



ACTION PLANS

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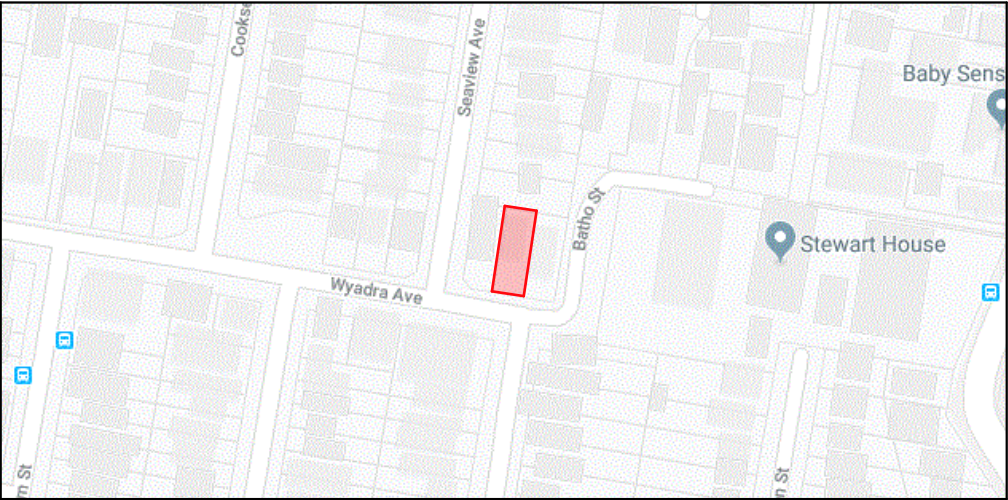
DEVELOPMENT APPLICATION

These plans are for Development Approval only.

ITEM DETAILS	DEVELOPMENT APPLICATION			
ADDRESS	3 WYADRA AVENUE, FRESHWATER, NSW 2096			
LOT & DP/SP	LOT 2 DP 14366			
COUNCIL	NORTHERN BEACHS COUNCIL (WARRINGAH)			
SITE AREA	490.3m²			
FRONTAGE	13.41m			
CONTROLS	PERMISSIBLE / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
	m / m² / %	m / m² / %	m / m² / %	
LEP				
LAND ZONING	R2 – LOW DENSITY RESIDENTIAL	R2	R2	YES
MINIMUM LOT SIZE	450m²	490.36m²	UNCHANGED	YES
FLOOR SPACE RATIO	NOT IDENTIFEID	N/A	N/A	N/A
MAXIMUM BUILDING HEIGHT	8.5m	7.802m	8.484m	YES
HAZARDS				
DEVELOPMENT ON SLOPING LAND	IDENTIFEID – AREA B	N/A	N/A	N/A
DCP				
WALL HEIGHT	7.2m	5.73m	UNCHANGED	YES
NUMBER OF STOREYS	2	2	UNCHANGED	YES
SIDE BOUNDARY ENVELOPE	5m		UNCHANGED	NO
SIDE BOUNDARY SETBACKS	0.9m	W: 0.705m E: 1.258m	UNCHANGED	NO YES
SIDE BOUNDARY SETBACKS (CARPORT)	0.9m	N/A	W: 1.179m E: 8.956m	YES
FRONT BOUNDARY SETBACK	6.5m	8.143m	UNCHANGED	NO
FRONT BOUNDARY SETBACK (CARPORT)	6.5m	N/A	1.992m	NO
REAR BOUNDARY SETBACK	6.0m	9.916m	UNCHANGED	YES
LANDSCAPE OPEN SPACE	40% (196.12m²)	32% (158.63m²)	UNCHANGED	NO
PRIVATE OPEN SPACE	60m²	60m²	UNCHANGED	YES

