



Pittwater Council

Construction Certificate No: CC0608/03

COPY

Page 1 of 2

Site Details: 12 CORNICHE ROAD CHURCH POINT NSW 2105

Legal Description: Lot 1 DP 1076755 (Formally known as - Lot 21 DP 661001 & Lot Y DP 28908)

Type of Development: Building Work

Description: Alterations and Additions to the existing dwelling

Associated Development Consent No: N0051/03 Dated: 10/12/2003

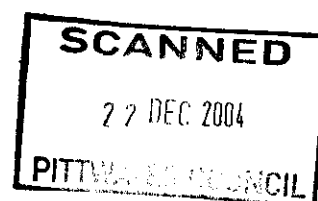
Building Code of Australia Certification: Class 1a

Details of plans, documents or Certificates to which this Certificate relates:

- Deferred Commencement Operative Letter prepared by Pittwater Council's Development Officer dated 13 February 2004
- Working Drawings prepared by Carol Voss, Drawing No. 22.17, sheet 1 of 10, 4 of 10 (undated), 5 of 10 (dated 18 May 2003), 6 of 10, 7 of 10, 8 of 10, 9 of 10 and 10 of 10, dated 28 August 2004
- Stormwater Management Plans prepared by Jack Hodgson Consultants Pty Ltd Job No. 21014, Drawing No. 1 dated 12 March 2004
- Sedimentation and Erosion Control Plan prepared by Martens and Associates Pty Ltd Drawing No. 204G857JD1, Sheet 1 of 1 dated 19 February 2004 with associated Statement (2 pages) dated 25 February 2004
- Landscape Plan prepared by Waratah Eco Works Pty Ltd, Drawing No. L01A dated 10 June 2004
- Structural Engineering Drawings prepared by Jack Hodgson Consultants Pty Ltd Job No. 21014, Drawing No. 2, 3 and 4 dated 18 March 2004
- Schedule of Works prepared by Jack Hodgson Consultants Pty Ltd dated 30 May 2004
- Structural Adequacy Certification prepared by Jack Hodgson Consultants Pty Ltd, dated 15 April 2004
- Geotechnical Risk Management Policy for Pittwater Form No. 2 prepared by Jack Hodgson Consultants Pty Ltd, dated 15 April 2004
- Street Levels Statement and Plan prepared by John Hewitt Traffic Planning Associates Pty Ltd (pages 1 – 4), dated 16 April 2004
- Plan of Consolidation and New Title Statement prepared by Dobes & Andrews dated 7 December 2004

I hereby certify that the above plans, documents or Certificates satisfy:

- The relevant provisions of the Building Code of Australia.
- The relevant conditions of Development Consent No: N0051/03





Pittwater Council

ABN 61 340 837 871

All Correspondence to be addressed to General Manager

Units 9, 11 & 12/ 5 Vuko Place
WARRIEWOOD NSW 2102
Avalon Customer Service Centre
59A Old Barrenjoey Road, AVALON 2107

Postal Address
P.O. Box 882
MONA VALE NSW 1660
DX 9018 MONA VALE

Telephone (02)9970 1111
Facsimile (02) 9970 7150
Internet www.pittwaterlga.com.au
Email: pittwater_council@pittwater.nsw.gov.au

Environmental Compliance
8am to 6pm Mon - Thurs, 8am to 5pm Fri
Phone 9970 1111

21 December 2004

Carol Voss
PO Box 300
Church Point NSW 2105

COPY

Dear Madam

Re: Construction Certificate CC0608/03
Property: 12 CORNICHE ROAD CHURCH POINT NSW 2105

Please find enclosed your approved Construction Certificate and stamped plans.

Did you know that work is unable to commence until such time as a completed Notification of Commencement Form has been submitted to Council at least two (2) days prior to starting work? Not to do so is a breach of the Environmental Planning and Assessment Act, which would result in a Penalty Infringement Notice (on-the-spot fine) being issued to you and the builder.

To assist you please find enclosed a "Notification of Commencement and Principal Certifying Authority Service Agreement" form to enable you to appoint Pittwater Council as your Principal Certifying Authority (PCA). Please complete this form and return it to Council's Customer Service together with the PCA appointment fee as detailed in the form.

If appointed as the PCA, Council would carry out various inspections as indicated in Part 6 of the enclosed "Notification of Commencement and Principal Certifying Authority Service Agreement" form and ultimately issue an Occupation Certificate for your development. Appointment and inspection fees are also detailed in the enclosed form.

Council will endorse your "Notice of Commencement and Principal Certifying Authority Service Agreement" form and return a copy to the applicant with advice as to the required critical stage and other inspections to be carried out by Council.

Council is committed to providing a quality service and would value your business in being appointed as the Principal Certifying Authority for your development.

An Officer will contact you in the next few days to discuss your development and help ensure your development progresses smoothly.

Yours faithfully

Development Compliance Group

Per: 

COPY



Pittwater Council

Construction Certificate No: CC0608/03

Page 2 of 2

Further that the work, completed in accordance with the Building Code of Australia, all relevant Australian Standards and these plans and specifications, will comply with the requirements of Section 81A(5) of the Environmental Planning and Assessment (Amendment) Act, 1997.



Carl Georgeson
Development Compliance Group

21 December 2004
Date of Endorsement

Note: You are reminded that pursuant to provisions of Clause 81A, you must nominate whether Council or an accredited certifier will be the principal certifying authority, also you must give notice to Council of your intention to commence work at least two days beforehand.



Pittwater Council

ABN 61 340 837 871

All Correspondence to be addressed to General Manager

Units 9, 11 & 12/ 5 Vuko Place
WARRIEWOOD NSW 2102
Avalon Customer Service Centre
59A Old Barrenjoey Road, AVALON 2107

Postal Address
P.O. Box 882
MONA VALE NSW 1660
DX 9018MONA VALE

Telephone (02)9970 1111
Facsimile (02) 9970 7150
Internet www.pittwaterlga.com.au
Email: pittwater_council@pittwater.nsw.gov.au

Anna Williams, Development Officer
8am to 6pm Mon - Thurs, 8am to 5pm Fri
Phone 9970 1164

DA No N0051/03

In all correspondence please
quote this number

13th February 2004

CAROL VOSS
PO Box 300
CHURCH POINT NSW 2015
Attention: Carol Voss/Vaughan Felton

COPY

Dear Sir/Madam,

**Re: Deferred Commencement Conditions – Development Application N0051/03
12 Corniche Road, Church Point**

I refer to the deferred commencement conditions 1(a) contained within the aforementioned consent, and your submission of geotechnical advice dated 5th January 2003.

Please be advised that pursuant to Regulation 95 (5) of the Environmental Planning and Assessment Regulation 2000, Council considered the details provided in accordance with deferred commencement Conditions 1a contained in Part 1 of the conditions of Development Consent are satisfactory. The following documentation therefore forms part of the consent documentation:

Risk Analysis and Risk Management Report prepared by Jack Hodgson Consulting Pty Ltd, reference number VO21014C, dated October 2003, and

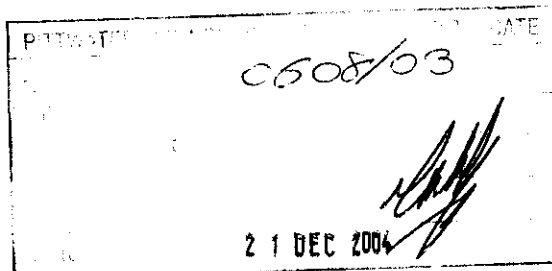
Forms 1 and 1(a) signed by Jack Hodgson and referencing the Risk Analysis and Risk Management Report prepared by Jack Hodgson Consulting Pty Ltd, reference number VO21014C, dated October 2003, and

Report on condition of pipe under house at 12 Corniche Road prepared by Jack Hodgson Consulting Pty Ltd dated 27th January 2004, reference No. VO 21014E

In this regard, the Consent becomes operative from the date of this letter subject to the conditions listed in Part 2 of the Consent.

Yours faithfully

Anna Williams
DEVELOPMENT OFFICER



STATEMENT OF ENVIRONMENTAL EFFECTS

Vegetation

- there will be no change to the existing vegetation

Privacy

- there will be no change to privacy conditions
- new windows are positioned looking over the subject site not onto adjoining sites.

Overshadowing

- as can be seen on the attached shadow diagrams, no significant change is anticipated with the additions.

Views

- no views for adjoining properties will be affected.

Bush Fire Precautions

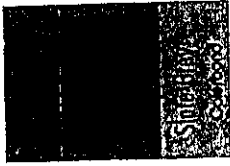
- bronze flywire screens will be provided to all windows and doors on external façades
- all eaves and soffits will be tightly sealed as will all doors and windows

SPECIFICATION

- all work to be carried out under the supervision of a registered structural engineer.
- all levels and dimensions to be checked on site by the contractor before any work commences or any ordering is undertaken, and any discrepancy cleared in writing with the author of the plans.
- all work to be in accordance with the Building Code of Australia and Australian standards

Roofing

- colourbond corrugated zincalume



External Walls

- harditex external cladding
- paint - cream to match the existing residence

Windows + Doors

- all to match existing aluminium framed units.

CONTENTS

Job no. 22-17

1. Cover sheet - statement of env. effects.
 - specification
2. Photographs
3. Survey Plan
4. Site Plan - schedule of areas
5. Ground Floor Plan Existing
6. First Floor Plan
7. Second Floor Plan
8. N.W. + S.E. Elevations
9. S.W. Elevation + section A-A
10. N.E. Elevation

PITMAN'S COUNCIL CONSTRUCTION CERTIFICATE	
Number: CC 060803	
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	
Date:	14 SEP 2004 21 DEC 2004

client

MR. V.W. + MRS. F.M. FELTON

project

PROPOSED ALTERATIONS AND ADDITIONS TO EXISTING RESIDENCE

site

LOT 21 IN D.P. 661001 AND PART OF LOT Y IN D.P. 28908

address

12 CORNICHE ROAD
CHURCH POINT

date : September 2002

scale : 1:100 + 1:200

drawn : Carol Voss

P.O. box 300

church point 2105

N.S.W.

