

LEGEND

WATER MAIN
TELSTRA PILLAR
TELSTRA MARKER POST
TELSTRA PIT
TELEGRAPH POLE
POWER POLE
ELECTRICAL PILLAR
POWER LIGHT POLE
LIGHT POLE
HYDRANT
RECYCLED WATER
WATER METER
STOP VALVE
WATER TAP
GAS METER
GAS DIRECTION MARKER
GAS INSPECTION POINT
SEWER MANHOLE
STREET SIGN
PRAM CROSSING
VEHICLE CROSSING

SEWER VENT
SEWER LAMP/POLE
SEWER INSPECTION POINT
SUBSOIL DRAIN
STORMWATER PIT
STORMWATER GRATE
SURFACE INLET PIT
UNTEL-KERB INLET PIT
UNTEL-KERB INLET PIT WITH GRATE
STORMWATER PIPE INCLUDING PIPE SIZE
HEADWALL
CLOTHES LINE
TREE: \varnothing DIAMETER
S SPREAD
H HEIGHT

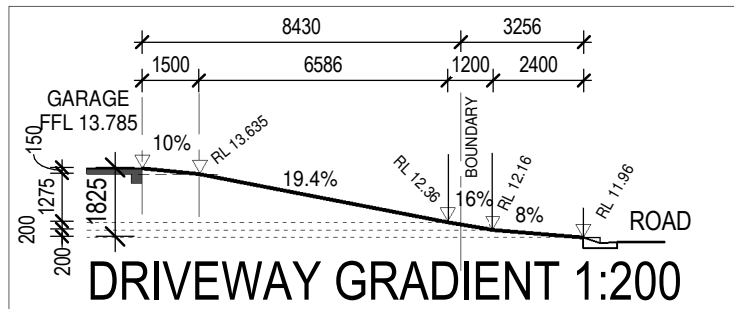
OVERHEAD ELECTRICITY LINE
OVERHEAD TELECOM LINE
SEWER LINE

L.G.A. : NORTHERN BEACHES
PARISH : MANLY COVE
COUNTY : CUMBERLAND

AREA LOT 23 SEC 6
VIDE DP 10609: 632.3 m²
BY CALC : 634.1 m²



BUSHFIRE ATTACK LEVEL (BAL)
BAL 12.5
(BAL IN ACCORDANCE WITH AS3959-2009)
TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL
IN ACCORDANCE WITH AS3959-2009



STORMWATER TO HYDRAULIC ENGIS DETAILS

FSR CALCULATIONS	
SITE AREA:	632.30m ²
HOUSE AREAS:	
Second floor living	=103.50m ²
First floor living	=124.55m ²
Rumpus	=28.36m ²
INTERNAL TOTAL:	=256.41m ²
FLOOR SPACE RATIO:	0.40:1
NOTE: FSR CALCULATED TO INTERNAL FACE OF EXTERNAL WALLS AS PER LEP DEFINITION	

SITE DETAILS
LOT NUMBER: 23 Sec.6
DP NUMBER: 10609

AREAS SITE AREA:		632.30m ²
First floor		130.35 m ²
Second floor		112.27 m ²
Garage		49.37 m ²
Rumpus		33.09 m ²
Alfresco		32.46 m ²
Porch		27.52 m ²
Balcony		17.78 m ²
Grand total		402.85 m ²

DRIVEWAY: 46.000m²
FLOOR SPACE RATIO: 0.40:1
SITE COVERAGE: 233.50m²
PRIVATE OPEN SPACE: 290.00m²
ROOF AREA: 220.00m²

LANDSCAPE:
TOTAL AREA OF VEGETATION: = 200.00m²

STORMWATER:
RAINWATER TANK SIZE: = 3000litre
-(ABOVE GROUND)
ROOF AREA CONNECTED TO RAINWATER
TANK: 22% MIN MIN- 50.00m² (to eng's details)
RAINWATER USES: GARDEN/TOILET/LAUNDRY