SHEET NUMBER	SHEET NAME	DATE PUBLISHED
DA00	COVER	6/08/2019
DA01	SITE ANALYSIS	6/08/2019
DA02	SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN	6/08/2019
DA03	EXISTING GROUND FLOOR PLAN	6/08/2019
DA04	EXISTING FIRST FLOOR PLAN	6/08/2019
DA05	PROPOSED GROUND FLOOR PLAN	6/08/2019
DA06	PROPOSED FIRST FLOOR PLAN	6/08/2019
DA07	NORTH / EAST ELEVATION	6/08/2019
DA08	SOUTH / WEST ELEVATION	6/08/2019
DA09	LONG / CROSS SECTION	6/08/2019
DA10	AREA CALCULATIONS / SAMPLE BOARD	6/08/2019
DA11	WINTER SOLSTICE 9 AM	6/08/2019
DA12	WINTER SOLSTICE 12 PM	6/08/2019
DA13	WINTER SOLSTICE 3 PM	6/08/2019
DA14	BASIX COMMITMENTS	6/08/2019

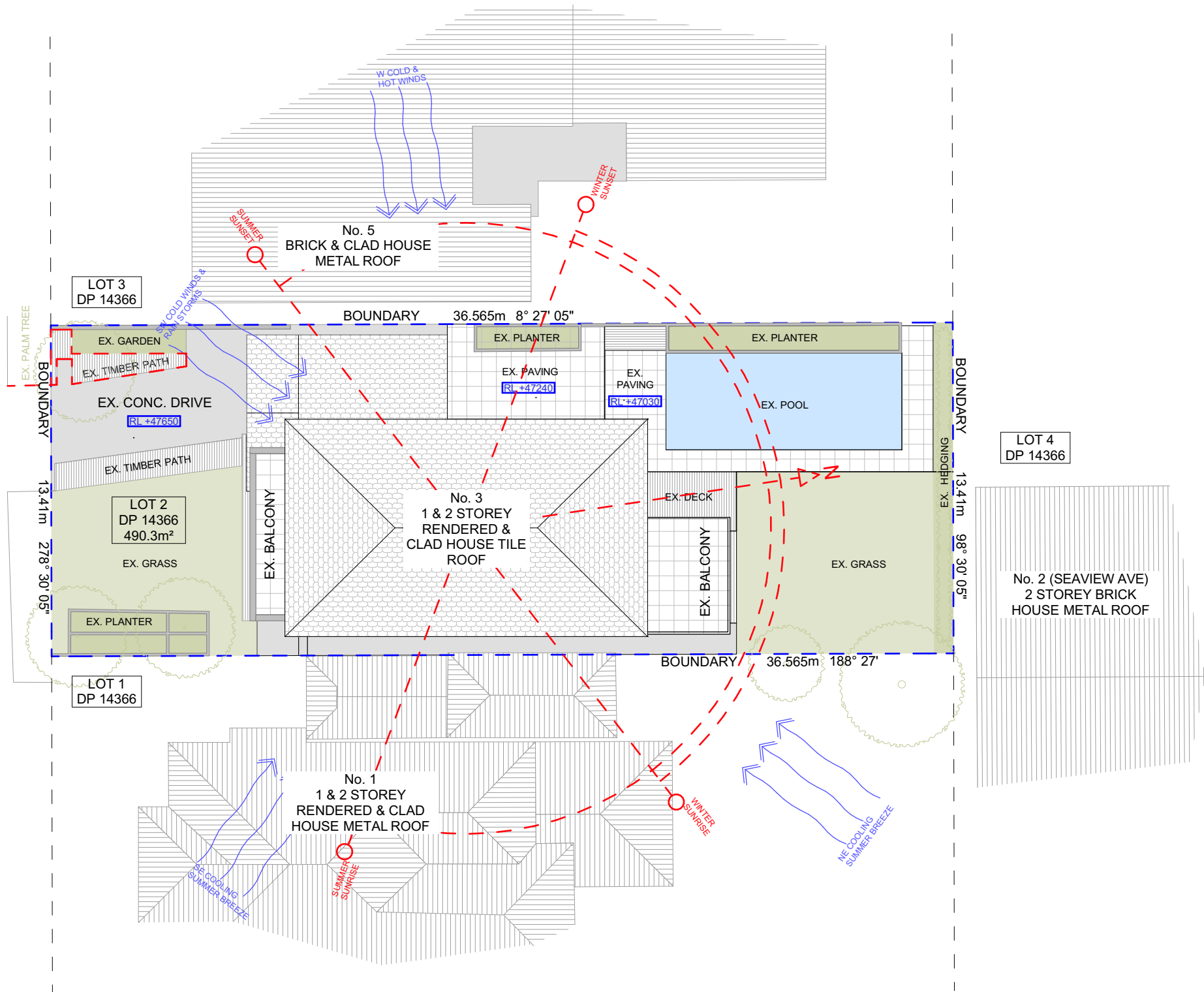
3 WYADRA AVENUE, FRESHWATER NSW 2096



NCC & AS COMPLIANCES SPECIFICATIONS

- EARTHWORKS - PART 3.1.1 OF NCC
- EARTH RETAINING STRUCTURES - PART 3.1.2 OF NCC
- DRAINAGE - PART 3.1.3 OF NCC
- TERMITE-RISK MANAGEMENT - PART 3.1.4 OF NCC
- FOOTINGS & SLAB - PART 3.2 OF NCC INCLUDING AS2870
- MASONRY - PART 3.3 OF NCC INCLUDING AS3700
- FRAMING - PART 3.4 OF NCC
- SUB FLOOR VENTILATION - PART 3.4.1 OF NCC
- ROOF CLADDING AND WALL-CLADDING - PART 3.5 OF NCC
- GLAZING - PART 3.6 OF NCC INCLUDING AS1288
- FIRE SAFETY - PART 3.7 OF NCC
- FIRE SEPERATION - PART 3.7.2 OF NCC
- FIRE PROTECTION OF SEPERATING WALLS AND FLOORS- PART 3.7.3 OF NCC
