

THIS IS CONCEPT PLAN OF SUBDIVISION AND ALL DIMENSIONS ARE SUBJECT TO FINAL SURVEY

(A) RIGHT OF WAY VARIABLE WIDTH
 (B) EASEMENT TO DRAIN WATER

SUBDIVISION CONCEPT PLAN
 SHEET: 1 OF 1

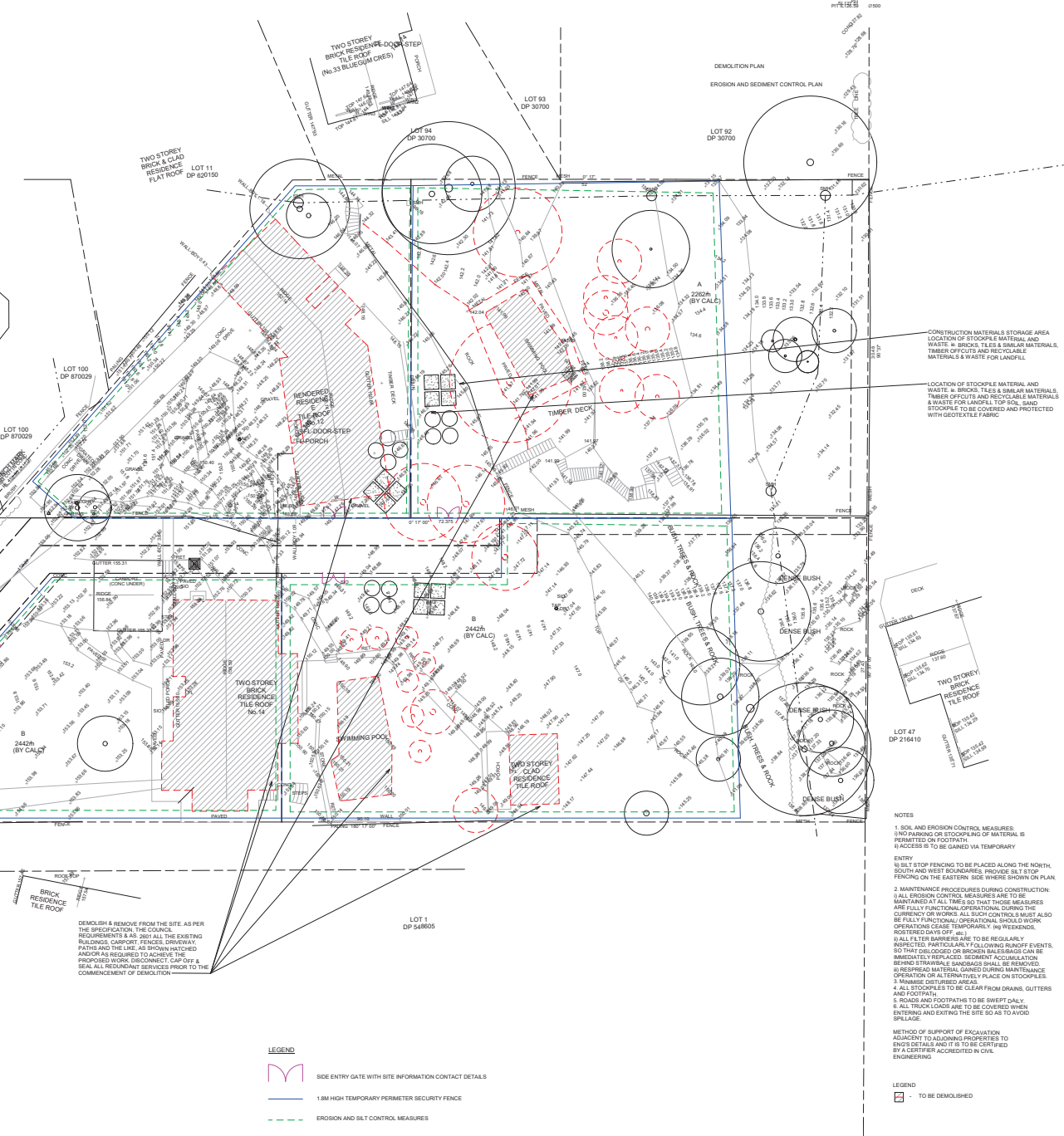
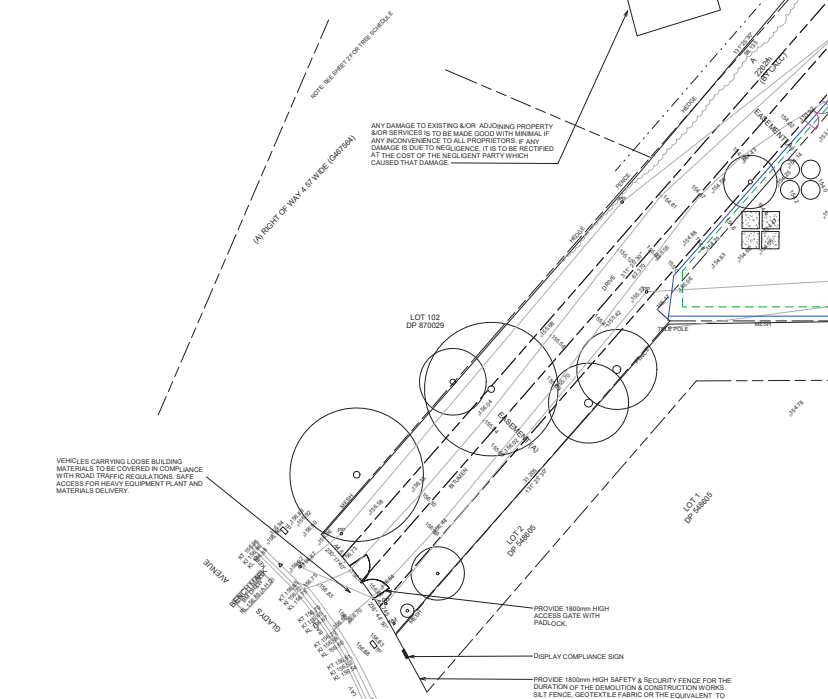
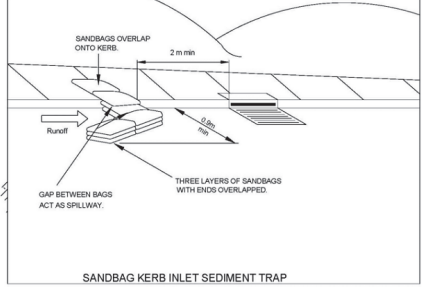
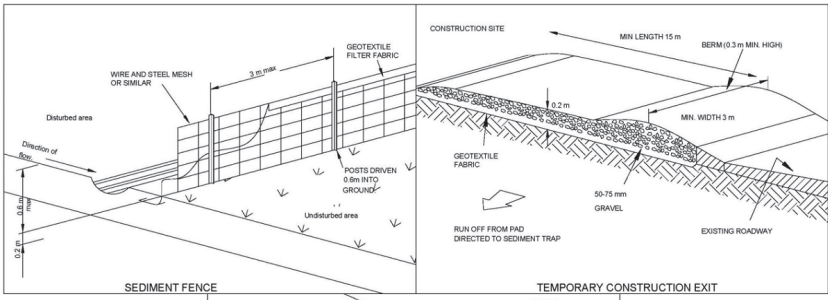
Surveyor : SIMON PAK YAN HO
 Date of Survey :
 Surveyor's Ref : 2611
 Date : 16-06-2023

PLAN OF SUBDIVISION OF LOT A & LOT B IN D.P. 393276

LGA: WARRINGAH
 Locality : FRENCHS FOREST
 Subdivision No:
 Lengths are in metres. Reduction Ratio 1:250

Registered

DP DRAFT
 Rev. 1



- NOTES**
- SOIL AND EROSION CONTROL MEASURES:
 - NO PARKING OR STOCKPILING OF MATERIAL IS PERMITTED ON FOOTPATH.
 - ACCESS IS TO BE GAINED VIA TEMPORARY ENTRY.
 - STOP FENCING TO BE PLACED ALONG THE NORTH, SOUTH AND WEST BOUNDARIES. PROVIDE STOP FENCING ON THE EASTERN SIDE WHERE SHOWN ON PLAN.
 - MAINTENANCE PROCEDURES DURING CONSTRUCTION:
 - ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED AT ALL TIMES SO THAT THOSE MEASURES ARE FULLY FUNCTIONAL OPERATIONAL DURING THE COURSE OF WORKS. ALL SUCH CONTROLS MUST ALSO BE FULLY FUNCTIONAL OPERATIONAL SHOULD WORK BE INTERRUPTED DURING THE COURSE OF WORKS. RESTRICTED BAYS OFF, etc.
 - ALL 1.8M TEMP BARRIERS ARE TO BE REGULARLY INSPECTED PARTICULARLY FOLLOWING RUNOFF EVENTS. SO THAT CRACKS OR BREACHS CAN BE IMMEDIATELY REPAIRED. SEDIMENT ACCUMULATION BEHIND STRAWBALE SANDBAGS SHALL BE REMOVED.
 - RESPREAD MATERIAL GAINED DURING MAINTENANCE OPERATION OR ALTERNATIVE PLACE ON STOCKPILES.
 - MINIMIZE DISTURBED AREAS.
 - ALL STOCKPILES TO BE CLEAR FROM DRAINS, CUTTERS AND FOOTPATH.
 - ROADS AND FOOTPATHS TO BE SWEEP DAILY.
 - TRUCK LOADS ARE TO BE COVERED WHEN ENTERING AND EXITING THE SITE SO AS TO AVOID
- METHOD OF SUPPORT OF EXCAVATION ADJACENT TO ADJOINING PROPERTIES TO ERCT DETAILS AND IT IS TO BE CERTIFIED BY A CERTIFIER ACCREDITED IN CIVIL ENGINEERING**
- LEGEND**
- TO BE DEMOLISHED

1 EROSION AND SEDIMENT CONTROL PLAN / CONSTRUCTION MANAGEMENT PLAN
1 : 200

GENERAL NOTES

All construction work to be confirmed on site by the Subcontractor, and incorporation must be approved by the Designer before commencement of any work. All construction work to be confirmed on site by the Subcontractor, and incorporation must be approved by the Designer before commencement of any work. All construction work to be confirmed on site by the Subcontractor, and incorporation must be approved by the Designer before commencement of any work.

Drawn	Date	Issue	Amendment
ELJ	03/02/22	A	ISSUE FOR CLIENT
JK	08/02/22	B	REVISION B
JK	04/02/22	C	ISSUE FOR THE DA
MZ	10/02/22	D	ISSUE FOR DA

PROJECT
SUBDIV. OF LAND, 2 LOTS INTO 4 LOTS.
PROP. CONSTRUCT. OF 3 X 2 STRY DWELLINGS AT
12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086

Client
JACK ZHANG

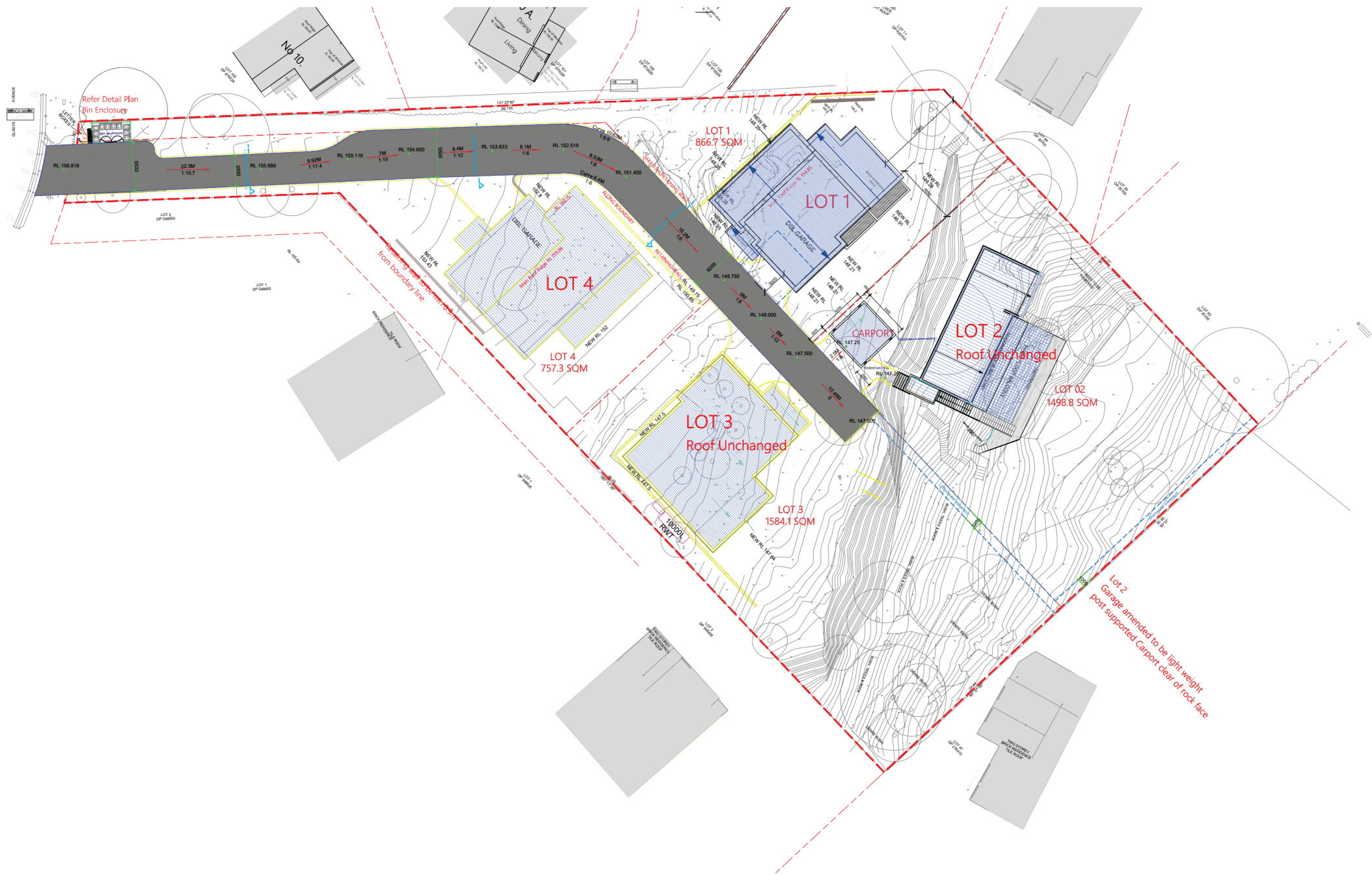
Scale
1:200

Sheet
EROSION AND SEDIMENT CONTROL PLAN
22-46 03/05/22 1 of 1 1:200 D RK

bdao
BUILDING DESIGNER

EROSION AND SEDIMENT CONTROL PLAN

RK DESIGNS



REV.	DESCRIPTION	ISSUE DATE	DESIGNED	CHECKED/APPROVED
1	UPDATED PER CLIENT COMMENTS	27/06/2023	A. SHASH	O. OZGUR
0	INITIAL RELEASE	11/08/2022	A. SHASH	O. OZGUR

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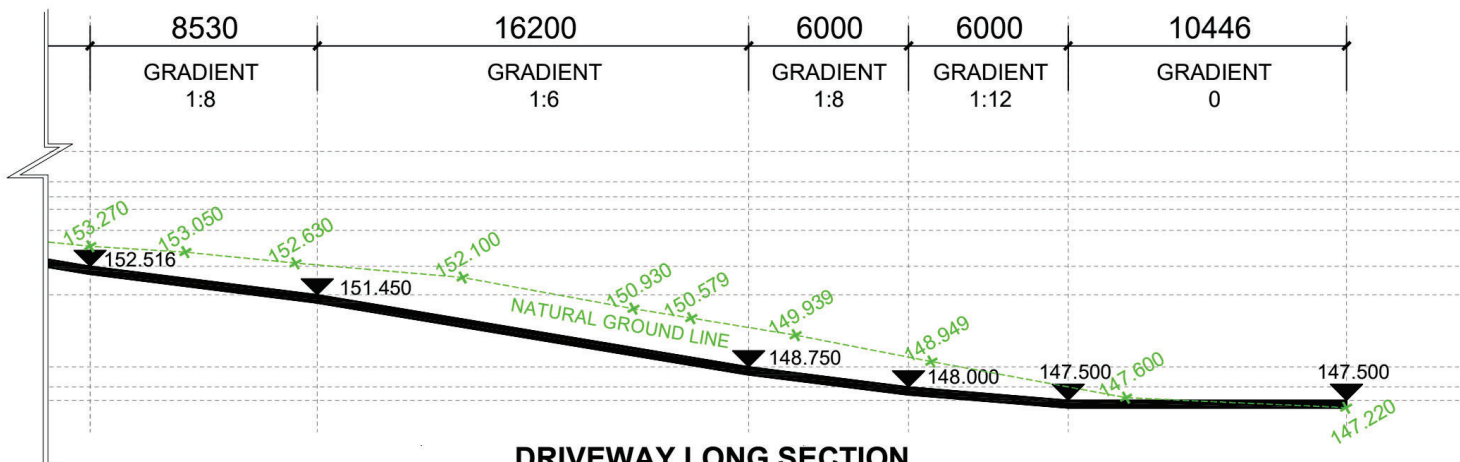
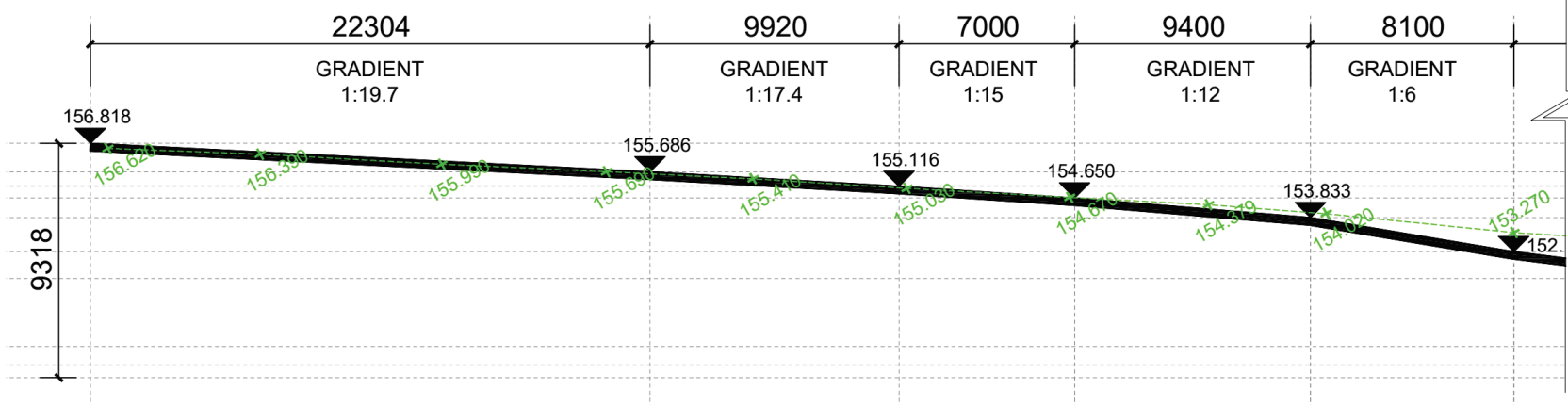
1. TRAFFIC MANAGEMENT PLAN SHOULD BE READ IN CONJUNCTION WITH AUSTRALIAN STANDARDS AS1742.3-2009 AND ROAD MANAGEMENT ACT 2004, CODE OF PRACTICE TO ENSURE CORRECT INSTALLATION OF TRAFFIC CONTROL DEVICES.
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4. AFTER IMPLEMENTATION A DRIVE-THROUGH INSPECTION IS TO BE CONDUCTED AND SIGNS ADJUSTED FOR MAXIMUM EFFECTIVENESS.
5. ALL SIGNAGE TO BE INSPECTED ON A REGULAR BASIS TO ENSURE ALL SIGNAGE IS VISIBLE TO ONCOMING TRAFFIC.
6. POSTED/EXISTING SPEED OF ROADS:



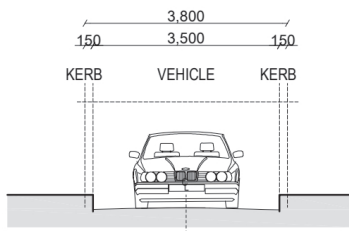
ABN: 21 103 477 742
 22/73 ASSEMBLY DRIVE,
 DANDENONG SOUTH, VIC 3175
 PHONE: (+61 3) 9066 4417
 EMAIL: info@trafficplans.com.au
 WEB: www.trafficplans.com.au

VICROADS PRE-QUALIFIED FOR TMP

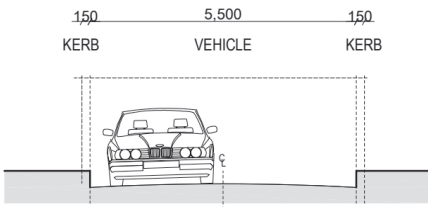
CLIENT GLADYS FOREST PTY LTD		CONTACT JACK ZHANG - 0410 063 615	
PROJECT LOCATION 12-14 GLADYS AVE, FRENCHS FOREST NSW 2030	MUNICIPALITY WARINGAH	SITE CLASSIFICATION N/A	
TITLE / DESCRIPTION OF WORKS SITE DRIVEWAY PLAN	DATE 27/06/2023	MAP REF. 238 A4	SHEET 1 OF 2
DRAWING NUMBER TPC-2022-10658-002-V1			



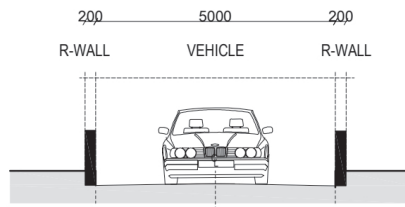
DRIVEWAY LONG SECTION
SCALE 1:200



DRIVEWAY CROSS SECTION 1



PASSING BAY CROSS SECTION 2



DRIVEWAY CROSS SECTION 3

TYPICAL CROSS SECTIONS
SCALE 1:100 NOTE: DRIVEWAY SECTION TAKEN THROUGH CENTRELINE

VER.	DESCRIPTION	ISSUE DATE	DESIGNED	CHECKED/ APPROVED
1	UPDATED PER CLIENT COMMENTS	27/06/2023	A. SHASH	O. OZGUR
0	INITIAL RELEASE	11/08/2022	A. SHASH	O. OZGUR

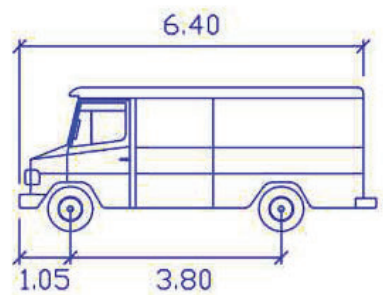
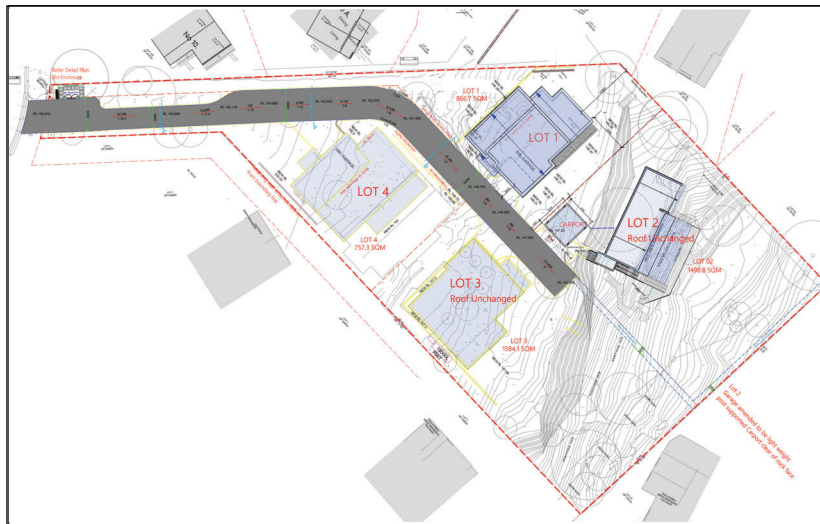
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6. POSTED/EXISTING SPEED OF ROADS.

ABN: 21 103 477 742
22/73 ASSEMBLY DRIVE,
DANDENONG SOUTH, VIC 3175
PHONE: (+61 3) 9066 4417
EMAIL: info@trafficplans.company
WEB: www.trafficplans.company

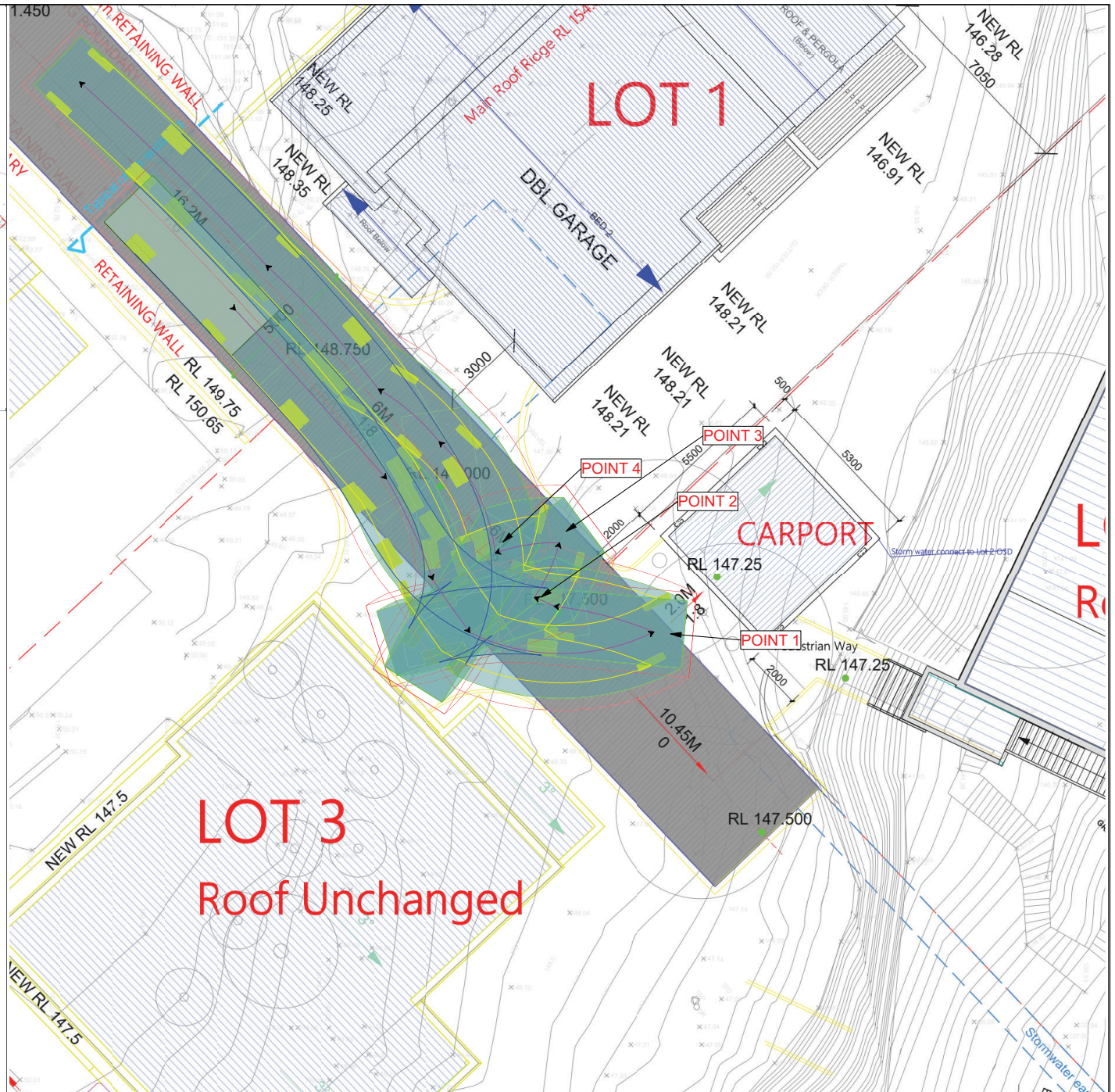
VICROADS PRE-QUALIFIED FOR TMP

CLIENT GLADYS FOREST PTY LTD	CONTACT JACK ZHANG - 0410 063 615
PROJECT LOCATION 12-14 GLADYS AVE, FRENCHS FOREST NSW 2030	MUNICIPALITY WARINGAH
TITLE / DESCRIPTION OF WORKS SITE DRIVEWAY SECTION	SITE CLASSIFICATION N/A
DATE 27/06/2023	MAPP REF. 238 A4
DRAWING NUMBER TPC-2022-10658-002-V1	SHEET 2 OF 2