SITE NOTES & CONDITIONS:
-HOUSE LEVELS ARE APPROXIMATE ONLY & WILL BE DETERMINED ON SITE BY SUPERVISOR PRIOR TO CONSTRUCTION.
-EXISTING STRUCTURES IN THE PROPOSED BUILDING AREA, TO BE REMOVED BY OWNER
-EXISTING FENCING TO BE SECURED BY OWNER, PRIOR TO CONSTRUCTION & TO REMAIN OUTSIDE OF BUILDING PLATFORM.
-EXISTING TREES & VEGETATION TO BE CUT & REMOVED FROM BUILDING AREA PRIOR TO CONSTRUCTION, BY OWNER.
-WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING.
-DIMENSIONS SHOWN ARE TO FRAME AND UNDERSIDE OF ROOF TRUSSES
-FINISHED OUTLINE OF EXCAVATED AREA IS INDICATIVE ONLY & WILL VARY ON SITE
-ALL RETAINING WALLS ARE BY OWNER UNLESS NOTED OTHERWISE IN THE TENDER
-ALL CONSTRUCTION WORK TO COMPLY WITH THE BCA AND ALL RELEVANT AUSTRALIAN STANDARDS

SEVERE MARINE CLASSIFICATION SL1

ALL TRADES & SUPPLIERS TO COMPLY
WITH THE BCA AND ALL RELEVANT AUST STANDARDS

DEVELOPMENT APPROVAL BY:	CONSTRUCTION: CERTIFICATE BY:
NORTHERN BEACHES COUNCIL	
DA No : ...	CC No : ...
Date : ...	Date : ...
Phone No: 1300 434 434	Phone No: ...

POSITION OF 3000L "THE EVOLUTION SERIES MKII" ABOVE
GROUND RAIN WATER TANK 1 TO BE INSTALLED IN
ACCORDANCE WITH COUNCIL GUIDELINES & THE NATIONAL
PLUMBING & DRAINAGE CODE AS/NZS 3500. THE RAINWATER
SUPPLY PLUMBING IS TO BE CONNECTED TO THE COLD WATER
SUPPLY TO WASHING MACHINE & EXTERNAL GARDEN TAPS

EXTERNAL A/C UNIT, A/C VENTS &
DROPPERS ARE APPROX. ONLY
AND MAY BE RE-POSITIONED ON SITE
TO SUIT DIFFERENT CONSTRUCTION OR
NOISE REQUIREMENTS. FINAL POSITION
TO BE DETERMINED BY A/C CONTRACTOR

SOLAR PANEL POSITION FOR
SOLAR SYSTEM ARE APPROX ONLY
SOLAR PANELS TO BE INSTALLED
AS PER MANUFACTURES
RECOMMENDATIONS AND GUIDELINES

SITE PLAN

ISSUE	AMENDMENT	DATE	PREMIUM FINISHES	
A	PFD.+ SV1 (HT)	06.02.19	DESIGN NAME: CUSTOM	
B	VARY A (EB)	15.04.19	DESIGN NO:	
C	VARY B,C & D (EB)	15.05.19	FACADE: CUSTOM	
D	VARY F (EB)	30.05.19	JOB NO: 17338	DATE: 23.09.19
E	VARY H, VARY I (EC)	18.07.19	DRAWN: ht	CHECKED:...
F	VARY L (EC)	23.09.19	SCALE: 1 : 200	SHEET NO:01 /
G	FFD & STORMWATER UPDATE (EB)	27.09.19	ISSUE: F Please discard all other plans	