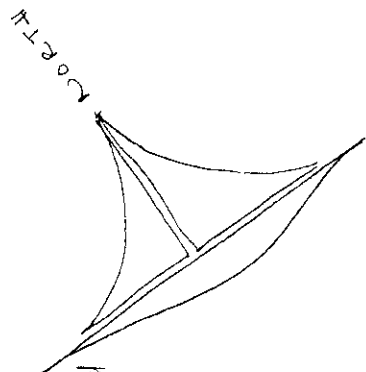
NOTE: REVISIONS ON 2-18-10 6/10

23.8.04

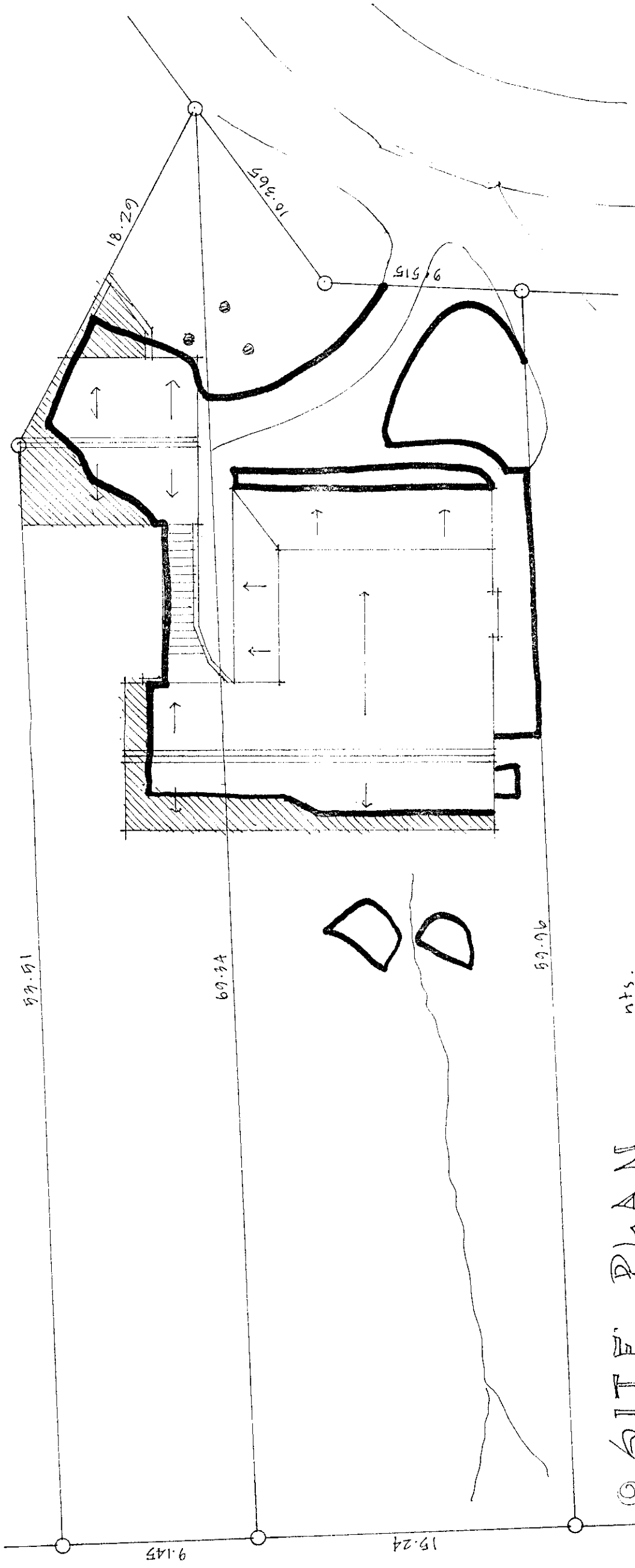
drawing number:

22-17.

1 of 10



NOTE: new impervious area shown hatched
existing impervious areas indicated
with a heavy line.



© SITE PLAN nts.

SCHEDULE OF AREAS

	EXISTING	NEW
house	159.760	
deck (covered)	26.220	39.450
deck	23.920	
parking (uncovered)	53.420	
rock outcrops	10.350	18.145
stairs, paths, driveway	113.930	
total existing impervious	387.600 (29.63%)	57.595
site areas (Y DP 28908)	567.000	
(Z1 DP 661001)	945.000	
TOTAL AREA	1512 sqm.	

Total proposed impervious areas 445.195 (29.44% of total site area)

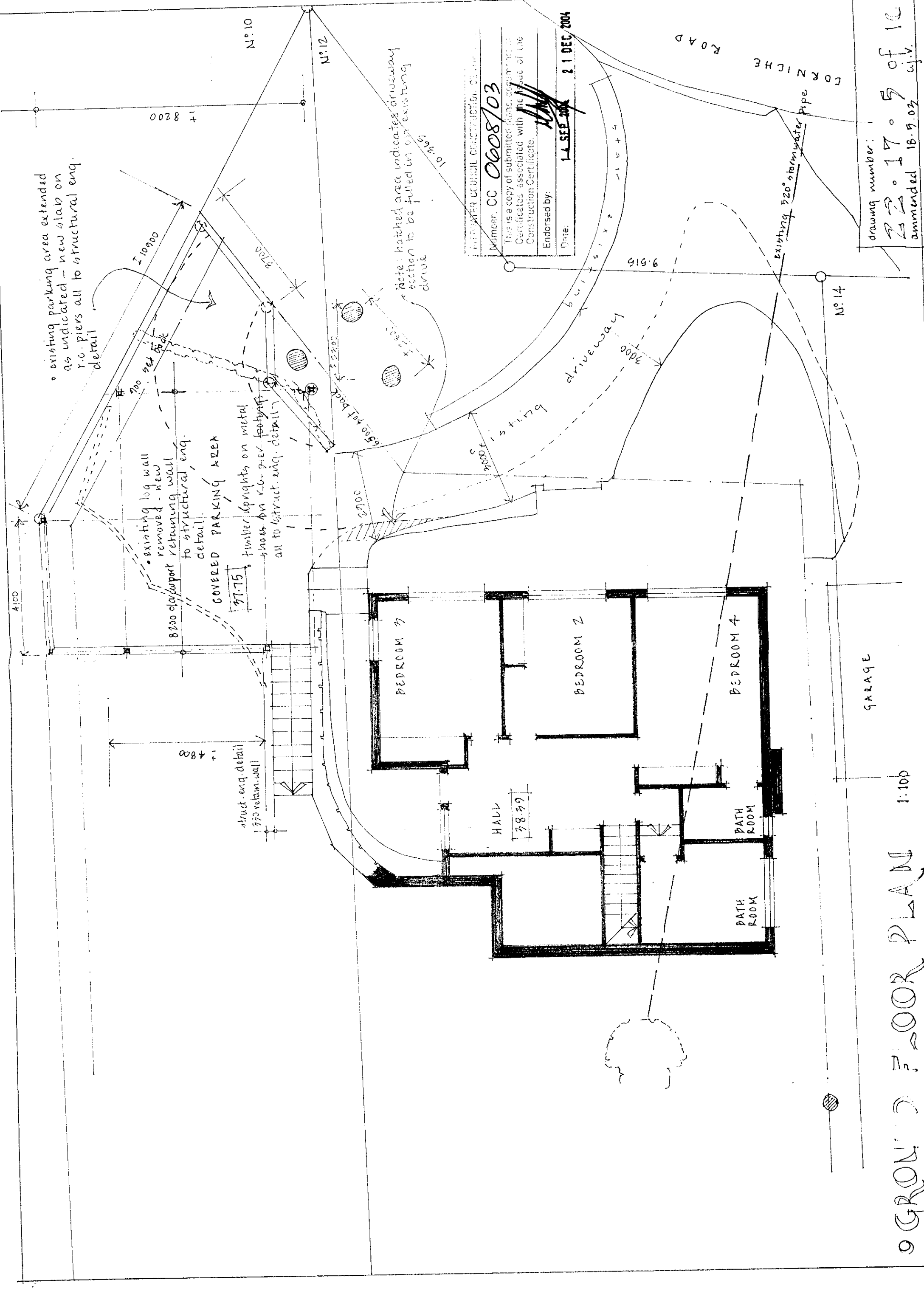
PATWATER COUNCIL CONSTRUCTION CERTIFICATE

Number: CC 0608/03

This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.

Endorsed by:

Date: 21 SEP 2004 21 DEC 2004



Number: CC 0608103
This is a copy of submitted plans, documents and Certificates associated with the issue of the Construction Certificate.
Endorsed by: [Signature]
Date: 14 SEP 2004 21 DEC 2004

drawing number:
23.017.05 of 10
amended 18.9.03 c.v.

GROUND FLOOR PLAN 1:100

0608103

Certificates associated with the issue of the
Construction Certificate.

Endorsed by: *[Signature]*

21 DEC 2004

900 net back

o treated timber uprights on metal connectors all r.c. pile footings all to structural eng. specification

Rev: landings inserted into stair at 9th + 10th tread
cv. 14.04

o new (open) treated timber staircase 19 no. risers (189) 18 treads (average 700) 1mt high balustrade h/w uprights and handrail / glazed panels

+1.40
Timber Deck to match adjoining deck

existing treated timber retaining wall

existing stairs and sand stone retaining wall

new colour bond roof over existing carparking area. all to struct. eng. detail.

extent of exist. deck indicated with broken line

broken line indicates verandah edge above

timber framed section to form laundry to match exist.

LAUNDRY

KITCHEN

DINING

VERANDAH (existing)

o proposed new timber stair 16 no. risers (189) 19 no. treads (700) 1mt high balustrade to match existing

LIVING

horizontal beam to structural eng. specification to support new lean-to verandah roof

150^{mm} treated timber supports (x2) as indicated.

1mt high glazed balustrade panels in h/w uprights + h/w handrail all to BCA + A.S.

existing driveway

900 net back

GARAGE

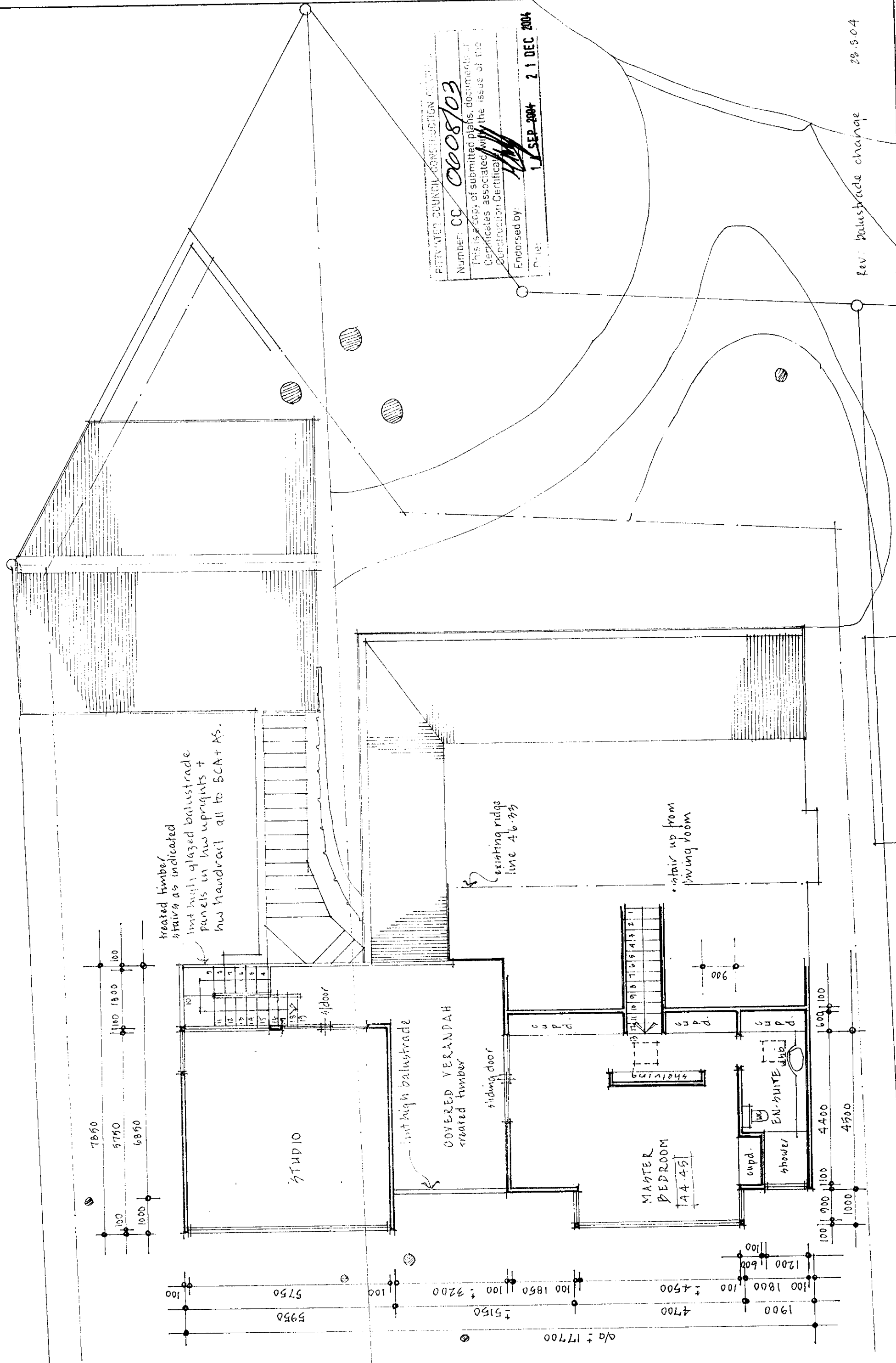
Rev. balustrade change 28.8.04

drawing number:

22.017.06 of 10

FIRST FLOOR PLAN

1:100



PITVAVET COUNCIL CONSTRUCTION CERTIFICATE
Number: CC 0008103
This is a copy of submitted plans, documents, and Certificates associated with the issue of the Construction Certificate.
Endorsed by: *[Signature]*
Date: 1 SEP 2004 21 DEC 2004

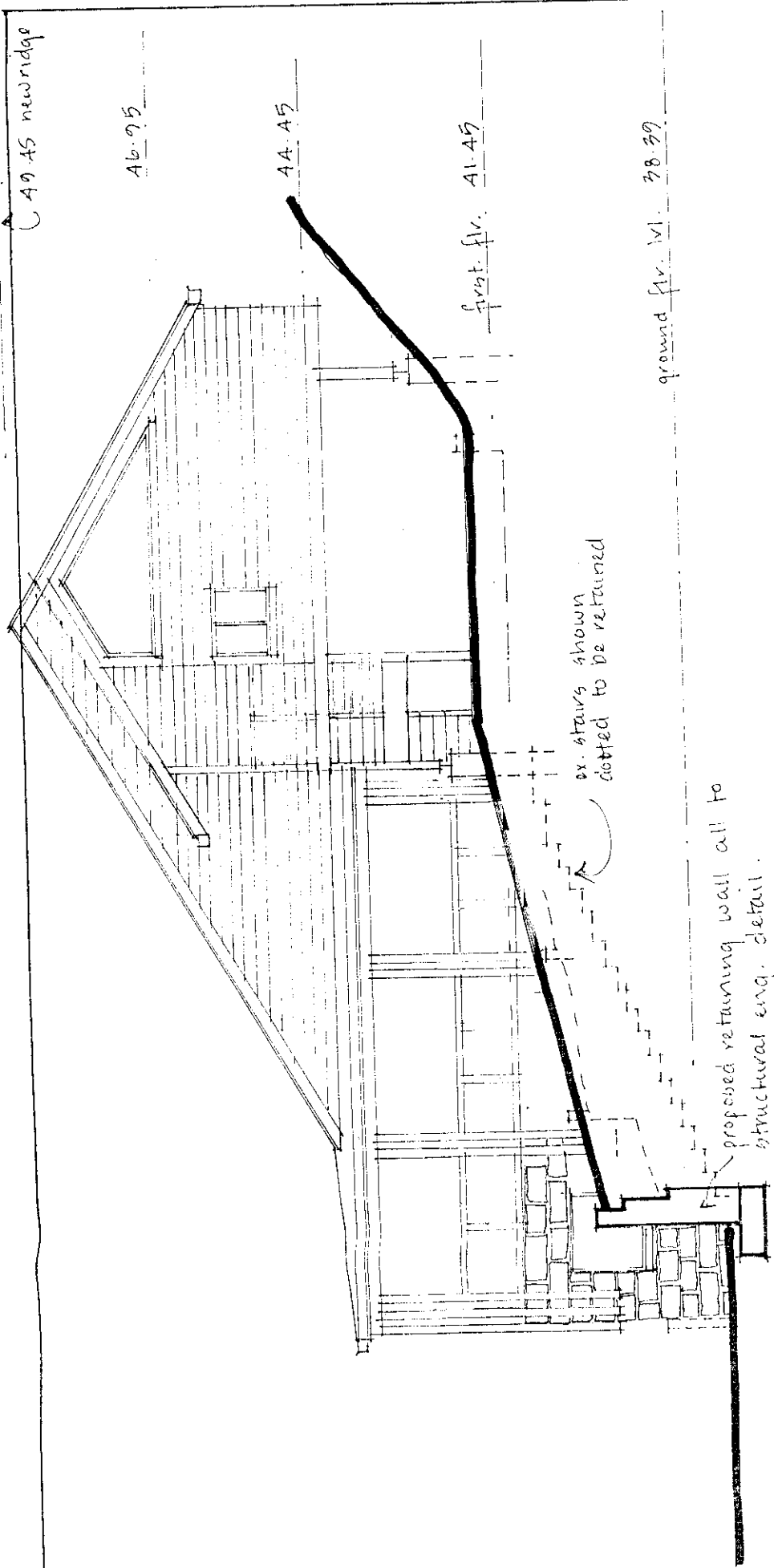
Rev: balustrade change 28.8.04

Drawing number:

22 of 7 of 10

GARAGE

SECOND FLOOR PLAN 1:100
area: 113.16 sq. mts.



NORTH WEST ELEVATION

cladding, no goods all to match existing

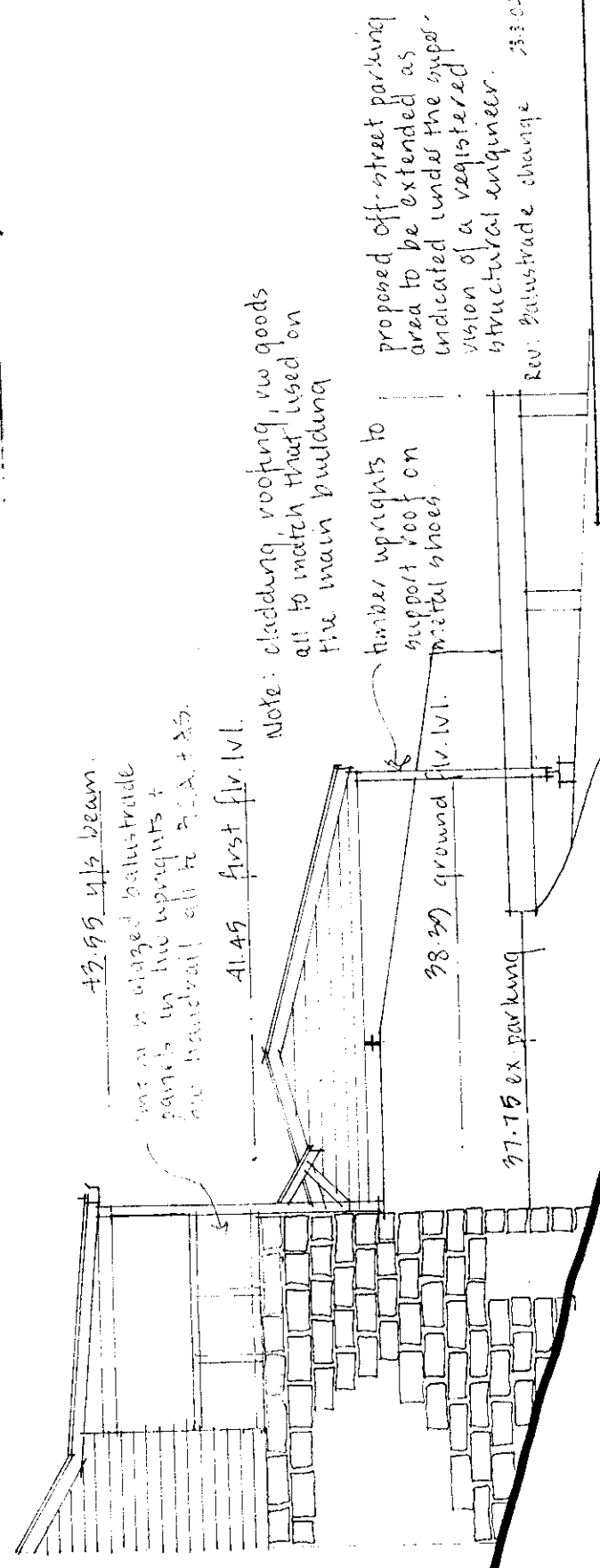
49.45 new ridge line

46.95 top plate

44.45 second fl. vl.

41.45 first fl. vl.