- SMOKE ALARMS - PART 3.7.5 OF NCC
- WET AREAS AND EXTERNAL WATERPROOFING - PART 3.8.1 OF NCC
- ROOM HEIGHTS - PART 3.8.2 OF NCC
- FACILITIES - PART 3.8.3 OF NCC
- LIGHT - PART 3.8.4 OF NCC
- VENTILATION - PART 3.8.5 OF NCC
- SOUND INSULATION - PART 3.8.6 OF NCC
- STAIRWAYAND RAMP CONSTRUCTION - PART 3.9.1 OF NCC
- BARRIERS AND HANDRAILS - PART 3.9.2 OF NCC
- SWIMMING POOLS - PART 3.10.1 OF NCC
- CONSTRUCTION IN BUSHFIRE PRONE AREAS - PART 3.10.5 OF NCC
- FENCING & OTHER PROVISIONS - REGS & AS1926
- DEMOLITION WORKS - AS2601-1991 THE DEMOLITION OF STRUCTURES.
- ALL WATERPROOF MEMBRANES TO COMPLY WITH WITH AS 3740-2010
- ALL PLUMBING & DRAINAGE WORK TO COMPLY WITH AS 3500
- SITE CLASSIFICATION AS TO AS 2870
- ALL PLASTERBOARD WORK TO COMPLY WITH AS 2588-1998
- ALL STRUCTURAL STEEL WORK TO COMPLY WITH AS 4100 & AS 1554
- ALL CONCRETE WORK TO COMPLY WITH AS 3600
- ALL ROOF SHEETING WORK TO COMPLY WITH AS 1562-1992
- ALL SKYLIGHTS TO COMPLY WITH WITH AS 4285-2007
- ALL CERAMIC TILING TO COMPLY WITH AS 3958.1-2007 & 3958.2-1992
- ALL GLAZING ASSEMBLIES TO COMPLY WITH AS2047 & 1288
- ALL TIMBER RETAINING WALLS ARE TO COMPLY WITH AS 1720.1-2010, AS 1720.2-2006, AS 1720.4-2006, AS 1170.1-1989 & AS 1170.4-2007
- ALL RETAINING WALLS ARE TO COMPLY WITH 3700 - 2011 & AS 3600 -2009
- ALL CONSTRUCTION TO COMPLY TO AS3959- 2009

