

 Denotes Existing Wall
 Denotes Demolished Item



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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NOTES

6 Eileen Street, North Balgowlah is zoned R2 - Low Density Residential.
All Plans to be read in conjunction with Basix Certificate.
New Works to be constructed shown in Shaded/Blue.
6 Eileen Street, North Balgowlah is not considered a heritage item.

Construction

Timber Framed, Cladded Framed Walls.
Roof Timber Framed Sheet Metal to have R1 Insulation.
Insulation to External Cladded Framed Walls R1.7.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS01288-2047.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

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Basix

Basix Certificate Number A347421.
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The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



DA APPLICATION ONLY

NOT FOR CONSTRUCTION

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Client
Shannon & Kevin Morell
Project Name
Alterations & Additions
6 Eileen Street, North Balgowlah
2093

Lot 17 D.P.11915

Drawing Title:

Plans - Lower Ground Floor Plan

Lower Ground Floor

Scale: A3 as noted

Date: 6/5/2019

Status: REVISION 6

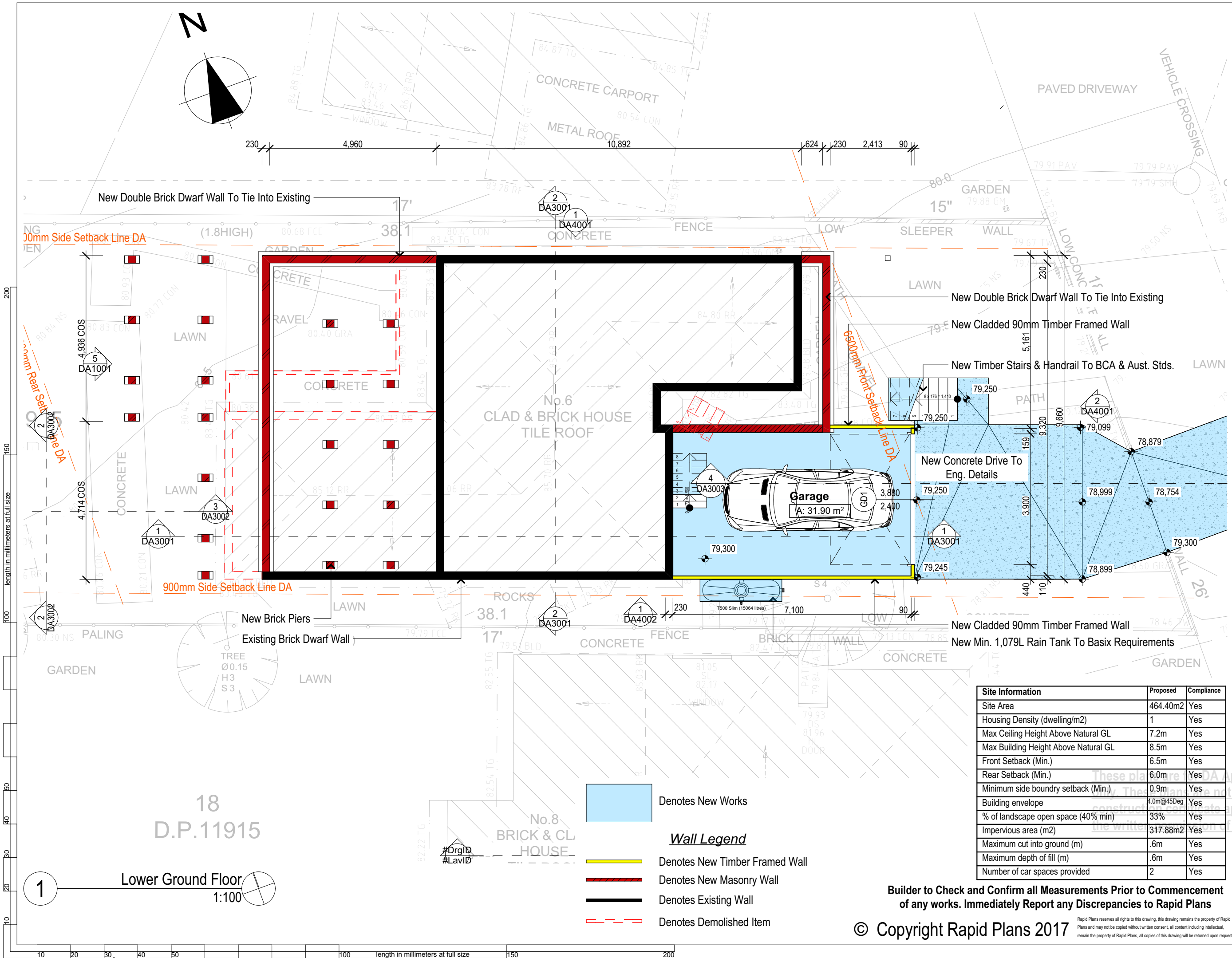
Checked By: GBJ

Project No:

Drawing No.

RP0418MOR

DA2001



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Glazing requirements				Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
The applicant must install the skylights in accordance with the specifications listed in the table below.				✓	✓	✓
The following requirements must also be satisfied in relation to each skylight:					✓	✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.					✓	✓
Skylights glazing requirements						
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type			
S1	1.08	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
S2	1.08	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			

Denotes New Works

Wall Legend

Denotes New Timber Framed Wall



Rapid Plans
Building Design and Architectural Drafting

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PO Box 6193 Frenchs Forest NSW 2086
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Email : grega@rapidplans.com.au




**BUILDING
DESIGNERS
AUSTRALIA NSW**

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All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue.
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Roof Timber Framed Sheet Metal to have R1 Insulation.
Insulation to External Cladded Framed Walls R1.7.
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All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS01288-2047.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

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The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North 

