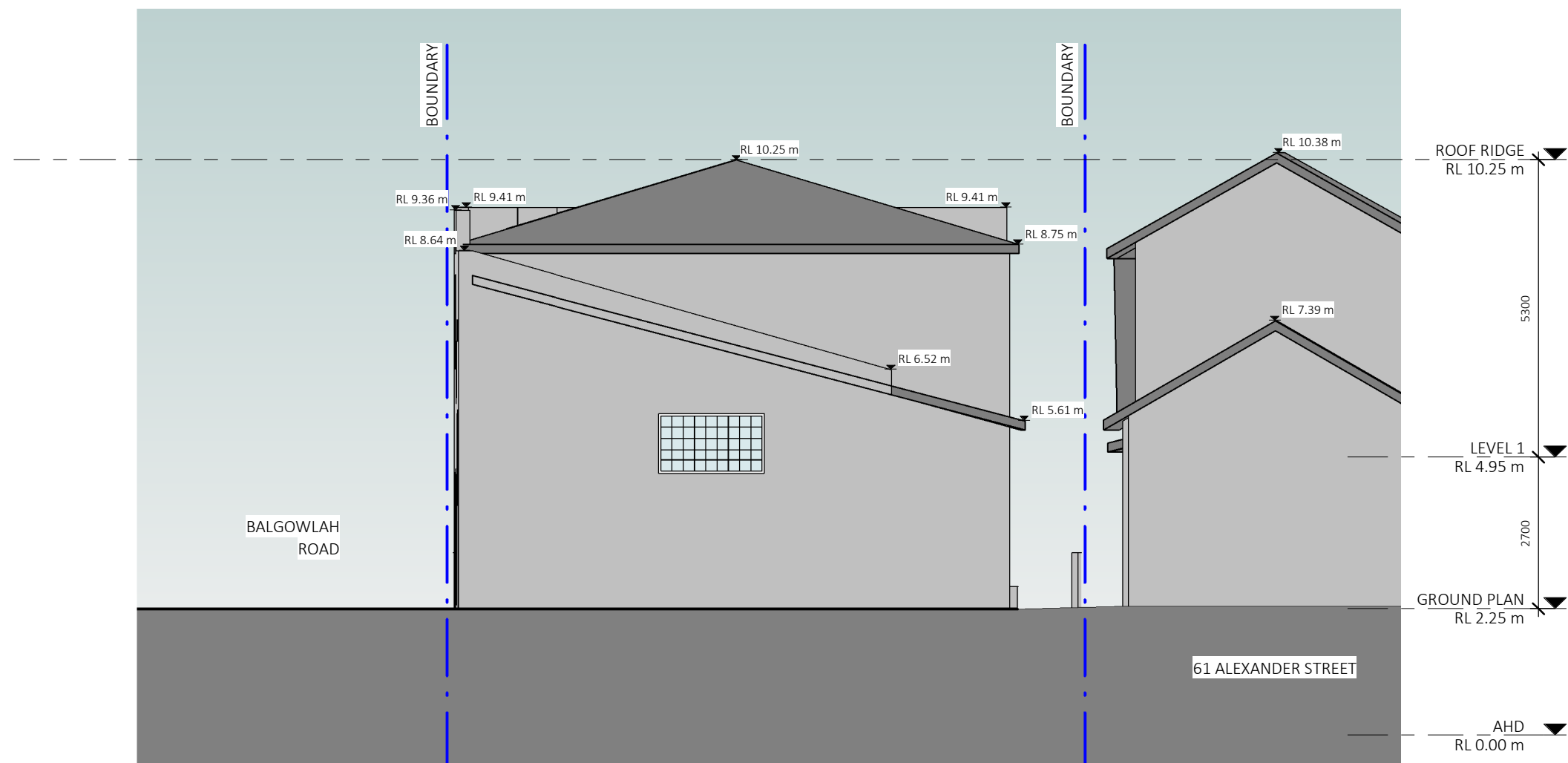
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DRAWING			
NORTH ELEVATION - ALEXANDER ST - EXISTING			
PROJECT NO.	DRAWING NO.	REVISION	COMMENCEMENT
19-002	DA-0-143	G	22/02/2019
SCALE @ A3		DRAWN	AUTHORISED
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SCALE 1:100			