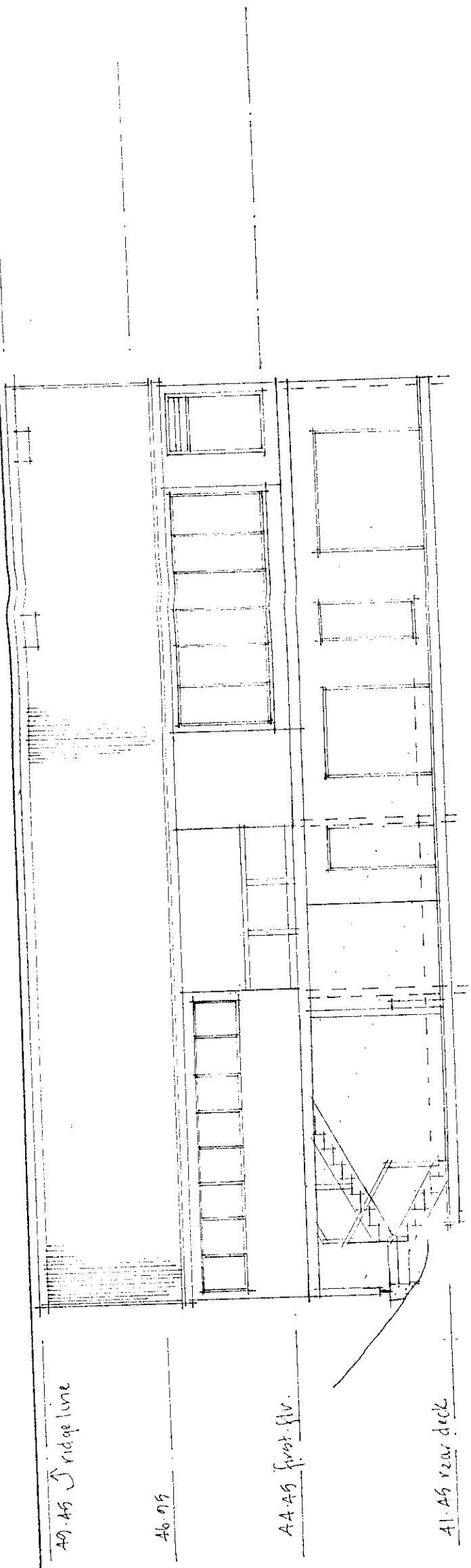
FETTERED COUNCIL CONSTRUCTION CERTIFICATE Number: CC 0608103 This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate. Endorsed by: <i>[Signature]</i> Date: 11 SEP 2004 21 DEC 2004	
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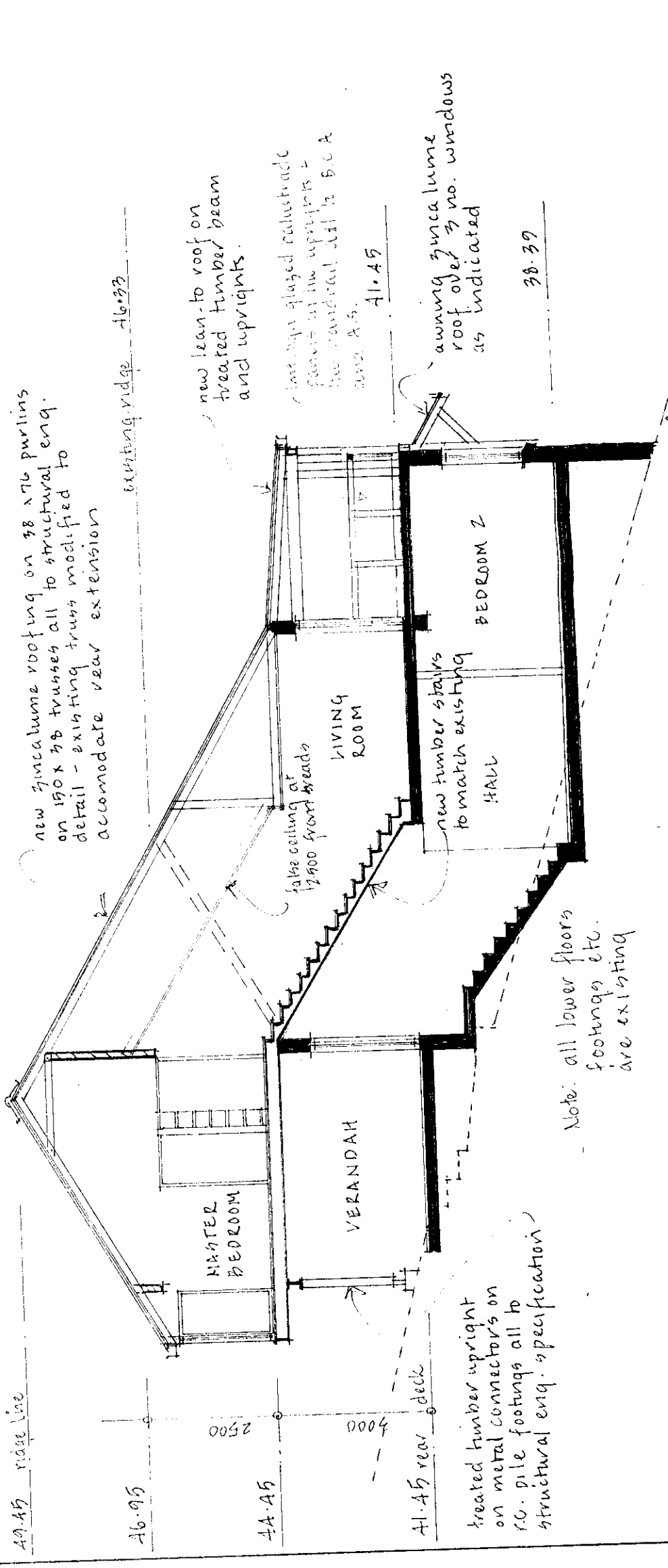
SOUTH EAST ELEVATION

drawing number:

22.17.8 of 10



○ SOUTH WEST ELEVATION



2004 12 21 21 DEC 2004	Number: CC 0608103 This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate. Endorsed by: <i>[Signature]</i> Date: 11/12/2004
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Rev: Balustrade change 28.8.04

drawing number:

2201709 of 10

scale 1:100

○ SECTION A-A

dotted line indicates finished levels against south east face of building

treated timber upright on metal connectors on R.C. pile footings all to structural eng. specification

Note: all lower floors footings etc. are existing

new lean-to roof on treated timber beam and uprights.

timber glazed balustrade placed within uprights + low handrail J11/2 B.C.A. area A.5.

awning zincalume roof over 3 no. windows as indicated

38.39

41.45

existing ridge 46.95

new zincalume roofing on 38x76 purlins on 190x38 trusses all to structural eng. detail - existing truss modified to accommodate rear extension

false ceiling at 1200 front breads

LIVING ROOM

new timber stairs to match existing

HALL

BEDROOM 2

MASTER BEDROOM

VERANDAH

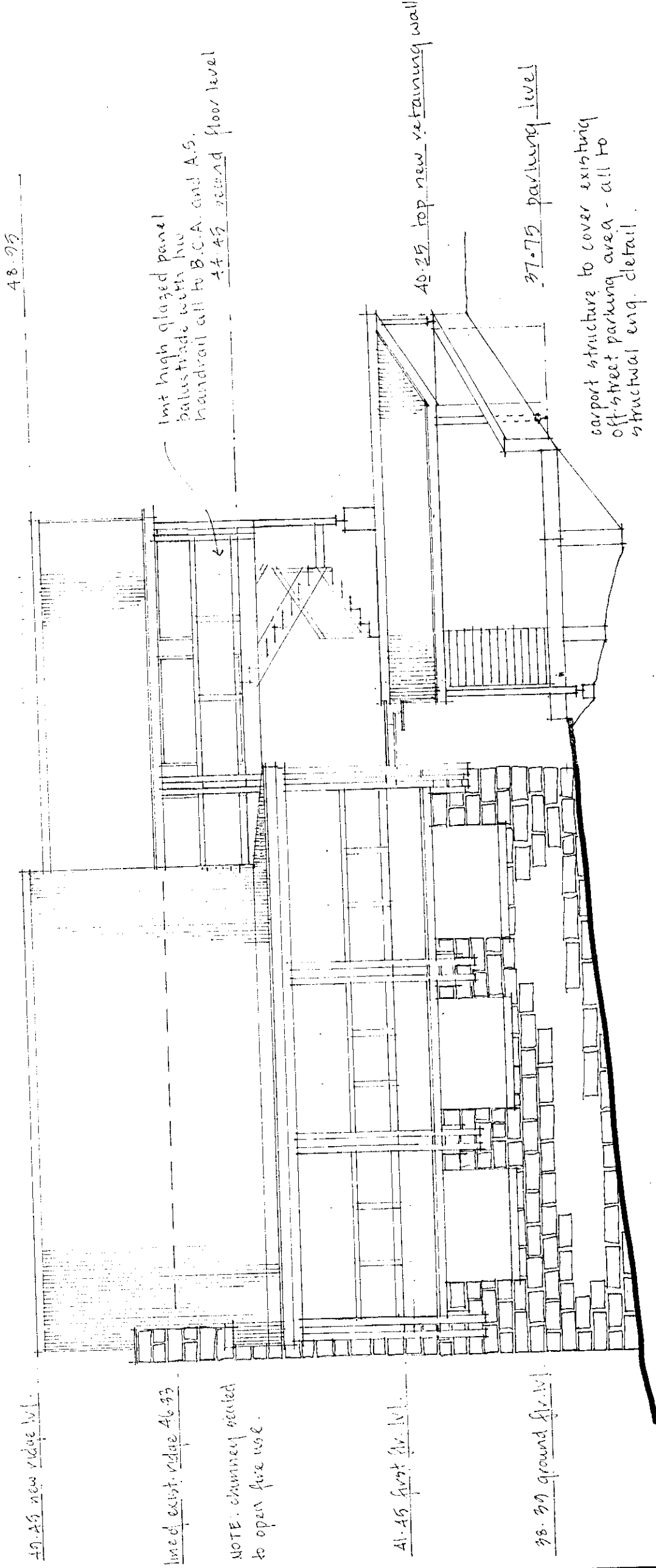
41.45 rear deck

44.45

46.95

49.45 ridge line

WATER COUNCIL DISTRICT
 Number: CC 0608/03
 This is a copy of submitted plans, drawings
 Certificates associated with the issue
 Construction Certificate.
 Endorsed by: *[Signature]*
 Date: 11 SEP 2003 / 21 DEC 2004



Rev. Balustrade change

28.8.04

drawing number:

22.017.10 of 10

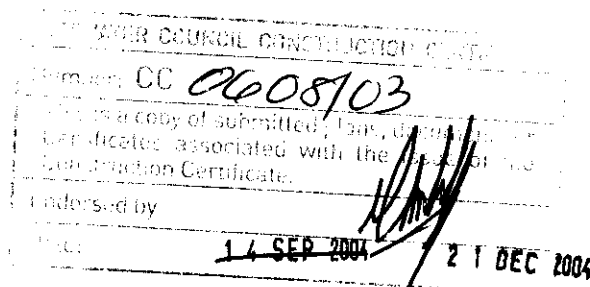
scale 1:100

© NORTH EAST ELEVATION

25th February 2004

Mr Vaughan Felton
 12 Corniche Road,
 Church Point, NSW,

Dear Vaughan,



RE: SEDIMENT AND EROSION CONTROL PLAN

Overview

The site is located at 12 Corniche Road, Church Point (Lot 21, DP661001) with relevant site features including the existing three bedroom dwelling and works area identified on attached plan (2004G857JD1). The site has a northerly easterly aspect with relatively steep slopes across the site. Slopes in the proposed works area are approximately 35%. A driveway and car parking area exist to the front of the allotment.

The proposed development involves minor alteration to an existing dwelling, including the construction of a new master bedroom, bathroom, laundry and office. These additions will involve the construction of a 4th level over the verandas at the rear of the residence. This extension shall be supported by piers. The existing carparking area at the front of the property is also to be expanded and covered. This will involve cutting into the slope and the construction of new retaining structures.

Sediment and Erosion Control Requirements

The piers supporting for the 4th level shall involve minor earth works and limited disturbance of site soil and vegetation. It is recommended that no sediment control measures are necessary in this area.

The expansion of the existing parking area will require the following measures:

1. A sediment fence is to be positioned as indicated on the attached drawing. The sediment fence is to be constructed in accordance with the construction details shown. It is to be maintained at all times and inspected/cleared of accumulated sediment weekly and after significant (10mm) rainfall events.
2. Sand bags are to be laid across the driveway. The sand bags should be positioned so that drainage from the works area will be diverted into the sediment fence. The sand bags are to be wrapped in a continuous or overlapped layer of filter cloth to ensure that the bags stay joined together and aligned and divert all sediment and runoff to the fence.

Environmental Engineering – Sustainable Solutions

Environmental
 EIS & REF
 Streams & rivers
 Coastal
 Groundwater
 Catchments
 Bushfire
 Monitoring

Geotechnics
 Foundations
 Geotechnical survey
 Contamination
 Excavations
 Hydrogeology
 Terrain analysis
 Waste management

Water
 Supply & storage
 Flooding
 Stormwater & drainage
 Wetlands
 Water quality
 Irrigation
 Water sensitive design

Wastewater
 Treatment
 Re-use
 Biosolids
 Design
 Management
 Monitoring
 Construction

26a Bay Road Arcadia, NSW 2159, Australia
 Ph 02 9655 1417 Fax 02 9655 1416

> mail@martens.com.au
 www.martens.com.au
 MARTENS & ASSOCIATES P/L
 ABN 85 070 240 890 ACN 070 240 890

The sediment fence and the sand bags are to be install prior to the commencement of site disturbance works. They are only to be removed once the upslope areas are 'finished' (ie. Paved, concreted, covered or revegetated to 75% ground cover).

Please call our offices if you have any further queries regarding this matter.