SRV

Width	: 2.30
Track	: 2.30
Lock to Lock Time	: 6.0
Steering Angle	: 38.1



VER.	DESCRIPTION	ISSUE DATE	DESIGNED	CHECKED/ APPROVED
0	INITIAL ISSUE	27/06/2023	O. OZGUR	O. OZGUR

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THE TRAFFIC PLANS COMPANY

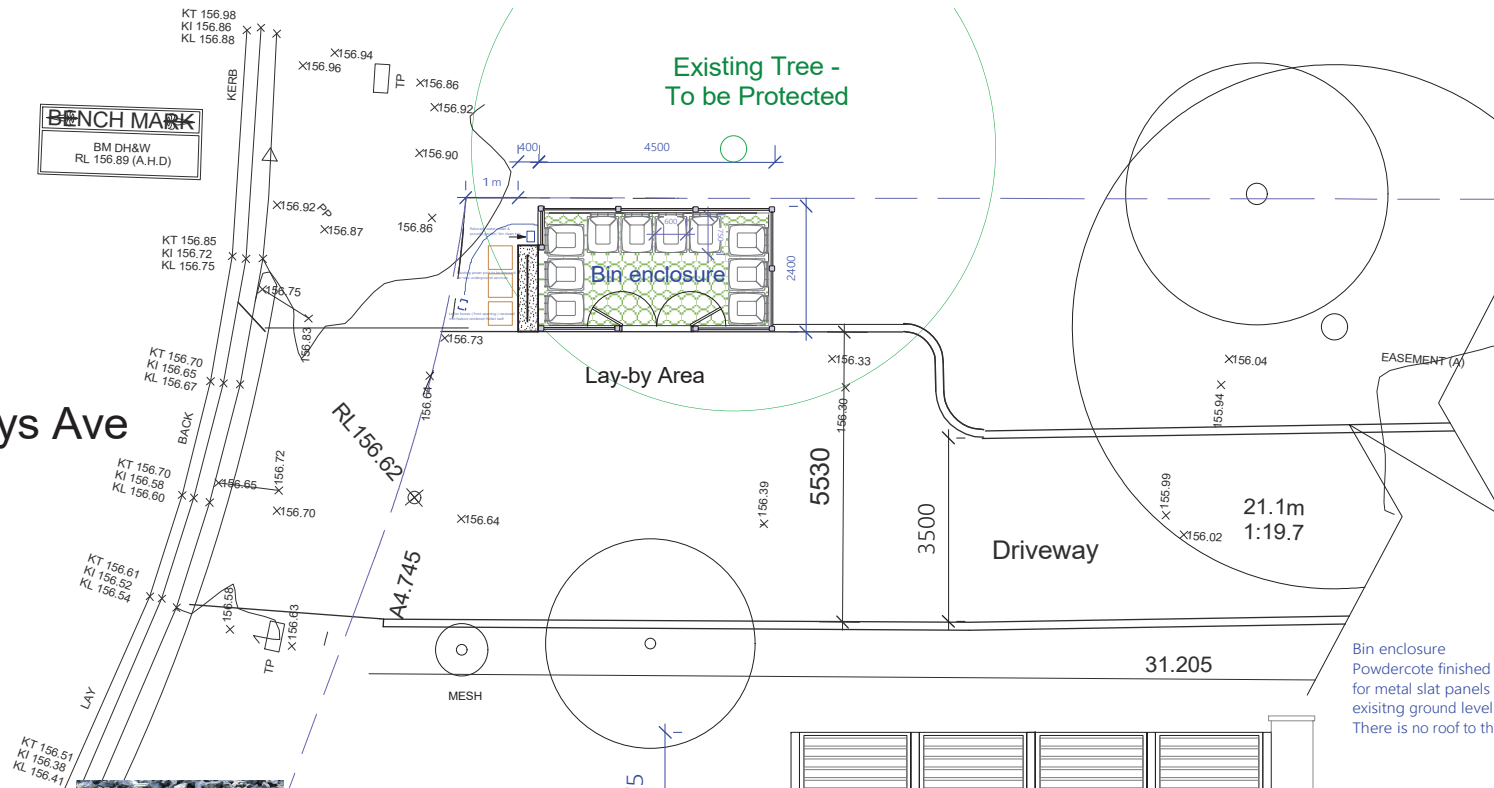
ABN: 21 103 477 742
 22/73 ASSEMBLY DRIVE,
 DANDENONG SOUTH, VIC 3175
 PHONE: (+61 3) 9066 4417
 EMAIL: info@trafficplans.company
 WEB: www.trafficplans.company

VICROADS PRE-QUALIFIED FOR TMP

CLIENT: GLADYS FOREST PTY LTD
 PROJECT LOCATION: 12-14 GLADYS AVE, FRENCHS FOREST NSW 2086
 TITLE / DESCRIPTION OF WORKS: 6.4m SRV - SWEEP PATH ASSESSMENT INGRESS AND EGRESS

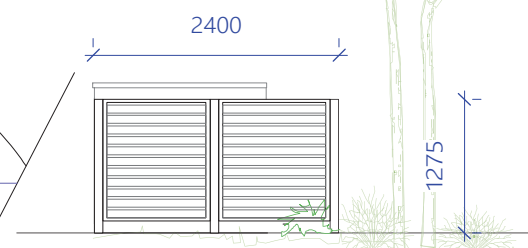
CONTRACT: JACK ZHANG - 0410 063 615
 MUNICIPALITY: WARINGAH
 DATE: 27/06/2023
 SHEET: 238 A4 1 OF 1
 DRAWING NUMBER: TPC-2023-11854-001-V1

Gladys Ave

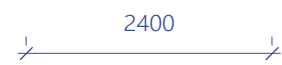


Bin enclosure floor
EconoGrid40 (or similar)
Rigid cell honeycomb porous paving system
infilled with gravel to allow natural rain
absorption for existing tree roots
Laid on top of existing Grd Level.

Rear Elevation



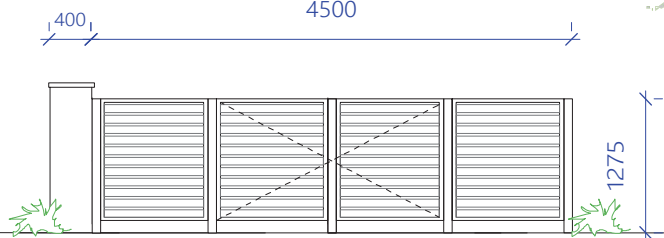
Aluminium slat panels & post bin enclosure
Powdercote finish



EconoGrid 40 - Honeycombrid cell pavers
laid on existing ground level
infilled with Gravel - to allow natural rain drainage
to existing tree roots

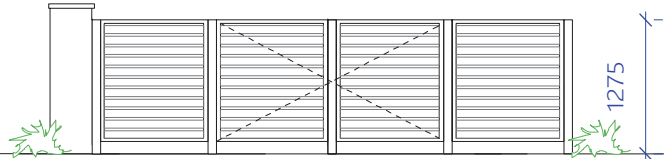
Section

Boundary Elevation



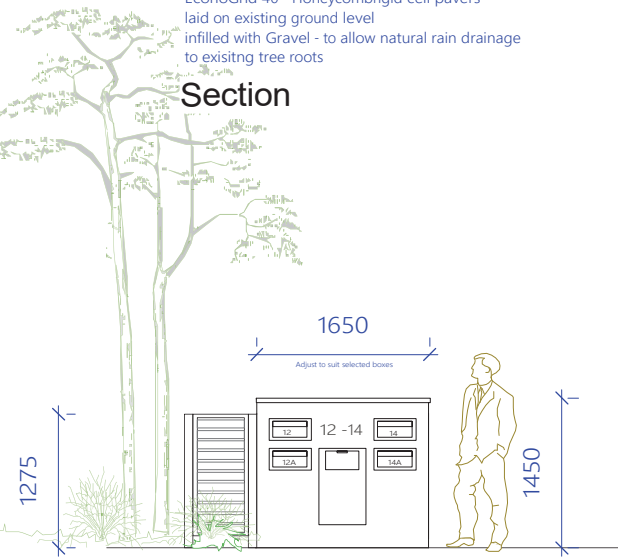
Aluminium slat panels & post bin enclosure
Powdercote finish

Driveway Elevation



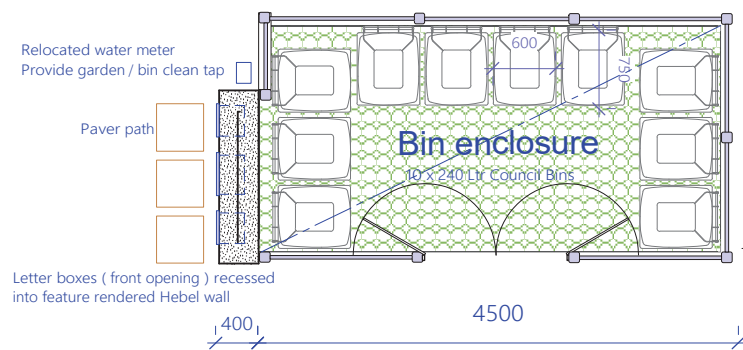
Feature Hebel street-front letter box wall
Aluminium slat panels & post bin enclosure behind
Central double gate access - Powdercote finish

Street Elevation



Feature front wall with parcel & letter boxes
Hebel (Lightweight) block - render & paint finished
No strip footing required - peg corners only

Aluminium slat bin enclosure behind
Powdercote finish



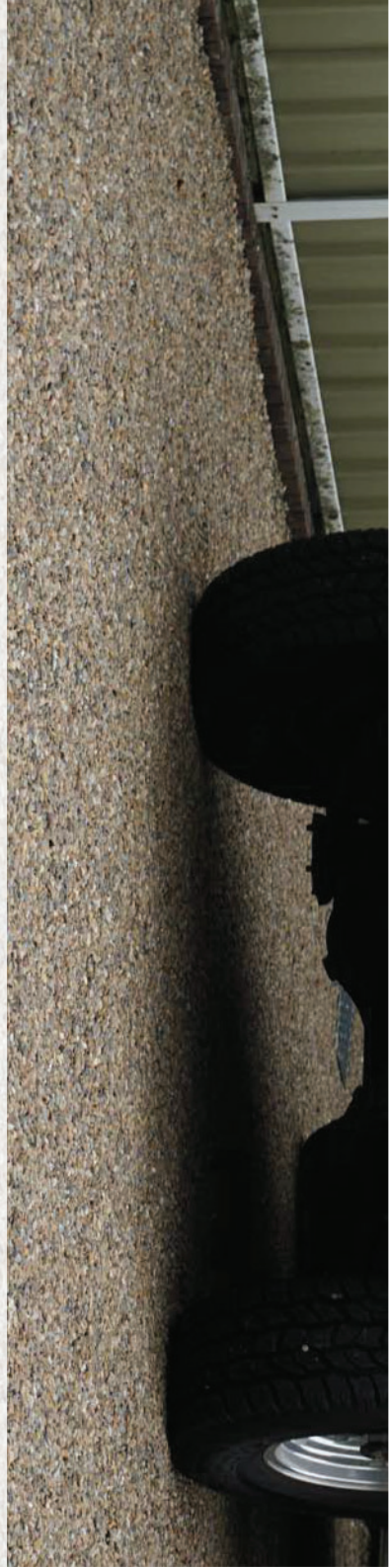
Relocated water meter
Provide garden / bin clean tap

Paver path

Bin enclosure
10 x 240Lr Council Bins

Letter boxes (front opening) recessed
into feature rendered Hebel wall

Amendments	Date	Issue	No.12 - 14 Gladys Ave, Frenchs Forest Proposed Subdivision and New Dwellings	Diana Prowse Reg. 5740 - Nominated Architect	Drawing No.
			Mr Jack Zhang	Di-Signed Architectural Solutions 96A Pacific Highway, Roseville PO Box 408 Roseville, NSW 2069 Email - diana@archsolutions.net.au Mob 0414 931 018	Scale



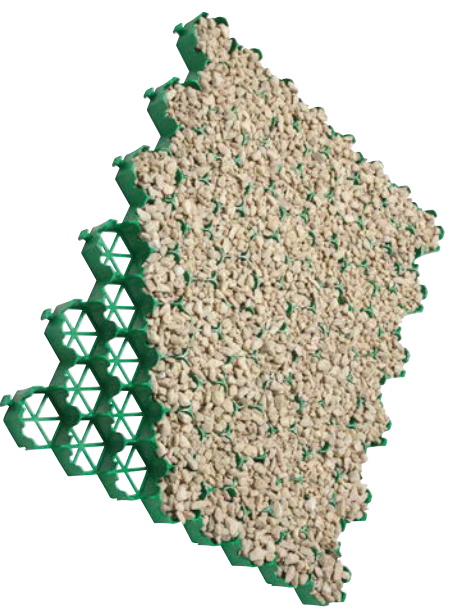
ECONOGRID 40™ POROUS PAVER GRAVEL FINISH



EconoGrid 40 is a porous paver that can provide a solution to a wide range of trafficking needs, especially in providing a stable, free draining pavement surface that retains gravel in situ. The application might be a gravel car park, an emergency access route or wheel chair / disabled access path. EconoGrid 40 plastic paving grids have been designed using carefully selected recycled plastics, to meet the demands and loadings imposed across a wide range of end requirements and site conditions.

Applications:

- Gravel car parking
- Overflow car parks
- Wheelchair / disabled access paths
- Free draining pedestrian paths
- Fire access roads / lanes
- Cycle paths
- Access routes and roads
- Drives and driveways



EconoGrid 40 porous plastic pavers can be filled with a 5mm to 20mm mixed sharp angular aggregate/gravel to give a very stable, hardworking and free draining working surface. The design of EconoGrid 40 plastic porous pavers allows excellent interlock with the gravel resisting and negating dynamic and lateral loadings so the gravel and paver remains in situ with little or no maintenance requirements.





The retained gravel finish, when installed correctly, will provide a hard-wearing, robust and permeable free draining surface that would have an expected lifetime of many years. Please see our installation and design guidance documents for further information.

EconoGrid 40 porous pavers are supplied in easy to handle square grids which interlock with adjacent paving grids to create a stable and robust surface. The plastic pavers have a 40mm deep open honeycomb structure which promotes and allows excellent interlock between angular stone/gravel particles where a gravel pavement is required.

EconoGrid 40 paving grids have been manufactured using specially selected 100% recycled plastics that have the qualities that are required for a strong, long-lasting, stable product suitable for the designed traffic load. These include:

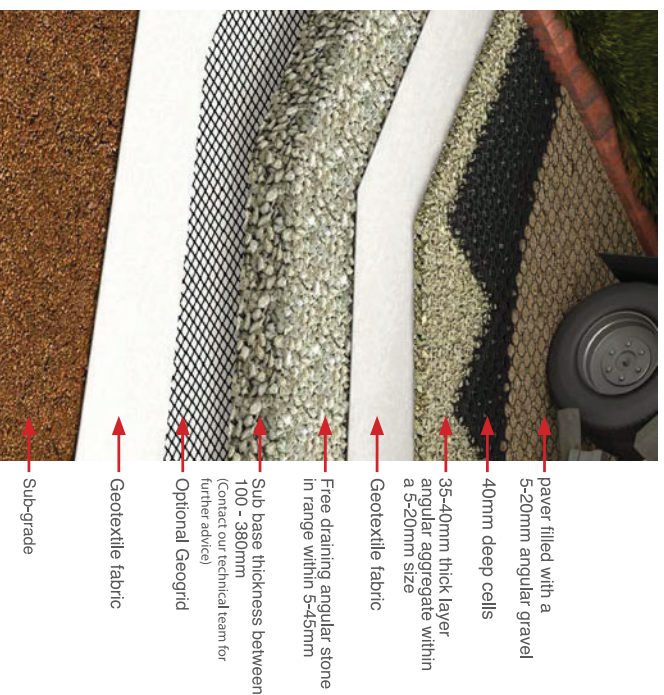
- UV stabilisation to stop degradation by sunlight.
- Tested to 150T/m², capable of withstanding cars, vans, trucks and lorries
- Paver profile allows expansion on warmer days or in direct sunlight when required to stop lifting
- Plastic selection to allow use in cold temperatures – some plastic will become fragile when cold
- Open structure to allow unhindered water permeability
- Paver design maximises support and stability from either a gravel or a grass root structure
- All plastics used are stable, chemically inert and are not toxic so are suitable for normal soil conditions

Product Range

Laid size for 4 grids cover 1m²

Product	Size (outer)	Grid per m ² Laid	Paver Cell Depth	Load bearing Strength Capacity	Material	Colour
EconoGrid 40	638mmx532mm	3	40mm	150T/m ²	100% Recycled PP/PE	Green

For technical and installation information visit:
www.grassreinforcement.com.au/econogrid-40



EconoGrid 40 porous plastic paving grids have been designed to meet the demands laid down by local government regarding flood alleviation and WSUD requirements (Water Sensitive Urban Design). EconoGrid 40 pavers provide a porous / permeable pavement surface that allows rainwater / flood water to infiltrate through the paver surface and fill material into the subgrade below. EconoGrid 40 can be used as part of a source control layer within a WSUD design.





1 SITE LOCATION PLAN
1 : 2000

NOTE
SITE ANALYSIS PLAN IS TO BE READ
IN CONJUNCTION WITH THE
ARCHITECTURAL DRAWINGS, THE
SHADOW DIAGRAM PLANS AND THE
STATEMENT OF ENVIRONMENTAL
EFFECTS, INCLUSIVE OF THE
PHOTOGRAPHS & THE STREETScape
ELEVATION.

GENERAL NOTES

All dimensions shall be confirmed on site by the Subcontractor, and measurements must be approved by the Designer before commencement of any work.
All dimensions shall be based on the boundaries, set-backs, easements and other features shown on the current authoritative title. It is the responsibility of the Subcontractor to verify the exact boundary locations.
The contractor shall ensure that all dimensions and site works are completed in accordance with the approved plans. The Designer shall be notified of any variations to the approved plans.
In the event of encroachments and easements, on these drawings, specification of subsequent instructions from the Subcontractor shall control the work.
All construction shall be in accordance with the applicable provisions of the local laws, rules, other regulations and codes.
The Contractor shall ensure that all work is completed in accordance with the approved plans and specifications.
Measurements for the location of boundary components shall be measured to the centre of the boundary, unless otherwise specified.
All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer.
All existing structures shall be removed for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

Drawn	Scale	Issue	Amendment
EU	03/05/22	A	ISSUE FOR CLIENT
RK	08/05/22	B	REVISION B
RK	04/05/22	C	ISSUE FOR PRE DA
MZ	21/07/22	D	ISSUE FOR DA

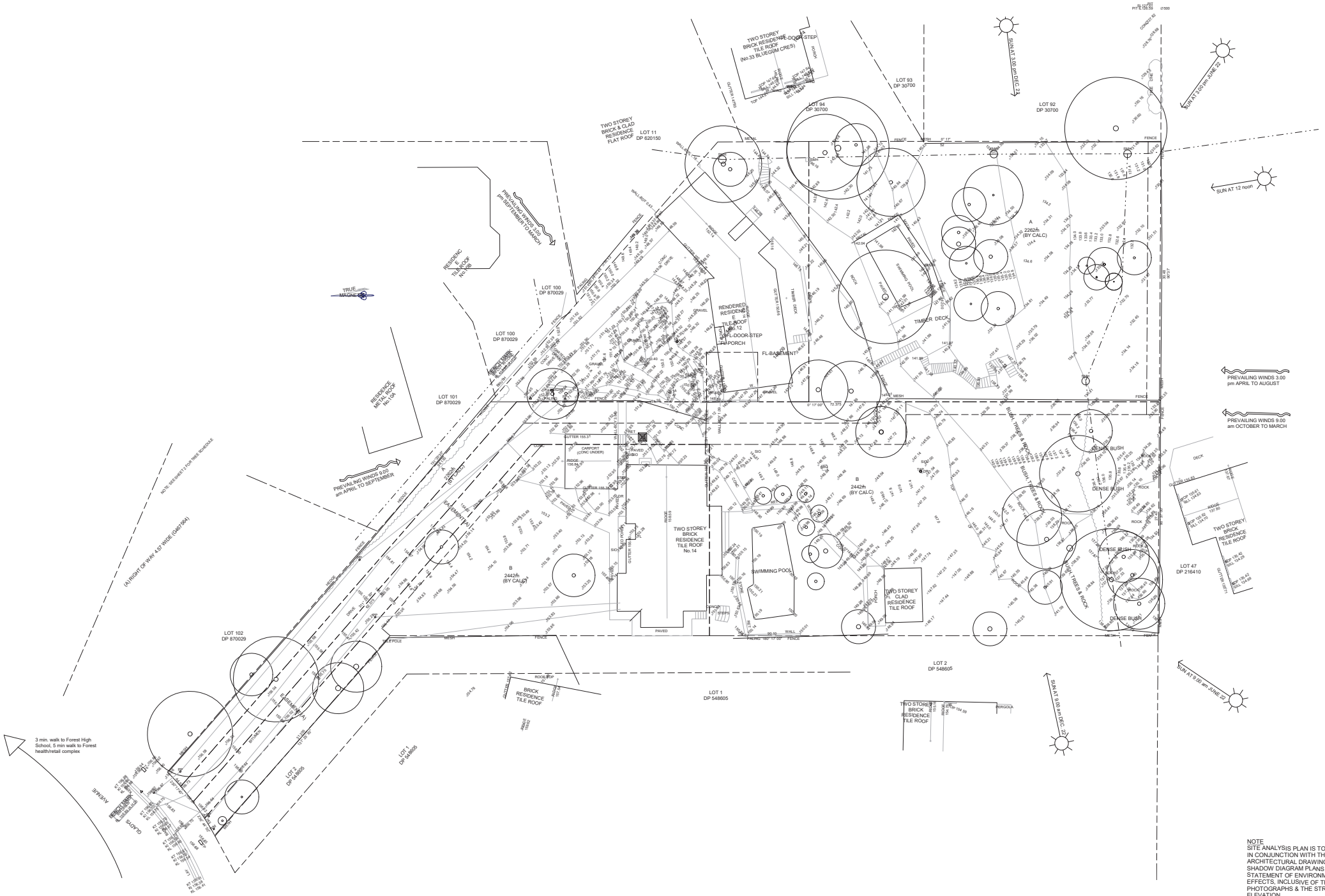
Drawn	Scale	Issue	Amendment
EU	03/05/22	A	ISSUE FOR CLIENT
RK	08/05/22	B	REVISION B
RK	04/05/22	C	ISSUE FOR PRE DA
MZ	21/07/22	D	ISSUE FOR DA

Client JACK ZHANG	Site 12-14 GLADYS AVE, FRENCHS FOREST, NSW, 2086	Scale 1 : 2000	Drawn EU	Issue 03/05/22	Amendment A
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bdoo
A C C R E D I T E D
BUILDING DESIGNER

12-14 Gladys Ave, Frenchs Forest, NSW, 2086
Phone: 02 9353 4757
Email: info@bdoo.com.au
Website: www.bdoo.com.au

RK
DESIGNS



1 SITE ANALYSIS
1 : 200

Drawn	Date	Issue	Amendment
EU	03/05/22	A	ISSUE FOR CLIENT
RK	08/05/22	B	PROVISION B
RK	04/05/22	C	ISSUE FOR THE DA
MZ	21/07/22	D	ISSUE FOR DA

PROJECT	
SUBDIV. OF LAND, 2 LOTS INTO 4 LOTS. PROP. CONSTRUCT. OF 3 X 2 STRY DWELLINGS AT 12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086	

SHEET	
JACK ZHANG	2 of 2

12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086

Scale	Issue	Checked	Issue
1:200	D		

RK DESIGNS

NOTE
SITE ANALYSIS PLAN IS TO BE READ
IN CONJUNCTION WITH THE
ARCHITECTURAL DRAWINGS, THE
SHADOW DIAGRAM PLANS AND THE
STATEMENT OF ENVIRONMENTAL
EFFECTS, INCLUSIVE OF THE
PHOTOGRAPHS & THE STREETSCAPE
ELEVATION.

(A) RIGHT OF WAY 4.57 WIDE (G467564)

RESIDE
TILE R
No.11

RESIDENCE
METAL ROOF
No.10A

LOT 101
DP 870029

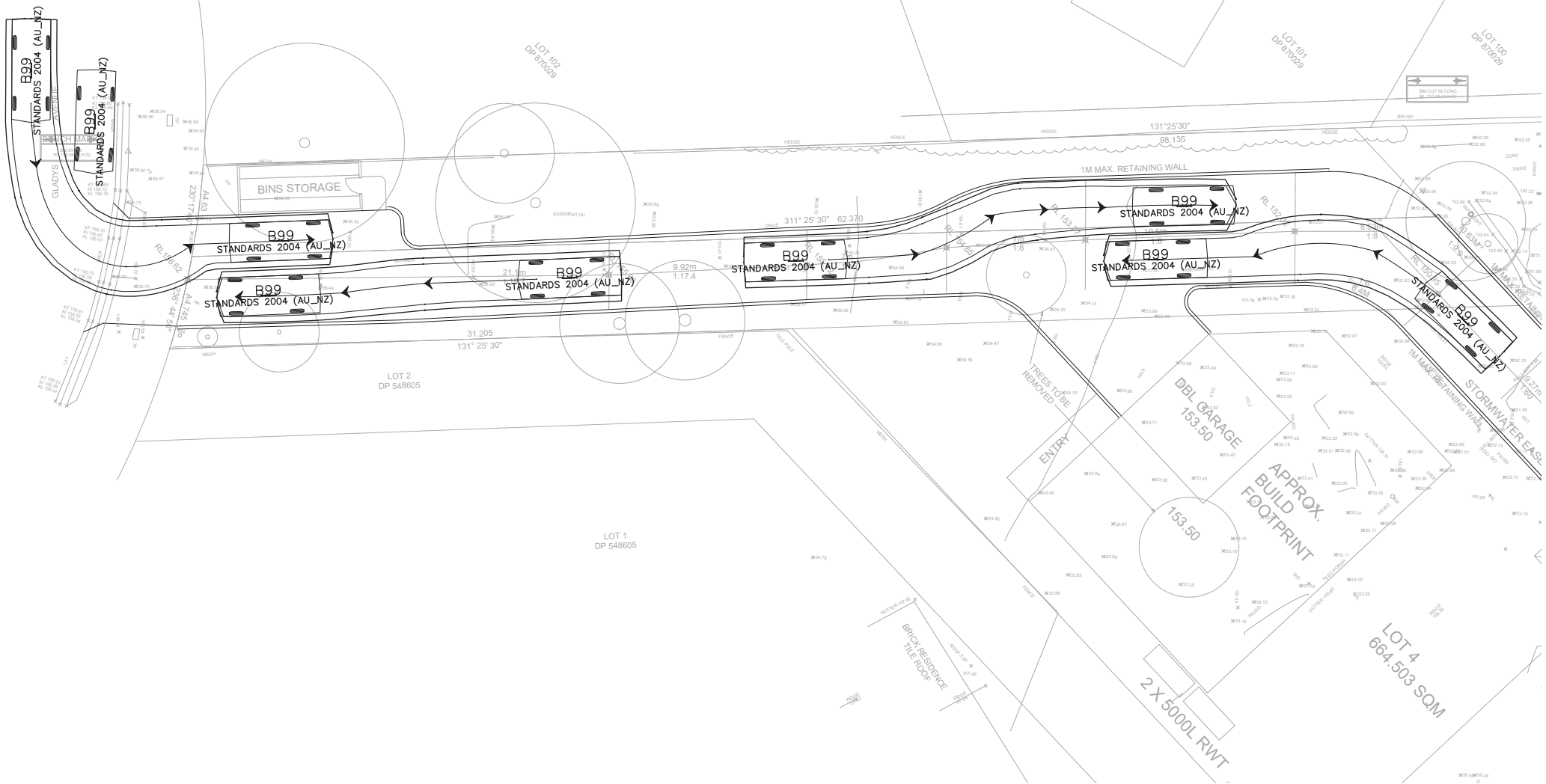
LOT 100
DP 870029

LOT 102
DP 870029

LOT 2
DP 548605

LOT 1
DP 548605

LOT 4
664.503 SQM



TURNING PATH ANALYSIS FOR B99
SCALE: 1:100

Rev	Description	By	App	Date
B	FOR DA APPROVAL	SH	IN	13/05/23
A	FOR INFORMATION	SH	IN	20/02/22

Engineering Consultant
STRONGHOLD ENGINEERS
Email: admin@shwens.com.au
Ph: 02 8100 1148
Suite 79 89-97 JONES STREET
ULTIMO NSW 2007