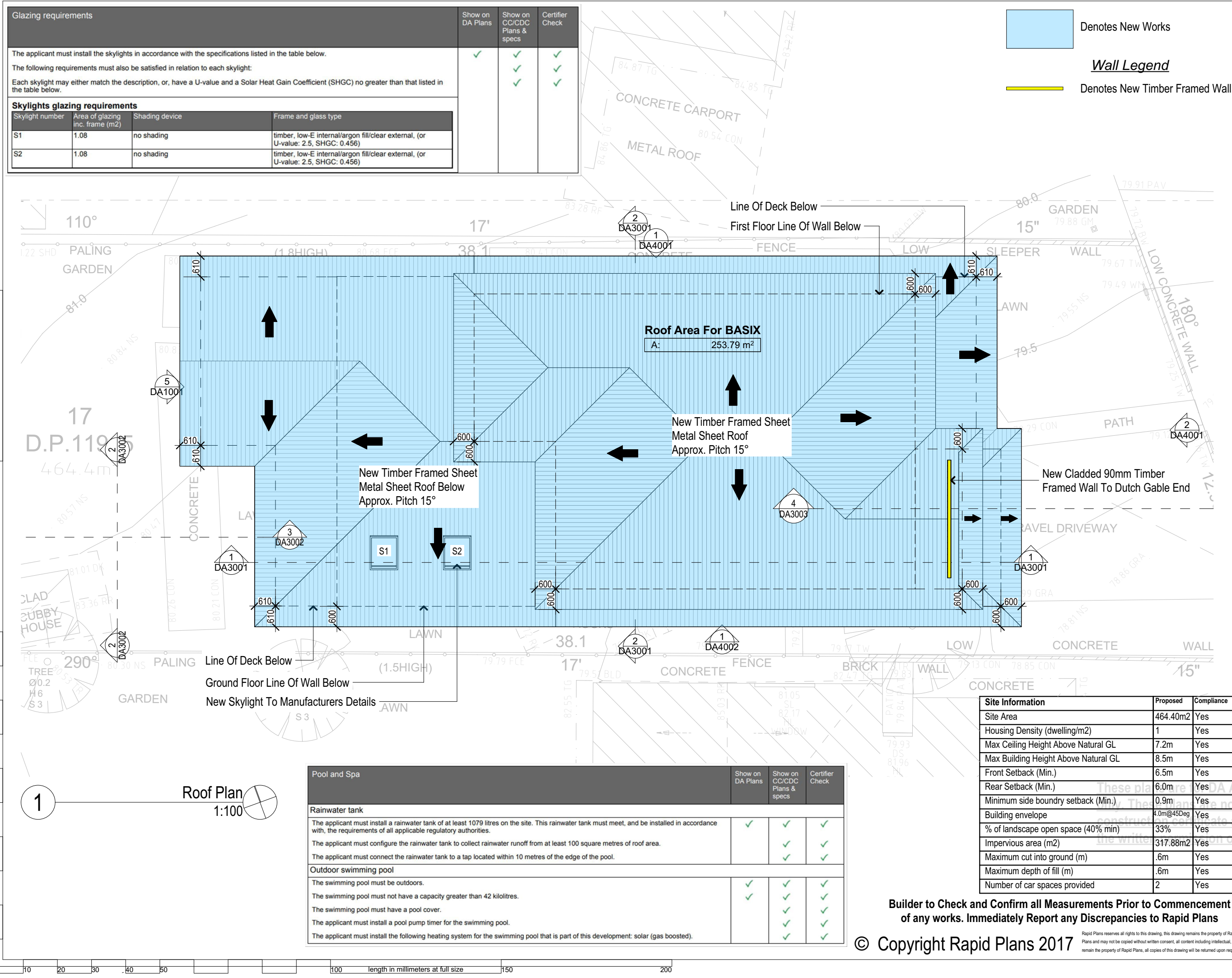
DA APPLICATION ONLY

NOT FOR CONSTRUCTION

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Client
Shannon & Kevin Morell
Project Name
Alterations & Additions
6 Eileen Street, North Balgowlah
2093

Lot 17 D.P.11915
Drawing Title:
Plans - Roof Plan
Roof Plan
Scale: A3 as noted Date: 6/5/2019
Status: REVISION 6 Checked By: GBJ
Project No: RP0418MOR Drawing No: DA2004



Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank			
The applicant must install a rainwater tank of at least 1079 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 100 square metres of roof area.		✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.		✓	✓
Outdoor swimming pool			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 42 kilolitres.	✓	✓	✓
The swimming pool must have a pool cover.	✓	✓	✓
The applicant must install a pool pump timer for the swimming pool.	✓	✓	✓
The applicant must install the following heating system for the swimming pool that is part of this development: solar (gas boosted).	✓	✓	✓

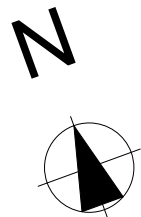
Site Information	Proposed	Compliance
Site Area	464.40m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4.0m@45Deg	Yes
% of landscape open space (40% min)	33%	Yes
Impervious area (m ²)	317.88m ²	Yes
Maximum cut into ground (m)	.6m	Yes
Maximum depth of fill (m)	.6m	Yes
Number of car spaces provided	2	Yes

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A
D.P.392530



Existing Timber Floor Frame
Built-in Fire Place & Cabinetry
Existing Cladded Stud Wall To Be Demolished
New Handrail To BCA & Aust. Stds.

New Timber Post
New Gyrock Clad 90mm Timber
Framed Handrail To BCA & Aust. Stds.

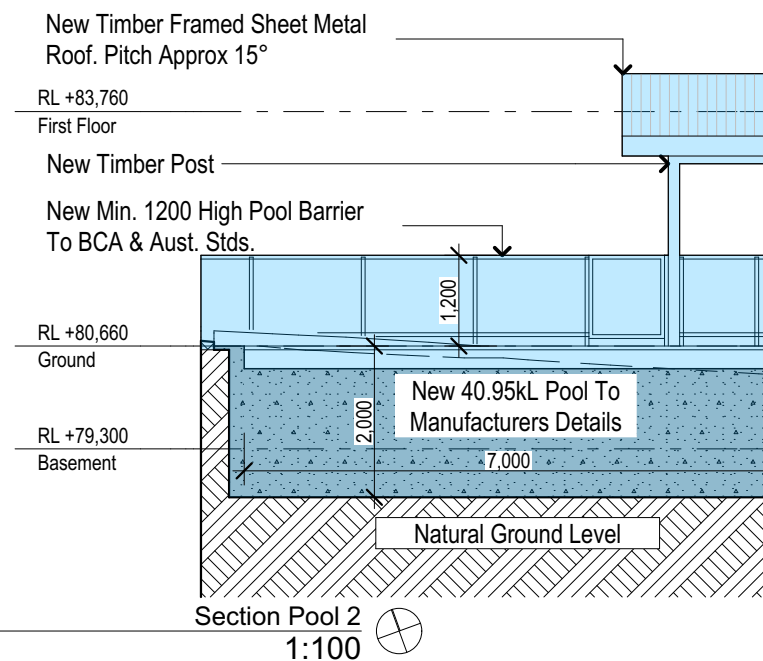
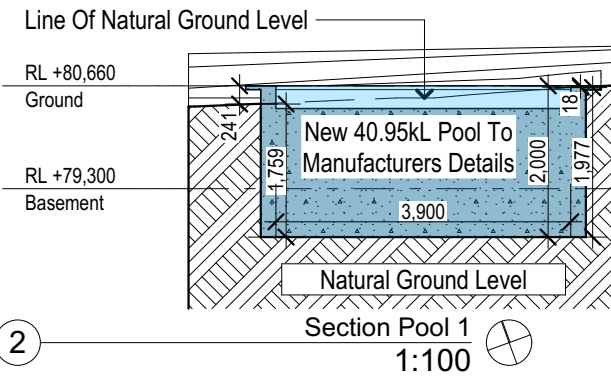
New Min. 1200 High Pool
Barrier To BCA & Aust. Stds.

