

**NORTHERN BEACHES COUNCIL**

**PLAN OF DETAIL LEVELS AND CONTOURS**

LOT 129  
D.P.16902  
BEING No.521  
BARRENJOEY ROAD

**BILGOLA BEACH**

REFERENCE :- 2861 DS

SHEET No. 1 OF 1      ISSUE :- **A**

JOB No. :- 2861

DATE :- MARCH 2021

SCALE :- 1:100

DATUM :- A.H.D.

AZIMUTH :- MAGNETIC NORTH

CLIENT :- MADEW

SURVEYED :- M.L.      JOB SET UP :- G.R.

DRAWN :- G.R.      CHECKED :- M.L.

ISSUE	DATE	AMENDMENT	DRAWN	CHKD
A	4-3-21	ORIGINAL ISSUE	G.R.	M.L.

**ENCUMBRANCES NOTED ON TITLE EPOD 129/16902**  
1. RESERVATIONS AND CONDITIONS IN THE CROWN GRANTS  
2. COVENANT (C167789)

- NOTES**
- ONLY VISIBLE SERVICES HAVE BEEN LOCATED
  - ORIGIN OF LEVELS PM 6898 R.L. 47.412 A.H.D. VIDE SCMS JANUARY 22, 2021 CLASS 'LB'
  - TOTAL SITE AREA 689.2m<sup>2</sup> VIDE D.P. 16902

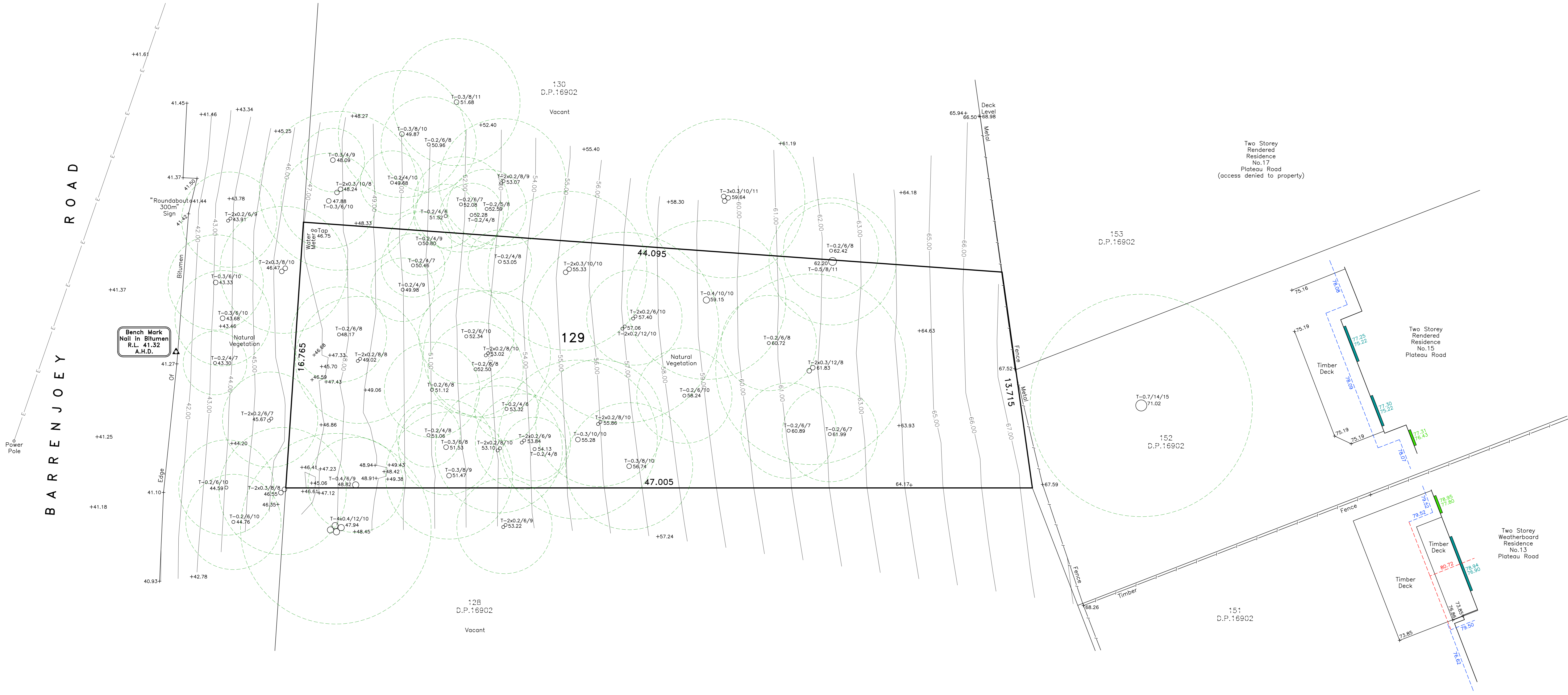
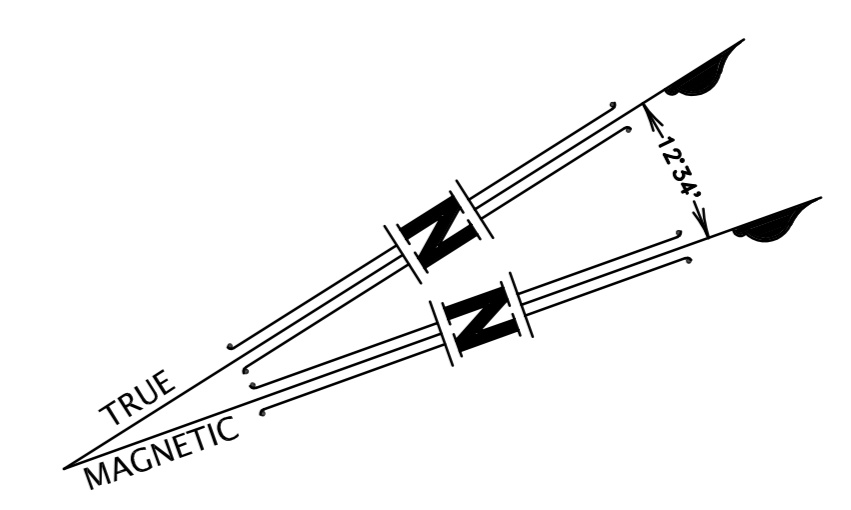
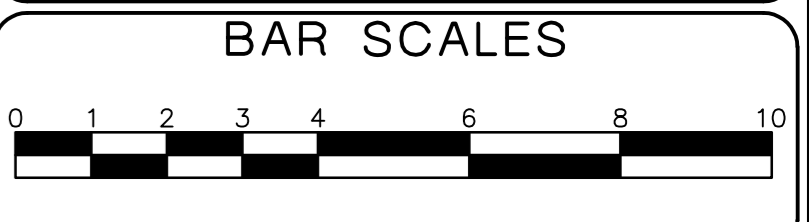
- LEGEND**
- +26.23 Denotes spot height.
  - T-0.2/5/4 Denotes tree-diameter/spread/height.
  - Denotes overhead power wires.
  - 79.37 --- Denotes ridge and levels.
  - 74.26 --- Denotes gutter and levels.
  - 76.65 --- Denotes window and levels.
  - 75.42 --- Denotes door and levels.