LOCATION: T:\First draft\17338_CLARK&HAY\Drawings\17338_CLARK-HAY.rvt

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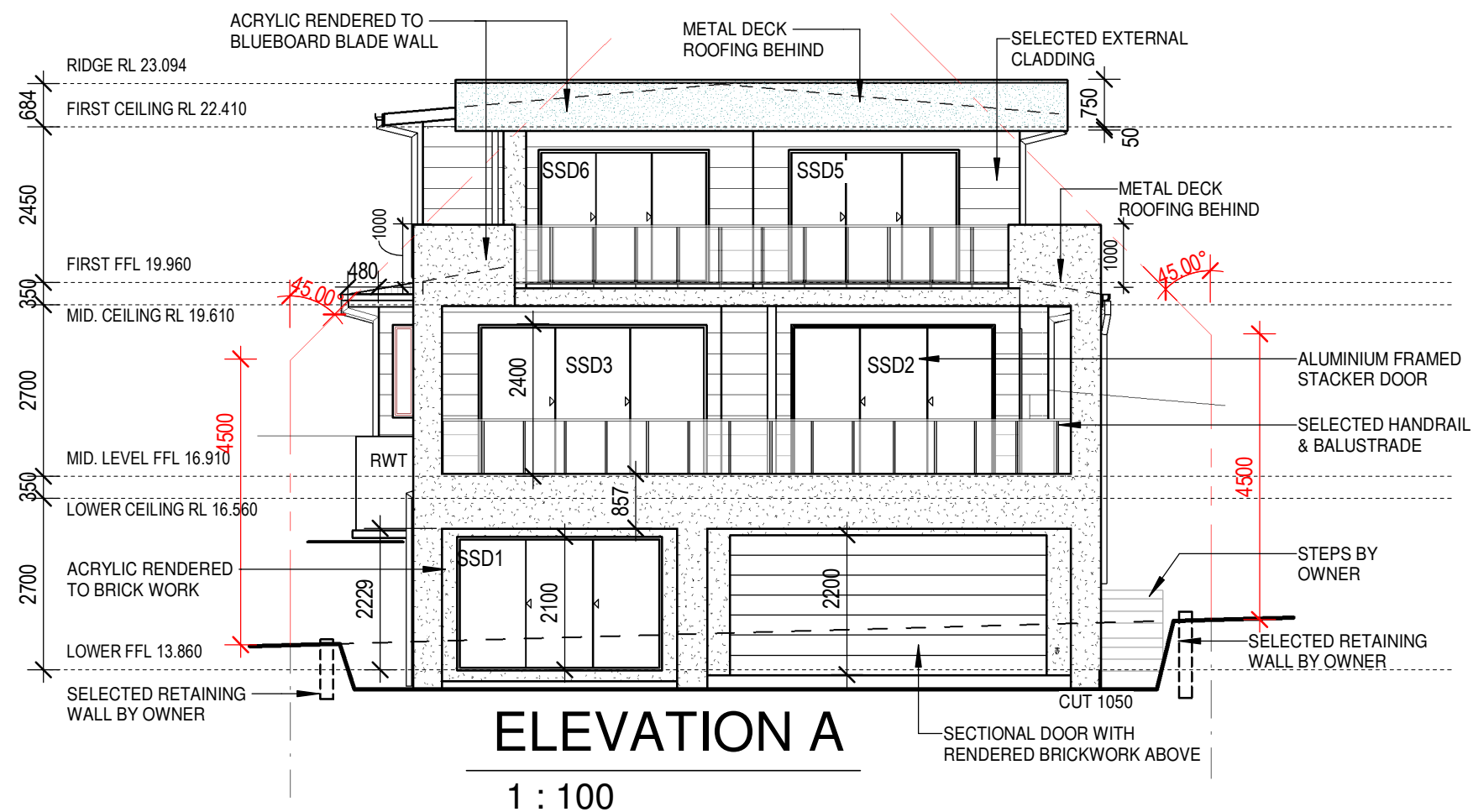
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WINCREST

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Builders License No. 213 442C
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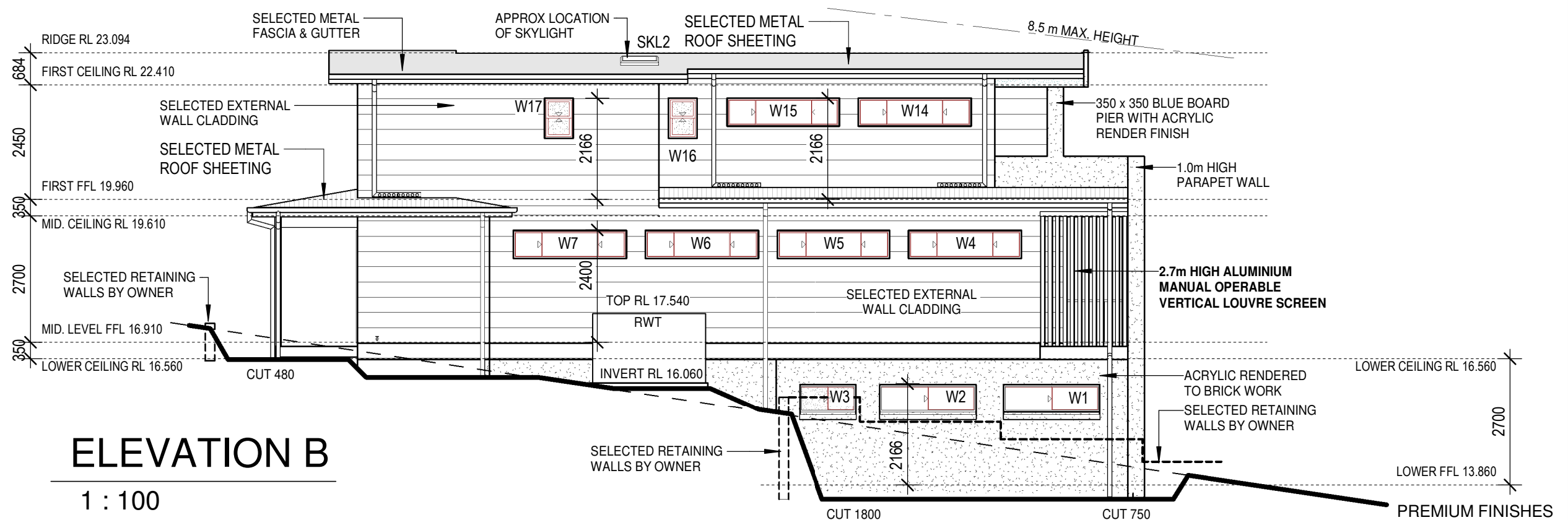
PROPOSED RESIDENCE FOR:
CLIENT: Mr CLARK & Mrs HAY