Client
JACK ZHANG

Project
12 & 14 Gladys Ave, Frenchs Forest

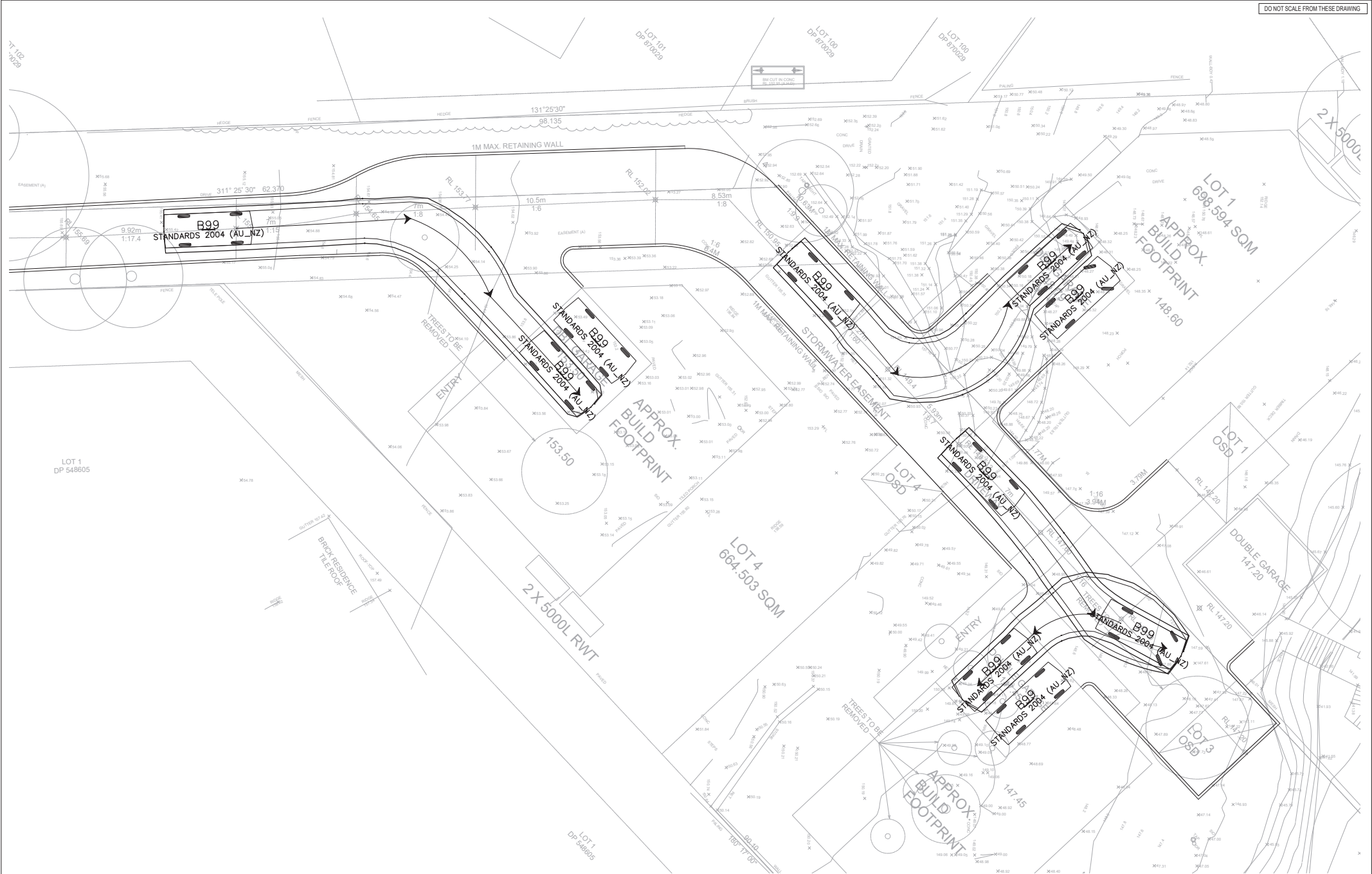
Drawing Title
TURNING PATH FOR B99

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Project Number SH20198	Drawing Number T06	Revision B
Engineer SH	Drawn IN	
Date MAR 2022	Scale 1:100 A1	

NOT FOR CONSTRUCTION



TURNING PATH ANALYSIS FOR B99
SCALE 1:100

Rev	Description	By	App	Date
B	FOR DA APPROVAL	SH	IN	13/05/22
A	FOR INFORMATION	SH	IN	20/02/22

Engineering Consultant
STRONGHOLD ENGINEERS
Email: admin@shwens.com.au
Ph: 02 6100 1148
Suite 79 89-97 JONES STREET
ULTIMO NSW 2007

Client
JACK ZHANG

Project
12 & 14 Gladys Ave, Frenchs Forest

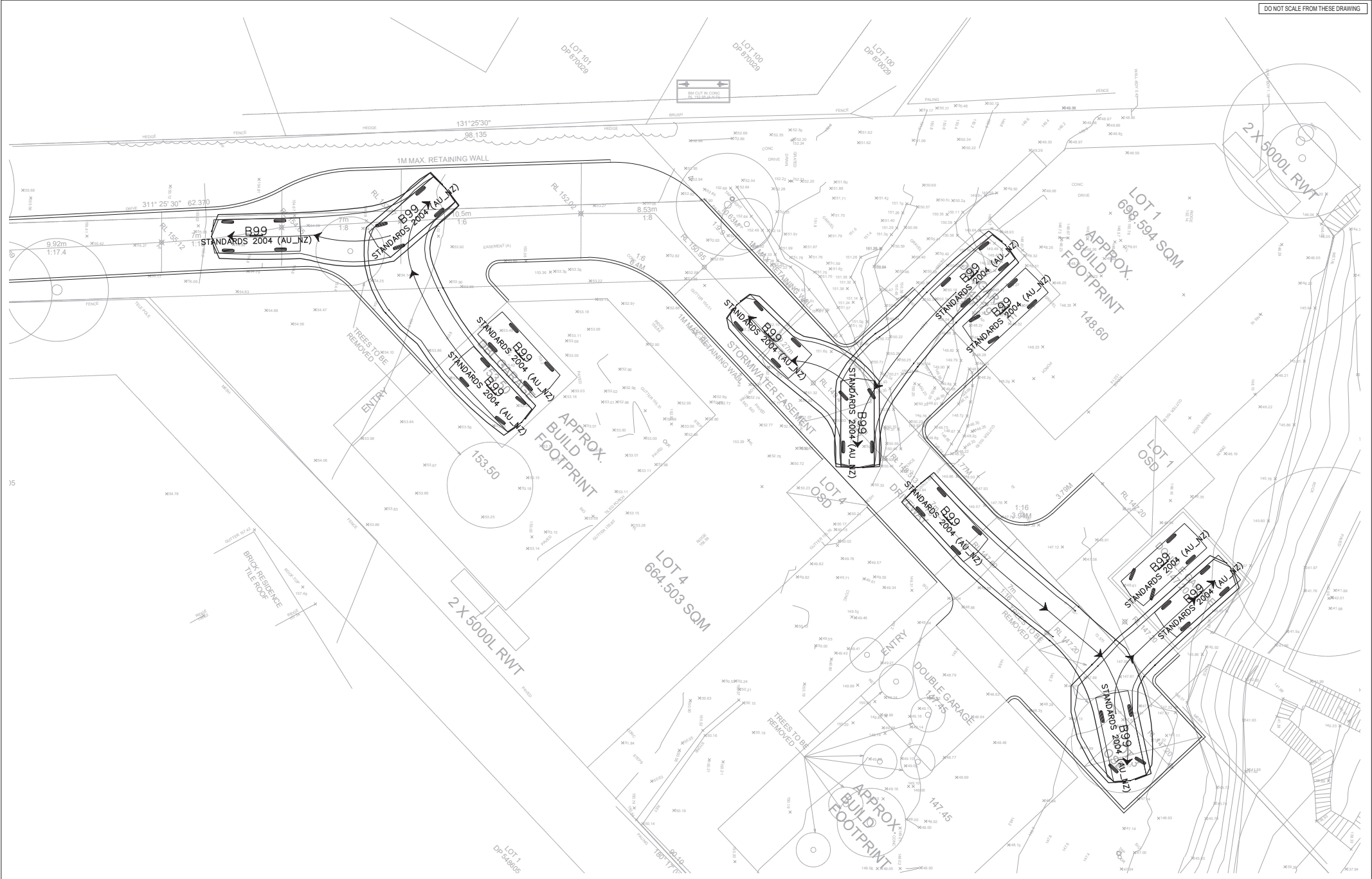
Drawing Title
TURNING PATH FOR B99

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Project Number SH20198	Drawing Number T07	Revision B
Engineer SH	Drawn IN	
Date MAR 2022	Scale 1:100 A1	

NOT FOR CONSTRUCTION



TURNING PATH ANALYSIS FOR B99
SCALE 1:100

Rev	Description	By	App	Date
B	FOR DA APPROVAL	SH	IN	13/05/23
A	FOR INFORMATION	SH	IN	20/02/22

Engineering Consultant
STRONGHOLD ENGINEERS
Email: admin@sheng.com.au
Ph: 02 6100 1148
Suite 79 89-97 JONES STREET
ULTIMO NSW 2007

Client
JACK ZHANG

Project
12 & 14 Gladys Ave, Frenchs Forest

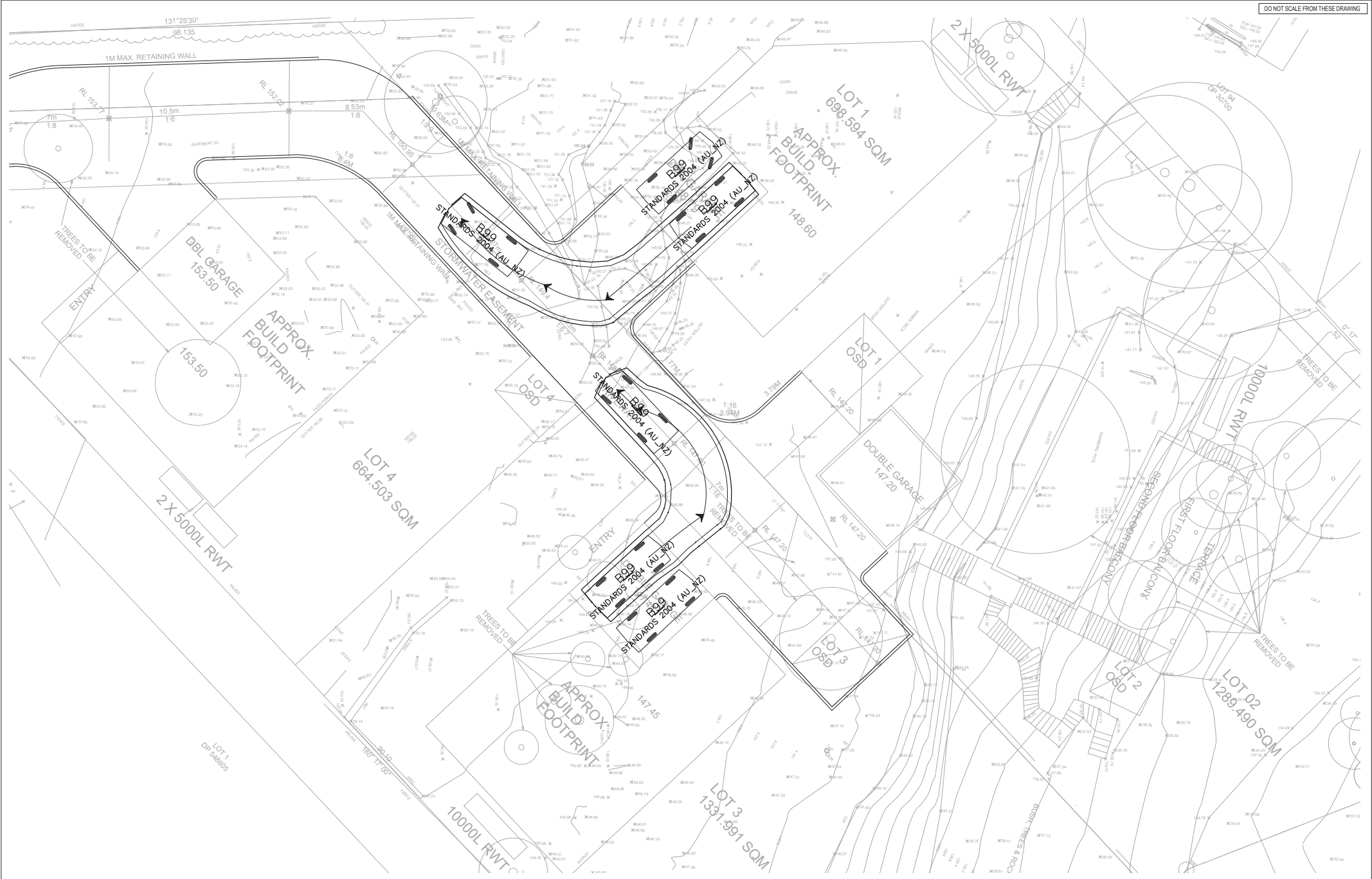
Drawing Title
TURNING PATH FOR B99

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Project Number SH20198	Drawing Number T08	Revision B
Engineer SH	Drawn IN	
Date MAR 2022	Scale 1:100 A1	

NOT FOR CONSTRUCTION



TURNING PATH ANALYSIS FOR B99
SCALE 1:100

Rev	Description	By	App	Date
B	FOR DA APPROVAL	SH	IN	13/05/22
A	FOR INFORMATION	SH	IN	20/02/22

Engineering Consultant
STRONGHOLD ENGINEERS
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 Ph: 02 6100 1148
 Suite 79 89-97 JONES STREET
 ULTIMO NSW 2007

Client
 JACK ZHANG

Project
 12 & 14 Gladys Ave, Frenchs Forest

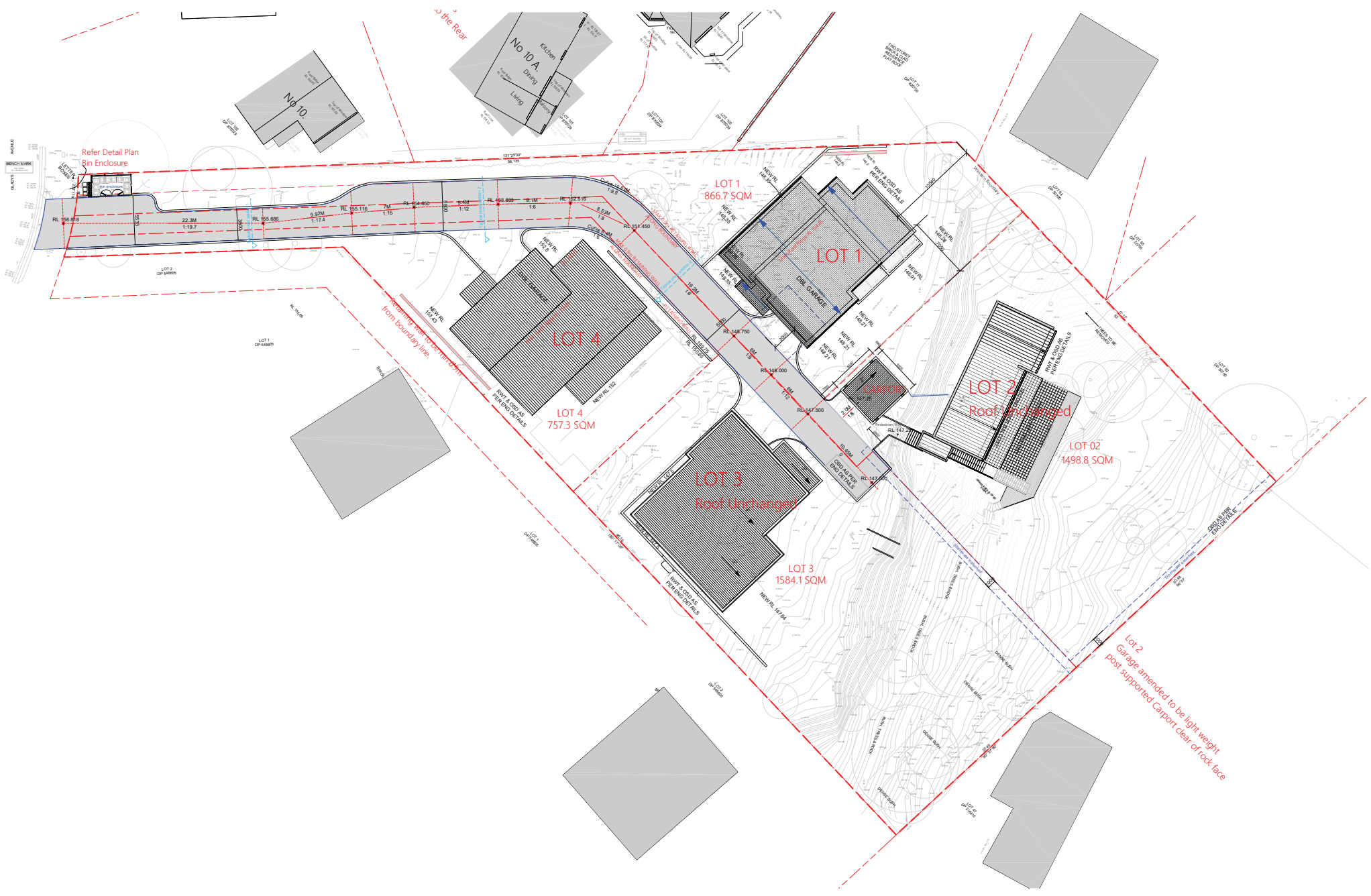
Drawing Title
 TURNING PATH FOR B99

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Project Number SH20198	Drawing Number T09	Revision B
Engineer SH	Drawn IN	
Date MAR 2022	Scale 1:100 A1	

NOT FOR CONSTRUCTION



Site & Roof Plan

GENERAL NOTES:

- All dimensions are to be confirmed on site by the Subcontractor. Any discrepancies must be reported to the Designer before commencement of any work.
- No Survey has been made on the boundaries, all bearings, distances and areas have been taken from the current survey plan. A Survey must be carried out to confirm the correct boundary locations.
- The Contractor must check and confirm all site survey information before commencement of any work. The Contractor is to ensure that the boundaries, setbacks and easements are correct and noted. The Contractor will take responsibility for all other easements. The Survey work must be performed by a registered Surveyor in the event of encountering any discrepancies on these drawings, specifications or subsequent instructions issued. The Subcontractor must contact the Designer before proceeding further with any work.
- All construction, control joints and expansion joints in the roof, floors, other features shall be in strict accordance with the Structural Engineering details. The joints to be made clear from specified, and allowed without further permission from the Engineer.
- Measurements for the location of all structural components, such as, windows, doors, egress frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.
- All structural components shall be in strict accordance to details and specifications as approved by a structural engineer.
- All existing structures need to be surveyed for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

Drawn	Rev	Date	Description
AK	01	12/08/22	ISSUE FOR PERMIT
AK	02	12/08/22	REVISION
AK	03	12/08/22	ISSUE FOR PPE DA
AK	04	12/08/22	ISSUE FOR DA
AK	05	12/08/22	ISSUE FOR DA
AK	06	12/08/22	ISSUE FOR DA
AK	07	12/08/22	ISSUE FOR DA
AK	08	12/08/22	ISSUE FOR DA
AK	09	12/08/22	ISSUE FOR DA
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AK	99	12/08/22	ISSUE FOR DA
AK	100	12/08/22	ISSUE FOR DA

Project: SUBDIV. OF LAND, 2 LOTS INTO 4 LOTS
 PROP. CONSTRUCT. OF 3 X 2 STRY DWELLINGS AT
 12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086

Client: JACK ZHANG

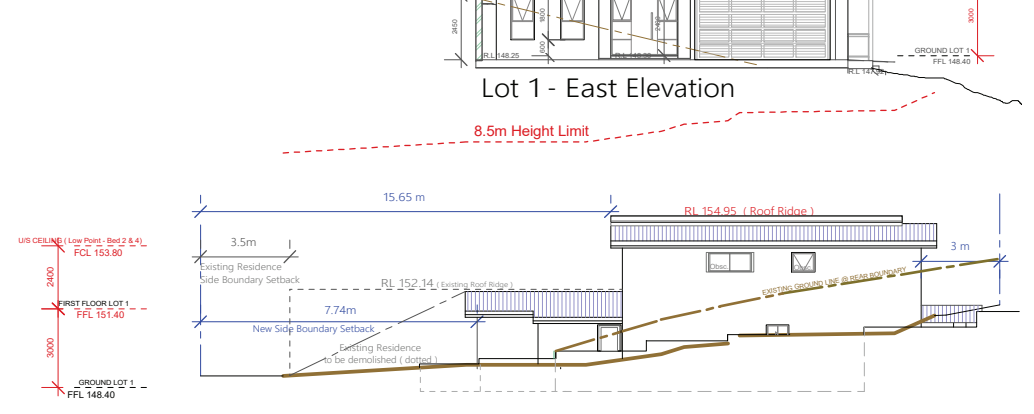
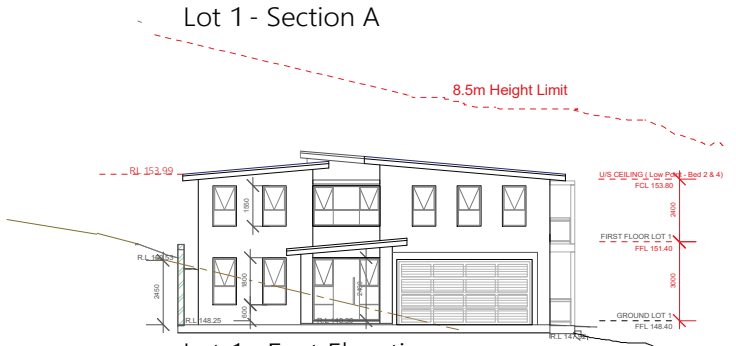
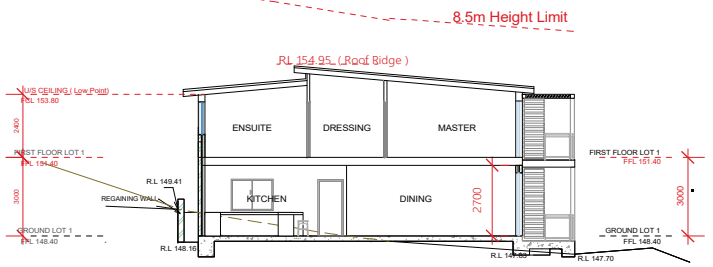
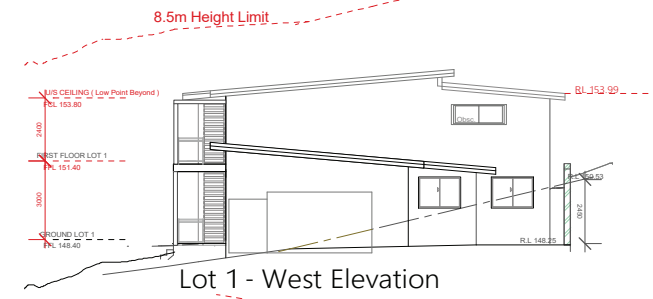
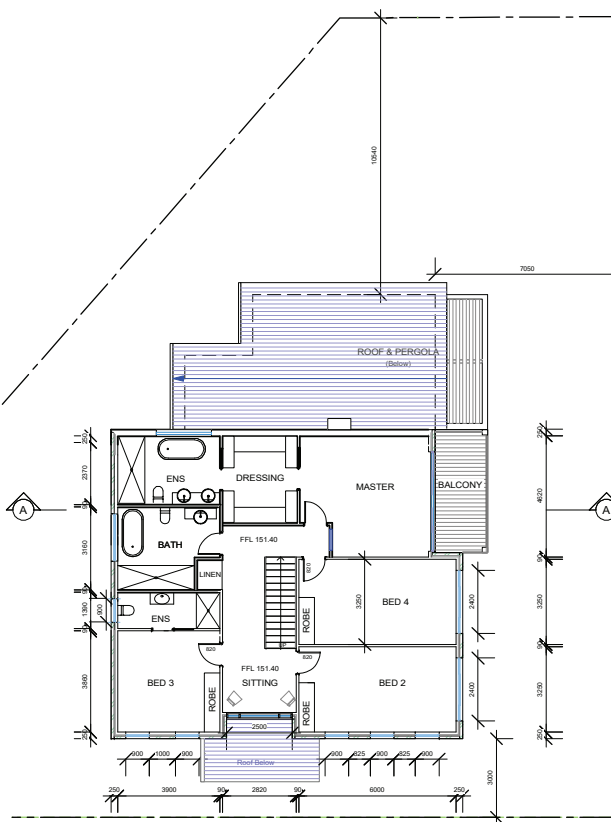
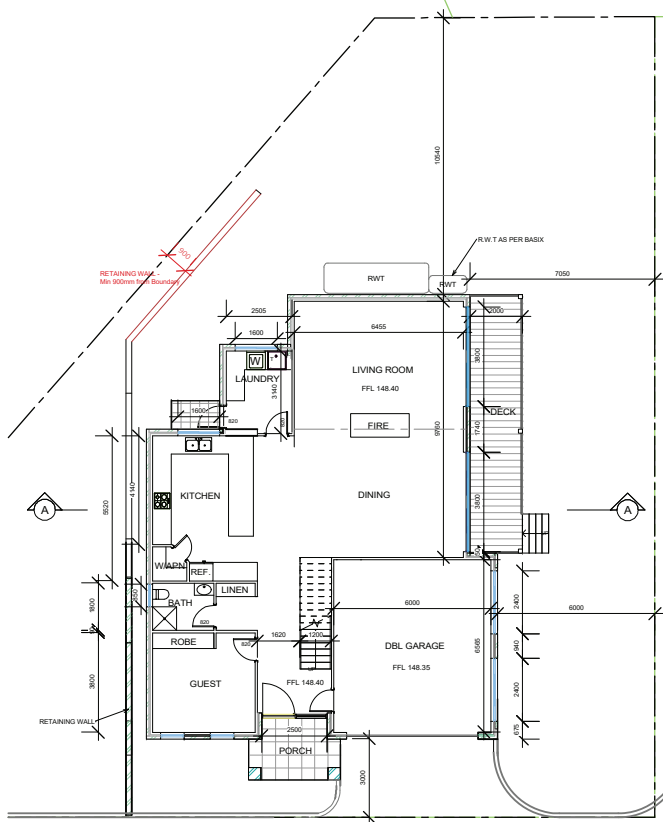
bdgg BUILDING DESIGNER

317 Palmer Street,
 Parramatta NSW 2150
 www.bdgg.com.au
 admin@bdgg.com.au
 02 9633 4707
 048 439 502 207 380

Approved Designer for NSW

Drawing: **LOT 4**
 Project No: 2308/22
 Sheet No: 1
 Scale: AS 1:100
 Issue Scale: AS 1:200

RK DESIGNS



Lot 1 - North Elevation

Lot 1 - South Elevation (Facing No 10 B & 10 A)

GENERAL NOTES
 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Designer before commencement of any work.
 No Survey has been made on the boundaries, all bearings, distances and areas have been taken from the contour survey plan. A Survey must be carried out to confirm the exact boundary locations.
 No construction work shall commence until a site survey confirming the site boundaries has been completed. The contractor is to ensure that the boundary setbacks are confirmed and used. The boundary setbacks take precedence over all other dimensions. The Survey work must be performed by a registered Surveyor. In the event of any discrepancy in these drawings, specifications or subsequent instructions issued, the Builder/Subcontractor shall contact the designer before proceeding further with any work.
 All construction control lines and exposure areas in the wall, floors, other locations shall be in strict accordance with the Structural Engineering details. No joints or breaks other than specified, are allowed without written permission from the Engineer.
 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.
 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer.
 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

Drawn	Date	Issue	Amendment
EU	23/05/22	A	ISSUE FOR CLIENT
RK	18/05/22	B	REVISION E
RK	30/06/22	C	ISSUE FOR PRE DA
RK	21/07/22	D	ISSUE FOR DA
DK	27/04/23	E	HEIGHT REDUCED - Upper Floor Lowered and Roof Form Aligned
DK	27/06/23	F	Revised Elevation - View Restriction for 10B
			FIRST FLOOR AREA REDUCED & BUILDING
			Roof Form Aligned
			Revised Elevation - View Restriction for 10B
			Roof Form Aligned

project
 SUBDIV. OF LAND, 2 LOTS INTO 4 LOTS.
 PROP.CONSTRUCT. OF 3 X 2 STRY DWELLINGS AT
 12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086