New Deck
A: 28.26 m²

New Pool To Manufacturers Details

Ground Floor Plan
1:100

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank			
The applicant must install a rainwater tank of at least 1079 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 100 square metres of roof area.		✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.		✓	✓
Outdoor swimming pool			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 42 kilolitres.	✓	✓	✓
The swimming pool must have a pool cover.		✓	✓
The applicant must install a pool pump timer for the swimming pool.		✓	✓
The applicant must install the following heating system for the swimming pool that is part of this development: solar (gas boosted).		✓	✓



Site Information	Proposed	Compliance
Site Area	464.40m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4.0m@45Deg	Yes
% of landscape open space (40% min)	33%	Yes
Impervious area (m ²)	317.88m ²	Yes
Maximum cut into ground (m)	.6m	Yes
Maximum depth of fill (m)	.6m	Yes
Number of car spaces provided	2	Yes

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NOTES
6 Eileen Street, North Balgowlah is zoned R2 - Low
Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
6 Eileen Street, North Balgowlah
is not considered a heritage item

Construction
Timber Framed, Cladded Framed Walls
Roof Timber Framed Sheet Metal to have R1
Insulation
Insulation to External Cladded Framed Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps
All workmanship and materials shall be in accordance
with the requirements of Building Codes of Australia.

Certifying
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Rapid Plans

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Basix Certificate Number A347421
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satisfied for each window and glazed door.
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no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of
the height and distance from the centre and the
base of the window and glazed door.

Project North
N

**DA APPLICATION
ONLY**
NOT FOR CONSTRUCTION

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dimensions and verify all errors and omissions to the
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by the Designer for construction.

Client
Shannon & Kevin Morell
Project Name
Alterations & Additions
6 Eileen Street, North Balgowlah
2093

Lot 17 D.P.11915

Drawing Title:

Sections - Sections Pool

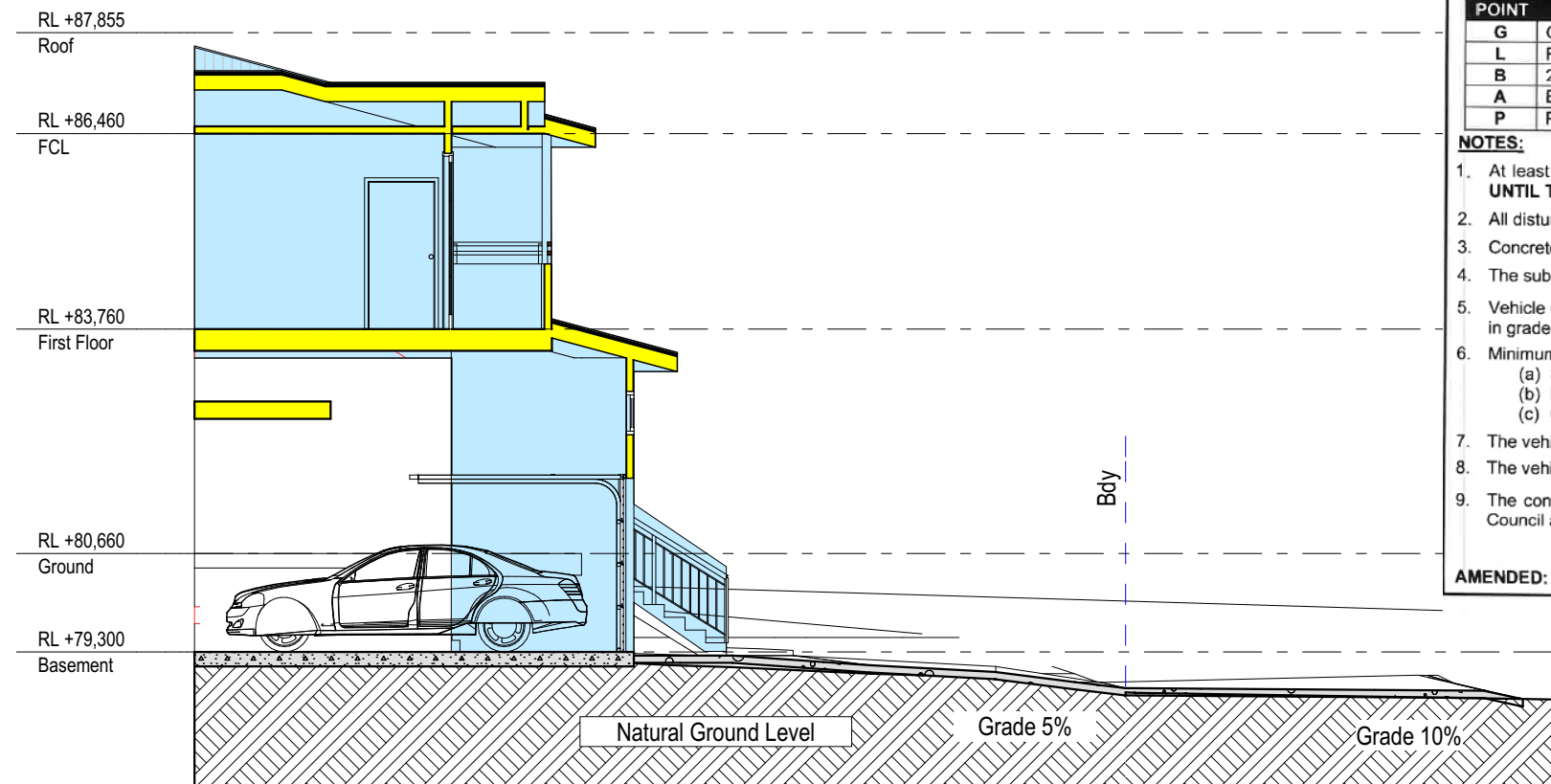
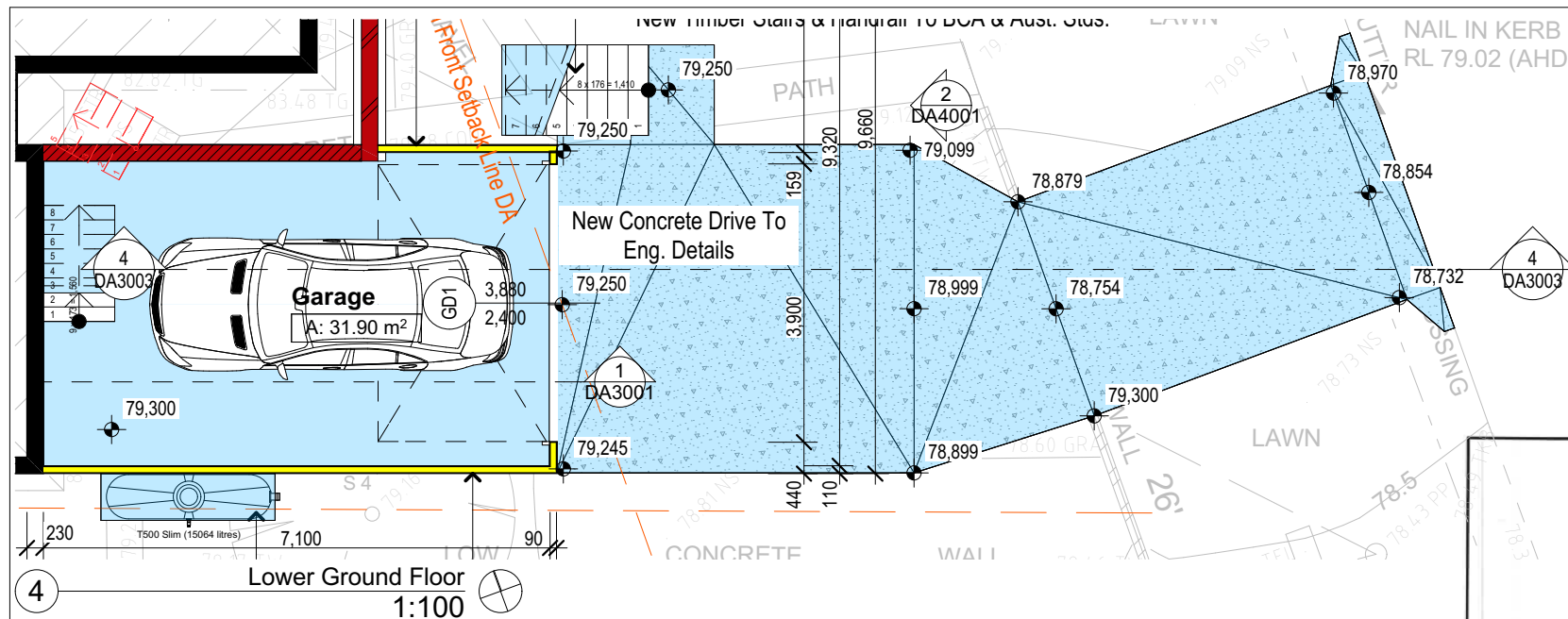
Section Pool 1, Section Pool 2, Ground Floor Plan