ADDRESS:
Lot23, Sec6 No 911 Pittwater RD
COLLARROY
NORTHERN BEACHES COUNCIL



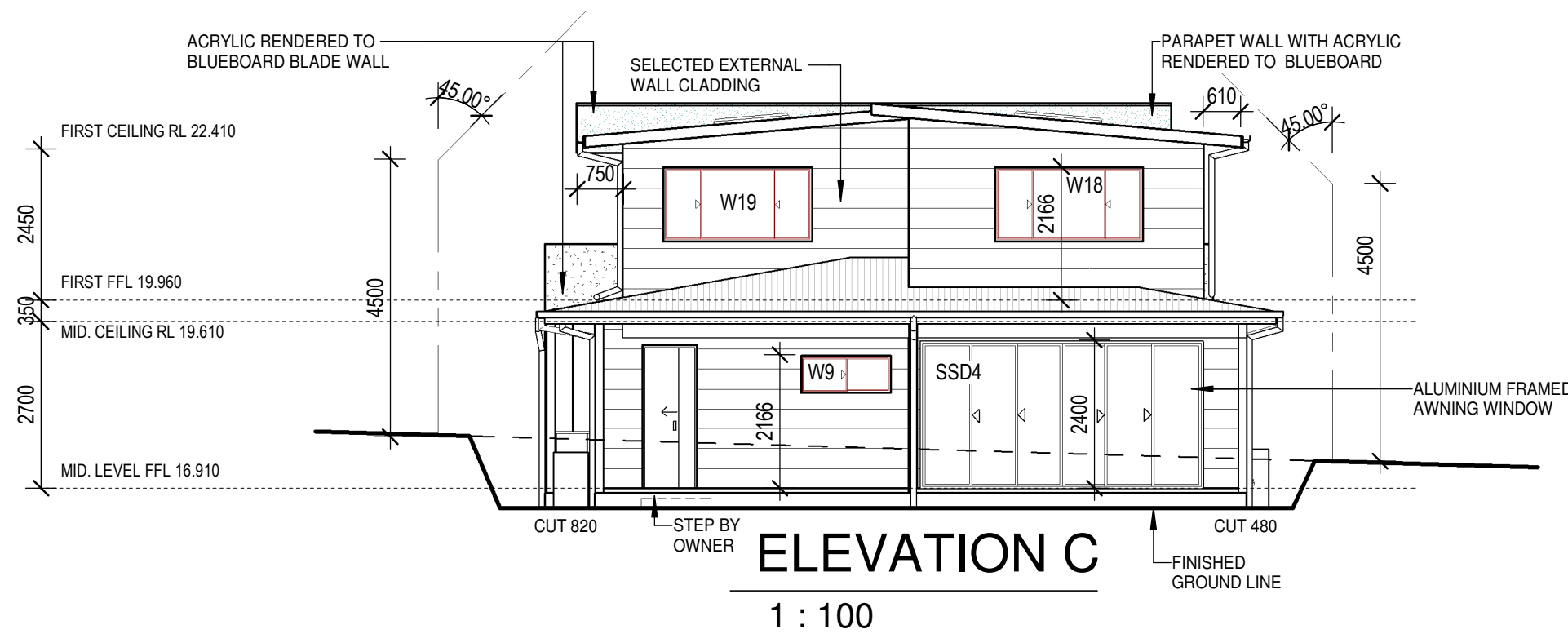
BUSHFIRE ATTACK LEVEL (BAL)
BAL 12.5
(BAL IN ACCORDANCE WITH AS3959-2009)