WYADRA AVENUE



1

SITE ANALYSIS

1:200

NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



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REV.	DATE	COMMENTS	DRWN
A	03/07/2019	INITIAL DESIGN PLAN	AM
B	12/07/2019	DESIGN AMENDMENT	AM
C	15/07/19	SECOND DESIGN AMENDMENT	RNA
D	05/08/19	DA DOCUMENTATION	JN

NOTES
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LEGEND
EXISTING
PROPOSED
DEMOLISHED

CLIENT
James & Kelly Mooney

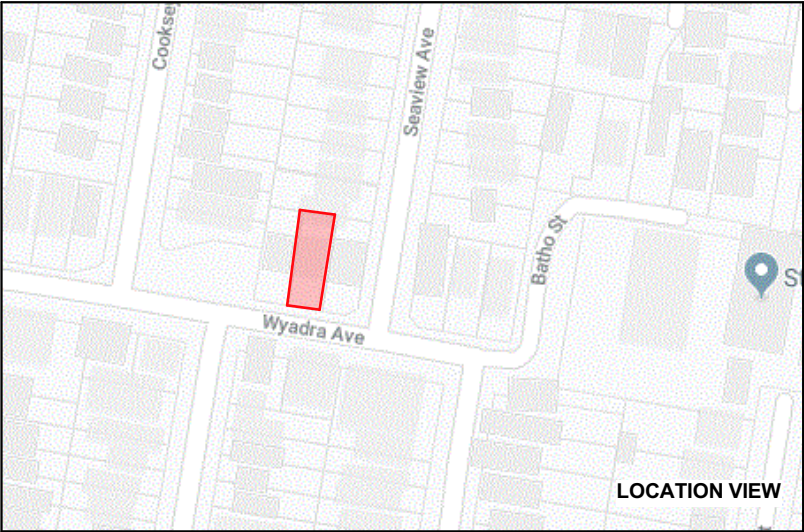
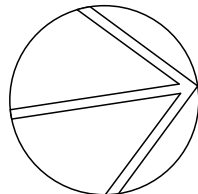
PROJECT ADDRESS
3 Wyadra Avenue,
Freshwater NSW 2096

DRAWING NO.
DA01

DATE
Tuesday, 6 August
2019

DRAWING NAME
SITE ANALYSIS

SCALE
1:200 @A3





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C	15/07/19	SECOND DESIGN AMENDMENT	RNA	
D	05/08/19	DA DOCUMENTATION	JN	

LEGEND

	EXISTING
	PROPOSED
	DEMOLISHED

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DRAWING NO.