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PROJECT
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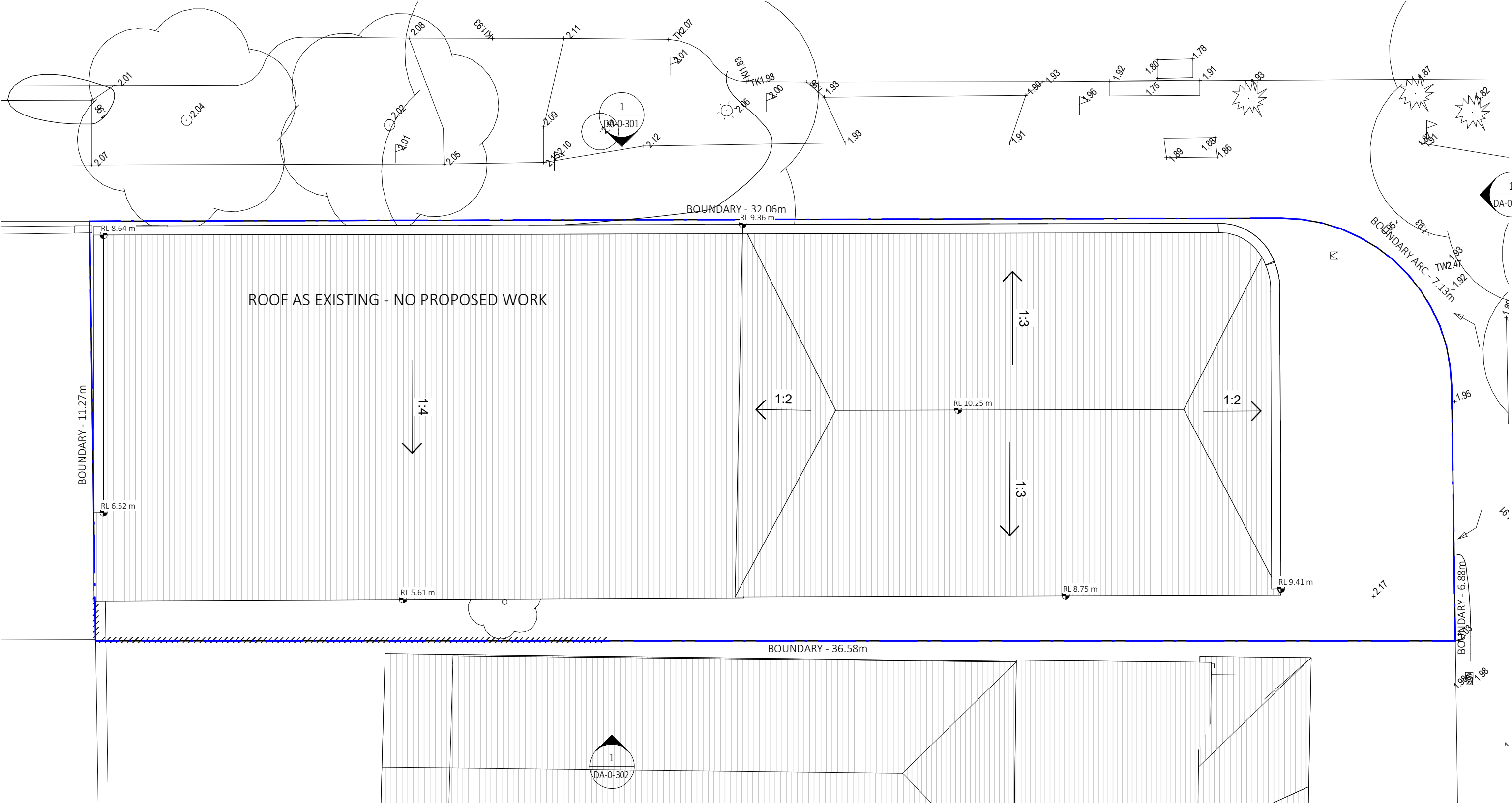
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DRAWING			
SOUTH ELEVATIONS - EXISTING			
PROJECT NO.	DRAWING NO.	REVISION	COMMENCEMENT
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SCALE @ A3		DRAWN	AUTHORISED
1 : 100		DH	VT
0			