Scale: A3 as noted Date: 6/5/2019

Status: REVISION 6 Checked By: GBJ

Project No: Drawing No:

RP0418MOR DA3002



DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
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Certifying
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Construction
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Roof Timber Framed Sheet Metal to have R1 insulation
Insulation to External Cladded Framed Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

POINT	REMARK	LEVELS
G	Gutter Invert	Roaming datum for vehicle crossing setout.
L	Rear of Layback	100mm above gutter invert and may be altered at the direction of Council's Development Engineer. Place 10mm expansion joint.
B	2400mm Behind Gutter Invert	200mm above gutter invert.
A	Boundary Alignment	Place 10mm expansion joint.
P	Parking Facility	Maximum grade parallel to the angle of parking 1V: 20H otherwise, 1V: 16H in any other direction.

NOTES:

- At least 48 hours notice of intention to place concrete within the road reserve shall be given to the Development Engineer and **NO CONCRETE SHALL BE PLACED UNTIL THE FORMWORK HAS BEEN APPROVED AND INSPECTION NOTICE ISSUED (Phone 9942 2111 8.30am – 5.00pm, Monday – Friday).**
- All disturbed areas of the footpath adjacent the vehicle crossing shall be turfed and finished level with the concrete surface. Raised edgings are prohibited.
- Concrete footpath adjustments shall be in accordance with Council's footpath specification and to Council's satisfaction.
- The subgrade shall be thoroughly compacted by the use of vibratory compaction equipment until it shows no signs of movement, or as directed by Council.
- Vehicle crossing slabs shall be poured in **PLAIN CONCRETE**. Slab surface to be broom finished (or equivalent) and edges to be finished with a 50mm margin. All changes in grade shall be screeded to ensure no rigid transitions.
- Minimum compressive strength of concrete shall be 25MPa at 28 days. Minimum concrete depth shall be:
(a) Single Residential Dwelling – 130mm reinforced with SL72 mesh placed 30mm below top of concrete
(b) Multi-Unit Residential – 150mm reinforced with SL82 mesh placed 30mm below top of concrete
(c) Commercial/Industrial – 180mm reinforced with SL82 mesh placed 30mm below top of concrete
- The vehicle crossing to 2400mm behind the gutter invert shall be graded parallel with the road centreline grading.
- The vehicle crossing shall be constructed perpendicular to the road pavement unless directed by Council.
- The construction of all vehicular crossings and associated works on the road reserve must be completed by a Council approved concrete contractor

AMENDED: March 1991, February 1996, December 1996, February 2006, and December 2006

Not to Scale. All Dimensions in Millimetres.

NORTHERN BEACHES COUNCIL	Plan No.
Normal Standard Vehicle Crossing Profile	A4 3330/1 N

Site Information	Proposed	Compliance
Site Area	464.40m²	Yes
Housing Density (dwelling/m²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4.0m@45Deg	Yes
% of landscape open space (40% min)	33%	Yes
Impervious area (m²)	317.88m²	Yes
Maximum cut into ground (m)	.6m	Yes
Maximum depth of fill (m)	.6m	Yes
Number of car spaces provided	2	Yes

Basix

Basix Certificate Number A347421

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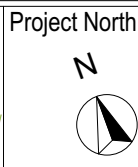
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