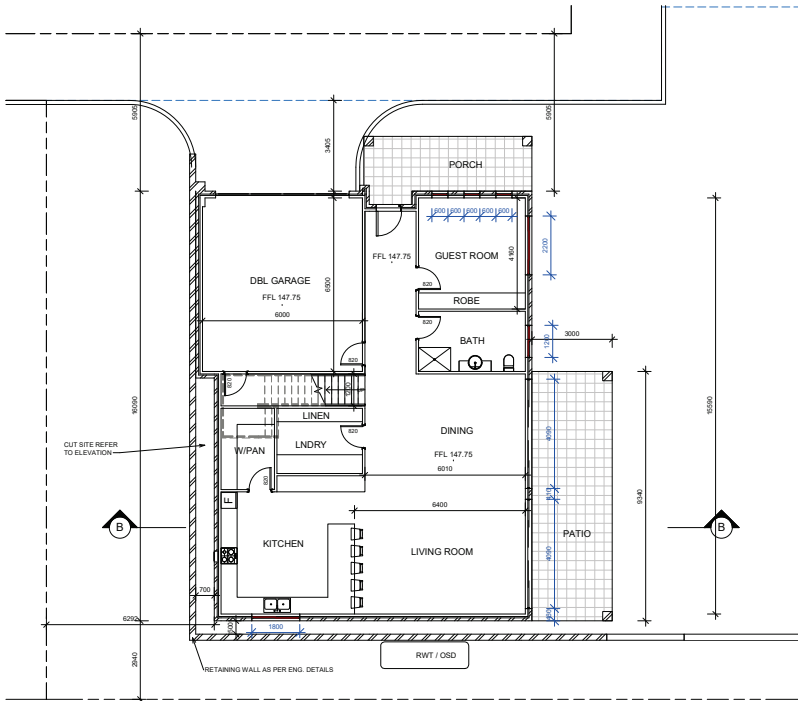
67 Parkes Street,
 Parramatta NSW 2150
 www.rkdesigns.com.au
 admin@rkdesigns.com.au
 02 9633 4797
 abs: 68 699 200 389
 spaces designed for life

bdag
 ACCREDITED
 BUILDING DESIGNER

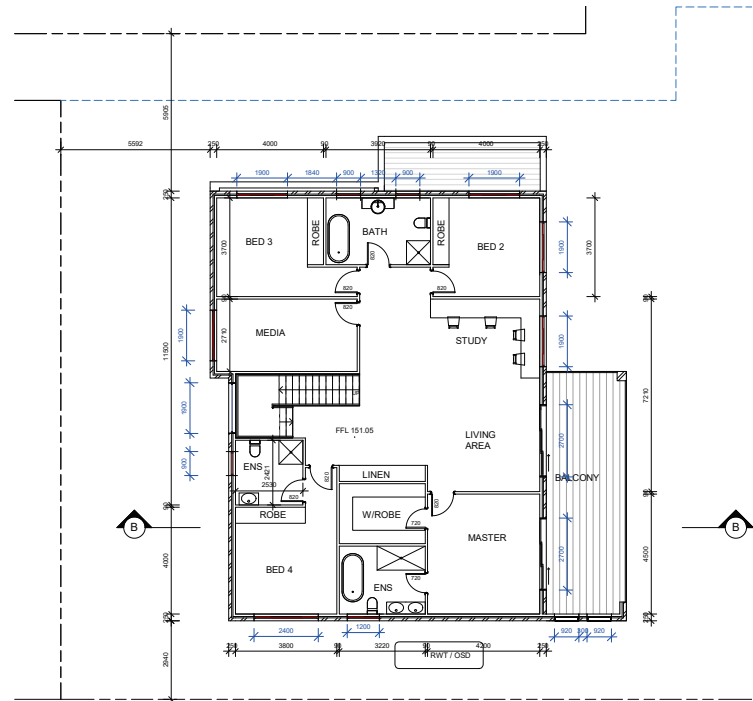
client
 JACK ZHANG

true north
 drawing
 LOT 1
 project no
 23-46
 date
 23/06/23
 sheet no
 2
 scale
 @ A1
 issue/rev
 1-100
 scale
 @ A1
 issue/rev
 1-200

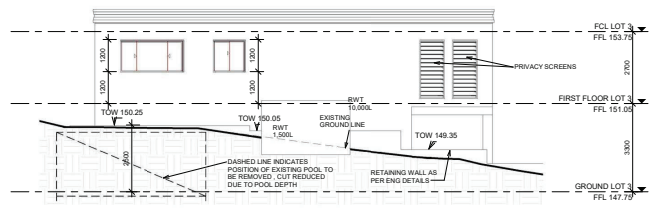
RK
 DESIGNS



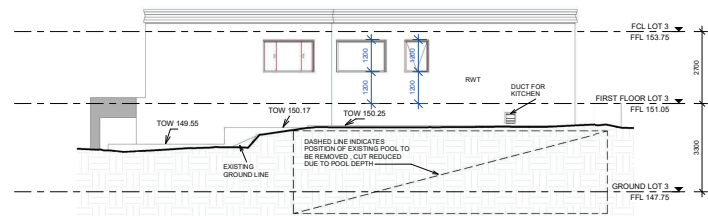
1 GROUND LOT 3
1: 100



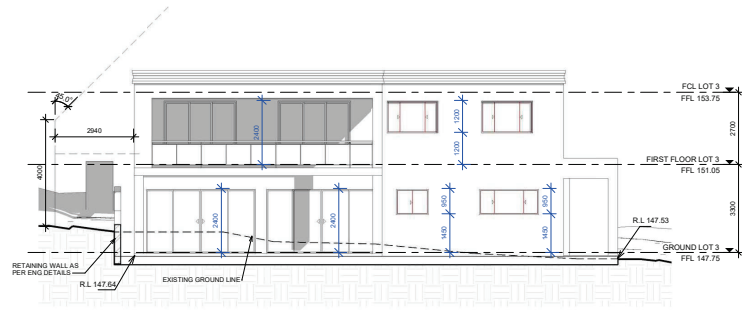
2 FIRST FLOOR LOT 3
1: 100



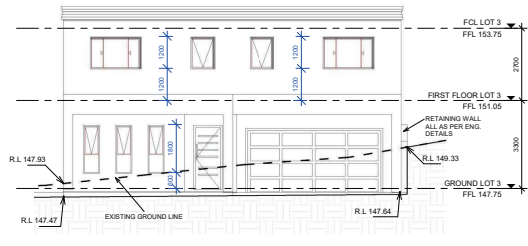
3 EAST ELEVATION L3
1: 100



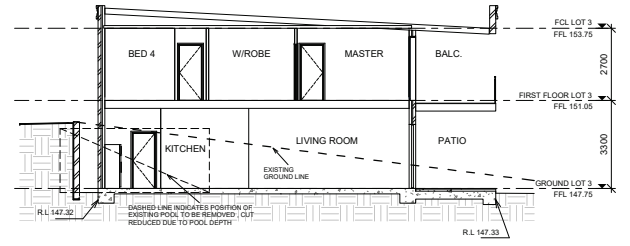
5 SOUTH ELEVATION L3
1: 100



4 NORTH ELEVATION L3
1: 100



6 WEST ELEVATION L3
1: 100



7 SECTION B - B
1: 100

GENERAL NOTES
 1. All dimensions shall be confirmed on site by the builder/contractor, and occupancies must be reported to the Designer before commencement of any work.
 2. All dimensions shall be taken from the face of the brickwork, unless otherwise stated. All dimensions shall be taken from the centre of the wall, unless otherwise stated.
 3. All dimensions shall be taken from the face of the brickwork, unless otherwise stated. All dimensions shall be taken from the centre of the wall, unless otherwise stated.
 4. All dimensions shall be taken from the face of the brickwork, unless otherwise stated. All dimensions shall be taken from the centre of the wall, unless otherwise stated.
 5. All dimensions shall be taken from the face of the brickwork, unless otherwise stated. All dimensions shall be taken from the centre of the wall, unless otherwise stated.
 6. All dimensions shall be taken from the face of the brickwork, unless otherwise stated. All dimensions shall be taken from the centre of the wall, unless otherwise stated.
 7. All dimensions shall be taken from the face of the brickwork, unless otherwise stated. All dimensions shall be taken from the centre of the wall, unless otherwise stated.
 8. All dimensions shall be taken from the face of the brickwork, unless otherwise stated. All dimensions shall be taken from the centre of the wall, unless otherwise stated.
 9. All dimensions shall be taken from the face of the brickwork, unless otherwise stated. All dimensions shall be taken from the centre of the wall, unless otherwise stated.
 10. All dimensions shall be taken from the face of the brickwork, unless otherwise stated. All dimensions shall be taken from the centre of the wall, unless otherwise stated.

REV	DATE	BY	CHKD	DESCRIPTION
01	03/05/22	A		ISSUE FOR CLIENT
02	03/05/22	B		REVISION B
03	03/05/22	C		ISSUE FOR THE DA
04	03/05/22	D		ISSUE FOR DA

PROJECT
 SUBDIV. OF LAND, 2 LOTS INTO 4 LOTS.
 PROP. CONSTRUCT. OF 3 X 2 STRY DWELLINGS AT
 12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086

CLIENT
 JACK ZHANG

DATE
 03/05/22

SCALE
 1: 100

PROJECT NO.
 03/05/22

ISSUE NO.
 3

DATE
 03/05/22

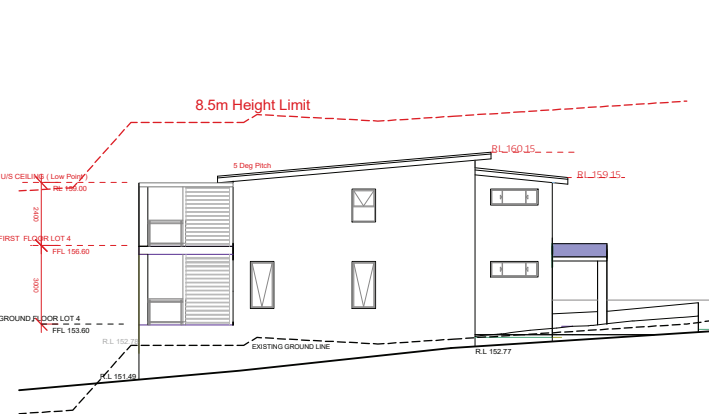
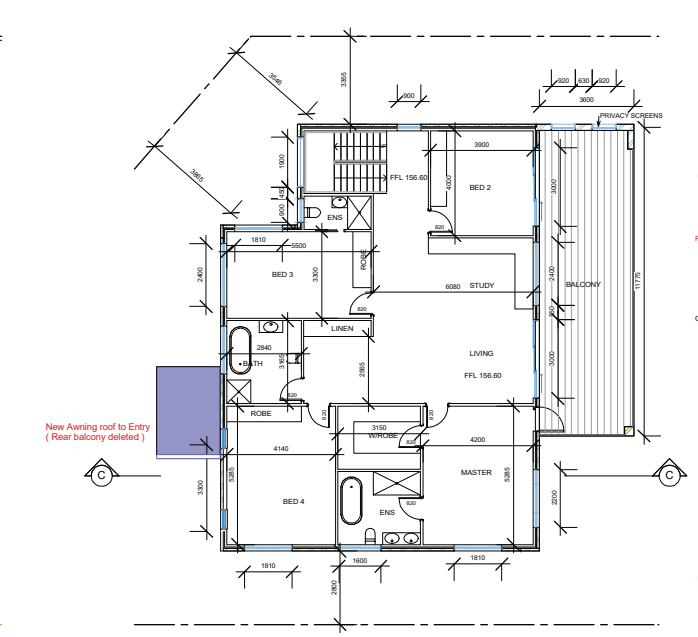
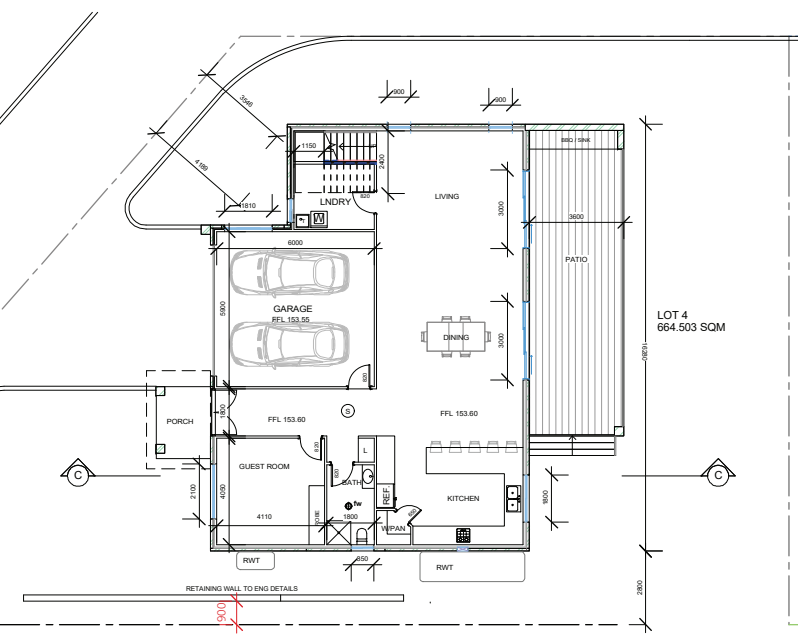
SCALE
 1: 100

PROJECT NO.
 03/05/22

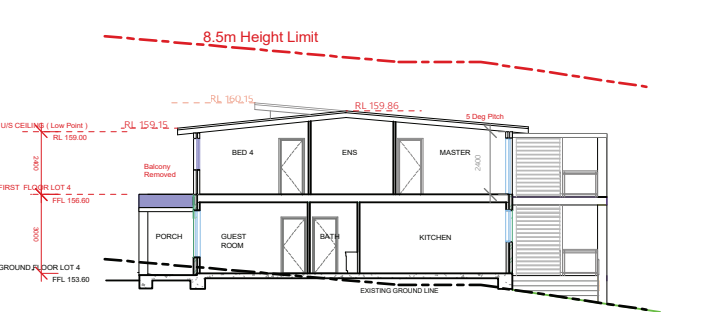
ISSUE NO.
 3

BD&O BUILDING DESIGNER
 8/7 Franklin Street
 Parramatta NSW 2150
 www.bdo.com.au
 info@bdo.com.au
 02 9633 4777
 02 9633 200 395
 www.bdo.com.au

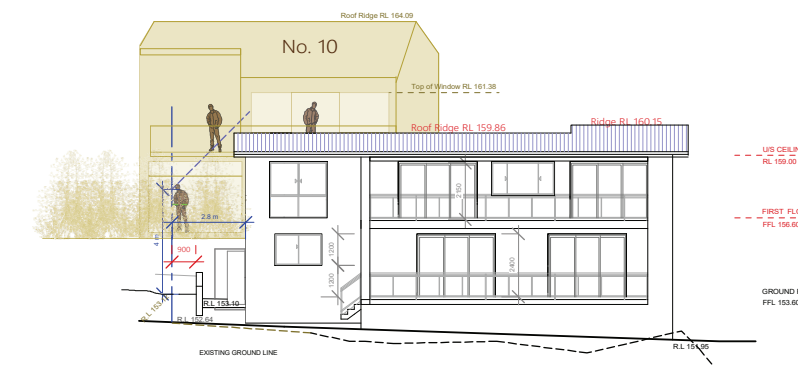




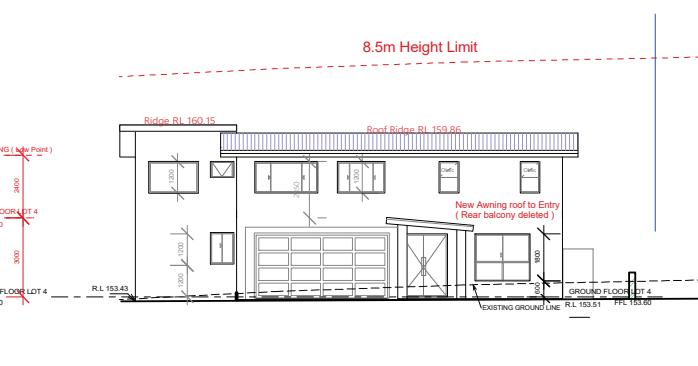
Lot 4 - West Elevation



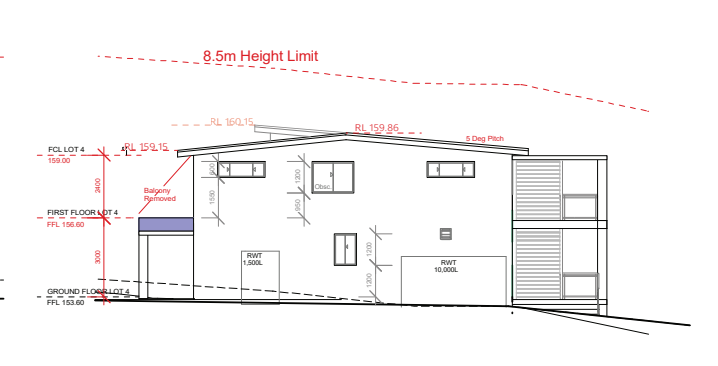
Lot 4 - Section A



Lot 4 - North Elevation



Lot 4 - South Elevation



Lot 4 - East Elevation
Main Roof Lowered by 1.85m

GENERAL NOTES

All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Designer before commencement of any work.

No Survey has been made on the boundaries, all bearings, distances and areas have been taken from the contour survey plan. A Survey must be carried out to confirm the exact boundary locations.

The construction work shall commence until a site survey confirming the site boundaries has been completed. The contractor is to ensure that the boundary setbacks are confirmed and used. The boundary setbacks take precedence over all other dimensions. The Survey work must be performed by a registered Surveyor. In the event of encountering any discrepancies on these drawings, specifications or subsequent instructions issued, the Builder/Subcontractor shall contact the designer before proceeding further with any work.

All construction control joints and expansion joints in the wall, floors, other locations shall be in strict accordance with the Structural Engineering details. No joints or breaks other than specified, are allowed without written permission from the Engineer.

Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.

All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer.

All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

Drawn	Date	Issue	Amendment
EU	18/05/22	A	ISSUE FOR CLIENT
RK	18/05/22	B	REVISION E
RK	30/06/22	C	ISSUE FOR PRE DA
DK	21/07/22	D	ISSUE FOR DA
DK	27/04/23	E	HEIGHT REDUCED - Upper Floor Lowered and Roof from Altered - Rear balcony removed
DK	27/04/23	F	Altered Southern windows for neighbour's privacy

project
SUBDIV. OF LAND, 2 LOTS INTO 4 LOTS.
PROP.CONSTRUCT. OF 3 X 2 STRY DWELLINGS AT
12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086

client
JACK ZHANG

bdag
ACCREDITED
BUILDING DESIGNER

67 Parkes Street,
Parramatta NSW 2150
www.bdag.com.au
admin@bdag.com.au
02 9633 4797
abs_68 659 200 389
spaces designed for life

true north

drawing
LOT 4

project no
22-46

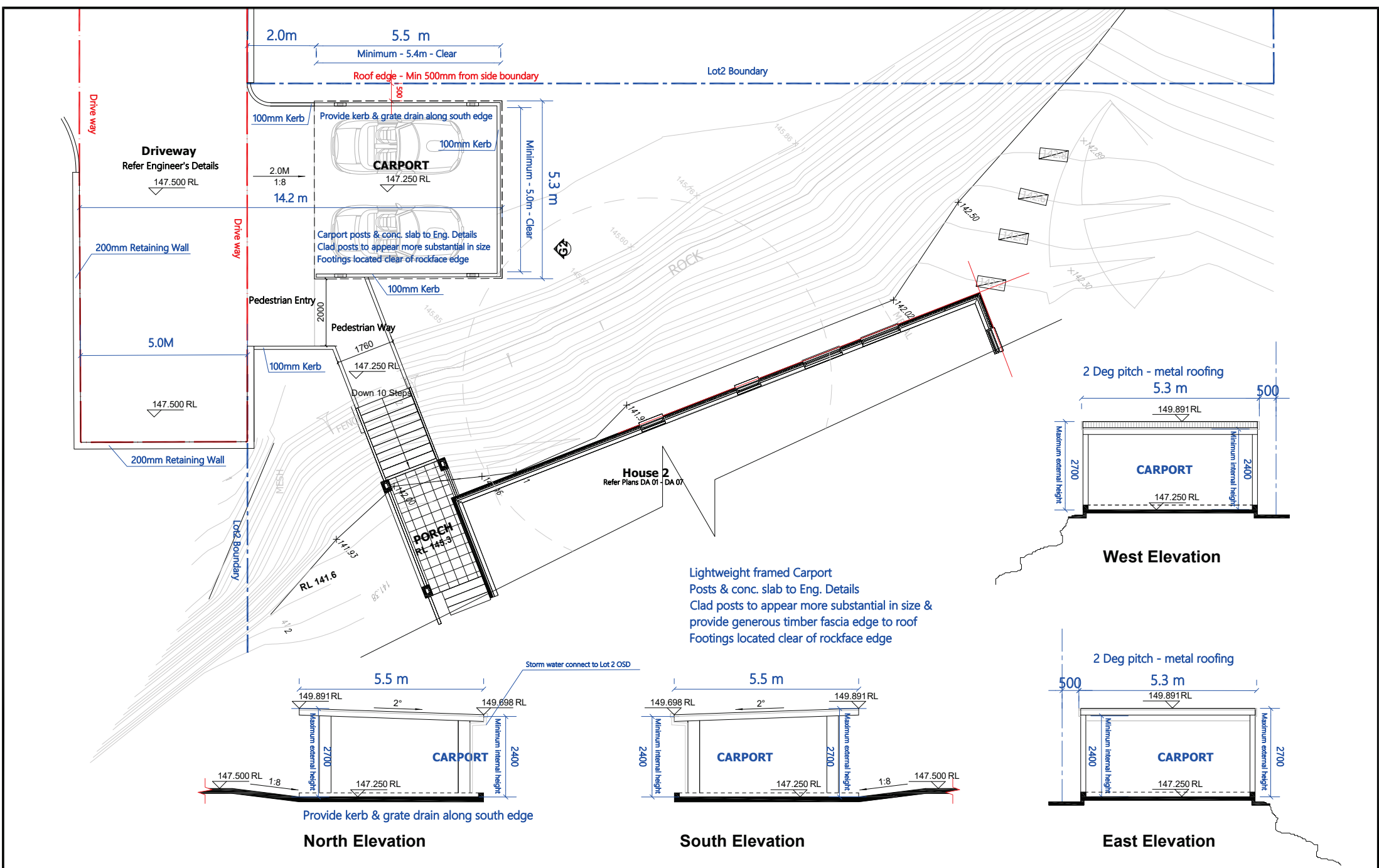
date
23/06/23

sheet no
2

scale
1:100

scale @ A1
1:200

RK
DESIGNS



EA ARCHITECTURE

Eric Architecture Pty Ltd
 ABN: 66 684 632 246
 ACN: 684 632 246
 Non-Residential Architect: Yuan Tao (NSW 12177)

22 Stevens Street, Emington NSW 2115
 W: www.ea.com.au
 E: info@ea.com.au
 P: 6434 610 873

Architecture | Development | Interior | Landscape | Consultancy
 COPYRIGHT: Eric Architecture Pty Ltd 2023

CLIENT:
MR JACK ZHANG

PROJECT ADDRESS:
**No. 12-14 GLADYS AVENUE,
 FRENCHS FOREST NSW 2030**

REVISION HISTORY:

DATE	COMMENT	REV.
20.09.23	CONCEPT DESIGN	A

GENERAL NOTES:

- These plans are subject copyright and must not be used, copied or reproduced without the authority of the designer.
- The Builder is to verify dimensions prior to commencement.
- If any discrepancies arise they are to be reported to the designer prior to the commencement of the works.
- Do not scale, use figured dimensions only. If a dimension is not shown or is required consult with the designer.
- Do not alter the design either architecturally or structurally without prior consultation with the designer or engineer.

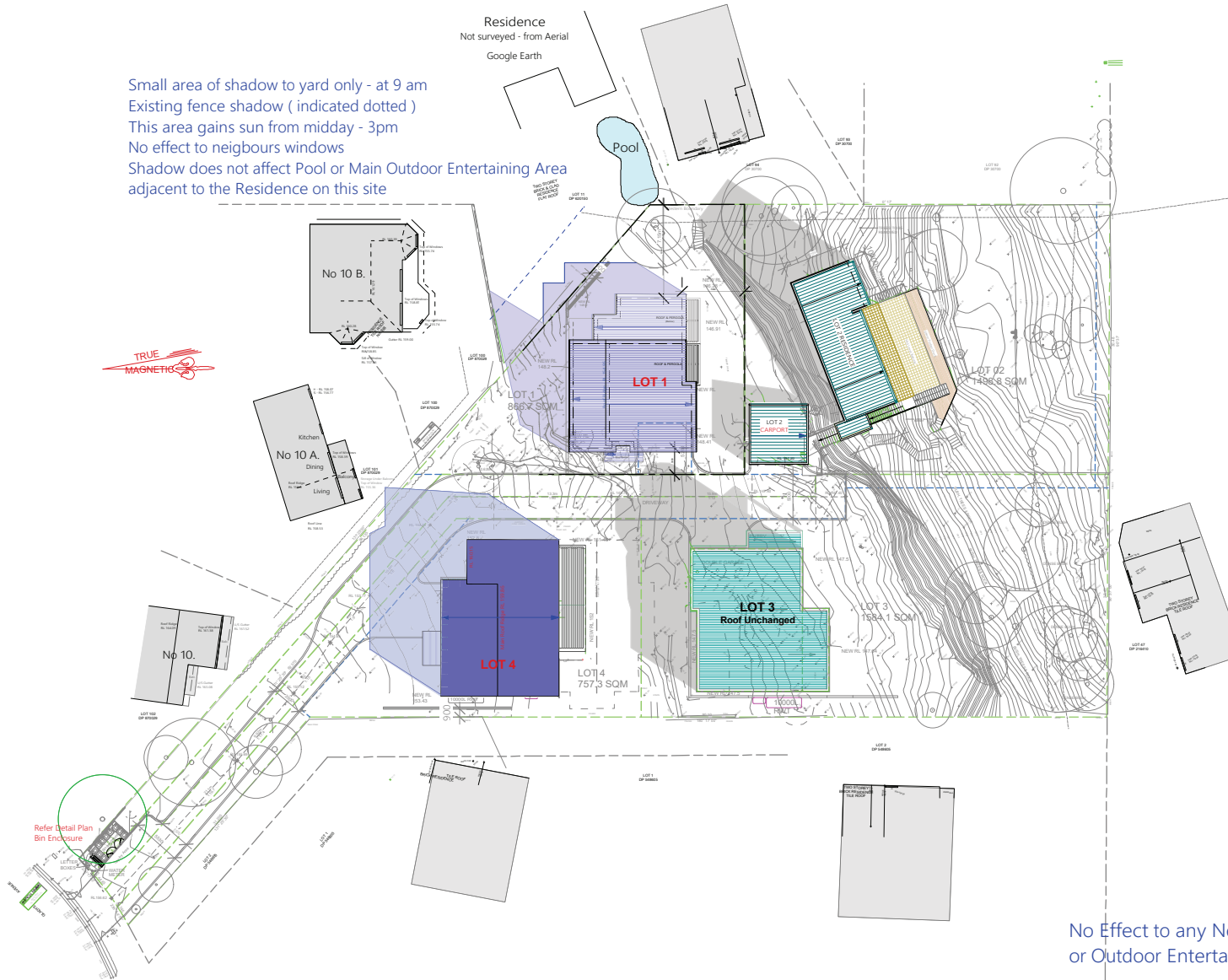
DRAWING:
Lot 2 Carport

NORTH

SCALE:
1:100@ A3

DRAWING NO.
DA 08

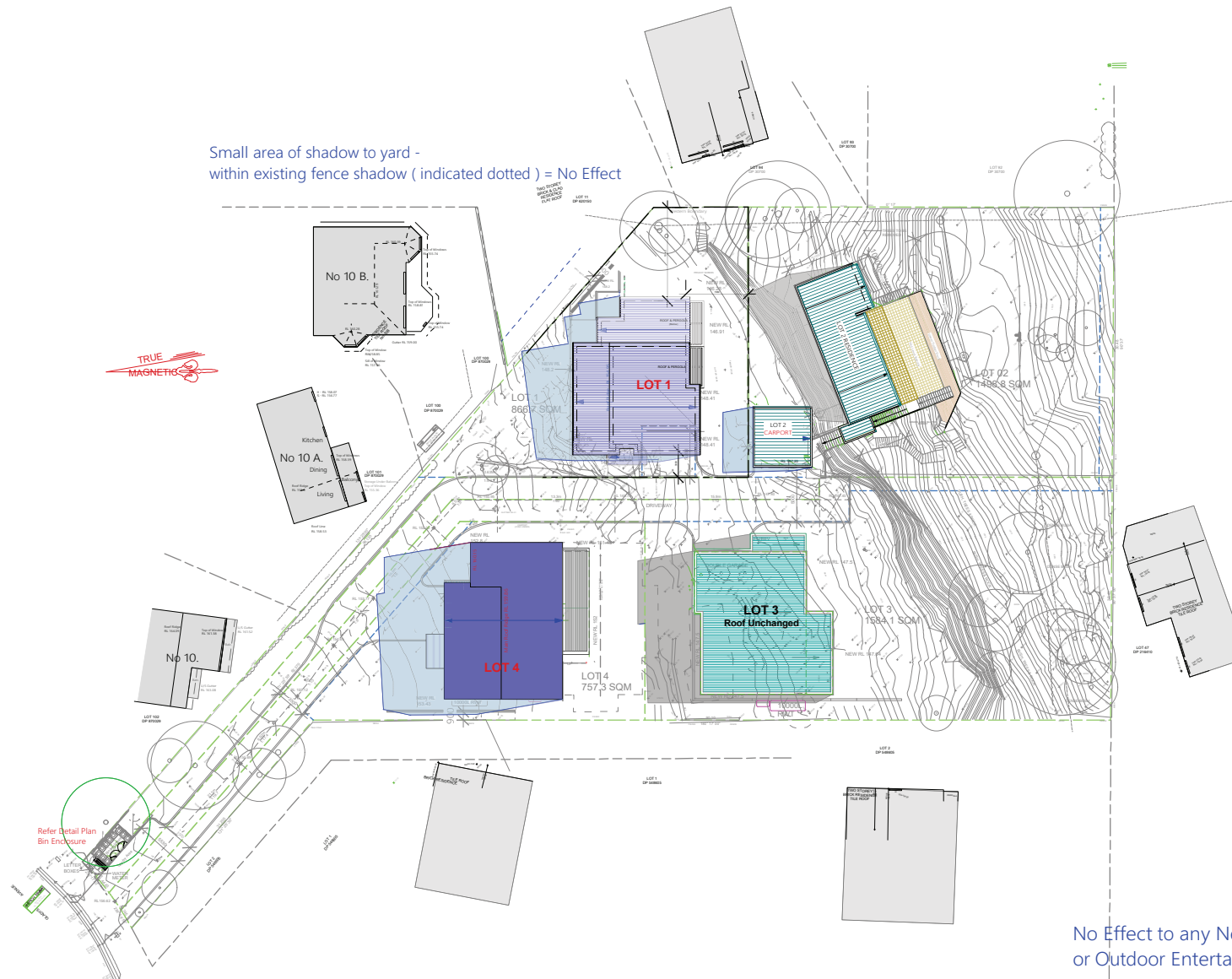
Small area of shadow to yard only - at 9 am
 Existing fence shadow (indicated dotted)
 This area gains sun from midday - 3pm
 No effect to neighbours windows
 Shadow does not affect Pool or Main Outdoor Entertaining Area
 adjacent to the Residence on this site