NOTE: EXISTING ROOF NOT IMPACTED BY PROPOSED DEVELOPMENT

LEGEND

- EXISTING BUILDING
- PROPOSED WORKS
- EXISTING WINDOW LOCATIONS

- COMMON FOYER
- PRIMARY DWELLING
- SECONDARY DWELLING
- EXISTING GARAGE
- FLOOR TO CEILING HEIGHT

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Development Application

PROJECT NO.	DRAWING NO.	REVISION	COMMENCEMENT
19-002	DA-0-213	F	22/02/2019
SCALE @ A3	DRAWN	AUTHORISED	
1 : 100	DH	VT	
SCALE 1:100			



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NOTE: EXISTING FACADE NOT IMPACTED BY PROPOSED DEVELOPMENT

LEGEND

- EXISTING BUILDING
- PROPOSED WORKS
- EXISTING WINDOW LOCATIONS
- PROPOSED WINDOWS

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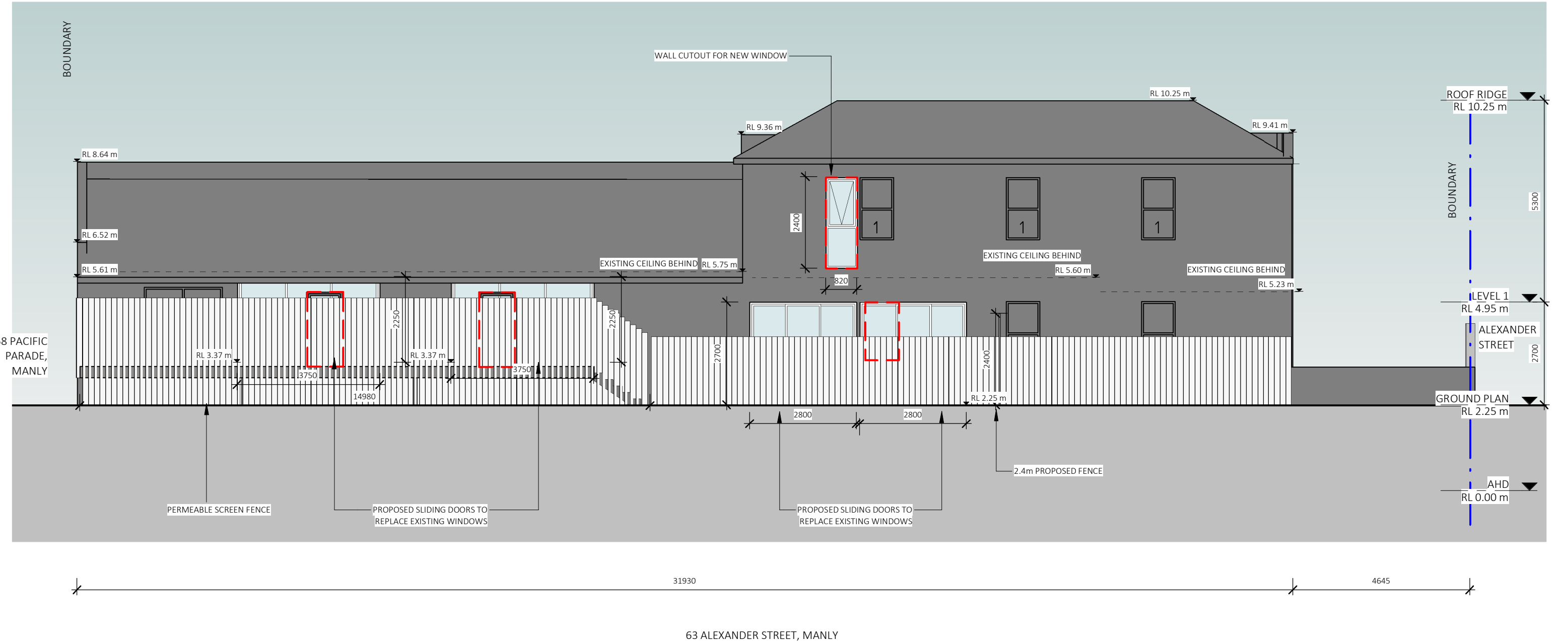
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DRAWING			
WEST ELEVATION - VIEW FROM BALGOWLAH RD			
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1 : 100		DH	VT
0 5m			