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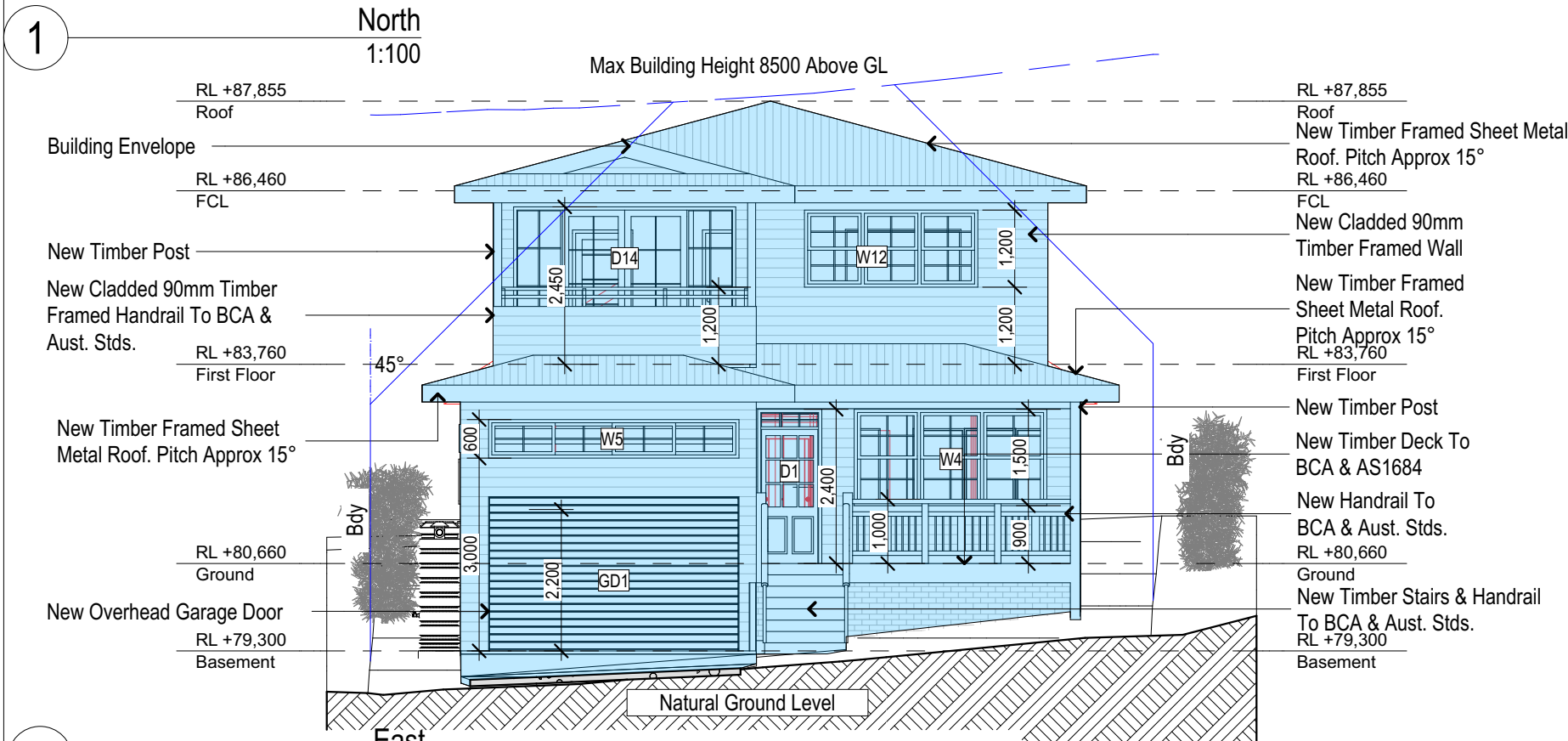
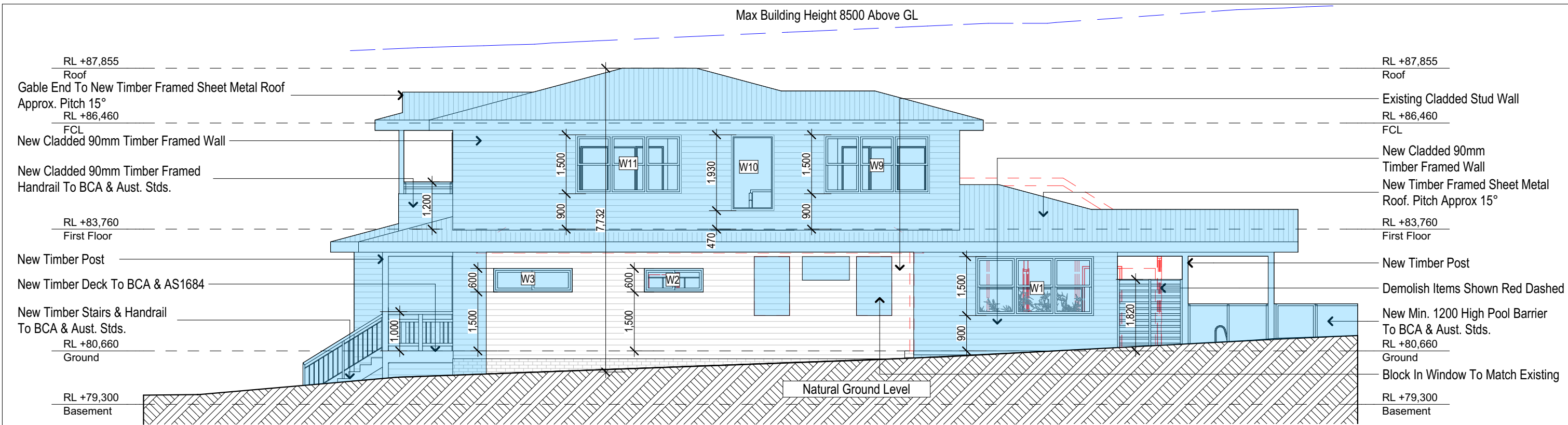
Client:
Shannon & Kevin Morell

Client
Shannon & Kevin Morell
Project Name
Alterations & Additions
6 Eileen Street, North Balgowlah
2093

Lot 17 D.P.11915
Drawing Title:
Sections - Section Drive & Carport
Section Drive, Lower Ground

Scale: A3 as noted
Status: **REVISION 6**
Project No.
RP0418MOR

Date: 6/5/2019
Checked By: GBJ
Drawing No.
DA3003



2

Denotes New Works

Denotes Demolished Item

Denotes New Concrete Driveway

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Wall Legend

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

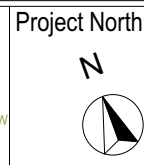
Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Shading device Distance (m)	Frame and glass type
W1	N	4.5	0	0	eave/verandah/pergola/balcony >=750 mm Improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	N	0.9	0	0	eave/verandah/pergola/balcony >=750 mm Improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	N	1.2	0	0	eave/verandah/pergola/balcony >=750 mm Improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	E	4.5	0	0	eave/verandah/pergola/balcony >=900 mm Improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	E	2.34	0	0	eave/verandah/pergola/balcony >=750 mm Improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.45)

Site Information	Proposed	Compliance
Site Area	464.40m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4.0m@45Deg	Yes
% of landscape open space (40% min)	33%	Yes
Impervious area (m ²)	317.88m ²	Yes
Maximum cut into ground (m)	.6m	Yes
Maximum depth of fill (m)	.6m	Yes
Number of car spaces provided	2	Yes