For and on behalf of

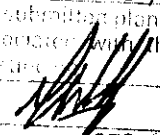
MARTENS & ASSOCIATES PTY LTD



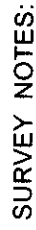
ANDREW NORRIS

BSc (Hons), MEngSci, MAWA

Senior Engineer

SUBMITTAL CERTIFICATE	
NO	0608/03
This certificate is issued to the submitter of plans, documents or drawings associated with the issue of the Environmental Design	
Submitted by: 	
Date: 14 SEP 2004	
21 DEC 2004	

- The sediment fence should be constructed in accordance with the construction details below.
- Sand bags should be wrapped in filter cloth to hold the bags together.
- The sand bags should be laid directly on the concrete driveway and positioned so as to direct drainage into the sediment fence.
- Refer to letter 2004G857JC1 for management requirements.



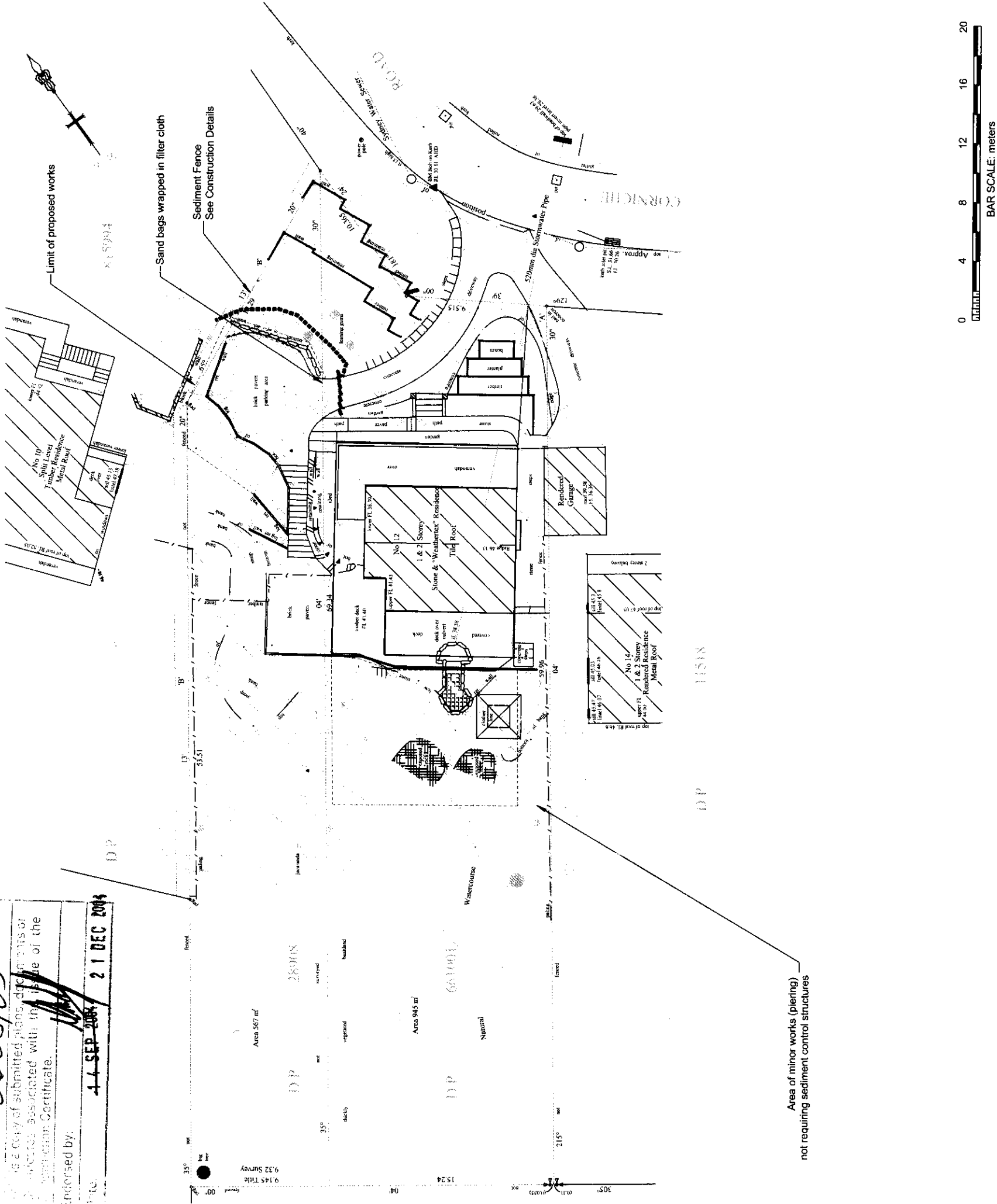
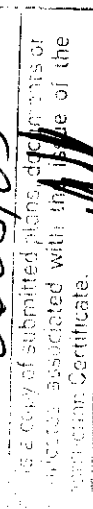
- Levels are on the Australian Height Datum (A.H.D.).
- Origin of levels BM Bolt on Kerb (9)
R.L. 30.61 A.H.D.
- Boundaries not marked.
- Tree trunks and spreads are diagrammatic only.
- S.L. denotes Surface Level.
- I.L. denotes Invert Level.
- Covenant D301902 - Lot Y.
- Contours over part of the land only.
- Contour interval is 1.0 metre.
- Contours are indicative of ground form only.
- 'A' denotes Right of Carriageway variable width (DP 648494).
- 'B' denotes Easement for Water Supply 0.915 wide (K898726, K932946).
- Sewer pipe location taken from Water Board records is approximate only.

MARTENS & ASSOCIATES PTY LTD
Sustainable Solutions
Environmental • Geotechnical • Hydrological
Hydraulic • Wastewater Engineers

3651 Bay Road
Arcadia NSW 2159 Australia
Phone: (02) 9655 1417
Fax: (02) 9655 1416
Email: info@martens.com.au
Internet: <http://www.martens.com.au>

PROJECT MANAGER:	A. Norris
PROJECT REFERENCE / DRAWING NUMBER:	2004G857JD1

DESIGNED:	DATE:	SHEET	REV.	DESCRIPTION	DATE	ISSUED
DC	na	1 OF 1 SHEETS	1	Sediment and Erosion Control Plan	19/02/04	AN
DRAWN:	HORIZONTAL RATIO:					
DC	1:300					
REVIEWED:	VERTICAL RATIO:	PAPER SIZE:				
GH	1:300	A3				



**B61**

Jack Hodgson Consultants Pty Limited

CONSULTING CIVIL, GEOTECHNICAL AND STRUCTURAL ENGINEERS

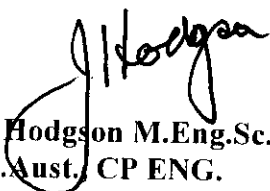
ABN: 94 053 405 011

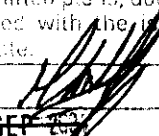
VO 21014G.
30th May, 2004.
Page 1.

SCHEDULE OF WORKS **12 CORNICHE ROAD, CHURCH POINT**

1. Erect sedimentation fence across the front of the property. Install diversion sausage on uphill side of road gully pit. Arrange for fence and catch areas to be cleaned regularly.
2. Surveyor to peg out works with the necessary offset pegs so that the progress of the work can be quickly checked.
3. Remove existing paving from the area of the excavation for the carport.
4. Excavate area for carport. Advise the Geotechnical Engineer when nearing completion so that he may determine if temporary support is required. Install any temporary support that may be required.
5. Remove all excavated material from the site. Keep road clear of soil.
6. Place reinforcement for the retaining wall footings and the floor slab in accordance with the Engineering Drawings submitted to Council. Place, vibrate and finish concrete.
7. Excavate all footings for the additions and place reinforcement and concrete.
8. Erect steelwork for carport and place roofing materials.
9. Proceed with the completion of the carpentry and steel work for the approved additions.
10. Clean up the site and remove sedimentation fence.

JACK HODGSON CONSULTANTS PTY. LIMITED.


J. D. Hodgson M.Eng.Sc.,
F.I.E. Aust. CP ENG.
Civil & Structural Engineer.
Nper3, Struct. Civil. No. 149788.
Director.

JACK HODGSON CONSULTANTS PTY. LIMITED	
CC 0608/03	
I hereby certify that the above is a true and correct copy of submitted plans, documents or particulars associated with the issue of the Engineering Certificate.	
Endorsed by:	
14 SEP 2004	21 DEC 2004

DIRECTOR: J.D. HODGSON, M.Eng.Sc., F.I.E. Aust., Nper3 Struct. Civil 149788
11 Bungan Street, Mona Vale NSW 2103
PO Box 389 Mona Vale NSW 1660
Telephone: 9979 6733 Facsimile: 9979 6926



Jack Hodgson Consultants Pty Limited

CONSULTING CIVIL, GEOTECHNICAL AND STRUCTURAL ENGINEERS

ABN: 94 053 405 011

9

VO 21014F
15th April 2004.
Page 1.

The General Manager
Pittwater Council
P O Box 882
MONA VALE NSW 2103

Dear Sir,

12 CORNICHE ROAD, CHURCH POINT

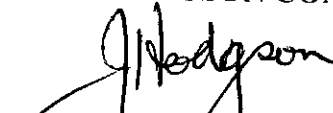
This report on Structural Adequacy is based on a surface inspection of the subject property. No opening up of the existing developments or excavations have been carried out.

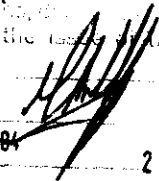
We have inspected the existing structure at the subject address and examined the plans of the proposed alterations and additions at the subject address.

We are satisfied that the existing structure is adequate to support the loads likely to be imposed on it by the proposed alterations and additions, provided any point loads are carried out directly down through the structure to new or old footings.

Our Mr Jack Hodgson is appropriately qualified and experienced to provide this certificate.

JACK HODGSON CONSULTANTS PTY. LIMITED.


J. D. Hodgson M.Eng.Sc.,
F.I.E.Aust., CP ENG.
Civil & Structural Engineer.
Nper3, Struct. Civil. No. 149788.
Director.

PITTSBURGH CONSULTING ENGINEERS	
Number: CC	0608103
This is a copy of submitted plans, drawings and certificates associated with the issue of the Construction Certificate.	
Endorsed by:	
Date:	14 SEP 2004
21 DEC 2004	

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO. 2 - To be submitted with detailed design for construction certificate

Development Application for _____
Name of Applicant _____
Address of site 12 CORNICHE RD, CHURCH POINT

Declaration made by Structural or Civil Engineer in relation to the incorporation of the Geotechnical Issues into the project design

I, JACK HODGSON on behalf of JACK HODGSON CONSULTANTS PTY LTD
(insert name) (trading or company name)

on this the 15th of APRIL 2004
(date)

certify that I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management Policy for Pittwater. I am authorised by the above organization/company to issue this document and to certify that the organization/company has a current professional indemnity policy of at least \$2million. I also certify that I have prepared the below listed structural documents in accordance with the recommendations given in the Geotechnical Report for the above development

Geotechnical Report Details:

Report Title: RISK ANALYSIS AND RISK MANAGEMENT FOR PROPOSED
Report Date: 24 OCT 2003 ADDITIONS AT 12 CORNICHE RD, CHURCH POINT
Author: J. HODGSON

Structural Documents list:

21014-1, 21014-2, 21014-3, 21014-4

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

J. HODGSON

(name)

(signature)

Declaration made by Geotechnical Engineer or Engineering Geologist in relation to Structural Drawings

I prepared and/or technically verified the abovementioned Geotechnical Report as per Form 1 dated 24 OCT 03 and now certify that I have viewed the above listed structural documents prepared for the same development. I am satisfied that the recommendations given in the Geotechnical Report have been appropriately taken into account by the structural engineer in the preparation of these structural documents. I am aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified in the Report and that reasonable and practical measures have been identified to remove foreseeable risk.