LEGEND

- EXISTING BUILDING
- PROPOSED WORKS
- EXISTING WINDOW LOCATIONS
- PROPOSED WINDOWS

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Nominated Architects:
Robert Nigel Dickson
Registration No: 5364
Fergus William Cumming
Registration No: 7233

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REV	DESCRIPTION	DATE	ISSUED	CHECKED
A	ISSUE FOR REVIEW	04/02/2018	DH	VT
B	ISSUE FOR REVIEW	07/03/2019	DH	VT
C	ISSUE FOR REVIEW	13/03/2019	DH	VT
D	ISSUE FOR REVIEW	15/03/2019	DH	VT
E	ISSUE FOR REVIEW	7/06/2019	CB	VT
F	ISSUE FOR REVIEW	11/06/2019	CB	VT
G	ISSUE FOR REVIEW	11/07/2019	CB	PB
H	ISSUE FOR DA LODGEMENT	26/07/2019	CB	VT
I	ISSUE FOR DA	14/08/2019	OP	PB

PROJECT
63 Alexander Street, Manly

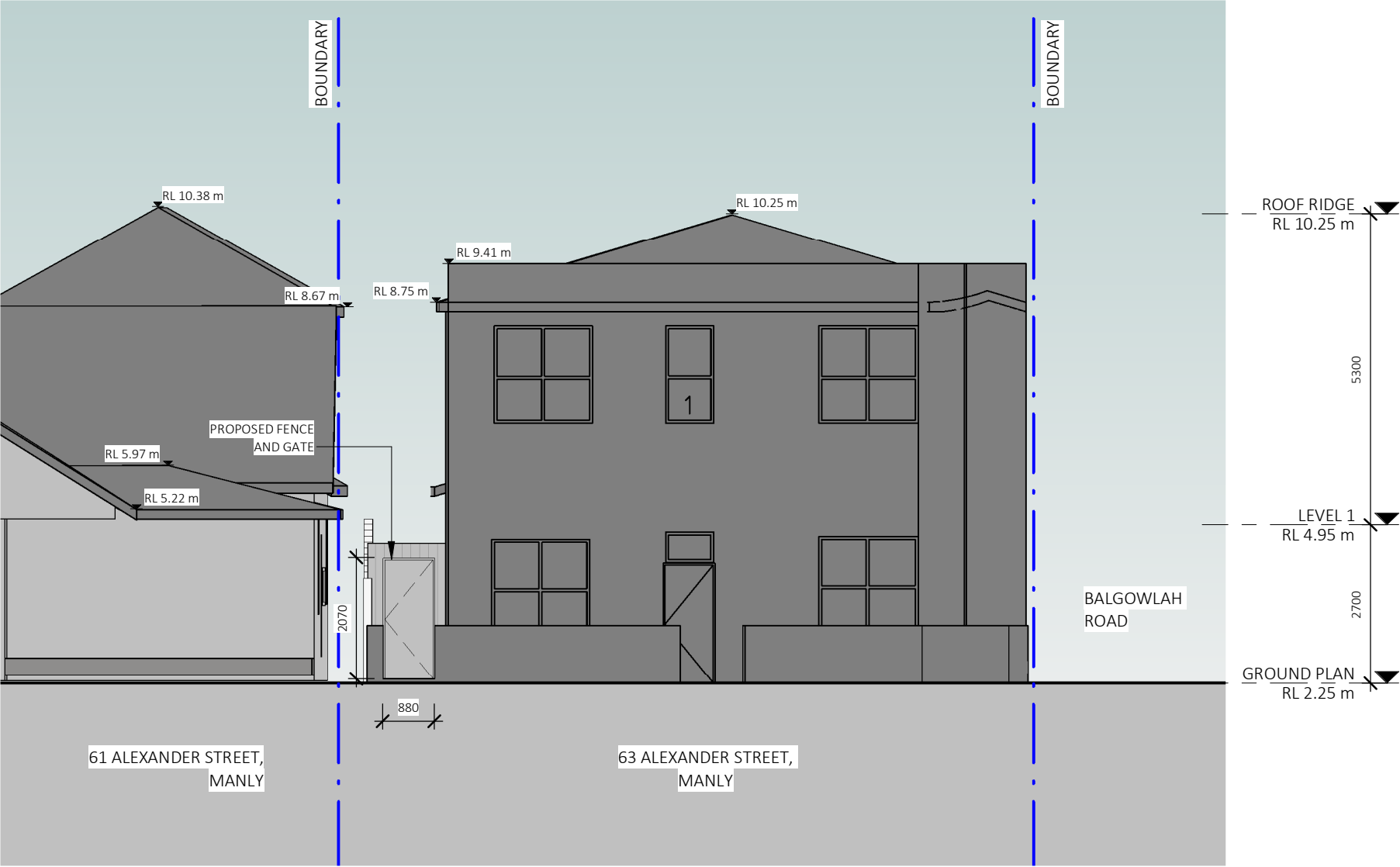
63 Alexander Street, Manly, 2095

CLIENT
Angela Tesoriero and Paul Taylor

Development Application

DRAWING			
EAST ELEVATION			
PROJECT NO.	DRAWING NO.	REVISION	COMMENCEMENT
19-002	DA-0-302	I	22/02/2019
SCALE @ A3	DRAWN	AUTHORISED	
1 : 100	DH	VT	
SCALE		1:100	5m





LEGEND

EXISTING BUILDING

PROPOSED WORKS

EXISTING WINDOW LOCATIONS

PROPOSED WINDOWS

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G	ISSUE FOR DA LODGEMENT	26/07/2019	CB	VT
H	ISSUE FOR DA	14/08/2019	OP	PB