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DC NSW 2086
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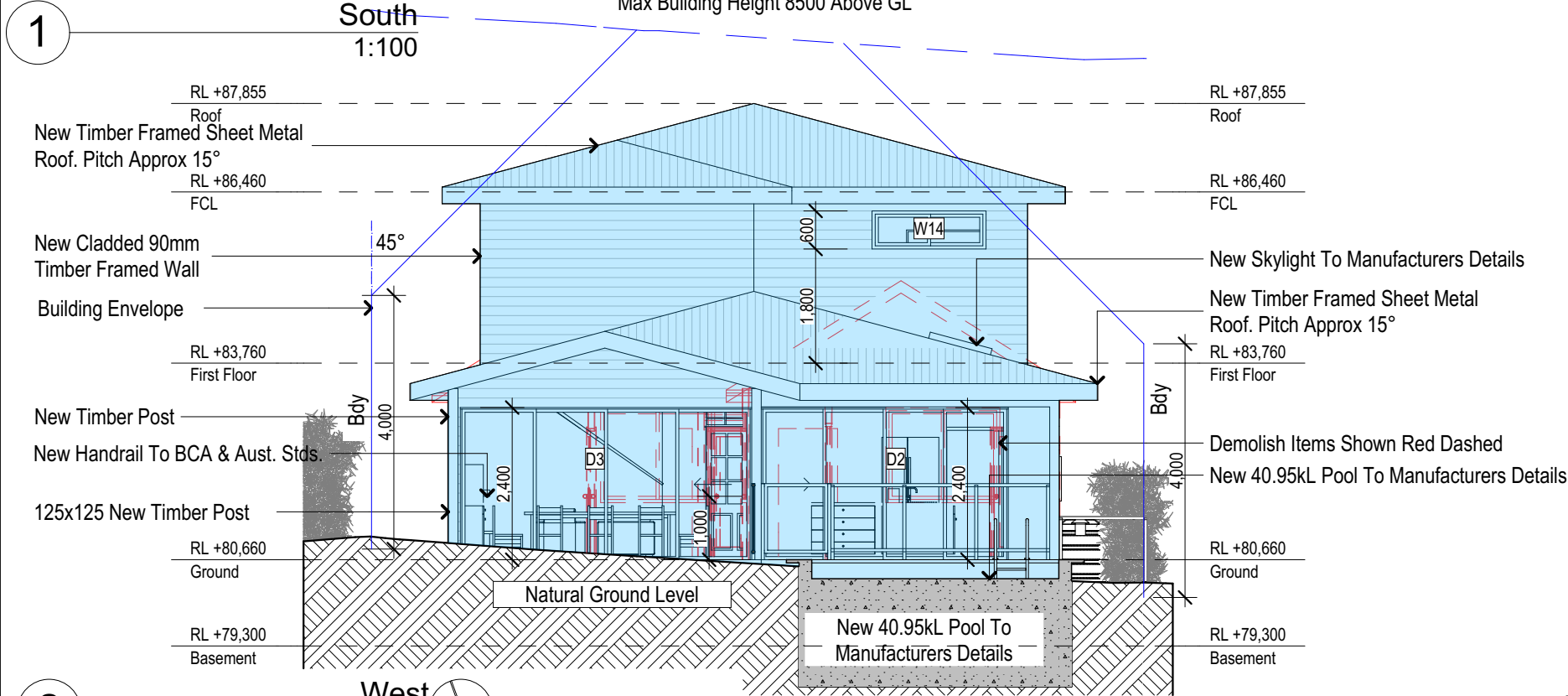
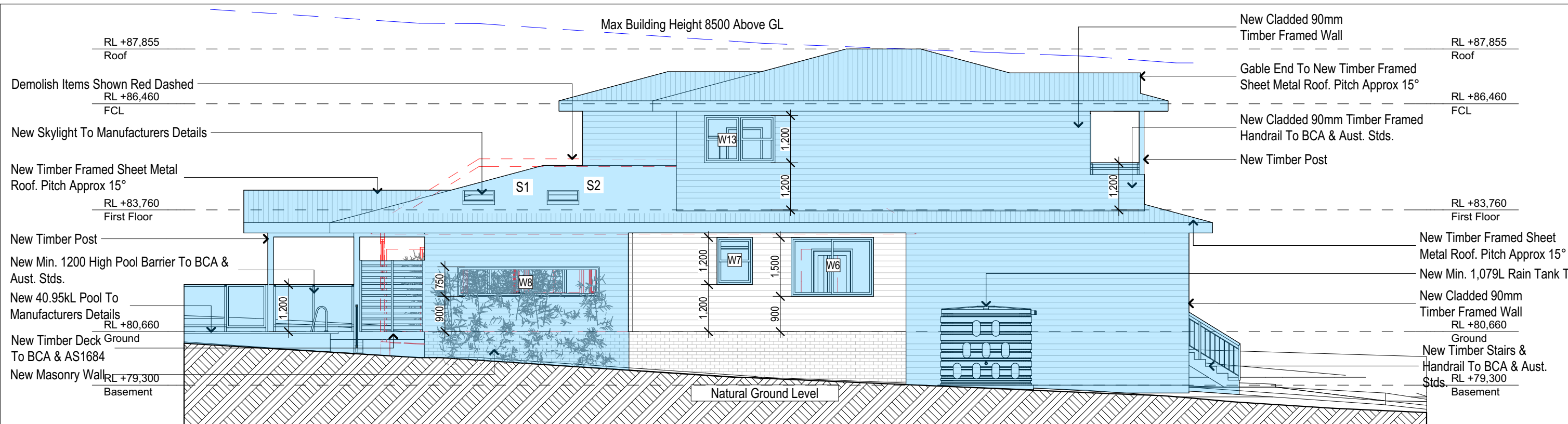
Client:
Shannon & Kevin Morell

Client
Shannon & Kevin Morell
Project Name
Alterations & Additions
6 Eileen Street, North Balgowlah
2093

Lot 17 D.P.11915
Drawing Title:
Elevations - Elevations 1
North, East

Scale: A3 as noted
Status: **REVISION 6**
Project No.
RP0418MOR

Date: 6/5/2019
Checked By: GBJ
Drawing No.
DA4001



BASIX Certificate number: A347421

Glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Height (m)	Distance (m)	Shading device	Frame and glass type
W6	S	3.15	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	S	1.08	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W8	S	2.7	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W9	N	4.05	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W10	N	2.09	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W11	N	4.05	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W12	E	3.24	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W13	S	2.16	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W14	W	1.08	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D2	W	9.36	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D3	W	11.04	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D14	E	4.8	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

2

West 1:100

Wall Legend

Denotes New Works

Denotes Demolished Item

Denotes New Concrete Pool Shell

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES

6 Eileen Street, North Balgowlah is zoned R2 - Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
6 Eileen Street, North Balgowlah is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Timber Framed, Cladded Framed Walls
Roof Timber Framed Sheet Metal to have R1 Insulation
Insulation to External Cladded Framed Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A347421