No Effect to any Neighbour's Windows
 or Outdoor Entertaining Areas

9 am - Winter Solstice
 Shadow Diagram

GENERAL NOTES All dimensions shall be confirmed on site by the Submitter/contractor. Any discrepancies must be reported to the Designer before commencement of any work. The Designer has not made on the ground, or bearing, inspection and areas shown shall have been shown from the latest survey plan. A Survey must be obtained and confirmed to the exact boundary location. No construction work shall commence until a site survey confirming the site boundaries has been completed. The contractor is to ensure that the boundary markers are confirmed and clear. The Submitter/contractor shall provide, erect and maintain all other observations. The Survey must be performed by registered Surveyors. In the event of encountering any discrepancies on these drawings, specifications or subsequent instructions issued by the Submitter/contractor shall contact the Designer within 48 hours of receiving such work on any work. All construction, construction and equipment shall be in the wall. Doors, other locations shall be in strict accordance with the Structural Engineering details. No joints to be made other than specified, and ground anchors shall be provided from the Designer. Dimensions to be the finished structural concrete floor level. All dimensions shall be in millimeters. Structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed. All structural components shall be erected in accordance to the relevant specifications as indicated by a structural engineer. 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Small area of shadow to yard - within existing fence shadow (indicated dotted) = No Effect

No Effect to any Neighbour's Windows or Outdoor Entertaining Areas

12 Noon - Winter Solstice
Shadow Diagram

GENERAL NOTES All dimensions shall be confirmed on site by the builder/contractor. Any discrepancies must be reported to the Designer before commencement of any work. The Designer has not made any assumptions of bearings, distances and areas that have been shown. Accuracy must be verified on site to confirm the exact boundary location. No construction work shall commence until a site survey confirming the site boundaries has been completed. The contractor is to ensure that the boundary marks are confirmed and used. The boundary marks may be provided, used at other locations. The survey and that performed by registered surveyors. In the event of encountering any discrepancies on these drawings, specifications or subsequent instructions issued by the Builder/contractor shall contact the Designer before proceeding further with any work. All construction, construction and equipment in the wall, floor, other locations shall be in strict accordance with the Structural Engineering details. No joints to be made other than specified, and ground anchors shall be provided from the Designer. Dimensions to be the finished dimensions unless noted otherwise. All dimensions are normal basis, structural clear components and the like, are not to be taken from these documents. Measurements must be taken on site to set the work as constructed. All existing structures must be checked for structural adequacy, and if in the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.		REVISIONS <table border="1"> <tr><th>NO.</th><th>DATE</th><th>REVISION</th></tr> <tr><td>01</td><td>2024/06/21</td><td>ISSUE FOR CLIENT</td></tr> <tr><td>02</td><td>2024/06/21</td><td>REVISION</td></tr> <tr><td>03</td><td>2024/06/21</td><td>ISSUE FOR FIRE DA</td></tr> <tr><td>04</td><td>2024/06/21</td><td>ISSUE FOR DA</td></tr> <tr><td>05</td><td>2024/06/21</td><td>ISSUE FOR DA</td></tr> <tr><td>06</td><td>2024/06/21</td><td>ISSUE FOR DA</td></tr> <tr><td>07</td><td>2024/06/21</td><td>ISSUE FOR DA</td></tr> <tr><td>08</td><td>2024/06/21</td><td>ISSUE FOR DA</td></tr> <tr><td>09</td><td>2024/06/21</td><td>ISSUE FOR DA</td></tr> <tr><td>10</td><td>2024/06/21</td><td>ISSUE FOR DA</td></tr> <tr><td>11</td><td>2024/06/21</td><td>ISSUE FOR DA</td></tr> <tr><td>12</td><td>2024/06/21</td><td>ISSUE FOR DA</td></tr> <tr><td>13</td><td>2024/06/21</td><td>ISSUE FOR DA</td></tr> <tr><td>14</td><td>2024/06/21</td><td>ISSUE FOR DA</td></tr> <tr><td>15</td><td>2024/06/21</td><td>ISSUE FOR DA</td></tr> <tr><td>16</td><td>2024/06/21</td><td>ISSUE FOR DA</td></tr> <tr><td>17</td><td>2024/06/21</td><td>ISSUE FOR DA</td></tr> <tr><td>18</td><td>2024/06/21</td><td>ISSUE FOR DA</td></tr> <tr><td>19</td><td>2024/06/21</td><td>ISSUE FOR DA</td></tr> <tr><td>20</td><td>2024/06/21</td><td>ISSUE FOR DA</td></tr> </table>		NO.	DATE	REVISION	01	2024/06/21	ISSUE FOR CLIENT	02	2024/06/21	REVISION	03	2024/06/21	ISSUE FOR FIRE DA	04	2024/06/21	ISSUE FOR DA	05	2024/06/21	ISSUE FOR DA	06	2024/06/21	ISSUE FOR DA	07	2024/06/21	ISSUE FOR DA	08	2024/06/21	ISSUE FOR DA	09	2024/06/21	ISSUE FOR DA	10	2024/06/21	ISSUE FOR DA	11	2024/06/21	ISSUE FOR DA	12	2024/06/21	ISSUE FOR DA	13	2024/06/21	ISSUE FOR DA	14	2024/06/21	ISSUE FOR DA	15	2024/06/21	ISSUE FOR DA	16	2024/06/21	ISSUE FOR DA	17	2024/06/21	ISSUE FOR DA	18	2024/06/21	ISSUE FOR DA	19	2024/06/21	ISSUE FOR DA	20	2024/06/21	ISSUE FOR DA	PROJECT SUBDIV. OF LAND, 2 LOTS INTO 4 LOTS. PROP. CONSTRUCT. OF 3 X 2 STRY DWELLINGS AT 12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086		CLIENT JACK ZHANG	
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 Mob: 0414 931 018

**PROPOSED EXTERNAL MATERIAL AND COLOUR FINISHES SCHEDULE FOR THE
 CONSTRUCTION OF 2 STOREY DWELLING AT LOT 1, 12-14 GLADYS AVENUE, FRENCHS FOREST,
 NSW, 2086**

EXTERNAL WALLS

Finish	Paint Finish
Manufacturer	Dulux
Colour	Puppy



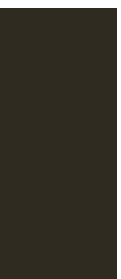
ROOF

Type	Pitched Roof
Manufacturer	Tiles
Colour	Monier concrete
Finish	Caraway



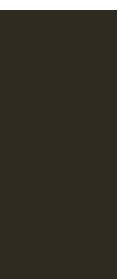
GUTTERS, DOWNPIPES AND FASCIA

Colour	Paint Finish
Finish	Dulux
Colour	Dark Metal



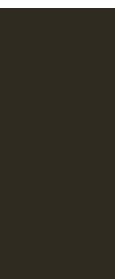
ALUMINIUM FRAME WINDOWS & SLIDING DOOR

Finish	Paint Finish
Paint manufacturer	Dulux
Colour	Dark Metal



POST AND RAILING

Finish	Paint Finish
Manufacturer	Dulux
Colour	Dark Metal





Suite 6, 7 Parkes Street
 Parramatta NSW 2150
 02 9633 4797
www.rkdesigns.com.au
admin@rkdesigns.com.au

1/08/2022

**PROPOSED EXTERNAL MATERIAL AND COLOUR FINISHES SCHEDULE FOR THE
 CONSTRUCTION OF 2 STOREY DWELLING AT LOT 3, 12-14 GLADYS AVENUE, FRENCHS FOREST,
 NSW, 2086**

EXTERNAL WALLS

Finish	Paint Finish
Manufacturer	Dulux
Colour	Charter Grey



ROOF

Type	Flat roof
Manufacturer	Colorbond
Colour	Babyon
Finish	Metal



GUTTERS, DOWNPIPES AND FASCIA

Colour	Paint Finish
Finish	Dulux
Colour	Dark Metal



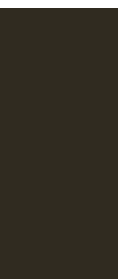
ALUMINIUM FRAME WINDOWS & SLIDING DOOR

Finish	Paint Finish
Paint manufacturer	Dulux
Colour	Dark Metal



POST AND RAILING

Finish	Paint Finish
Manufacturer	Dulux
Colour	Dark Metal

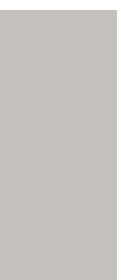


spaces designed for life

**PROPOSED EXTERNAL MATERIAL AND COLOUR FINISHES SCHEDULE FOR THE
 CONSTRUCTION OF 2 STOREY DWELLING AT LOT 4, 12-14 GLADYS AVENUE, FRENCHS FOREST,
 NSW, 2086**

EXTERNAL WALLS

Finish	Paint Finish
Manufacturer	Dulux
Colour	Subdue



ROOF	
Type	Pitched Roof
Manufacturer	Tiles
Colour	Monier concrete
Finish	Babylon



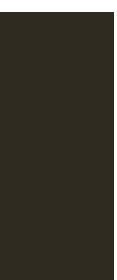
GUTTERS, DOWNPIPES AND FASCIA

Colour	Paint Finish
Finish	Dulux
Colour	Dark Metal



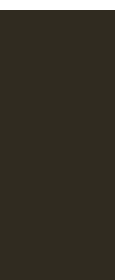
ALUMINIUM FRAME WINDOWS & SLIDING DOOR

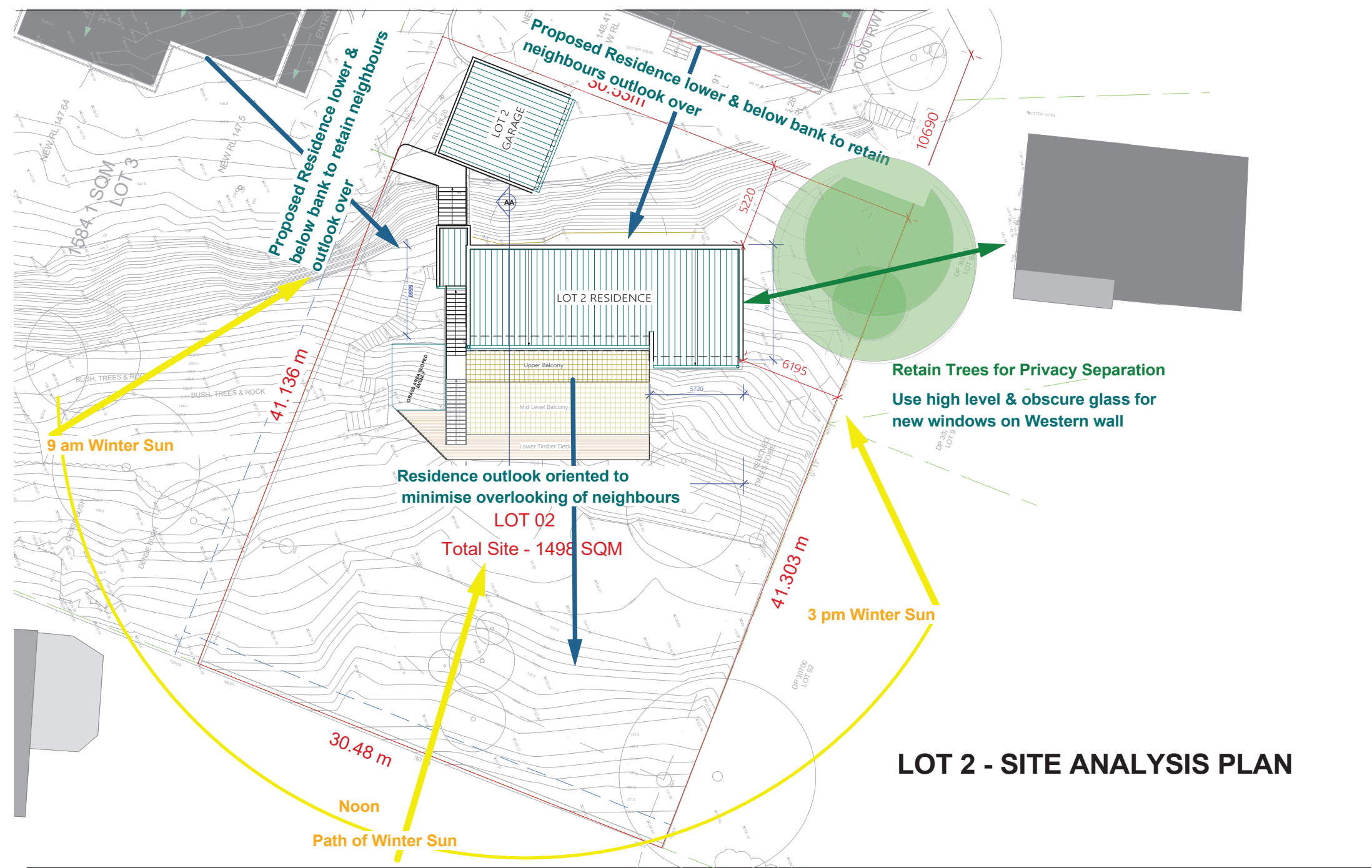
Finish	Paint Finish
Paint manufacturer	Dulux
Colour	Dark Metal



POST AND RAILING

Finish	Paint Finish
Manufacturer	Dulux
Colour	Dark Metal





LOT 2 - SITE ANALYSIS PLAN



NKP ARCHITECTURE
 NSW ARB No. 10425
 BEVERLY HILLS
 SYDNEY NSW 2209
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 E: neil@nkparchitecture.com.au
 W: nkparchitecture.com.au

CLIENT:
MR JACK ZHANG

PROJECT ADDRESS:
**No. 12-14 GLADYS AVENUE,
 FRENCHS FOREST NSW 2030**

REVISION HISTORY:		
DATE	COMMENT	REV.
16.03.22	FOR CONSULTANTS	A
23.03.22	FOR CONSULTANTS	A
30.03.22	FOR CONSULTANTS	A
15 Aug.22	Issued for DA	B

GENERAL NOTES:

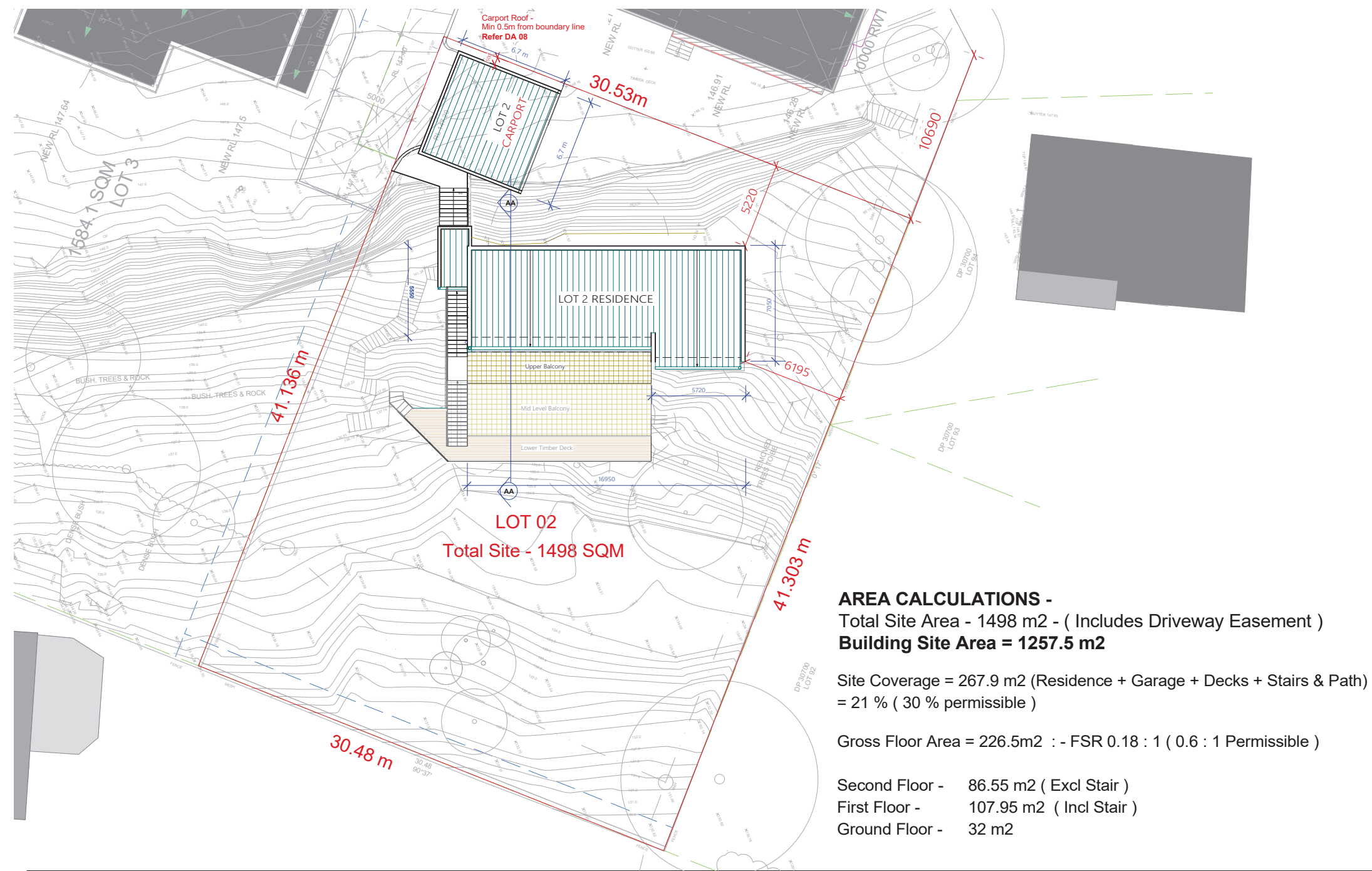
- These plans are subject copyright and must not be used copied or reproduced without the authority of the designer
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DRAWING:
LOT 2 - SITE ANALYSIS PLAN



SCALE:
 1: 200 @ A3

DRAWING NO.
DA 00



AREA CALCULATIONS -

Total Site Area - 1498 m² - (Includes Driveway Easement)

Building Site Area = 1257.5 m²

Site Coverage = 267.9 m² (Residence + Garage + Decks + Stairs & Path)
= 21 % (30 % permissible)

Gross Floor Area = 226.5m² :- FSR 0.18 : 1 (0.6 : 1 Permissible)

- Second Floor - 86.55 m² (Excl Stair)
- First Floor - 107.95 m² (Incl Stair)
- Ground Floor - 32 m²



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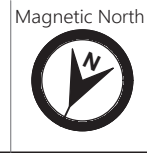
REVISION HISTORY:

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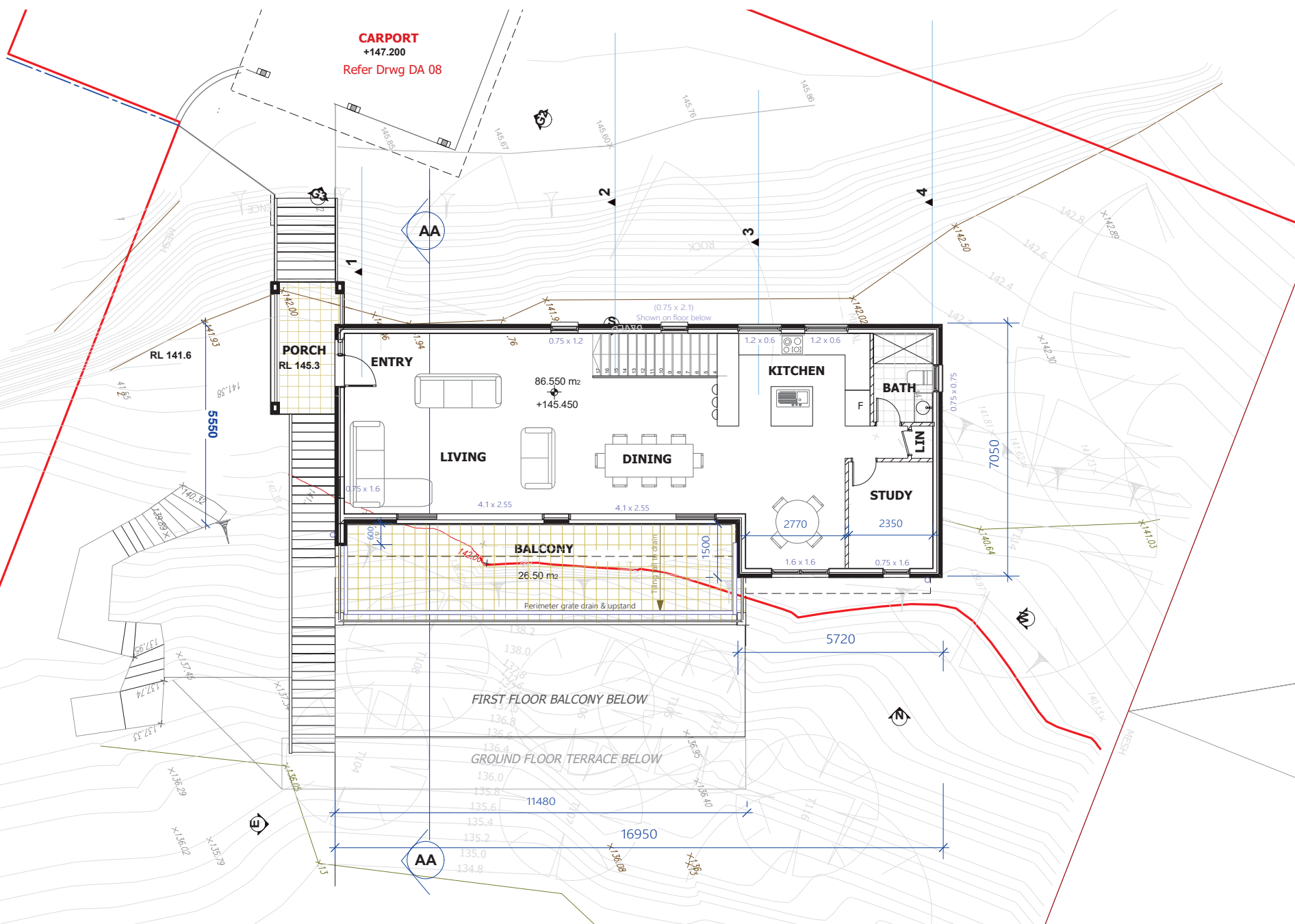
DRAWING:
LOT 2 - PROPOSED SITE & ROOF PLAN



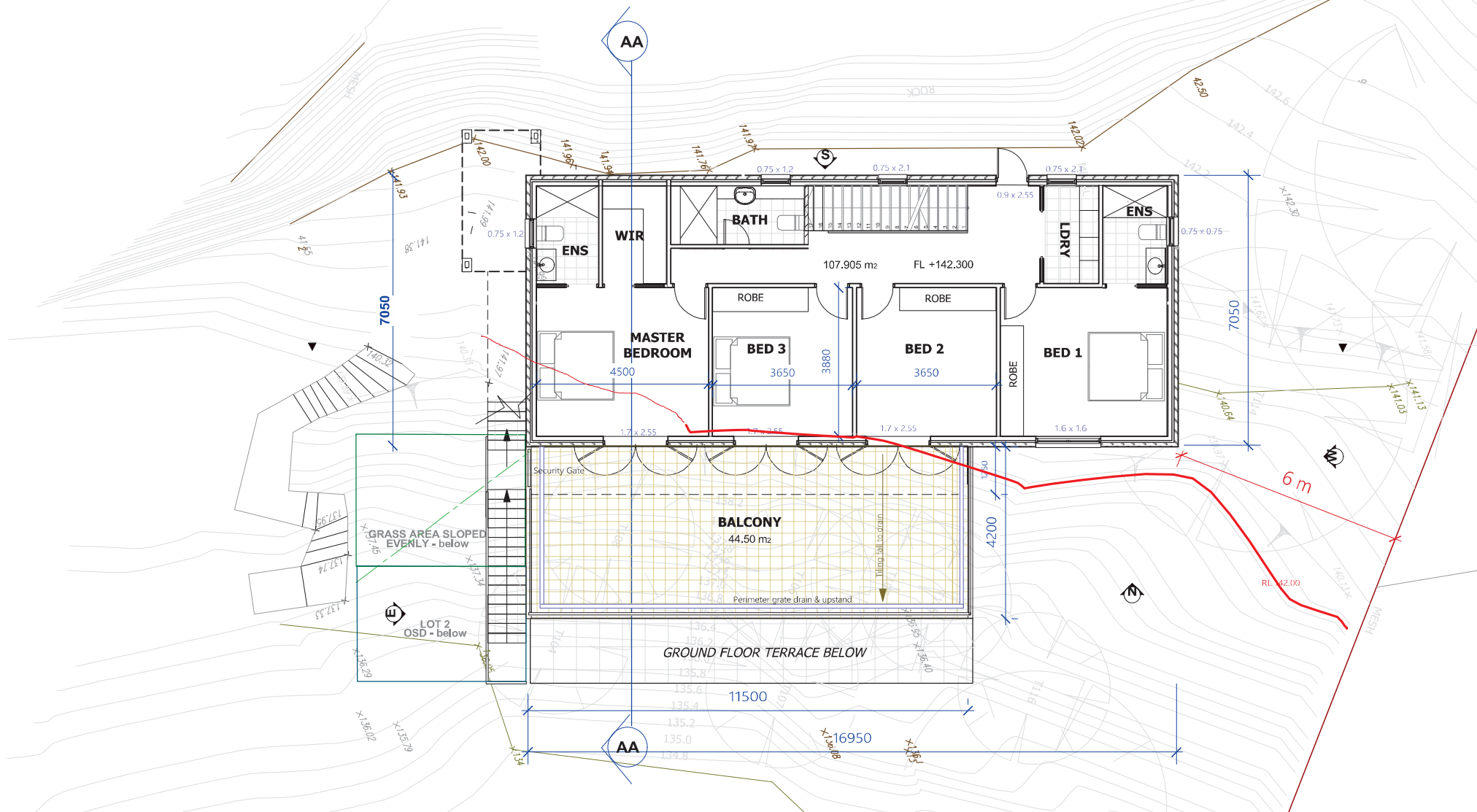
SCALE:
1: 200 @ A3

DRAWING NO.
DA 01

CARPORT
+147.200
Refer Drwg DA 08



	<p>NKP ARCHITECTURE NSW ARB No. 10425 BEVERLY HILLS SYDNEY NSW 2209 M: 04 2072 5400 E: neil@nkparchitecture.com.au W: nkparchitecture.com.au</p>	<p>CLIENT: MR JACK ZHANG</p> <p>PROJECT ADDRESS: No. 12-14 GLADYS AVENUE, FRENCHS FOREST NSW 2030</p>	<p>REVISION HISTORY:</p> <table border="1"> <thead> <tr> <th>DATE</th> <th>COMMENT</th> <th>REV.</th> </tr> </thead> <tbody> <tr> <td>16.03.22</td> <td>FOR CONSULTANTS</td> <td>A</td> </tr> <tr> <td>23.03.22</td> <td>FOR CONSULTANTS</td> <td>A</td> </tr> <tr> <td>30.03.22</td> <td>FOR CONSULTANTS</td> <td>A</td> </tr> <tr> <td>15 Aug 22</td> <td>Issued for DA</td> <td>B</td> </tr> <tr> <td>27 April 23</td> <td>Garage deleted for Carport</td> <td>C</td> </tr> </tbody> </table>	DATE	COMMENT	REV.	16.03.22	FOR CONSULTANTS	A	23.03.22	FOR CONSULTANTS	A	30.03.22	FOR CONSULTANTS	A	15 Aug 22	Issued for DA	B	27 April 23	Garage deleted for Carport	C	<p>GENERAL NOTES:</p> <ul style="list-style-type: none"> These plans are subject copyright and must not be used copied or reproduced without the authority of the designer The Builder is to verify dimensions prior to commencement If any discrepancies arise they are to be reported to the designer prior to the commencement of the works Do not scale figured dimensions a dimension is not shown or is required consult with the designer Do not alter the design either architecturally or structurally without prior consultation with the designer or engineer 	<p>DRAWING: LOT 2 - PROPOSED SECOND FLOOR PLAN</p>	<p>NORTH</p>	<p>SCALE: 1:100 @ A3</p> <p>DRAWING NO. DA 02</p>
DATE	COMMENT	REV.																							
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CLIENT:
MR JACK ZHANG