Signature _____

Name JACK HODGSON

Chartered Professional Status M Eng Sc FEAust

Membership No. 144788

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number	<u>CC 0608103</u>
This is a copy of submitted plans, documents and certificates associated with the above Construction Certificate	
Endorsed by	<u>[Signature]</u>
Date	<u>14 SEP 2004</u> <u>21 DEC 2004</u>

JOHN HEWITT
TRAFFIC PLANNING ASSOCIATES PTY LTD
ABN 64 078 276 098

16th April 2004

Ref: 4077

General Manager
Pittwater Council
PO Box 882
MONA VALE NSW 1660

TRAFFIC PLANNING ASSOCIATES PTY LTD
Ref: 4077
Drawing: CC 0608/03
This is a copy of submitted plans, documents and
certificates associated with the issue of the
Construction Certificate.
Endorsed by [Signature]
Date: 14 SEP 2004 21 DEC 2004

Dear Sir

**12 CORNICHE ROAD, CHURCH POINT -
ASSESSMENT OF CARPARKING AND ACCESS ARRANGEMENTS**

Introduction

Mr & Mrs. Felton, the owners of the subject property, have commissioned this Statement to address Condition B28 of Consent DA No: N0051/03 endorsed by Pittwater Council on 10th December 2003.

Condition B28 requires that *'Three copies of plans, Street Levels provided by Council and a certificate submitted by a chartered Professional Engineer, Architect or Surveyor confirming to the satisfaction of Council or the accredited certifier that the access driveway and internal driveway complies with Council's policy DCP No. E3 "Driveways and Internal Roadways" and the Council street levels, are to be submitted with the Construction Certificate application.'*

Assessment

I have inspected the site and examined the following plans and documents:

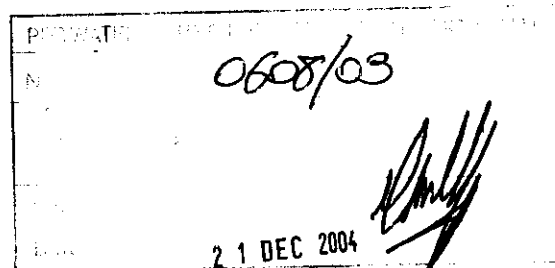
- The Conditions of Consent
- The Council stamped Consent Plans
- Plan of Survey 22-18, 24th October 2002

The access driveway and gutter crossing serving 12 Corniche Road, is 6m wide at the kerb line with the first section being a shared driveway with No. 14. In my opinion no necessity exists to apply to Council for street levels for this existing shared driveway, as there is no requirement or proposal to alter it in any way.

The development proposal involves additions and alterations to the dwelling and widening of the brick paved car-parking area with partial roofing over it to establish a carport.

It is noted that the existing driveway on the subject land has the following characteristics:

- the main body of this concrete driveway has a weathered 'broom finished' surface in sound condition. The original 2.2m wide concrete driveway has been extended on the out side by adding a roughened concrete surface resulting in a usable width of 3.0m.
- the driveway has good skid resistance qualities, is 19m long and curved with an inner radius of approximately 9.0m
- a set of steps/path is located on the inside of the driveway
- has a maximum grade in the order of 1:3 (33%), which is the maximum driveway grade permitted in the Pittwater LGA for existing driveways serving single residential properties
- has a suitable transition grade on the approach to the brick paved car standing area which is on slight grades
- provision has been made in the design for cars to be turned on site prior to parking. The attached diagram shows how two B85 cars can be turned on site to facilitate vehicular entry and exit in a forward direction.
- Corniche Road is a cul-de-sac with a sealed pavement only 4.8m wide between kerb and gutter on the south western side and roll kerb on the north eastern side, opposite No. 12. This road is on a 12% down grade towards the north west and has fairly intensive on-street parking on the south western side
- sight distances at the point of access to Corniche Road meet the minimum requirements for the signposted 50km/h urban speed zone as contained in AS /NZS 2890.1-2004.



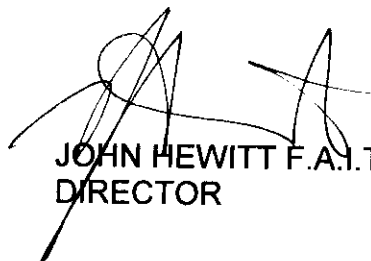
Conclusion

I am a practicing Traffic and Transport Consultant with in excess of 35 years experience in traffic engineering and management, a fellow of the Australian Institute of Traffic Planning and Management and an accredited Road Safety Auditor (Institute of Municipal Engineering Australia).

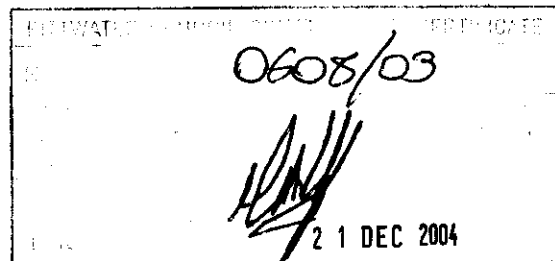
I have considered the design and grading of the existing driveway to be retained against the provisions contained in Council's *Development Control Plan 2 and E3, Clause B6 of Pittwater 21 DCP* and *AS/NZS 2890.1-2004*. I certify that the design generally complies and will be safe and practical for the proposed on-going residential use.

Should clarification of any aspect of this advice be required, please do not hesitate to contact the undersigned.

Yours faithfully



JOHN HEWITT F.A.I.T.P.M.
DIRECTOR



Dobes & Andrews

Solicitors

Stephen Andrews MA
Anthony McGuirk BEc LLB
Accredited Property Law Specialist

Consultant:
John Dobes BA LLB MBA

**Mr Bud Felton
PO Box 1046
Mona Vale NSW 2103**

Suite 611
Courtyard Level
Eastpoint Tower
Cnr Ocean Street &
New South Head Road
Edgecliff NSW 2027
Australia

All mail, please, to:
PO Box 567
Edgecliff NSW 2027
DX 474 Sydney
Fax (02) 9326 2912
Telephone (02) 9328 1499
Our Ref. SDA11002

7th December 2004

Dear Bud

plan of consolidation & new title – lot 1 in DP 1076755

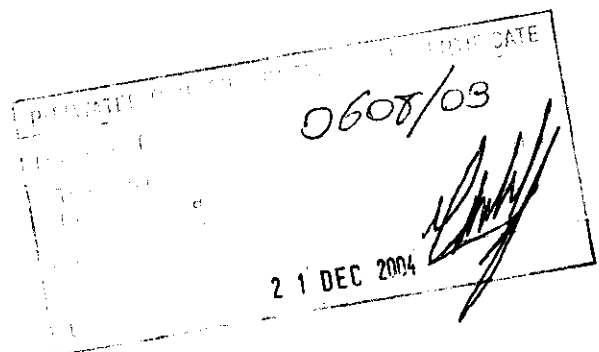
The plan of consolidation has now been registered.

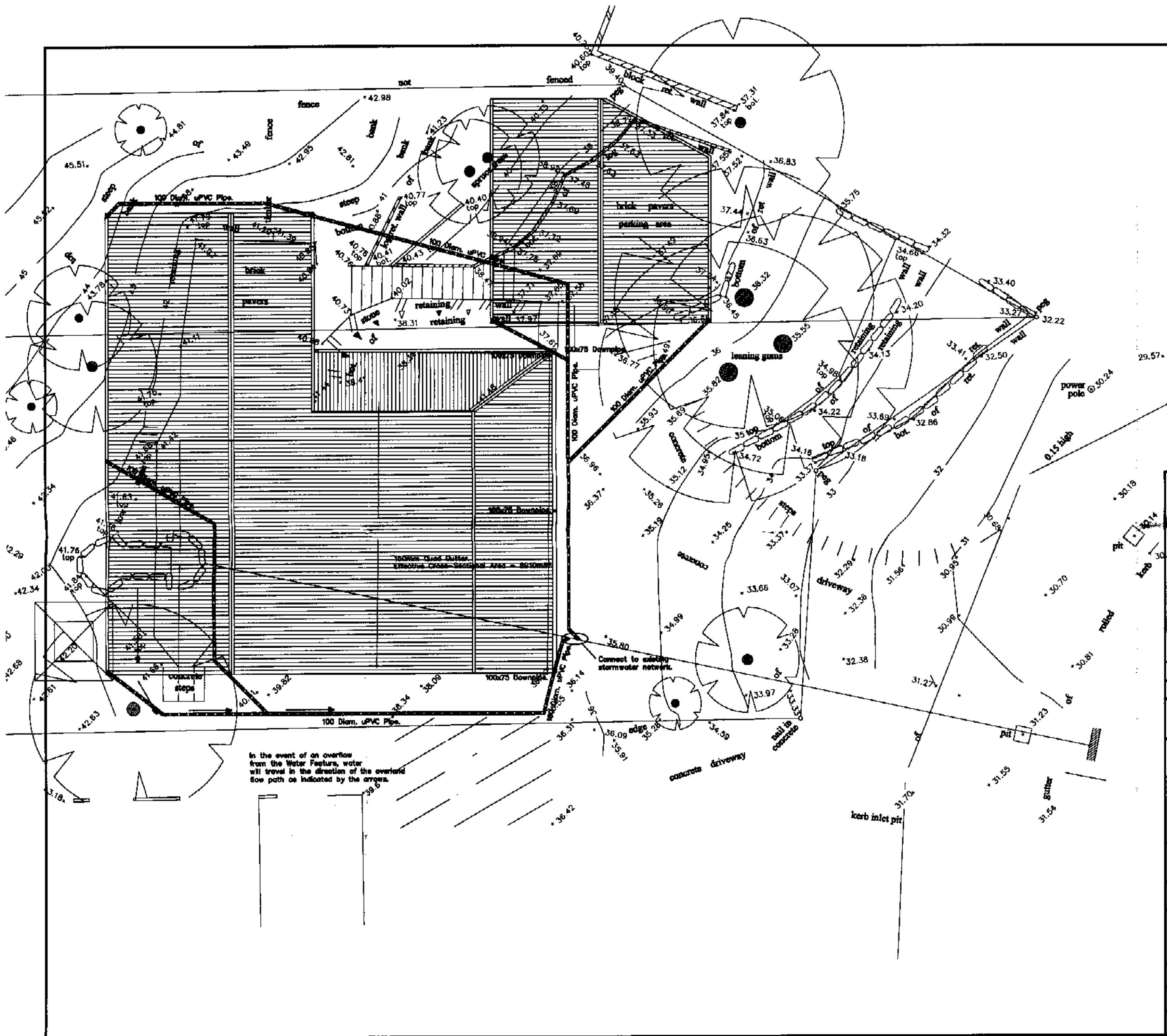
I enclose a search copy of the plan, which you will see notes the registration particulars in the top right-hand corner. Also a copy of a print-out of the current record of your title to the property.

Your new certificate of title – only one now – will have been returned to the NAB as the registered mortgagee.