**SURVEY DISCLAIMER**  
The intention of this survey is to provide selected detail, levels & contours, for design and DA purposes only. The survey is not intended to be an accurate location of the boundaries or any feature in relation to the boundaries, unless specific distances from selected features to the boundaries are shown on the plan.

"Richards & Loftus Surveying Services" takes no responsibility for any distances scaled, or measured to the boundaries, from any version of this plan, be it electronic, paper or otherwise.

**TREE NOTE**  
The spread and height of each tree is indicative only and cannot be shown accurately without very detailed further survey. The shape and size of the spread of the tree may vary due to lack of uniformity of the branches and trunk. All tree trunks are measured at DBH, (Diameter at Breast Height) approximately 1.3 metres above ground level.

Surveyed By:  
**Richards & Loftus**  
surveying services  
Consulting Offices:  
49 Meredith Avenue      Phone: 0410 405 484  
Hornsby Heights      E-Mail:      mloftus@richardsandloftus.com.au  
NSW 2077  
Registered Surveyor - Warren Eldridge      Id No. 993



Bench Mark  
Nail in Bitumen  
R.L. 41.32  
A.H.D.

BARRENJOEY ROAD

Two Storey  
Rendered  
Residence  
No.17  
Plateau Road  
(access denied to property)

Two Storey  
Rendered  
Residence  
No.15  
Plateau Road

Two Storey  
Weatherboard  
Residence  
No.13  
Plateau Road