PROJECT ADDRESS:
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 FRENCHS FOREST NSW 2030**

REVISION HISTORY:

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18.03.22	FOR CONSULTANTS	A
23.03.22	FOR CONSULTANTS	A
30.03.22	FOR CONSULTANTS	A
15 Aug.22	Issued for DA	B

GENERAL NOTES:

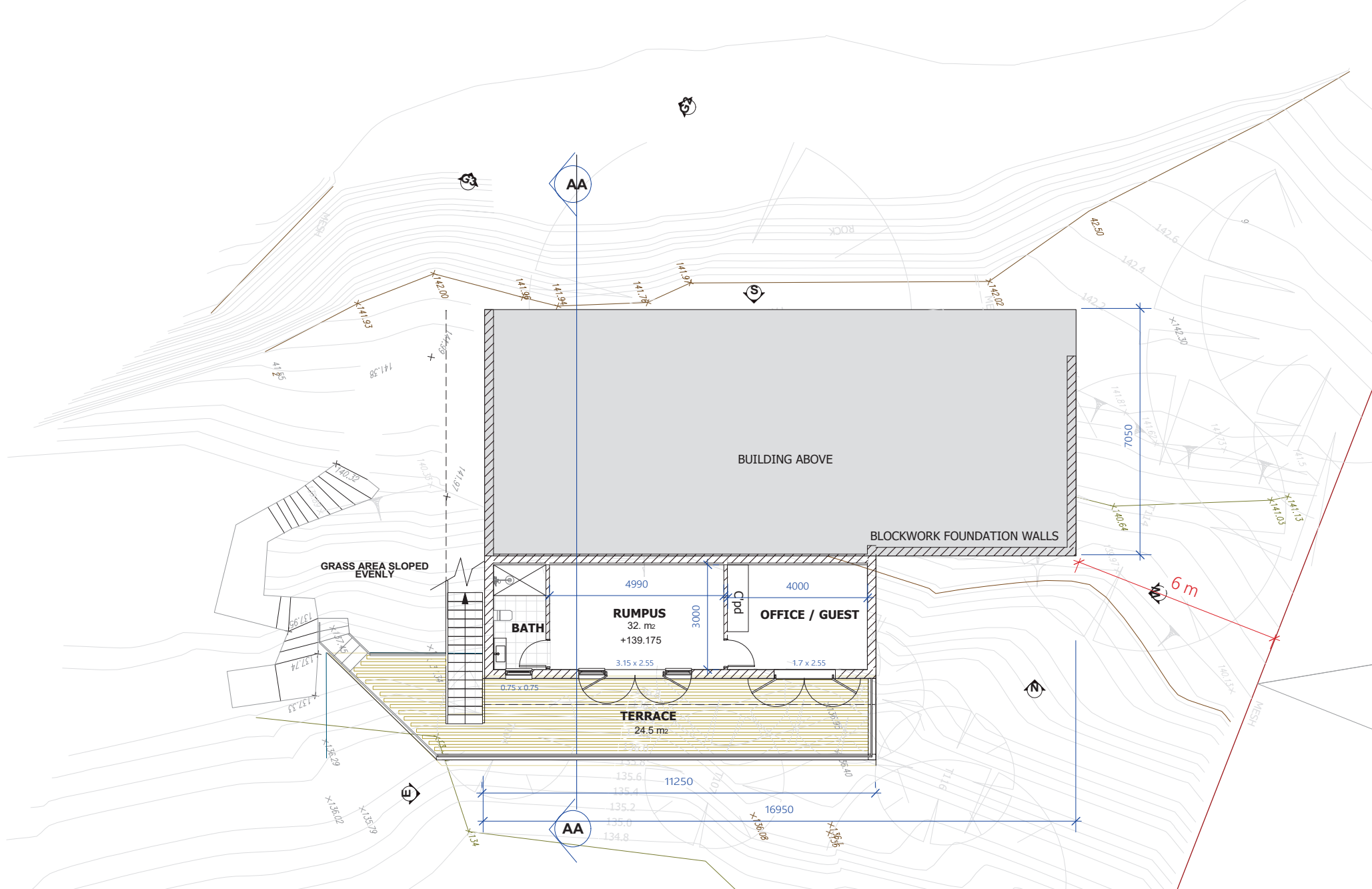
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- Do not scale the figured dimensions on this drawing is not shown or is required consult with the designer
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DRAWING:
LOT 2 - PROPOSED FIRST FLOOR PLAN



SCALE:
1:100 @ A3

DRAWING NO.
DA 03



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CLIENT:
MR JACK ZHANG

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**No. 12-14 GLADYS AVENUE,
 FRENCHS FOREST NSW 2030**

REVISION HISTORY:

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23.03.22	FOR CONSULTANTS	A
30.03.22	FOR CONSULTANTS	A
15 Aug 22	Issued for DA	B
12.03.2023	Amended for Council	C

GENERAL NOTES:

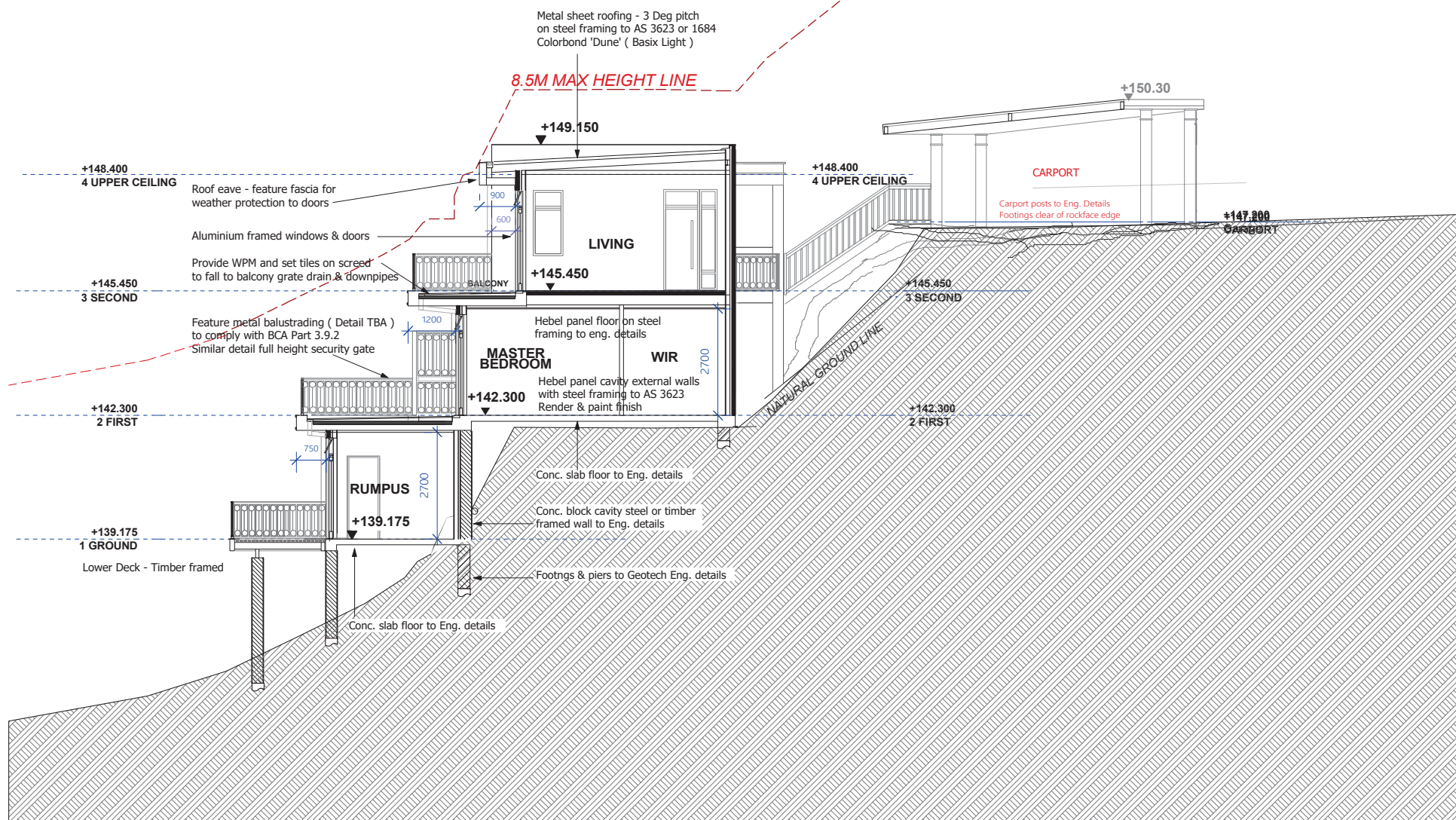
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DRAWING:
LOT 2 - PROPOSED GROUND FLOOR PLAN



SCALE:
1:100 @ A3

DRAWING NO.
DA 04



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CLIENT:
MR JACK ZHANG

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REVISION HISTORY:

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15 Aug.22	Issued for DA	B
27 April 23	Garage deleted for Carport	C

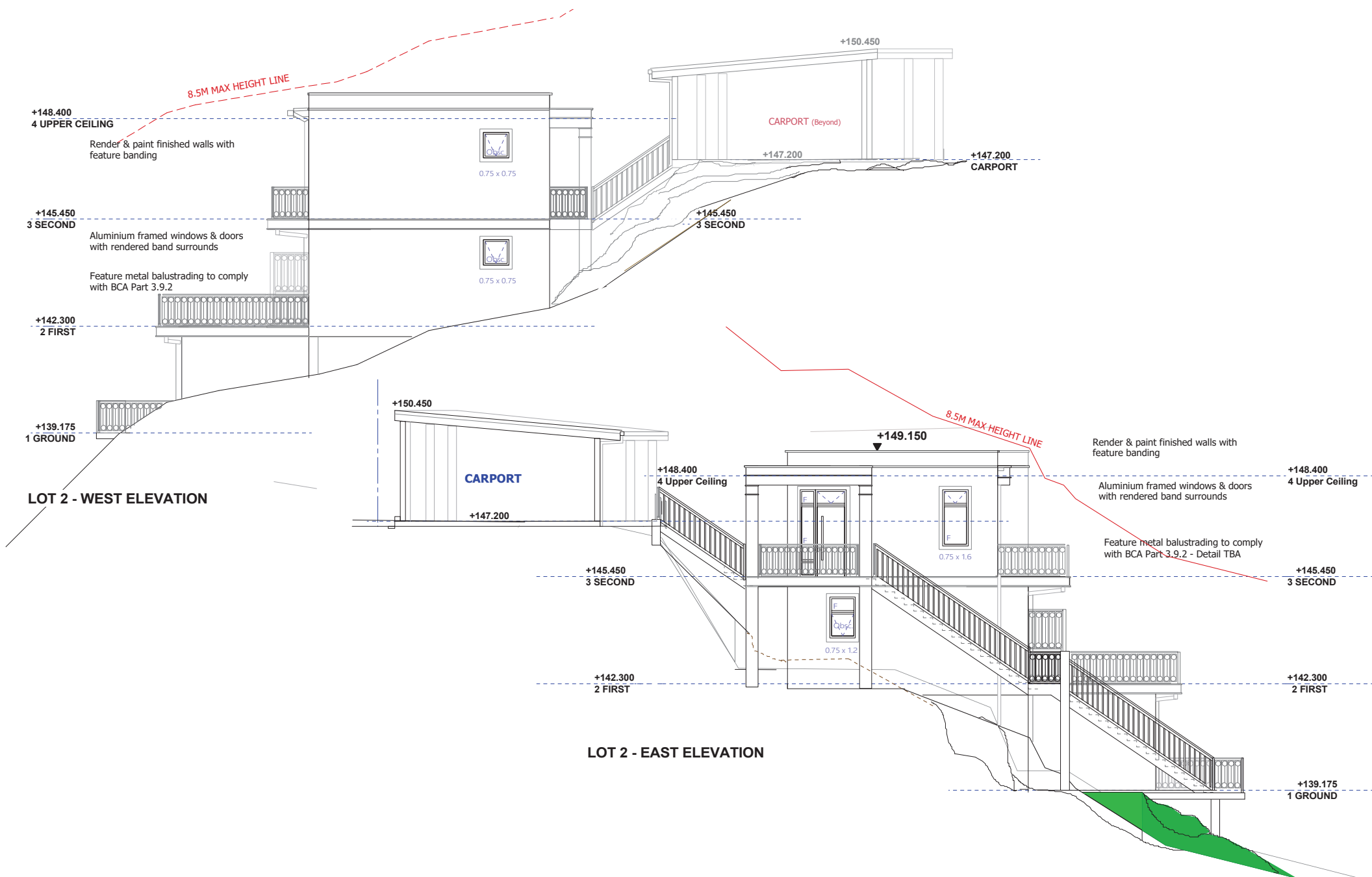
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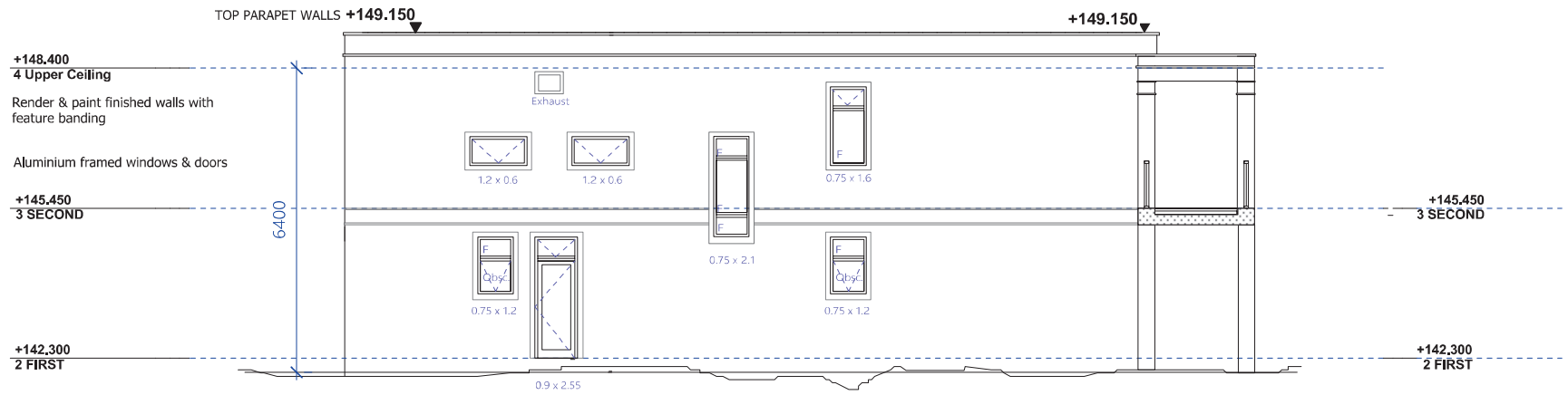
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LOT 2 - PROPOSED SECTION A-A

SCALE:
1:100 @ A3

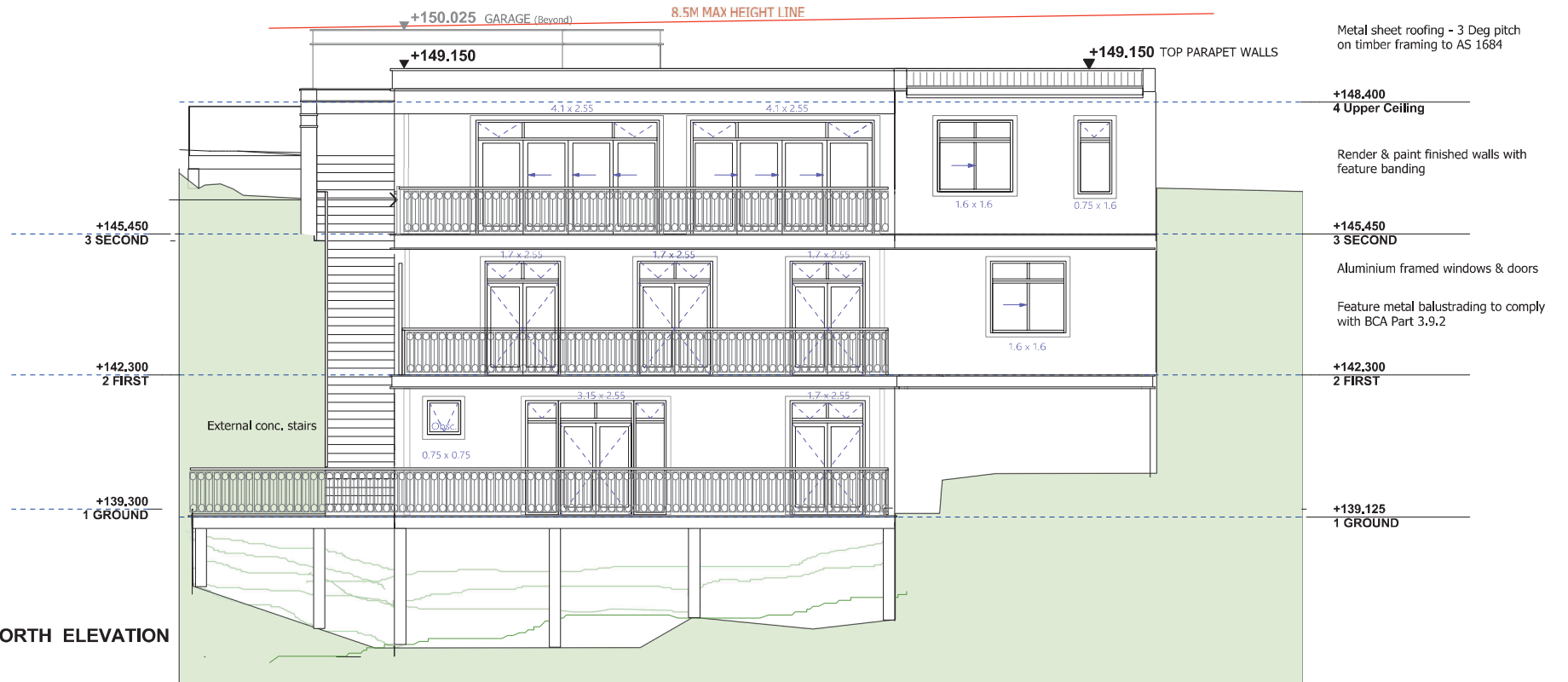
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DA 05




 <p>NKP ARCHITECTURE NSW ARB No. 10425 BEVERLY HILLS SYDNEY NSW 2209 M: 04 2072 5400 E: neil@nkparchitecture.com.au W: nkparchitecture.com.au</p>	<p>CLIENT: MR JACK ZHANG</p>	<p>REVISION HISTORY:</p> <table border="1"> <thead> <tr> <th>DATE</th> <th>COMMENT</th> <th>REV.</th> </tr> </thead> <tbody> <tr> <td>16.03.22</td> <td>FOR CONSULTANTS</td> <td>A</td> </tr> <tr> <td>23.03.22</td> <td>FOR CONSULTANTS</td> <td>A</td> </tr> <tr> <td>30.03.22</td> <td>FOR CONSULTANTS</td> <td>A</td> </tr> <tr> <td>15 Aug 22</td> <td>Issued for DA</td> <td>B</td> </tr> <tr> <td>27 April 23</td> <td>Garage deleted for Carport</td> <td>C</td> </tr> </tbody> </table>	DATE	COMMENT	REV.	16.03.22	FOR CONSULTANTS	A	23.03.22	FOR CONSULTANTS	A	30.03.22	FOR CONSULTANTS	A	15 Aug 22	Issued for DA	B	27 April 23	Garage deleted for Carport	C	<p>GENERAL NOTES:</p> <ul style="list-style-type: none"> These plans are subject copyright and must not be used copied or reproduced without the authority of the designer The Builder is to verify dimensions prior to commencement If any discrepancies arise they are to be reported to the designer prior to the commencement of the works Do not scale figured dimensions & dimension is not shown or is required consult with the designer Do not alter the design either architecturally or structurally without prior consultation with the designer or engineer 	<p>DRAWING: LOT 2 - EAST & WEST ELEVATION</p>	<p>NORTH</p>	<p>SCALE: 1:100 @ A3</p>
	DATE	COMMENT	REV.																					
16.03.22	FOR CONSULTANTS	A																						
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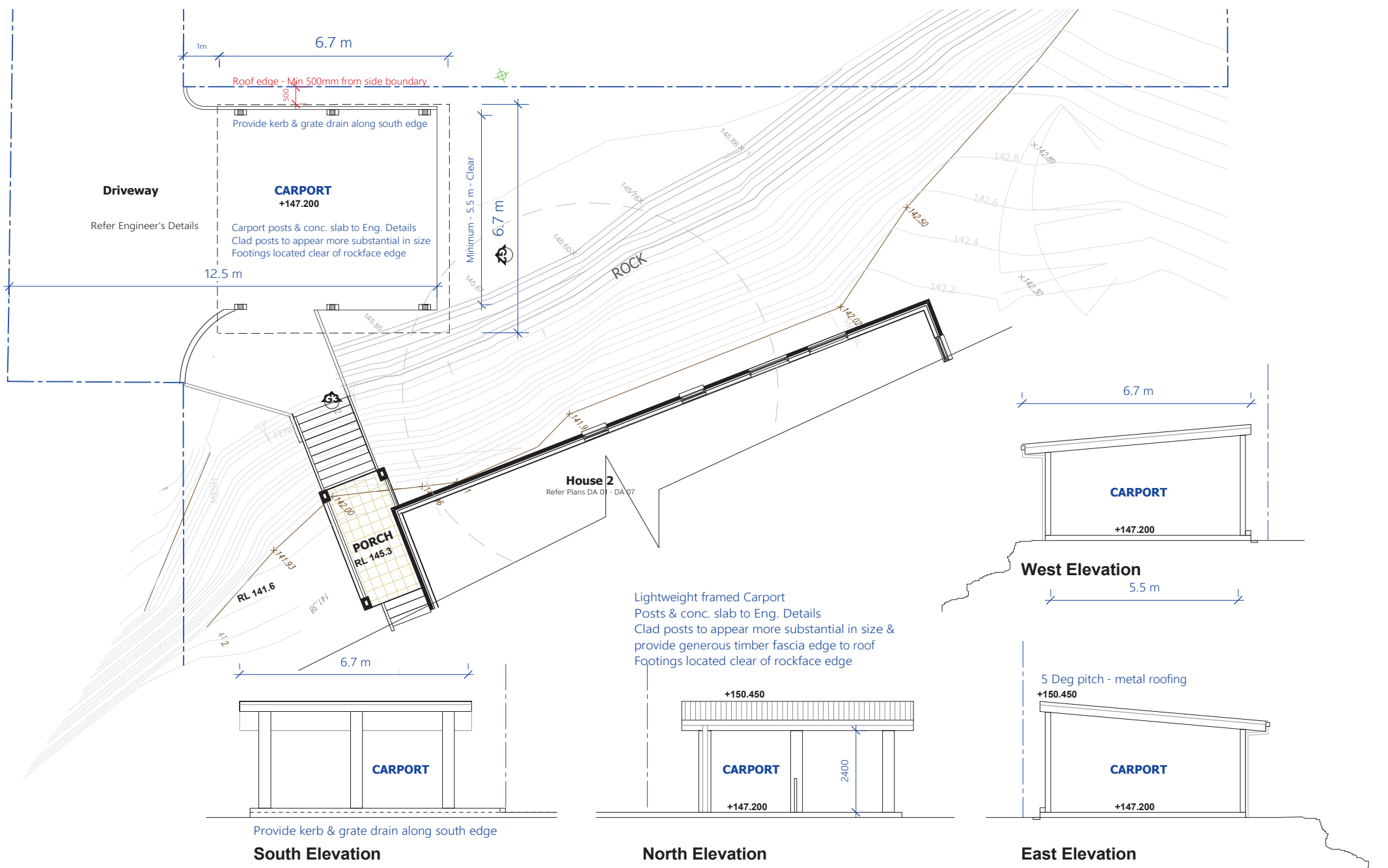


LOT 2 - SOUTH ELEVATION



LOT 2 - NORTH ELEVATION

 <p>NKP ARCHITECTURE NSW ARB No. 10425 BEVERLY HILLS SYDNEY NSW 2209 M: 04 2072 5400 E: neil@nkparchitecture.com.au W: nkparchitecture.com.au</p>	<p>CLIENT: MR JACK ZHANG</p>	<p>REVISION HISTORY:</p> <table border="1"> <thead> <tr> <th>DATE</th> <th>COMMENT</th> <th>REV.</th> </tr> </thead> <tbody> <tr> <td>19.03.22</td> <td>FOR CONSULTANTS</td> <td>A</td> </tr> <tr> <td>23.03.22</td> <td>FOR CONSULTANTS</td> <td>A</td> </tr> <tr> <td>30.03.22</td> <td>FOR CONSULTANTS</td> <td>A</td> </tr> <tr> <td>15 Aug.22</td> <td>Issued for DA</td> <td>B</td> </tr> </tbody> </table>	DATE	COMMENT	REV.	19.03.22	FOR CONSULTANTS	A	23.03.22	FOR CONSULTANTS	A	30.03.22	FOR CONSULTANTS	A	15 Aug.22	Issued for DA	B	<p>GENERAL NOTES:</p> <ul style="list-style-type: none"> These plans are subject copyright and must not be used copied or reproduced without the authority of the designer The Builder is to verify dimensions prior to commencement If any discrepancies arise they are to be reported to the designer prior to the commencement of the works Do not scale figured dimensions Permission is not shown or is required consult with the designer Do not alter the design either architecturally or structurally without prior consultation with the designer or engineer 	<p>DRAWING: LOT 2 - NORTH & SOUTH ELEVATION</p>	<p>NORTH</p>	<p>SCALE: 1:100 @ A3</p>
	DATE	COMMENT	REV.																		
19.03.22	FOR CONSULTANTS	A																			
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30.03.22	FOR CONSULTANTS	A																			
15 Aug.22	Issued for DA	B																			
<p>PROJECT ADDRESS: No. 12-14 GLADYS AVENUE, FRENCHS FOREST NSW 2030</p>	<p>DRAWING NO. DA 07</p>																				



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PROJECT ADDRESS: No. 12-14 GLADYS AVENUE, FRENCHS FOREST NSW 2030																									

LOT 2 - PROPOSED FINISHES - DARK EARTH COLOURS




Roof
Sheet Metal (3 Deg Pitch)
Dulux Colorbond "Dune"

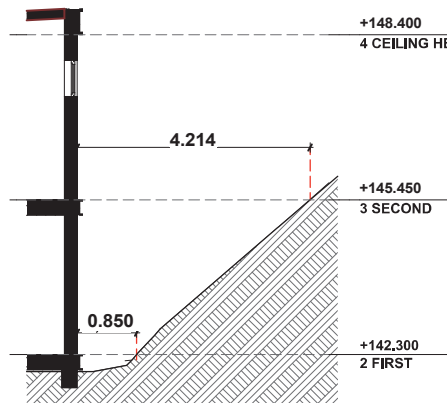
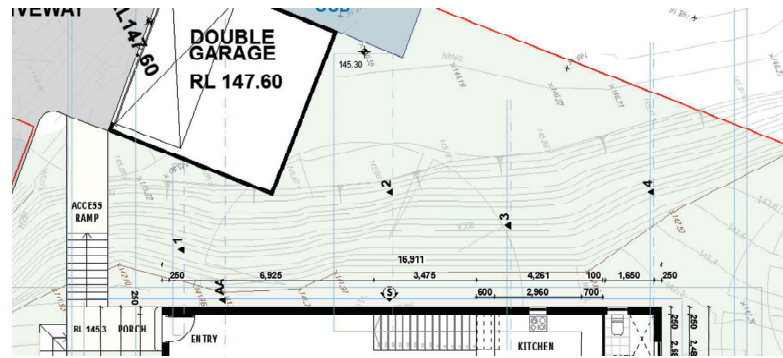
External Walls
Rendered Hebel panel with paint finish
Paint downpipes to match wall
Dulux "Water Rock"

Garage & Front Door
Dulux Colorbond "Wallaby"

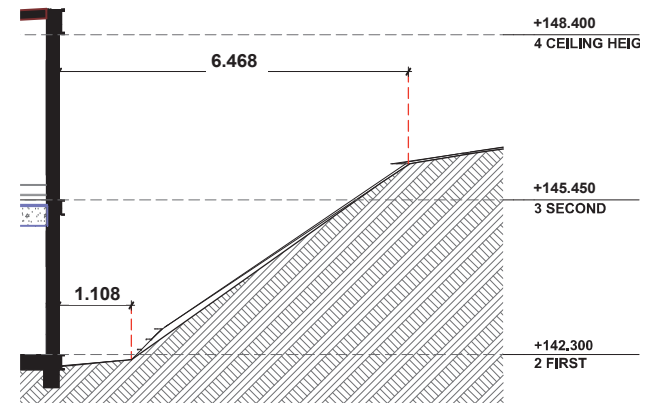
Aluminium framed Windows & Doors
Dulux Powdercote "Dark Metal"