Will you let me know if the council accepts these copies as proof of the consolidation, so that we can safely close our file (and render a modest account) ?

Yours sincerely,
Stephen Andrews



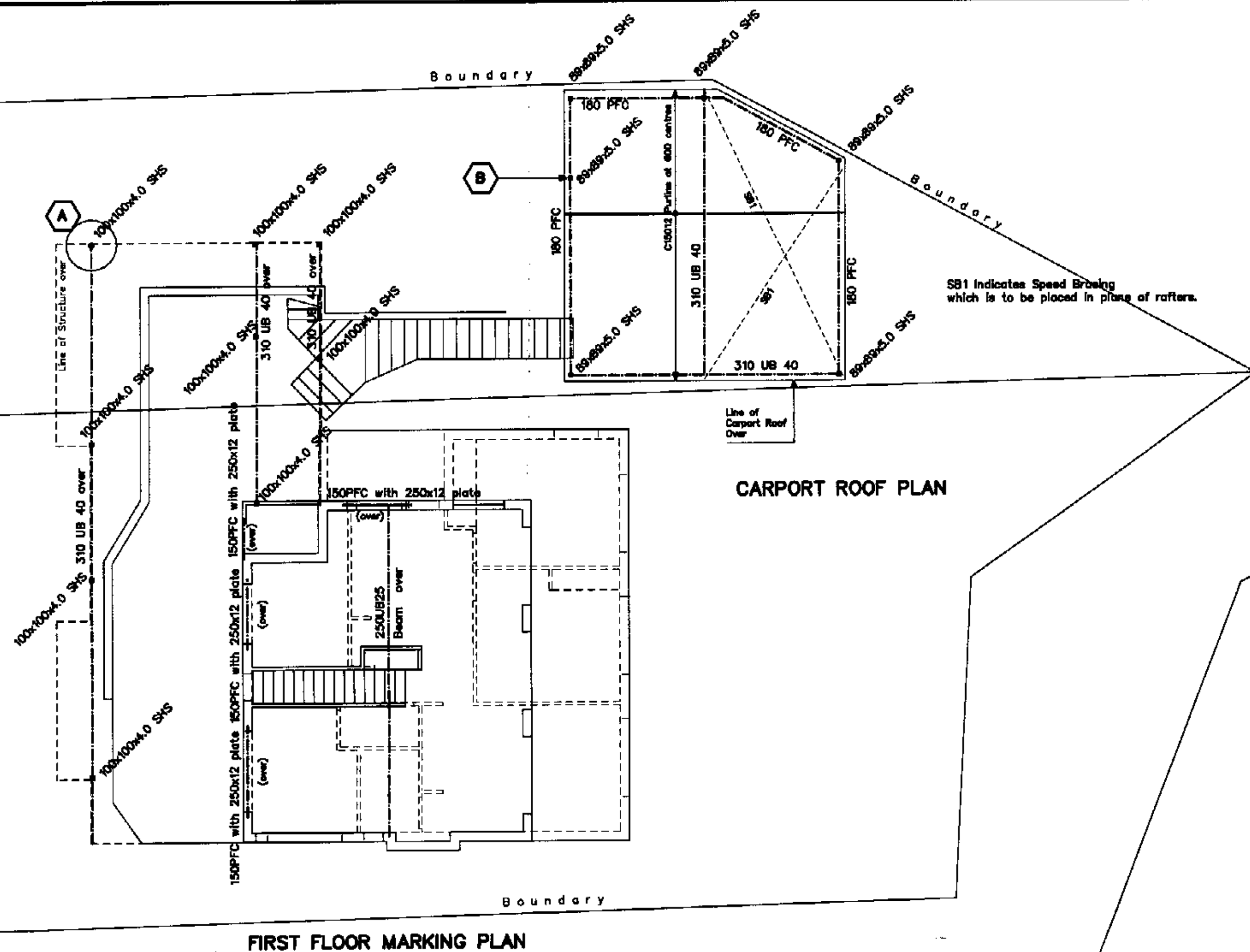


- CONCRETE NOTES:**
1. All concrete work to be in accordance with AS 3600.
 2. Fc Refer to table.
 3. Maximum aggregate size = 20 for footings, slabs & beams.
= 10 for block filling.
 4. Slump = 80.
 5. All concrete, including block filling, to be vibrated.
 6. Slabs to be kept damp for at least 14 days after placing or to be protected by an approved curing membrane.
 7. Bar Chairs to be no more than 800mm c/c to c/c spacing.
 8. Reinforcing Steel to comply with AS/NZS 4673:2001, and to be D500N unless noted otherwise. (where 500 = strength grade in megapascals & N = Normal ductility class)
 9. Reinforcement to be tied at every other intersection minimum.
 10. Moisture Vapour Membrane to be 200 Microns thick, U.V. Resistant and to be in accordance with AS 2870-1998.

- DRAINAGE PIPE NOTES:-**
1. All pipes unless otherwise specified to be 100 dia. UPVC pipe.
 2. Slopes of pipes to be a minimum of 1:100 ie. 1%.
 3. All levels and dimensions to be checked and confirmed on site.
 4. Inspection openings will be required at even spacings not more than 30 metres apart and at any change of direction greater than 45 degrees.
 5. All design work and works to be in accordance with AS/NZS 3600.3.2 (1998) and AS/NZS 3600.5 (2000).

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number: CC	0608/03
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	<i>[Signature]</i>
Date:	14 SEP 2004 21 DEC 2004

PLAN OR DOCUMENT CERTIFICATION			
I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...			
I hold the following qualifications or licence No....M.Eng.Sc....			
.....F.I.E.Aust....Nper3....Struct.Civil.No.149788.....			
Further I am appropriately qualified to certify this component of the project.			
I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia.			
A.S.1170.1, A.S.1170.2, A.S.1884, A.S.2870.1, A.S.3600, A.S.3700			
A.S.4100			
Jack D. Hodgson 24/3/04 <i>[Signature]</i>			
Name		Date	
Signature			
No.	Amendment		Drawn Date
Unless this company carries out the inspections of all the structural elements and approves them, NO responsibility will be taken for the structural integrity of the completed work.			
STORMWATER MANAGEMENT PLAN			
PROPOSED ALTERATIONS & ADDITIONS			
12 CORNICHE ROAD			
CHURCH POINT			
Our drawings are based on the information provided by:- Carol Voss, PO Box 300, Church Point, 2105. Drawing No:- 22/17/1 - 10 of 10. Date:- September 2002 Amendment:- Date:-			
The Structural Details shown on this Drawing are NOT to change under any circumstances. NO Certificate will be issued for work NOT in accordance with this Drawing.			
JACK HODGSON CONSULTANTS PTY. LIMITED.			
Consulting Civil, Geotechnical, and Structural Engineers.			
11 Bungan Street, MONA VALE, P.O. Box 389, Post Code 2103.			
Telephone (02) 9879 8733. Facsimile (02) 9879 6928. A.E.N. 053 405 011			
Designed	JDH	Drawn	ARC
Checked	JDH	Scale	1:100, 20, una.
Date	12 MARCH 2004		
		Job No. Drawing No.	
		21014-1	



Beam Size	Plate (mm)	Dimensions (mm)	No. of Bolts	Bolt Size	Hole Dia. (mm)	Weld Size	Connection Details
150 UB	120 75 8	a 25 b 30 c 30	2	M20	22	8	
180 UB	130 75 8	a 30 b 30 c 30	2	M20	22	8	
200 UB	130 75 8	a 30 b 30 c 30	2	M20	22	8	
250 UB	140 90 8	a 35 b 35 c 35	2	M20	22	8	
310 UB	210 90 8	a 35 b 35 c 35	3	M20	22	8	
360 UB	210 90 8	a 35 b 35 c 35	3	M20	22	8	
410 UB	250 90 8	a 35 b 35 c 35	3	M20	22	8	
480 UB	250 90 8	a 35 b 35 c 35	3	M20	22	8	
150 UC	120 75 8	a 25 b 30 c 30	2	M20	22	8	
200 UC	140 90 8	a 35 b 35 c 35	2	M20	22	8	
250 UC	140 90 8	a 35 b 35 c 35	2	M20	22	8	
150 PFC	130 75 8	a 30 b 30 c 30	2	M16	18	6	
180 PFC	130 75 8	a 30 b 30 c 30	2	M16	18	6	
200 PFC	150 75 8	a 30 b 30 c 30	2	M16	18	6	
230 PFC	160 90 8	a 35 b 35 c 35	2	M20	22	8	
250 PFC	160 90 8	a 35 b 35 c 35	2	M20	22	8	
300 PFC	210 90 8	a 35 b 35 c 35	3	M20	22	8	

* Indicate where possible

Support Beam

continuous fillet weld both sides of steel

PITTSBURGH COUNCIL CONSTRUCTION CERTIFICATE
 Number: CC 0608/03
 This is a copy of submitted plans, documents or
 Certificates associated with the issue of the
 Construction Certificate.
 Endorsed by: [Signature]
 Date: 11 DEC 2004

PLAN OR DOCUMENT CERTIFICATION
 I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...
 I hold the following qualifications or licences No.M.Eng.Sc.
F.I.E.Aust.Nper3....Struct.Civil.No.149788
 Further I am appropriately qualified to certify this component of the project.
 I hereby state that these plans or details comply with the conditions of
 development consent, the provisions of the Building Code of Australia.
 A.S.1170, A.S.1170.1, A.S.1170.2, A.S.1084, A.S.2870.1, A.S.3800, A.S.3700
 A.S.4100
 Jack D. Hodgson 7/4/04 [Signature]
 Name Date Signature

No.	Amendment	Drawn	Date

FIRST FLOOR & CARPORT ROOF MARKING PLAN AND DETAILS
PROPOSED ALTERATIONS AND ADDITIONS
12 CORNICHE ROAD,
CHURCH POINT
MR. VW & MRS. FM FELTON

Our drawings are based on the information provided by:-
 Mr & Mrs Felton
 Drawing No:- 22.17.1.3-10 by Carol Vose Date:-September 2002
 Amendment:- Date:-

The Structural Details shown on this Drawing are NOT to change
 under any circumstance. NO Certificate will be issued for work
 NOT in accordance with this Drawing.