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

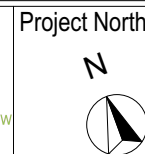
Relevant overshadowing specifications must be satisfied for each window and glazed door. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Proposed	Compliance
Site Area	464.40m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4.0m@45Deg	Yes
% of landscape open space (40% min)	33%	Yes
Impervious area (m2)	317.88m2	Yes
Maximum cut into ground (m)	.6m	Yes
Maximum depth of fill (m)	.6m	Yes
Number of car spaces provided	2	Yes



Rapid Plans
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Client:
Shannon & Kevin Morell

Client
Shannon & Kevin Morell
Project Name
Alterations & Additions
6 Eileen Street, North Balgowlah
2093

Lot 17 D.P.11915
Drawing Title:
Elevations - Elevations 2
South, West

Scale: A3 as noted
Status: **REVISION 6**
Project No.
RP0418MOR

Date: 6/5/2019
Checked By: GBJ
Drawing No.
DA4002

NOTES

6 Eileen Street, North Balgowlah is zoned R2 - Low Density Residential.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.
6 Eileen Street, North Balgowlah is not considered a heritage item.

Construction


Timber Framed, Cladded Framed Walls.
Roof Timber Framed Sheet Metal to have R1 Insulation.
Insulation to External Cladded Framed Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

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Basic

Basic Certificate Number A347421
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
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For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North 

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

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Client
Shannon & Kevin Morell
Project Name:
Alterations & Additions
6 Eileen Street, North Balgowlah
2093

Lot 17 D.P.11915

Drawing Title:

Sunstudy - Perspective

Perspective Front 1, Perspective Front 2,

Perspective Rear 1, Perspective Rear 2

Status: REVISION 6

Checked By: GBJ

Project No:

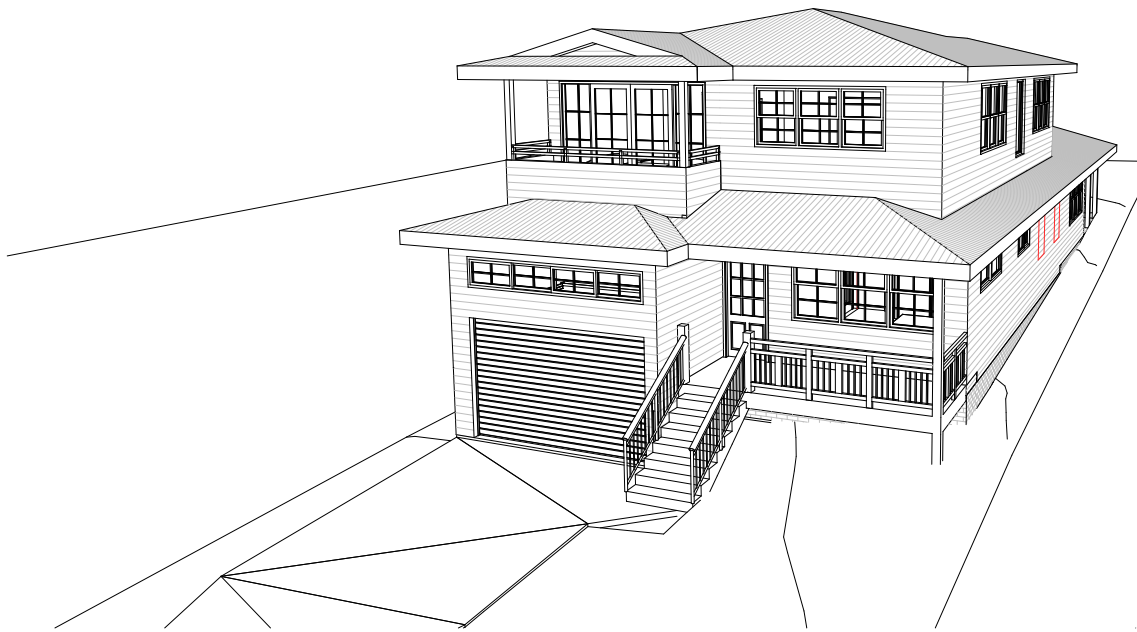
Drawing No.