NOTE:
■ SEE ELEVATIONS FOR ALL
WINDOW HEAD HEIGHT



ELEVATIONS

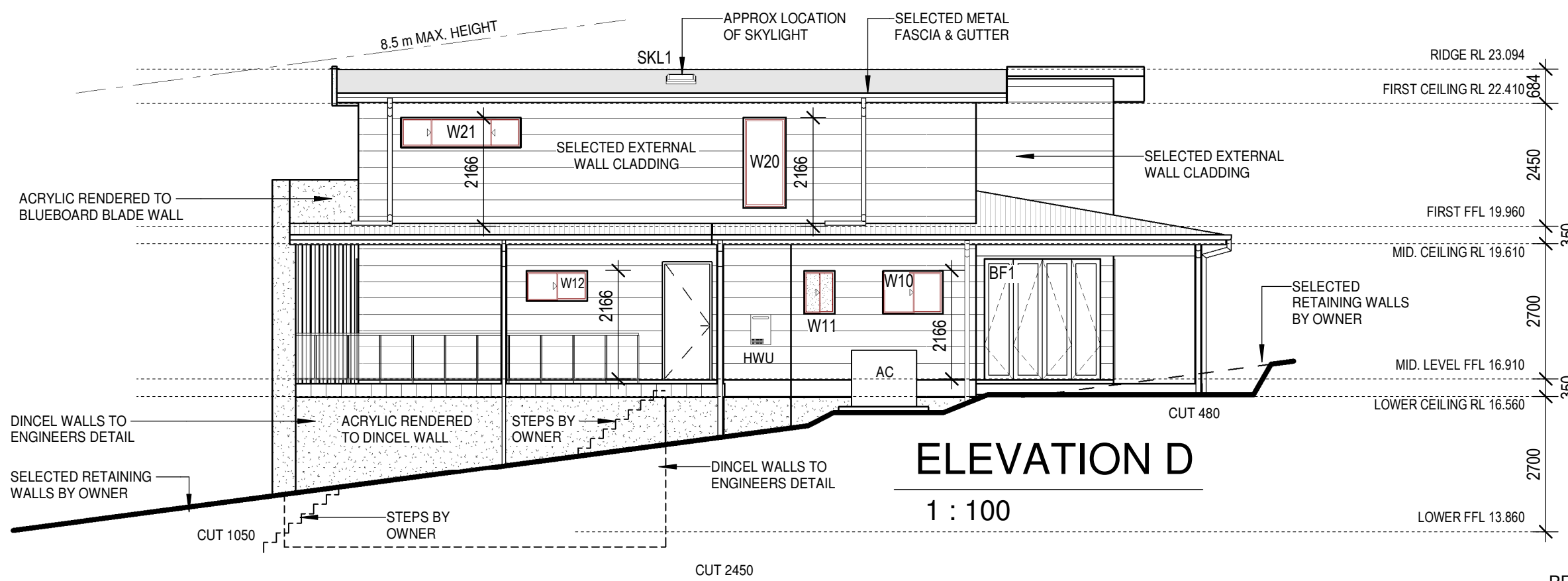
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B	VARY A (EB)	15.04.19			ADDRESS: Lot23, Sec6 No 911 Pittwater RD COLLARROY NORTHERN BEACHES COUNCIL		JOB NO:	17338	DATE:	23.09.19
C	VARY B,C & D (EB)	15.05.19					DRAWN:	ht	CHECKED:	...
D	VARY F (EB)	30.05.19					SCALE:	1 : 100	SHEET NO:	06 /
E	VARY H, VARY I (EC)	18.07.19					ISSUE: F Please discard all other plans			
F	VARY L (EC)	23.09.19								
G	FFD & STORMWATER UPDATE (EB)	27.09.19								
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ELEVATION C
1 : 100

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WINDOW HEAD HEIGHT



ELEVATION D
1 : 100

ELEVATIONS

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