Feature wrought iron balustrades
Dulux Powdercote "Dark Metal"

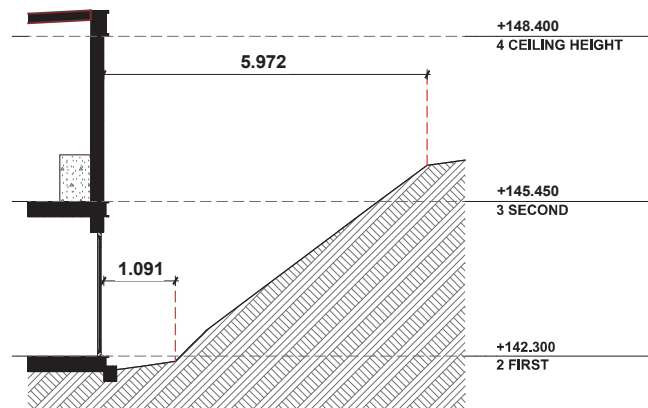
 <p>NKP ARCHITECTURE NSW ARB No. 10425 BEVERLY HILLS SYDNEY NSW 2209 M: 04 2072 5400 E: neil@nkparchitecture.com.au W: nkparchitecture.com.au</p>	<p>CLIENT: MR JACK ZHANG</p> <p>PROJECT ADDRESS: No. 12-14 GLADYS AVENUE, FRENCHS FOREST NSW 2030</p>	<p>REVISION HISTORY:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>DATE</th> <th>COMMENT</th> <th>REV.</th> </tr> </thead> <tbody> <tr> <td>16.03.22</td> <td>FOR CONSULTANTS</td> <td>A</td> </tr> <tr> <td>23.03.22</td> <td>FOR CONSULTANTS</td> <td>A</td> </tr> <tr> <td>30.03.22</td> <td>FOR CONSULTANTS</td> <td>A</td> </tr> </tbody> </table>	DATE	COMMENT	REV.	16.03.22	FOR CONSULTANTS	A	23.03.22	FOR CONSULTANTS	A	30.03.22	FOR CONSULTANTS	A	<p>GENERAL NOTES:</p> <ul style="list-style-type: none"> ■ These plans are subject copyright and must not be used copied or reproduced without the authority of the designer ■ The Builder is to verify dimensions prior to commencement ■ If any discrepancies arise they are to be reported to the designer prior to the commencement of the works ■ Do not riggle figured dimensions & dimension ■ is not shown or is required consult with the designer ■ Do not alter the design either architecturally or structurally without prior consultation with the designer or engineer 	<p>DRAWING: LOT 2 - PROPOSED COLOURS & FINISHES</p>	<p>SCALE: 1:100 @ A3</p> <p>DRAWING NO. Colours & Finishes Schedule</p>
DATE	COMMENT	REV.															
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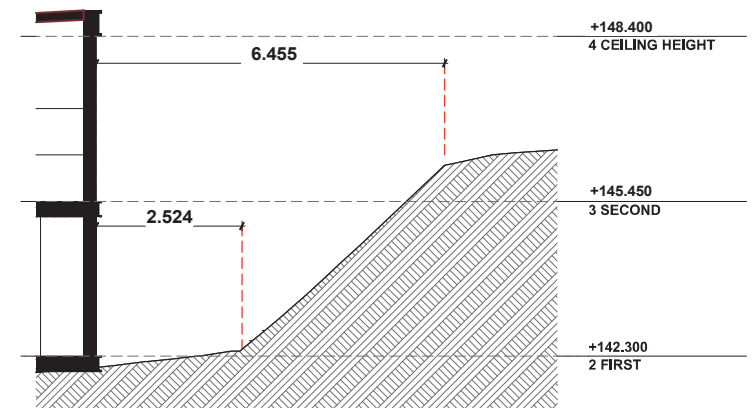
SECTION 1



SECTION 2



SECTION 3



SECTION 4



NKP ARCHITECTURE
NSW ARB No. 10425
BEVERLY HILLS
SYDNEY NSW 2209
M: 04 2072 5400
E: neil@nkparchitecture.com.au
W: nkparchitecture.com.au

CLIENT:
MR JACK ZHANG

PROJECT ADDRESS:
**No. 12-14 GLADYS AVENUE,
FRENCHS FOREST NSW 2030**

REVISION HISTORY:

DATE	COMMENT	REV.
16/03/22	FOR CONSULTANTS	A
23/03/22	FOR CONSULTANTS	A
30/03/22	FOR CONSULTANTS	A

GENERAL NOTES:

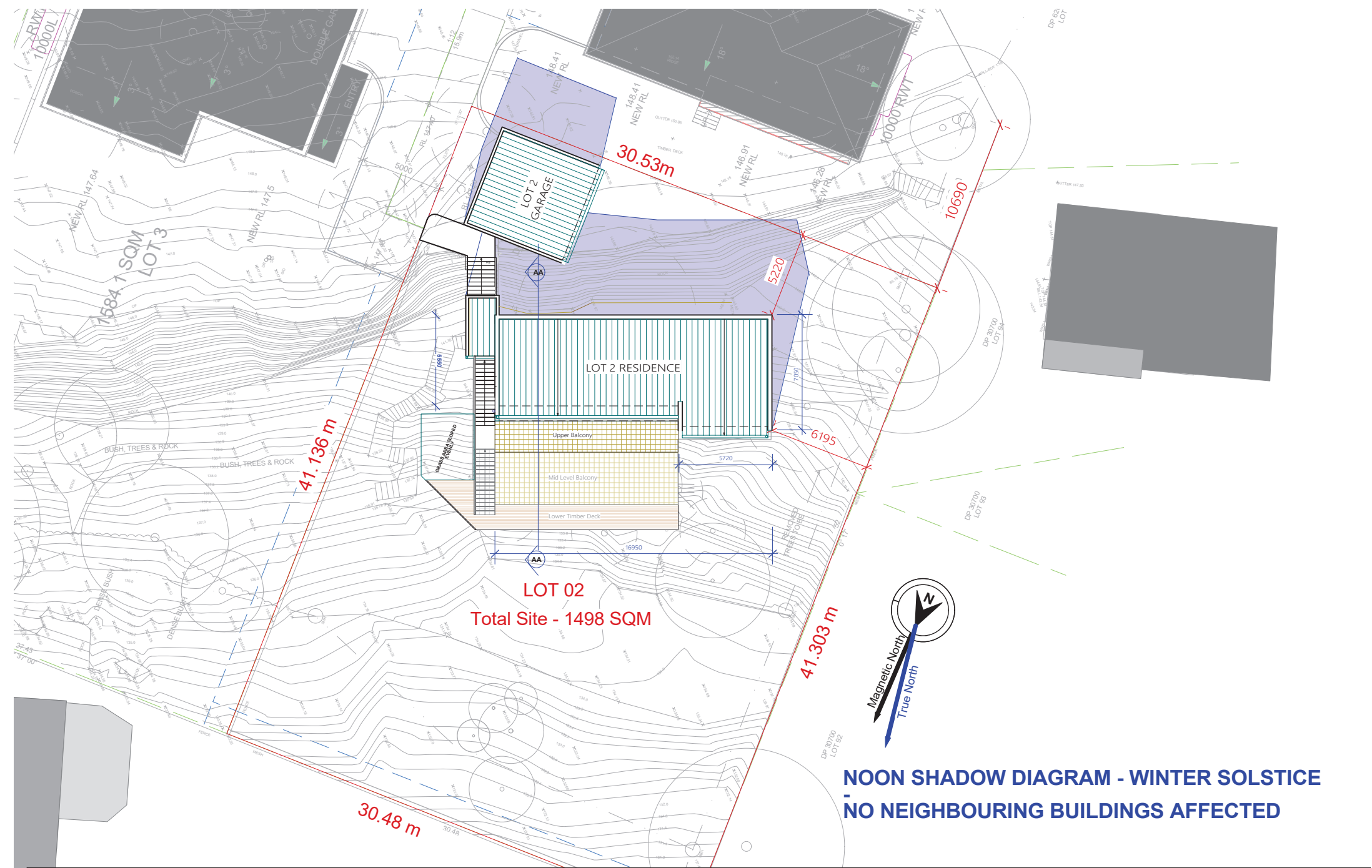
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- The Builder is to verify dimensions prior to commencement.
- If any discrepancies arise they are to be reported to the designer prior to the commencement of the works.
- Do not scale, use figured dimensions only. If a dimension is not shown or is required consult with the designer.
- Do not alter the design either architecturally or structurally without prior consultation with the designer or engineer.

DRAWING:

LOT 2 - PROXIMITY TO CLIFF

NORTH

SCALE:
1:100@ A3



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DATE	COMMENT	REV.
16.03.22	FOR CONSULTANTS	A
23.03.22	FOR CONSULTANTS	A
30.03.22	FOR CONSULTANTS	A
15 Aug.22	Issued for DA	B

GENERAL NOTES:

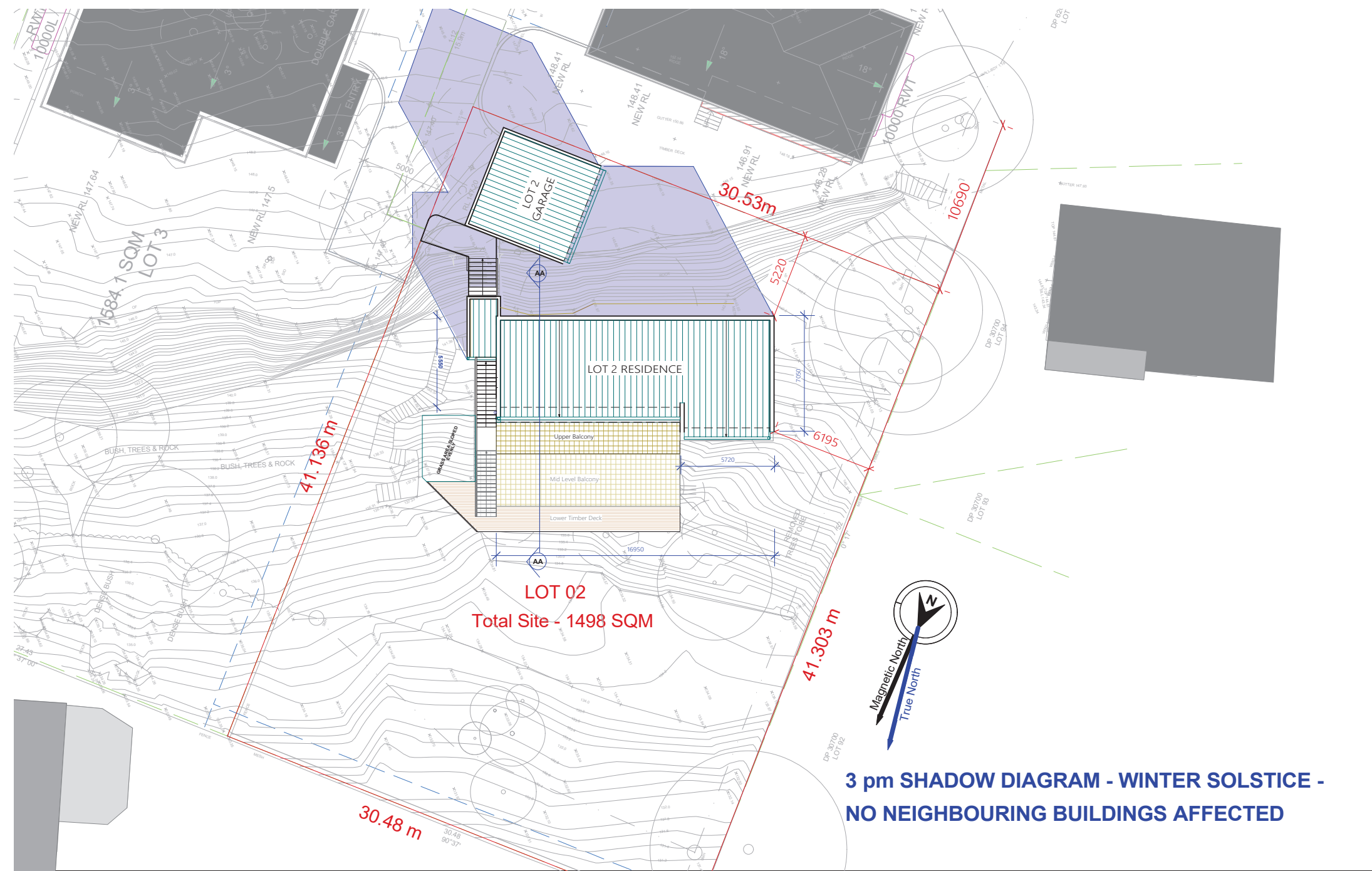
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DRAWING:
LOT 2 - Noon Shadow Diagram



SCALE:
 1: 200 @ A3

DRAWING NO.
SD 01



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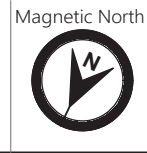
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DATE	COMMENT	REV
16.03.22	FOR CONSULTANTS	A
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30.03.22	FOR CONSULTANTS	A
15 Aug.22	Issued for DA	B

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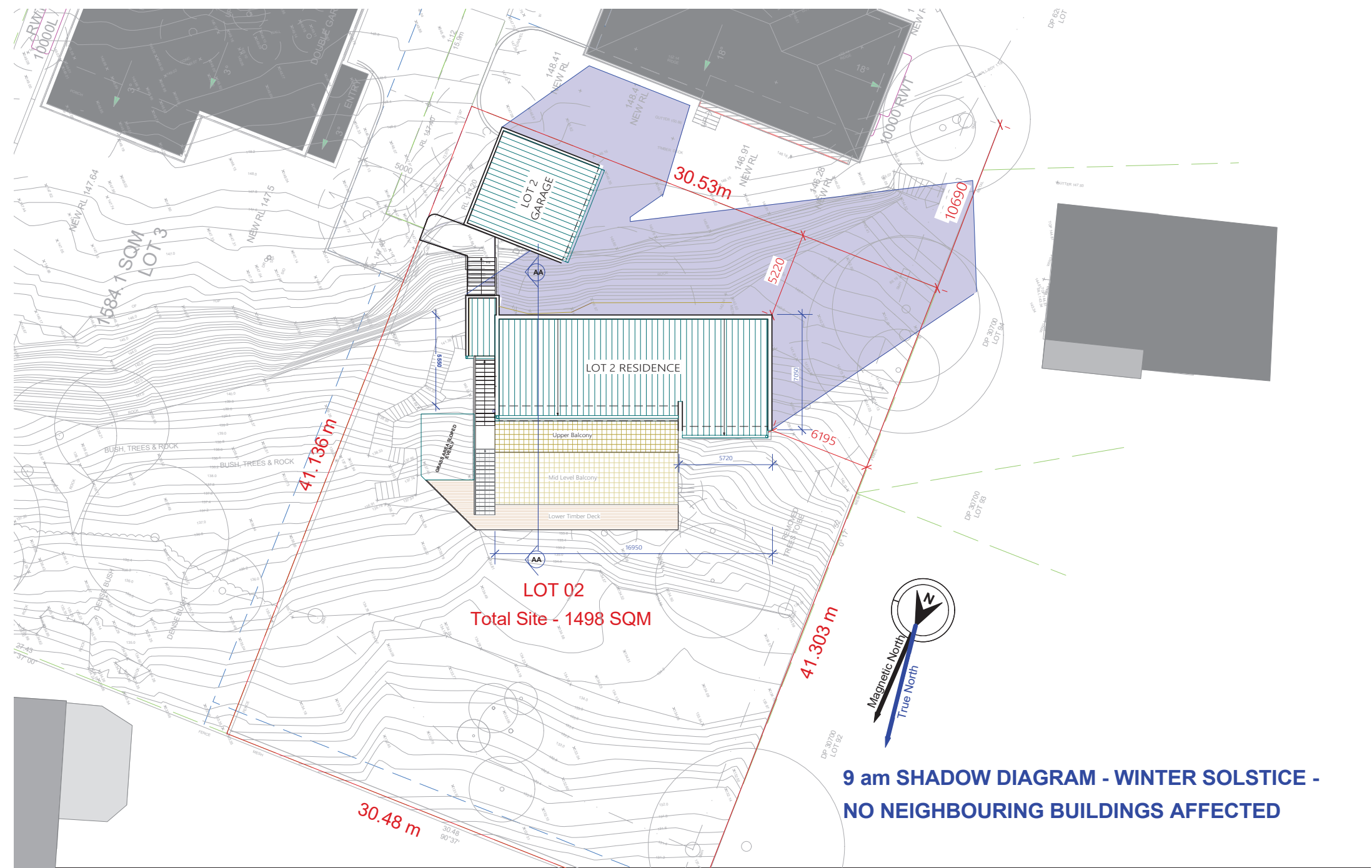
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DRAWING:
LOT 2 - Noon Shadow Diagram



SCALE:
 1: 200 @ A3

DRAWING NO.
SD 01



9 am SHADOW DIAGRAM - WINTER SOLSTICE - NO NEIGHBOURING BUILDINGS AFFECTED



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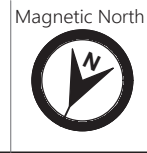
REVISION HISTORY:

DATE	COMMENT	REV
16.03.22	FOR CONSULTANTS	A
23.03.22	FOR CONSULTANTS	A
30.03.22	FOR CONSULTANTS	A
15 Aug.22	Issued for DA	B

GENERAL NOTES:

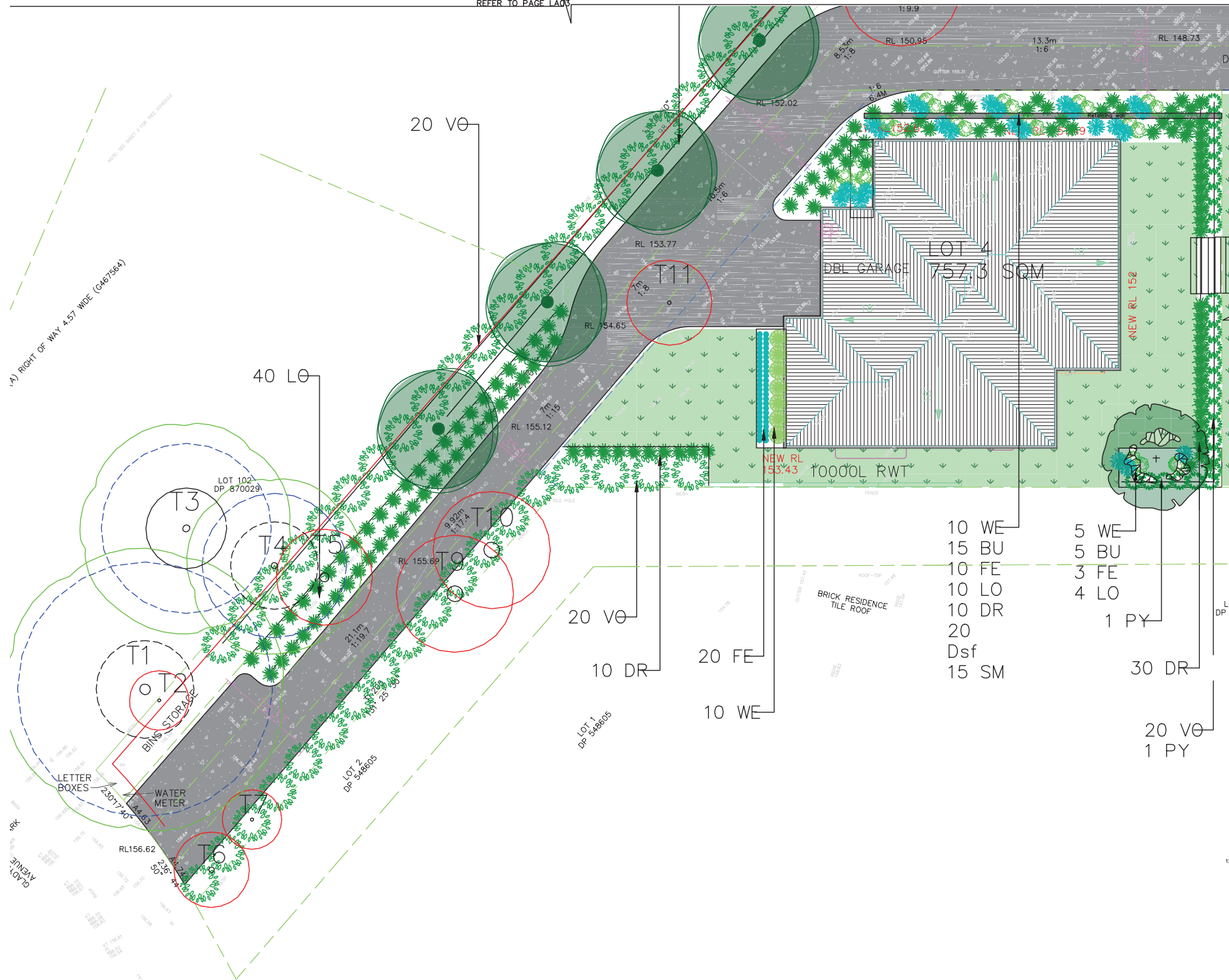
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DRAWING:
LOT 2 - Noon Shadow Diagram



Magnetic North
 SCALE:
 1: 200 @ A3
 DRAWING NO.
SD 03

REFER TO PAGE LA03



1. Figured dimensions shall be taken in accordance with preference to scaling.
2. The contractor shall check all dimensions on site before commencing work.
3. Construction is to be compliant with Australian standards for this landscape design. This is a landscape design and should be read in conjunction with engineers and architectural plans.
4. Designer is not responsible for Vegetation health or asset damage during and after construction.

KEY

- Existing tree to be retained
- Existing tree to be removed
- Proposed Tree
- Proposed grasses/shrubs
- Proposed Hedge
- Concrete
- Turf
- Folding clothes line

- NOTE:
1. CONTRACTOR MUST VERIFY ALL DIMENSIONS AT THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS WHICH MUST BE TO MANUFACTURER STANDARDS
 2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL, HYDRAULIC AND SURVEY PLAN
 3. EXISTING TREES TO REMAIN SHALL BE PROTECTED AS PER ARBORIST REPORT AND COUNCIL REQUIREMENTS
 4. NO VARIATION TO THE WORKS TO BE CARRIED OUT WITHOUT PRIOR APPROVAL FROM OWNER
 5. ALL PLANT WORKS MUST COMPLY WITH AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA
 6. ALL STORM WATER OUTLETS AND SURFACE RUN OFF SHALL BE TO HYDRAULIC ENGINEERS DETAIL
 7. ALL LANDSCAPE WORKS SHALL COMPLETE WITH ALL COUNCILS DA AND CC CONDITIONS AND ALL RELEVANT AUSTRALIAN STANDARDS AND AUSTRALIAN SPEC NO.1 SPECIFICATION C273 LANDSCAPING
 8. DIAL BEFORE YOU DIG IS RECOMMENDED BEFORE COMMENCING LANDSCAPE WORKS
 9. REFER TO ARBORIST REPORT FOR TREE RETENTION AND REMOVAL

Contours presented in the plan are based on existing conditions. Cut and fill is to be determined by engineers and are not specified on this plan

- 10 WE
- 15 BU
- 10 FE
- 10 LO
- 10 DR
- 20
- Dsf
- 15 SM
- 5 WE
- 5 BU
- 3 FE
- 4 LO
- 1 PY
- 30 DR
- 20 VØ
- 1 PY

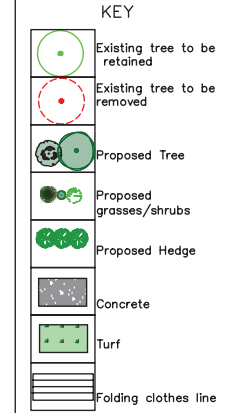
A	Landscape plan	04.08.2022
ISSUE	DESCRIPTION	DATE

ADDRESS
19 Gladys Ave frenchforest

DRAWING TITLE
LANDSCAPE PLAN - LOT 4

DATE: 04.08.2022	DRAWING NO:	REVISION:
DRAWN BY: AZ	JOB NO: 19-05	LA02 A
SCALE: 1:500		

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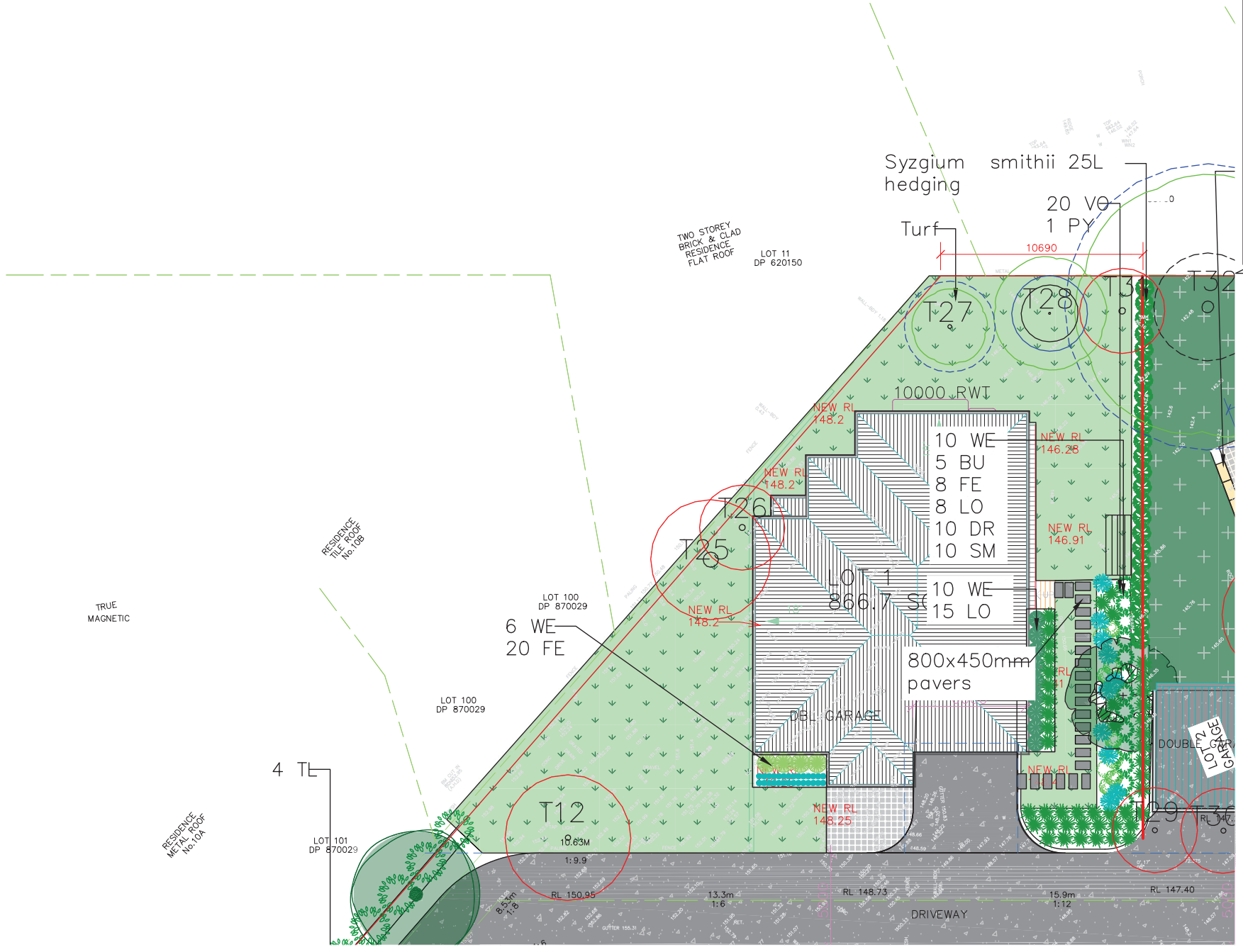
Contours presented in the plan are based on existing conditions. Cut and fill is to be determined by engineers and are not specified on this plan