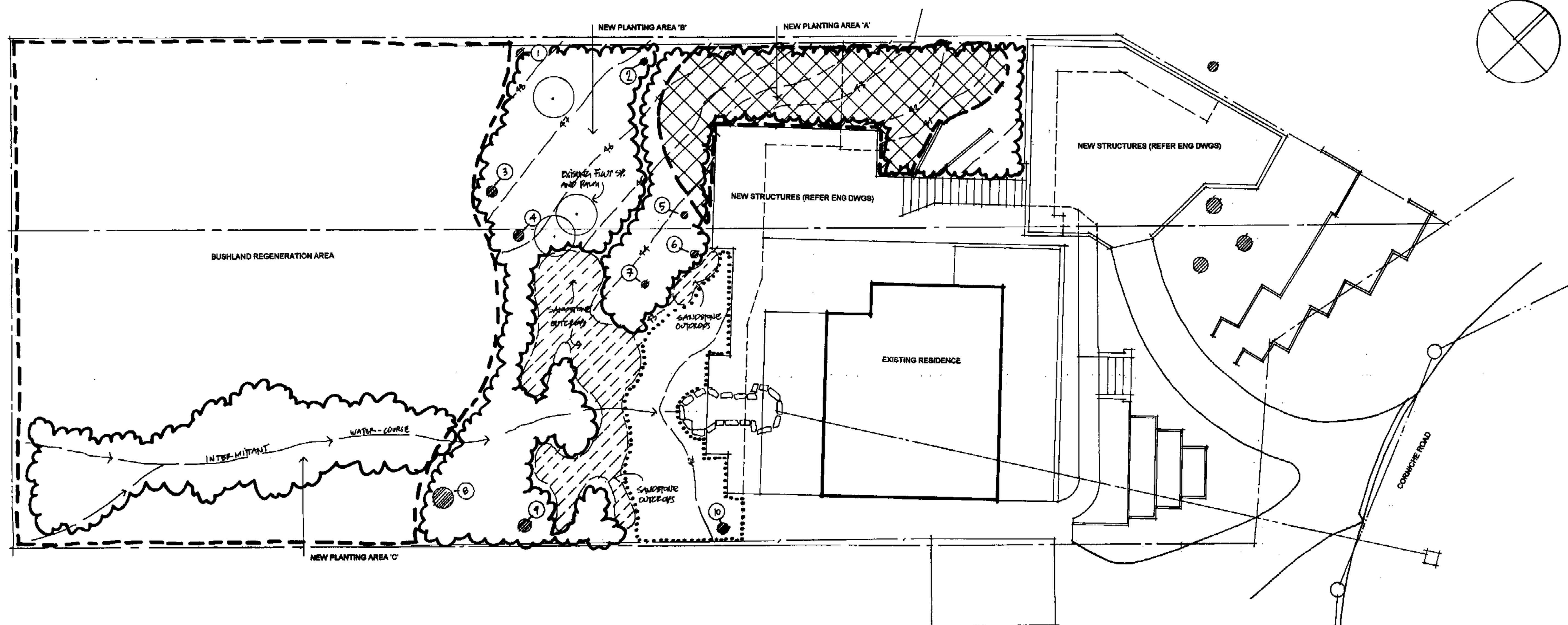
JACK HODGSON CONSULTANTS PTY. LIMITED.
 Consulting Civil, Geotechnical, and Structural Engineers.
 11 Bungen Street, MONA VALE, P.O. Box 388, Post Code 2105.
 Telephone (02) 9678 9733, Facsimile (02) 9678 9624, A.G.N. 053 405 011

Designed	Drawn	Job No.	Drawing No.
JDH	SG		

Checked JDH Scale 1:100,20, etc.

Date 18 MARCH 2004

21014-3



BUSH REGENERATION CONCEPT PLAN

The following document is intended as a guide for bush regeneration works at the rear of the above-mentioned property. The property has had many non-native plant species introduced to it over forty years and many other environmental weeds down in by birds. The owners have expressed the desire to adopt a bush regeneration approach to weed treatment on all areas outside of the development envelope. Waratah Eco Works will monitor progress of works.

- All weeds to be treated incrementally and in a mosaic fashion to reduce the impact of sudden habitat loss. A Weed Treatment Calendar and Treatment Method Table have been supplied to the property.
- Bamboo has been cut and painted; this process is being continued with good success on the upper sections of the property. The canes are being mulched and used on-site as bank stabilisation and around plantings.
- All weed propagules (seeds/tubs) to be hand removed then bagged and removed off-site, especially for annuals and persistent perennial ground weeds present such as Oxalis sp. and Northcoastum prostratum (Fleas Crabs).
- Rubus fern and ginger species are to be hand removed and composted on-site in an open rafted compost site.
- Sediment mesh will be installed on the lower edges of the seasonal watercourse adjacent to the construction site to reduce downstream sedimentation.
- A sprayed edge to the couch lawn is to be established to prevent future invasion.
- Cochlea serrulata (Mickey Mouse Plant) is to be scraped and painted where encountered as is Chamaecrista canaliculata (Campfire Liliac).
- A broad edge to the remnant good bush at the back of the property is to be established with minimum disturbance bush regeneration strategies being employed here (ie: hand weeding). No supplementary planting will occur above the broad edge.
- Local riparian plant species sourced via Waratah Eco Works will be planted along the watercourse edges and plants from the Pittwater Spotted Gum Ecological Community (PSGEC) will be selected for planting in all other disturbed areas.
- Tree weed species are to be removed and replaced over time by treatment in situ, leaving the structures for habitat.
- Nesting boxes for parrots and birds are intended to be installed on the property to offset any habitat loss during the bush regeneration process.
- A twelve-month maintenance plan working twice a month is to be conducted to monitor and manage all environmental weeds on site.
- Supplementary planting will be undertaken only with local plant species and during appropriate weather conditions (ie: following sufficient rain).
- All large boulders to be cleared of weed species and left as features in the remnant natural landscape.

PLANTING AREA SPECIFICATION

GENERAL

THE LANDSCAPE DOCUMENTATION IS INDICATIVE AND IS INTENDED TO BE INTERPRETED BY QUALIFIED LANDSCAPE TRADERS FOR CONSTRUCTION. LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH OTHER CONSULTANT DRAWINGS AND DOCUMENTS. WHERE DISCREPANCIES ARISE, OBTAIN INSTRUCTIONS PRIOR TO COMMENCEMENT. CONFIRM ALL SET-OUT ON SITE PRIOR TO CONSTRUCTION.

SITE PREPARATION

Existing Vegetation Removal

Refer Bushland Management Plan and Existing Tree Schedule for approved vegetation removal protocol.

Existing Vegetation Protection

Monitor the site during all building works to ensure existing vegetation to be retained is protected from any damage. Position 1800 high chainlink fence immediately adjacent approved footprint. Ensure that where excavation is necessary within the drip line of trees, hand methods shall be used to preserve root systems intact and minimise damage. Do not cut any root greater than 50 mm dia. Where it is necessary to cut tree roots, do not unduly disturb the remaining root system.

Site Preparation / Earthworks

Refer architectural and engineering drawings for areas of excavation. Limit all excavation to the approved building footprint. Monitor site to ensure all landscape areas are free of unwanted matter including existing dumped material, contaminated matter and building rubbish for the duration of the building period. In areas of approved excavation stockpile existing topsoil layer for reuse / reinstatement. Protect stockpile from erosion.

Erosion Control

Install 'Erosionmat' blanket to areas shown in accordance with manufacturers written instructions. In addition install sediment fences to the main-slope water-course and to tops and toes of batters. Provide filter tubes to drains and inverts.

PLANTING AREAS

Planting

Plants must be propagated by cuttings or provenance seed from plants growing within 25 km of the property. All plant supply is to be certified as to viability, provenance and source (Pittwater Spotted Gum Forest Ecological Community). Set-out plants as per the schedule and notes. Root plants prior to planting and plant directly into soil / fill profile. Backfill around plants and create water basin.

TURFING

Turf species is to be Stenotaphrum secundatum (Soft Leaf Buffalo 'Sir Walter'). Install 100mm silt topsoil. Mix fertilizer throughout soil bed prior to laying turf. Raise and level soil surface to achieve precise grades. Lay turf in staggered pattern with close-butted joints and no deviations in level. Finish flush to adjacent edges. Lightly roll to an even surface. Water immediately and maintain moisture to full soil bed depth. Lift and replace failed turf or where levels have deviated. Once established, top dress to 10mm depth, including rubbing joints.

PLANT ESTABLISHMENT PERIOD / MAINTENANCE STRATEGY

During the plant establishment period carry out regular maintenance including the following works:

- Watering - to maintain healthy growth, and monitor
- Weeding to all areas
- Pest & disease control
- Add mulch to planting areas if appropriate
- Mowing and maintenance of turf.

SCHEDULE OF EXISTING TREES

No	Species Name	Common Name	Height	Action
1	Angophora floribunda	Rough Barked Apple	12 M	Retain
2	Glochidion burchardii	Cheese Tree	7 M	Retain
3	Eucalyptus punctata	Grey Gum	12 M	Retain
4	Corymbia maculata	Spotted Gum	15 M	Retain
5	Brodiaea uniflora	Flowers Flame	8 M	Retain
6	Angophora floribunda	Rough Barked Apple	12 M	Retain
7	Angophora floribunda	Rough Barked Apple	12 M	Retain
8	Syncaesia glaucoflora	Turpentine	12 M	Retain
9	Corymbia maculata	Spotted Gum	15 M	Retain
10	Corymbia maculata	Spotted Gum	15 M	Retain

PLANTING SCHEDULE

Species name	Common Name	Height	Size	Area A No	Area B No	Area C No
CANOPY TREES / PALMS						
Angophora costata	Smooth Barked Apple	<20M	Tube		3	
Corymbia maculata	Spotted Gum	<20M	Tube		5	
Lycium aculeatum	Cabbage Palm	20M	300mm Tube			5
Syncaesia glaucoflora	Turpentine	<20M	Tube			5
TREES / SHRUBS						
Banksia myrsinites	Grey Myrtle	2.5M	150mm	10	5	5
Eucalyptus punctata	Spotted Gum	0.5M	150mm		10	5
Syzygium alatum	Boerhaavia Rosewood	4.0M	150mm	10	5	5
GROUNDCOVERS & GRASSES						
Asplenium australasicum	Shrub Fern	1.0M	150mm	25	15	15
Stenotaphrum secundatum	Buffelgrass	0.5M	Tube			25
Carex sp. (1)	Carex	0.75M	Tube	25		
Carex sp. (2)	Native Grass	0.5M	Tube	25	15	25
Dianella caerulea	Blue Flax Lily	0.5M	Tube	75	75	30
Dianella caerulea	Rose Fern	0.5M	Tube		15	25
Erigeron philadelphicus	Emulsin	0.5M	Tube		25	
Hibiscus syriacus (1)	Twining Guinea Flower	0.5M	Tube	50		
Lomandra longifolia	Med Rush	1.2M	Tube	50	50	
Pandanus pandanus	Wonga Wonga Vine	0.75M	Tube		15	15
Platanus occidentalis	Common Blackberry	1.5M	Tube		25	25

NOTES:

- Species not regarded as PSGF
- Area A equals 80% PSGF
- Area B & C equals 100% PSGF

LEGEND

- EXISTING TREES AND VEGETATION
- EXISTING FENCE
- EXISTING PROPERTY BOUNDARY
- EROSION CONTROL BLANKET
- NEW PLANTING AREAS
- REINSTATED / NEW TURF AREA
- AREA OF BUSH REGENERATION (SEE NOTES)

NOTES

This drawing shows planting, turfing and bush regeneration.

Refer to the architectural & engineering package for other external works such as pavements, structures, backfill, drainage, services, and site management

Ensure all planting and turfing surface areas are free draining without mounds or low areas.

ISSUE

A 15/06/04

CONSTRUCTION CERTIFICATE

Landscape Consultant:

WARATAH ECO WORKS PTY LTD

7 Corniche Road, Church Point, NSW, 2105
tel: (02) 9957 6231
fax: (02) 9957 6207
email: info@waratahcoworks.com.au

Client:

VW & FM FELTON

Project:

12 Corniche Road
Church Point NSW 2105

Drawing:

Landscape Plan

Date 15/06/04

Scale 1:100

Drawn SMN

Dwg No L 01 A

PITWATER COUNCIL CONSTRUCTION CERTIFICATE
Number: CC: 0608/03
This is a copy of submitted plans, drawings or Certificates associated with the project of the Construction Certificate.
Endorsed by: [Signature]
Date: 11 SEP 2004 21 DEC 2004