RP0418MOR DA5001



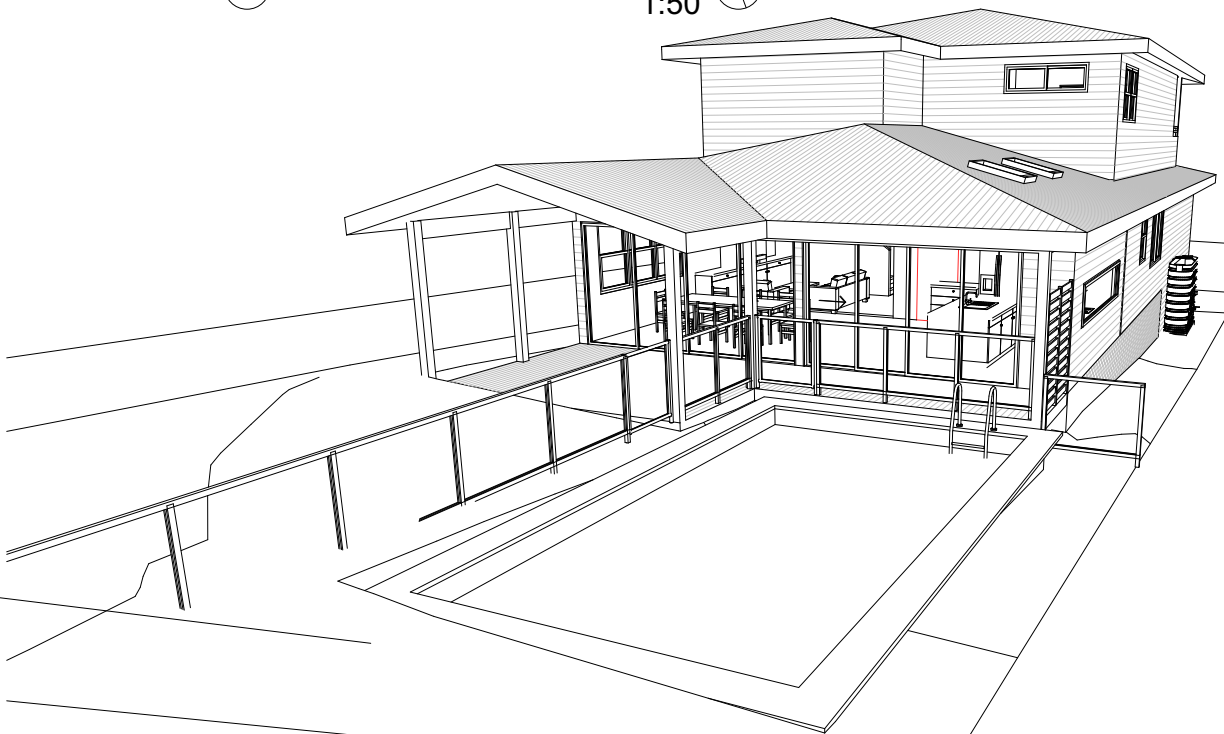
4

Perspective Front 1
1:50



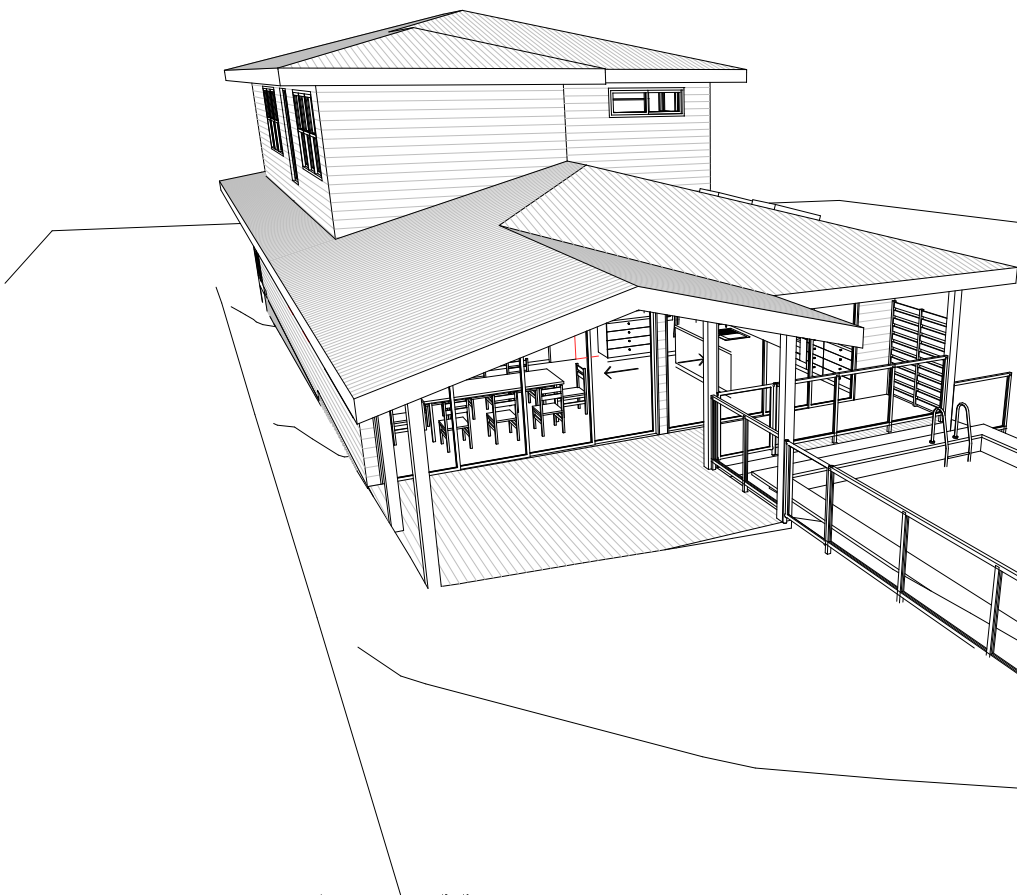
4

Perspective Front 2
1:50



4

Perspective Rear 2
1:50



4

Perspective Rear 1
1:50

Site Information	Proposed	Compliance
Site Area	464.40m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
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Front Setback (Min.)	6.5m	Yes
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Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4.0m@45Deg	Yes
% of landscape open space (40% min)	33%	Yes
Impervious area (m ²)	317.88m ²	Yes
Maximum cut into ground (m)	.6m	Yes
Maximum depth of fill (m)	.6m	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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200

150

100

50

40

30

20

10

10 20 30 40 50 100 150 200 length in millimeters at full size



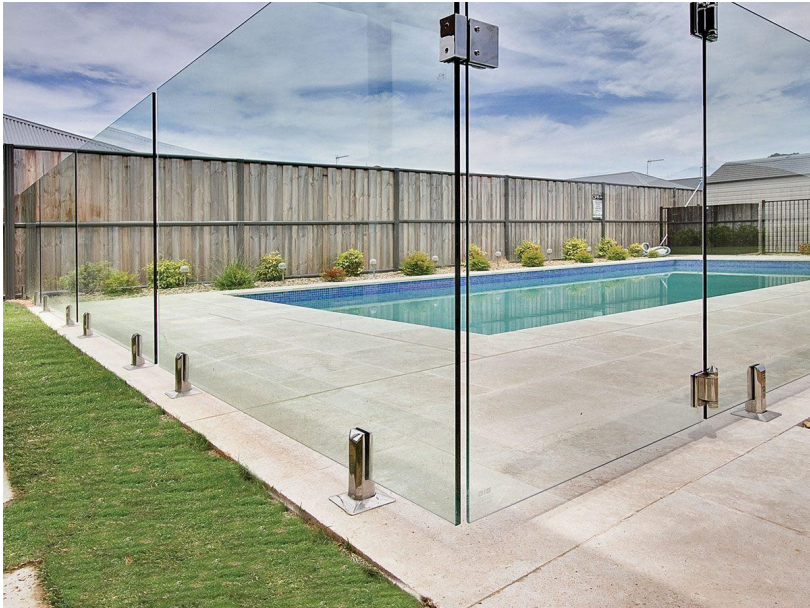
Denotes Sheet Metal Roofing (Typical). Owner To Decide Type & Colour



Denotes Timber Deck (Typical). Owner To Decide Type & Colour



Denotes Horizontal Cladding (Typical). Owner To Decide Type & Colour



Denotes Glass Pool Barrier (Typical). Owner To Decide Type & Colour



Denotes Aluminium Stacking Doors (Typical). Owner To Decide Type & Colour

Site Information	Proposed	Compliance
Site Area	464.40m2	Yes
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Building Design and Architectural Drafting

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Email : gregg@rapidplans.com.au



BUILDING
DESIGNERS
AUSTRALIA NSW


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Project North



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Shannon & Kevin Morell
Project Name:
Alterations & Additions
6 Eileen Street, North Balgowlah
2093

Lot 17 D.P.11915

Drawing Title:

Sunstudy - Material & Colour Sample Board

Scale: A3 as noted Date: 6/5/2019

Status: REVISION 6 Checked By: GBJ

Project No: Drawing No:

RP0418MOR DA5002