A	Landscape plan	04.08.2022
ISSUE	DESCRIPTION	DATE

ADDRESS
12-19 Gladys Ave frenchforest

DRAWING TITLE
LANDSCAPE PLAN - LOT 1

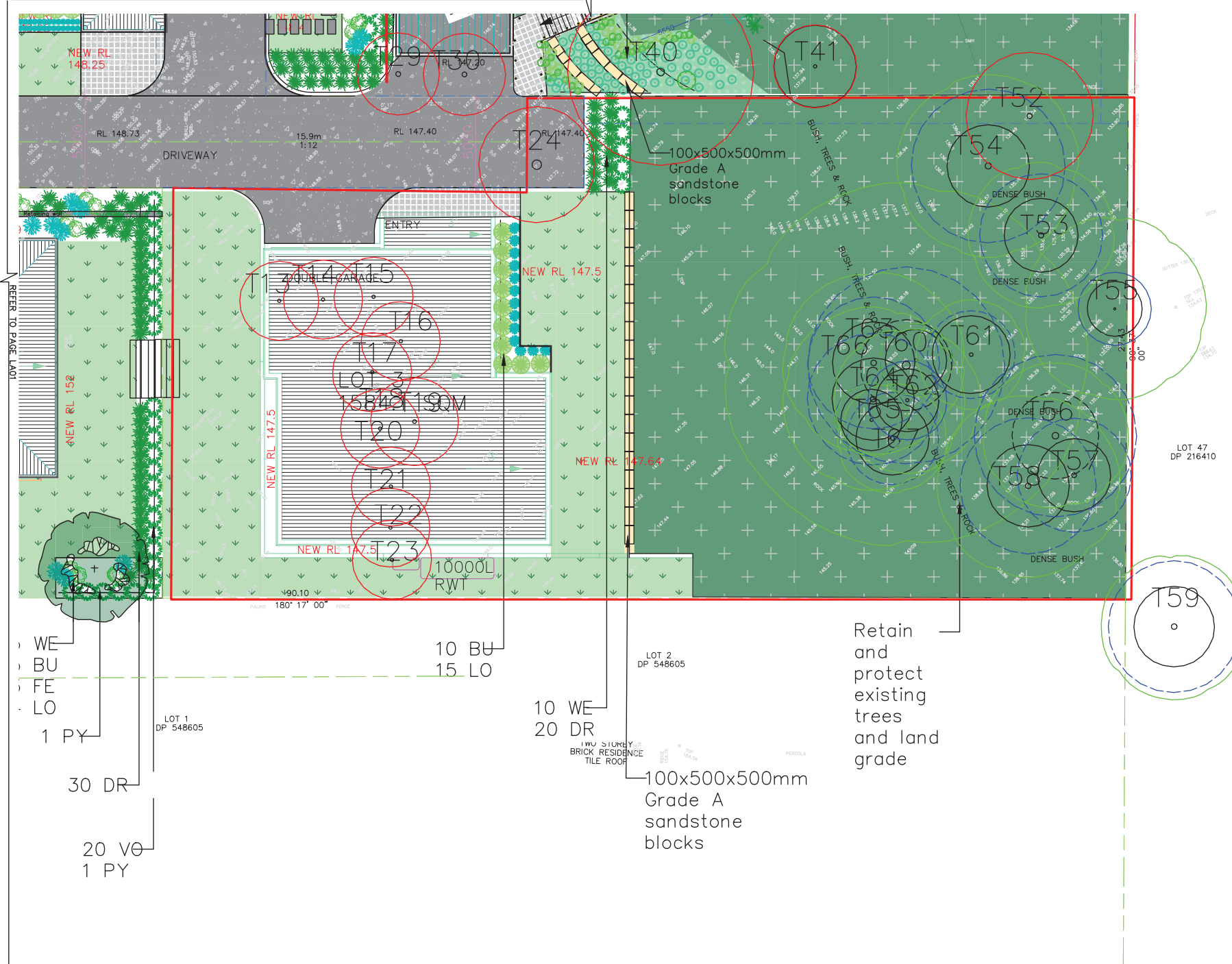
DATE: 04.08.2022	DRAWING NO:	REVISION:
DRAWN BY: JOR	LA03	A
SCALE: 1:500		



REFER TO PAGE LA04

REFER TO PAGE LA02

REFER TO PAGE LA03



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KEY

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- Existing tree to be removed
- Proposed Tree
- Proposed grasses/shrubs
- Proposed Hedge
- Concrete
- Turf
- Folding clothes line

- NOTES
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A Landscape plan		04.08.2022
ISSUE DESCRIPTION	DATE	
ADDRESS 12-19 Gladys Ave frenchforest		
DRAWING TITLE LANDSCAPE PLAN - LOT 3		
DATE: 04.08.2022	DRAWING NO:	REVISION:
DRAWN BY: AZ	LA04	A
JOB NO: 12-19	SCALE: 1:500	

REFER TO PAGE LA01

WE
BU
FE
LO
1 PY
30 DR
20 VO
1 PY

10 BU
15 LO

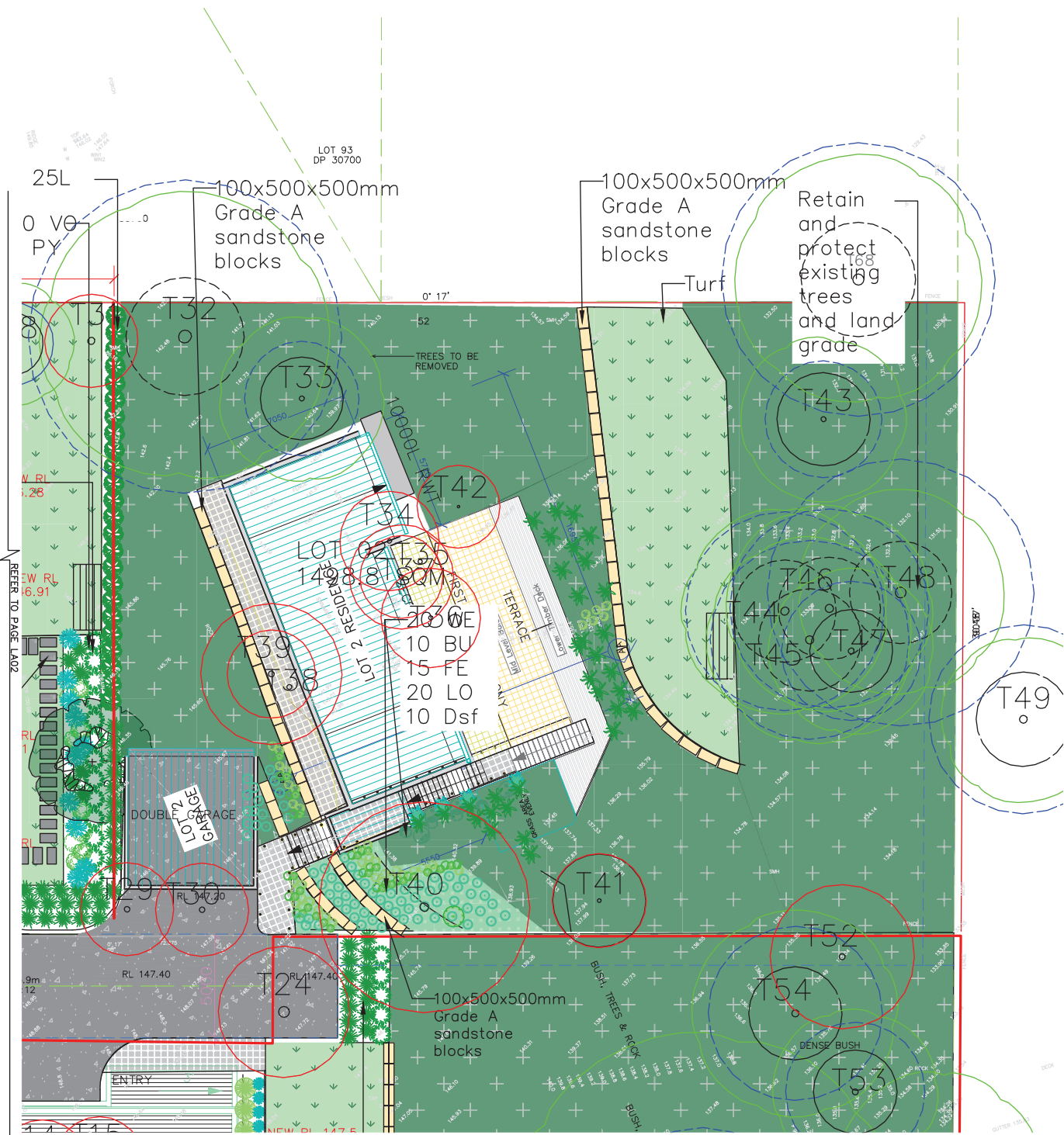
10 WE
20 DR
100 STURNEY
BRICK RESIDENCE
TILE ROOF

LOT 2
DP 548605

100x500x500mm
Grade A
sandstone
blocks

Retain
and
protect
existing
trees
and land
grade

LOT 47
DP 216410



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A	Landscape plan	04.08.2022
ISSUE DESCRIPTION	DATE	
ADDRESS	12-1 Gladys Ave frenchforest	
DRAWING TITLE	LANDSCAPE PLAN- LOT 2	
DATE: 04.08.2022	DRAWING NO:	LA05
DRAWING BY: JOR HODGE	REVISION:	A
SCALE: 1:500		

GENERAL

ALL EARTHWORK, DRAINAGE WORKS, RETAINING WALLS, CONCRETE WORKS AND GRADING TO BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS, DETAILS AND SPECIFICATION REFER TO ENGINEERING DRAWINGS FOR ALL FINISHED LEVELS.
ALL SET OUT TO BE APPROVED ON SITE BY SUPERINTENDENT PRIOR TO THE COMMENCEMENT OF GROUND WORKS.

WORKS

BEFORE LANDSCAPE WORKS COMMENCE, THE LANDSCAPE CONTRACTOR IS TO DETERMINE THE LOCATIONS OF ALL SERVICE LINES AND PROTECT THEM FROM DAMAGE DURING CONSTRUCTION. UNDERTAKE A 'DIAL BEFORE YOU DIG' ENQUIRY FOR SERVICE LOCATIONS.

EXISTING VEGETATION

VEGETATION TO BE REMOVED

REMOVE ONLY THOSE TREES AND VEGETATION MARKED FOR REMOVAL. ALL TREES AND NATIVE VEGETATION REQUIRED TO BE REMOVED AS PART OF THESE WORKS ARE TO BE MULCHED ON SITE AND STOCKPILED FOR REUSE IN PLANTING AREAS.

VEGETATION TO BE RETAINED

WHERE TREES ARE MARKED FOR RETENTION THE FOLLOWING PROTECTION MEASURES ARE TO BE UNDERTAKEN:

- A TREE PROTECTION ZONE IS A RADIUS OF 12x TRUNK DIAMETER AT 1.4m ABOVE GROUND, AS DEFINED IN AS4970:2009.
- PROTECT ALL EXISTING TREES MARKED FOR RETENTION FROM DAMAGE WITHIN THE TPZ. UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ERECT PROTECTIVE FENCING USING 1.8m TEMPORARY FENCING OUTSIDE THE TPZ FOR THE DURATION OF THE CONSTRUCTION PERIOD.
- INSTALL A 150mm LAYER OF LEAF MULCH OVER THE TREES TPZ AND MAINTAIN FOR THE DURATION OF THE CONSTRUCTION PERIOD.
- THE EXISTING TOPSOIL LEVELS MUST NOT BE RAISED OR LOWERED WITHIN THE TPZ UNLESS PRIOR APPROVAL IS GIVEN BY SUPERINTENDENT.
- IF EXCAVATION IS REQUIRED WITHIN THE TPZ TREES TO BE REMOVED OR DAMAGED MUST BE IDENTIFIED AND MARKED WITHIN THE TPZ. USE HAND METHODS ONLY.
- USE HAND METHODS TO LOCATE, EXPOSE AND CLEARLY REMOVE THE ROOTS ON THE LINE OF THE EXCAVATION.
- DO NOT STAKE, STOOLIE, SPLIT OR OTHERWISE PLACE MATERIALS WITHIN THE TPZ OF THE TREE. DO NOT WASH OUT CONCRETE FROM TPZ. DO NOT PLACE SITE SHEDS OR ADJUTMENTS WITHIN THE TPZ OF THE TREE. DO NOT STOOLIE SOIL WITHIN THE TPZ FOR ANY REASON.
- IF ANY DAMAGE TO TREE BARK AND CANOPY DAMAGE SHALL BE TREATED BY A QUALIFIED ARBORIST AS SOON AS PRACTICALLY POSSIBLE AFTER DAMAGE OCCURS.
- WHERE IT IS NECESSARY TO CUT ROOTS, USE A CHAINSAW OR SIMILAR WHERE THE CUTTING METHOD DOES NOT UNLATERLY DISTURB THE ROOT SYSTEM. ANY MAJOR STRUCTURAL ROOTS ARE TO BE CUT BY A QUALIFIED ARBORIST.
- REGULARLY WATER AND MAINTAIN ALL TREES TO BE RETAINED FOR THE DURATION OF THE CONSTRUCTION PERIOD.

PRE-PLANTING

PRIOR TO ANY ENGINEERING WORKS, BRACED/ALL WEED SPECIES USING ENVIRONMENTALLY ACCEPTABLE METHODS AND REMOVE FROM SITE. BRACED/ALL WEEDS FROM THE PROPOSED PLANTING AND TURF AREAS PRIOR TO ANY PLANTING OPERATIONS. USE SOUND UP. BRACED/ALL WEEDS FOR AREAS ADJACENT TO WATERWAYS, CREEKS AND DRAINAGE CHANNELS, OR WHERE RUNOFF MAY ENTER THE CREEK SYSTEM. APPLY MULCH UP. BRACED/ALL WEEDS TO ALL PROPOSED PLANTING AREAS TO MANUFACTURERS RECOMMENDED APPLICATION RATES. A MINIMUM OF TWO APPLICATIONS WILL BE REQUIRED. INSURE FRAM. SPRAYING OCCURS TWO WEEKS PRIOR TO COMMENCEMENT OF LANDSCAPING WORKS. INSURE ALL WEED GROWTH HAS CEASED AND REMOVE ALL WEED WASTE FROM SITE PRIOR TO COMMENCEMENT OF SOIL AND PLANTING WORKS. DO NOT BURN. RE-APPLY HERBICIDE AS REQUIRED.

SOIL PREPARATION

DO NOT FILL OR MACHINE CULTIVATE WITHIN THE DRAINAGE OF EXISTING TREES. IF CULTIVATION IS REQUIRED IN THESE AREAS, USE HAND METHODS ONLY.
DO NOT USE SERVICES. IF REQUIRED TO CULTIVATE AREAS, USE PROTECTIVE FENCING AND METHODS TO BE IDENTIFIED.
SOIL TESTING OF THE SITE SOIL IS REQUIRED TO DETERMINE IF ANY ADDITIVES ARE REQUIRED TO THE EXISTING SOIL TO PROVIDE A SOIL MEDIA THAT PROMOTES OPTIMAL GROWING CONDITIONS.
ADDITIONAL SOIL REQUIRED TO BE A RESULT OF THE SOIL TESTING. SOIL LABORATORY AND MIX THROUGH SITE. PRIOR TO MIXING WITH IMPROVED SOIL. CONSULT WITH EXISTING SITE SOIL. INCLUDE ADDITIVES WITH POTASSIUM HUMUS MIX AS SUPPLIED BY AUSTRALIAN NATIVE LANDSCAPERS OR EQUIVALENT AT A RATIO OF 1:1. REFER TO DRAWINGS AND DETAILS FOR SOIL PLACEMENT DEPTHS FOR THE SPECIFIC PLANTING AREAS.

SOIL PLACEMENT

NO CONTAMINATED SOIL IS TO BE USED ON SITE. SHOULD SOIL BECOME CONTAMINATED BY DIESEL, OIL, PAINT, CEMENT OR ANY OTHER CONTAMINANTS, EXCAVATE THE CONTAMINATED SOIL AND DISPOSE OF IT OFF SITE AND REPLACE IT WITH SOIL MIX TO THE CORRECT FINISHED LEVELS.
SPREAD THE TOPSOIL ON THE PREPARED SUB SOIL AND GRADE EVENLY, ALLOWING THE OCCUR.

- REQUIRED FINISHED LEVELS CAN BE ACHIEVED AFTER LIGHT COMPACTION.
- TURF AREAS SHALL BE FINISHED FLUSH WITH ADJACENT FINISHED SURFACES SUCH AS KERBS, PATHS, ACCESS DRIVEWAYS AND CONCRETE EDGING.
- PLACE SOIL IN NUMBER LAYER DEPTHS OF 100mm. LIGHTLY COMPACT AT EACH LAYER.
- PLACE 200mm DEPTH OF SOIL MIX IN ALL LITTORAL, TERRESTRIAL, RE-VEGETATION AND NATIVE GARDEN MIX PLANTING ZONES.
- ON COMPLETION OF SOIL PLACEMENT THE SURFACE SHALL BE:
- FREE FROM STONES AND LUMPS OF SOIL.
- GRADED TO DRAIN FREELY WITHOUT TRAPPED LOW POINTS.
- READY FOR PLANT INSTALLATION.

MULCHING

INSTALL 100mm DEPTH OF 100% RECYCLED LEAF MULCH FREE OF SLEETEDOUS AND STRANDBLEND MATTER SUCH AS SOIL, WEEDS AND STICKS TO ALL PLANTING ZONES EXCLUDING BIO-RETENTION MIX A AND B. PLACE MULCH TO THE REQUIRED DEPTH. CLEAR OF PLANT STEMS AND MAKE TO AN EVEN SURFACE FLUSH WITH EXISTING FINISHED LEVELS.

PLANTING

PLANT MATERIAL SHOULD BE PRE ORDERED 4 + 6 MONTHS PRIOR TO ANTICIPATED INSTALLATION DATE TO ENSURE LOCAL STOCK IS AVAILABLE.
THE CONTRACTOR SHALL INSTALL PLANTS TO THE LOCATION AND EXTENT SHOWN ON THE DRAWINGS. THE PLANTS SHALL BE PLANTED USING BEST HORIZONTAL TECHNIQUES AND IN ACCORDANCE WITH THE DRAWINGS.
SPECIES TO BE PLANTED IN BASKETS TO ENSURE A FULL GROWN OR SPECIES ACROSS THE PLANTING ZONE.
AVOID PLANTING SPECIES IN RECTANGULAR BLOCKS TO RECREATING A NATURAL SYSTEM.

DELIVERY

DELIVER PLANT MATERIAL TO SITE ON A DRY DAY TO DRY BASES, AND PLANT IMMEDIATELY AFTER DELIVERY. PROTECT PLANTS AT ALL TIMES FROM SUN OR DRYING WINDS. PLANTS THAT CAN NOT BE PLANTED IMMEDIATELY ON DELIVERY SHALL BE KEPT IN THE SHADE, WELL PROTECTED AND ADEQUATELY WATERED. PLANTS SHALL BE UNLOADED IN SUCH A MANNER TO AVOID ANY DAMAGE TO THE PLANT.

PLANTING CONDITIONS

DO NOT PLANT IN UNSUITABLE WEATHER CONDITIONS SUCH AS EXTREME HEAT, COLD, WIND OR RAIN. IN OTHER THAN SANDY SOILS, SUSPEND EXCAVATION WHEN THE SOIL IS WET, OR DURING FROST PERIODS. NOTIFY SUPERINTENDENT OF ALL SOIL OR DRAINAGE CONDITIONS ENCOUNTERED DURING PLANTING OPERATIONS THAT THE LANDSCAPE CONTRACTOR CONSIDERS TO BE DETRIMENTAL TO PLANT GROWTH.

WATERING

THOROUGHLY WATER THE PLANTS IMMEDIATELY AFTER PLANTING, AND AS REQUIRED TO MAINTAIN GROWTH RATES FREE FROM STRESS. LESS FREQUENT HEAVY WATERING IS PREFERABLE TO LIGHT WATERING. THE SOIL MOISTURE NEEDS TO BE ASSESSED DAILY AND WATERING REGIME ADJUSTED ACCORDINGLY.
THE CONTRACTOR SHALL SUPPLY AND INSTALL A TEMPORARY IRRIGATION SYSTEM TO MAINTAIN PLANTS FOR THE DURATION OF THE MAINTENANCE PERIOD. AT COMPLETION OF THE MAINTENANCE PERIOD, THE CONTRACTOR IS RESPONSIBLE FOR THE DECOMMISSIONING OF THE TEMPORARY IRRIGATION SYSTEM AND THE REMOVAL OF ALL COMPONENTS FROM SITE.

PLACING

EXCAVATE HOLES AS INDICATED IN PLANTING DETAILS WHEN INSTALLING PLANT. WHEN PLANTING THERE SHOULD BE AMPLE LOOSE SOIL TO ENSURE THAT ROOT SOIL CONTACT IS COMPLETE AND THAT NO AIR GAPS EXIST. A RASSED UP SHOULD BE PRESENT AROUND THE PLANT TO ASSIST IN TRAPPING WATER AND ALLOW FILTRATION.
INSTALL PLANT STOCK TO THE AREAS AS INDICATED ON DRAWINGS AND GROUPED AS SPECIFIED. IN A RANDOM PATTERN, ENSURING COMPLETE COVERAGE.
PLANTING IN THE BIO-RETENTION AND LITTORAL ZONES ARE TO BE IN SPECIES GROUPINGS OF BETWEEN 60 - 70 PLANTS.
REFER TO PLANT SCHEDULE.
PLANTING IN THE TERRESTRIAL, RE-VEGETATION (GROUND COVER LAYER) AND NATIVE GARDEN MIX ZONES ARE TO BE IN SPECIES GROUPINGS OF 30 - 50 PLANTS.
REFER TO PLANT SCHEDULE.
PLANTING OF THE CANOPY LAYER IN THE RE-VEGETATION AREAS IS TO BE SPACED AT A RATE OF 1:2 TREES PER 10 SQ.M.
REFER TO PLANT SCHEDULE.

REPLACEMENT

REPLACE DAMAGED OR FAIL PLANTS WITH PLANTS OF THE SAME TYPE AND SIZE.

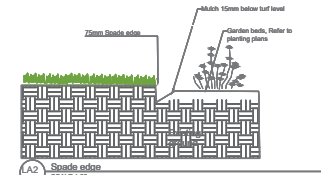
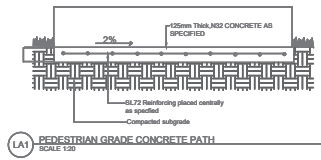
TURFING

THE CONTRACTOR SHALL INSTALL 300 WALTER BUFFALO TURF ROLLS TO THE LOCATION AND EXTENT SHOWN ON THE DRAWINGS AND TO ALL AREAS DAMAGED DURING THE CONSTRUCTION PERIOD.
TURF IS TO BE LAD LADING CONTOURS TO STRIKE THE BOUND PATTERN WITH STAGGERED, CLOSE BUTTED JOINTS. TURF TO BE LAD TO EXPOSE LEVELS FROM FLUSH WITH ADJACENT FINISHED SURFACES.
WATER IMMEDIATELY AFTER LAYING LAYS. THE TOP SOIL MUST BE TO ITS FULL DEPTH. CONTINUE WATERING TO MAINTAIN GROWTH FREE FROM STRESS.
WHERE TURF LEVELS HAVE DROPPED FROM DESIGN LEVELS AFTER LAYING AND WATERING, LIFT UP AND RE-GRADE TOP SOIL TO ACHIEVE DESIGN LEVELS.

MAINTENANCE

MAINTAIN WORKS IN GOOD CONDITION FOR 30 WEEKS FROM THE DATE OF PRACTICAL COMPLETION WORKS SHALL GENERALLY INCLUDE BUT NOT BE EXCLUSIVE TO THE FOLLOWING:

- WEDDING, WATERING, APPLICATION OF FERTILISER, PEST AND DISEASE CONTROL, STAKING AND TYING, REMOVAL OF LITTER FROM PLANTING AND GRASSSED AREAS AND REPLACEMENT OF DEAD AND DYING PLANTS.
- CONTINUE TO REPLACE FALLS, DAMAGED OR STOLEN PLANTS AS SPECIFIED. SUBSTITUTIONS SHALL ONLY BE MADE WITH THE APPROVAL OF THE SUPERINTENDENT. WHERE A SPECIES IS CONSIDERED TO BE RESPONDING POORLY TO CONDITIONS.
- ADJUST STAKES AND TIES TO AVOID PLANT DAMAGE. REPLACE IF DAMAGED AND REMOVE AT END OF CONTRACT IF SO DIRECTED.
- MOVING GRASS AREAS TO A HEIGHT CONSISTENT WITH THE GROWTH HABIT OF THE GRASS. MAINTAIN HEALTHY WEED-FREE GROWTH. REMOVE CLIPPINGS FROM SITE.
- REGULARLY REMOVE RUBBISH AND DEBRIS FROM SITE.
- ADJUST WATERING REGIME ON TEMPORARY IRRIGATION SYSTEM TO MAINTAIN OPTIMAL GROWING CONDITIONS FREE FROM STRESS FOR ALL PLANTING ZONES AND TURF AREAS AND AS SEASONAL CONDITIONS CHANGE. DECOMMISSION TEMPORARY IRRIGATION SYSTEM AND REMOVE ALL COMPONENTS FROM SITE AT END OF MAINTENANCE PERIOD OR AT A TIME WHERE IT IS NO LONGER REQUIRED.
- CONTROL ANY PESTS AND DISEASES IN TURF AND PLANTING AREAS. SPRAY OR TREAT ANY AFFECTED AREAS STRICTLY IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND TO COMPLY WITH ALL STATUTORY REQUIREMENTS UNLESS THE PROGRAM HAS BEEN ELIMINATED. PROPER CARE SHOULD BE TAKEN TO ENSURE THE USER AND ANYONE COMING IN CONTACT WITH THE SPRAY ARE ADEQUATELY PROTECTED. SPRAY OUTSIDE NORMAL WORKING HOURS IF NECESSARY.



Plant Schedule

Symbol	Botanical Name	Common Name	Height at Maturity	Size	Qty
Trees					
PY	<i>Pyrus calleryana</i>	Callery pear	12m	45L	2
TL	<i>Tristaniopsis laurina</i>	Water gum	15m	25L	4
Shrubs					
Dsf	<i>Dichondra argentea</i>	Silver falls	200mm	140mm	30
LO	<i>Lomandra confertifolia ssp rubiginosa</i>	Mat Rush	0.7m	140mm	112
WE	<i>Westringia fruticosa</i>	Native Rosemary	1m	400mm	50
BU	<i>Buxus microphylla</i>	Littleleaf Box	1m	400mm	40
LM	<i>Senecio Mandraliscae</i>	Blue chalk sticks	0.2m	140mm	25
DR	<i>Dianella revoluta</i>	blue flax-lily	0.5m	140mm	80
VO	<i>Viburnum odoratissimum</i>	Sweet Viburnum	2m	400mm	80



Senecio Mandraliscae



Dichondra argentea 'Silver Falls' Turf



Dianella revoluta



Stygium smithii Turf



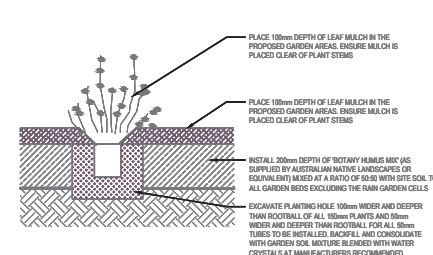
Lomandra confertifolia ssp rubiginosa 'Mat' Turf



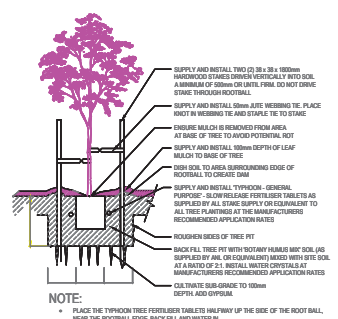
Viburnum odoratissimum



NOTE:
 • PLACE 100mm DEPTH OF LEAF MULCH IN THE PROPOSED GARDEN AREAS. ENSURE MULCH IS PLACED CLEAR OF PLANT STEMS.
 • PLACE 100mm DEPTH OF LEAF MULCH IN THE PROPOSED GARDEN AREAS. ENSURE MULCH IS PLACED CLEAR OF PLANT STEMS.
 • INSTALL 200mm DEPTH OF 'BOTANY HUMUS MIX' (AS SUPPLIED BY AUSTRALIAN NATIVE LANDSCAPERS OR EQUIVALENT) MIXED AT A RATIO OF 60:80 WITH SITE SOIL TO ALL GARDEN BEDS EXCLUDING THE RAIN GARDEN CELLS.
 • EXCAVATE PLANTING HOLE: 100mm WIDER AND DEEPER THAN FOOTBALL OF ALL 100mm PLANTS AND 20mm WIDER AND DEEPER THAN FOOTBALL FOR ALL 50mm TUBES TO BE INSTALLED. BACKFILL AND CONSOLIDATE WITH GARDEN SOIL. MIXTURE BLENDED WITH WATER CRYSTALS AT MANUFACTURERS RECOMMENDED APPLICATION RATES.



NOTE:
 ADJUST PLANTING POSITIONS TO AVOID ROOT DAMAGE TO SURROUNDING TREE ROOTS



NOTE:
 • PLACE THE TYPHOON TREE FORTIFICATION TABLES HALF WAY UP THE SIDE OF THE ROOT BALL, NEAR THE ROOTBALL EDGE. BACK FILL AND WATER IN.
 • TREES PLANTED IN GRASSSED AREAS TO HAVE A 20mm DIA. MULCHED AREA AT BASE TREE

- NOTES:**
- Figured dimensions shall be taken in preference
 - The contractor shall check all dimensions on all construction work.
 - Construction is to be compliant with Australian r for this landscape design. This is a landscape d should be read in conjunction with engineers and architectural plans.
 - Designer is not responsible for vegetation health damage during and after construction.

A Landscape plan
 ISSUE DESCRIPTION

ADDRESS
 12-14 Gladys Ave Frenchsford

DRAWING TITLE
 PLANT SCHEDULE & DETAILS

DATE: 04.08.2022 DRAWING NO:
 DRAWN: JLF LA06
 JOB NO: 01-21