PROJECT

63 Alexander Street, Manly

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Development Application

DRAWING

NORTH ELEVATION - VIEW
FROM ALEXANDER ST

PROJECT NO.
19-002

DRAWING NO.
DA-0-303

REVISION
H

COMMENCEMENT
22/02/2019

SCALE @ A3
1 : 100

DRAWN
DH

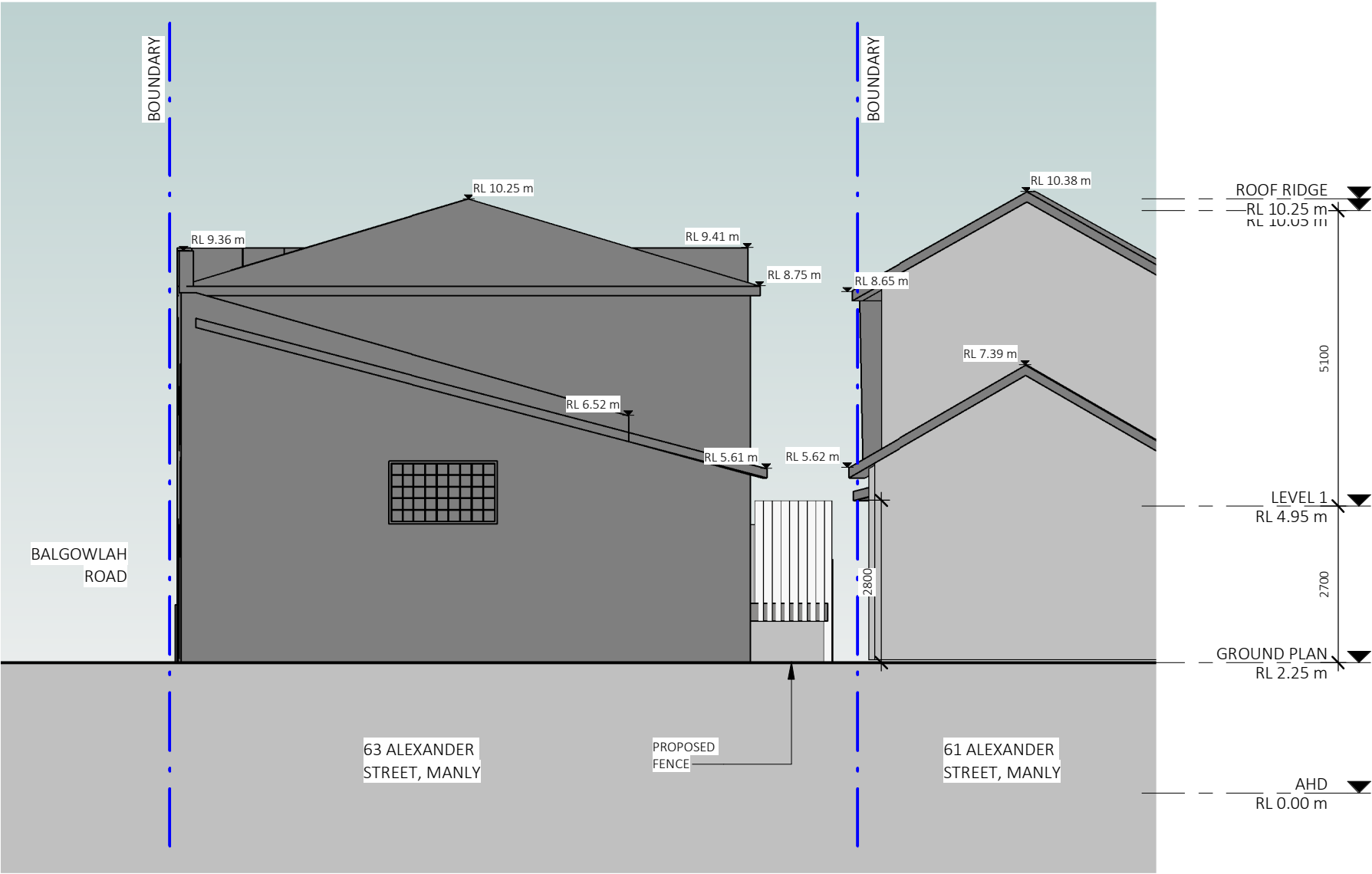
AUTHORISED
VT

0

SCALE 1:100





5m





NOTE: EXISTING FACADE NOT IMPACTED BY PROPOSED DEVELOPMENT

LEGEND

-  EXISTING BUILDING
-  PROPOSED WORKS
-  EXISTING WINDOW LOCATIONS
-  PROPOSED WINDOWS

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H	ISSUE FOR DA	14/08/2019	OP	PB

PROJECT
63 Alexander Street, Manly

63 Alexander Street, Manly, 2095

CLIENT
Angela Tesoriero and Paul Taylor

Development Application

DRAWING			
SOUTH ELEVATION			
PROJECT NO.	DRAWING NO.	REVISION	COMMENCEMENT
19-002	DA-0-304	H	22/02/2019
SCALE @ A3		DRAWN	AUTHORISED
1 : 100		DH	VT
0 5m			
SCALE 1:100			