DA02

DATE

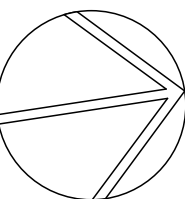
Tuesday, 6 August
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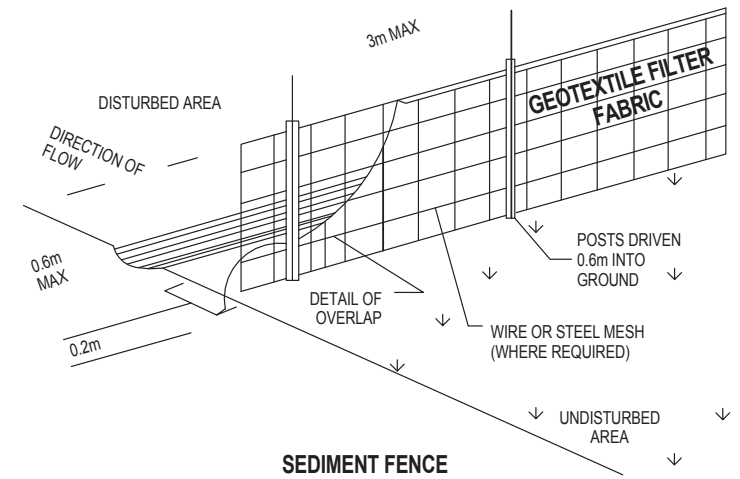
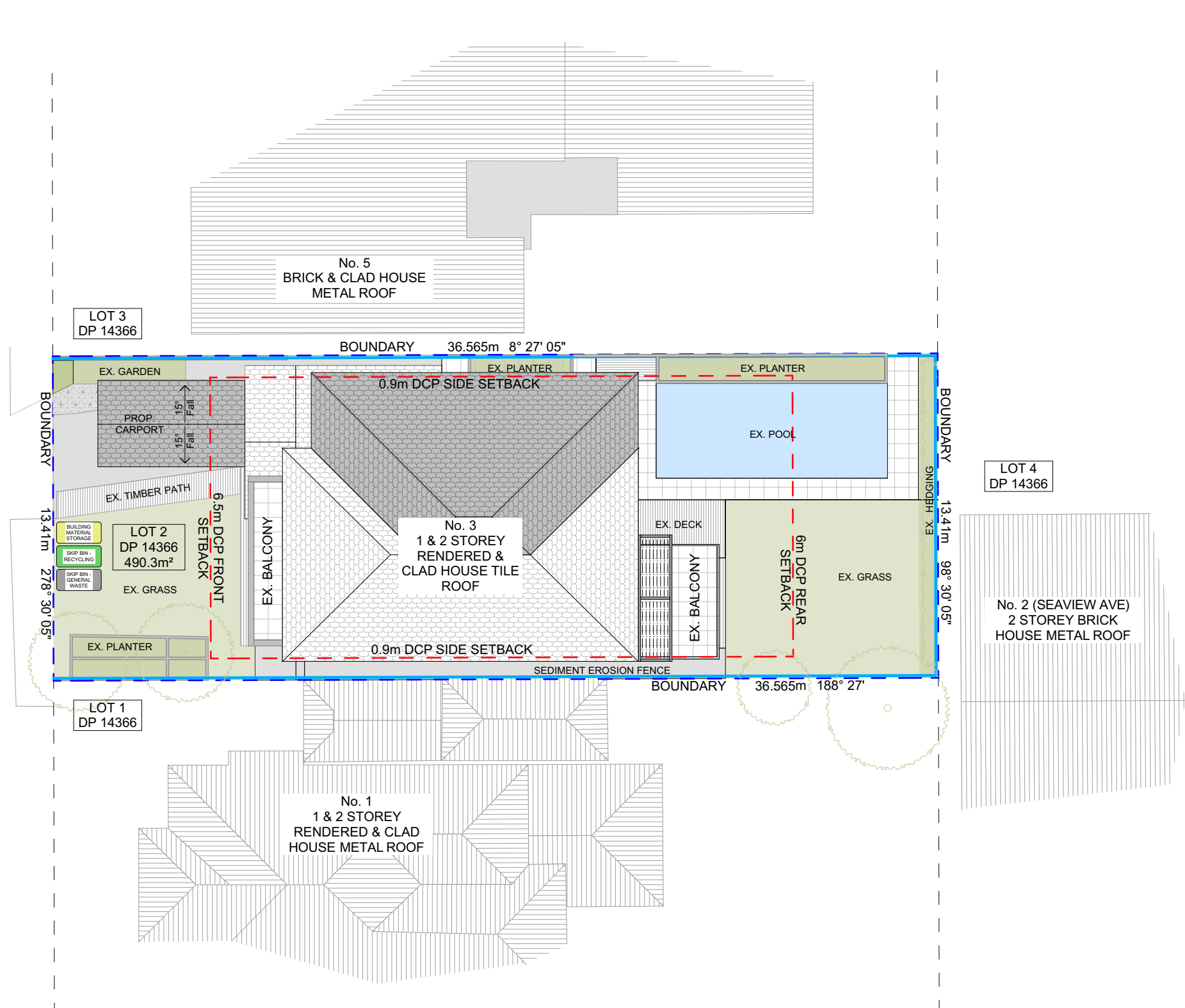
SITE / ROOF / SEDIMENT
EROSION / WASTE
MANAGEMENT / STORMWATER
CONCEPT PLAN

SCALE

1:200 @A3



WYADRA AVENUE



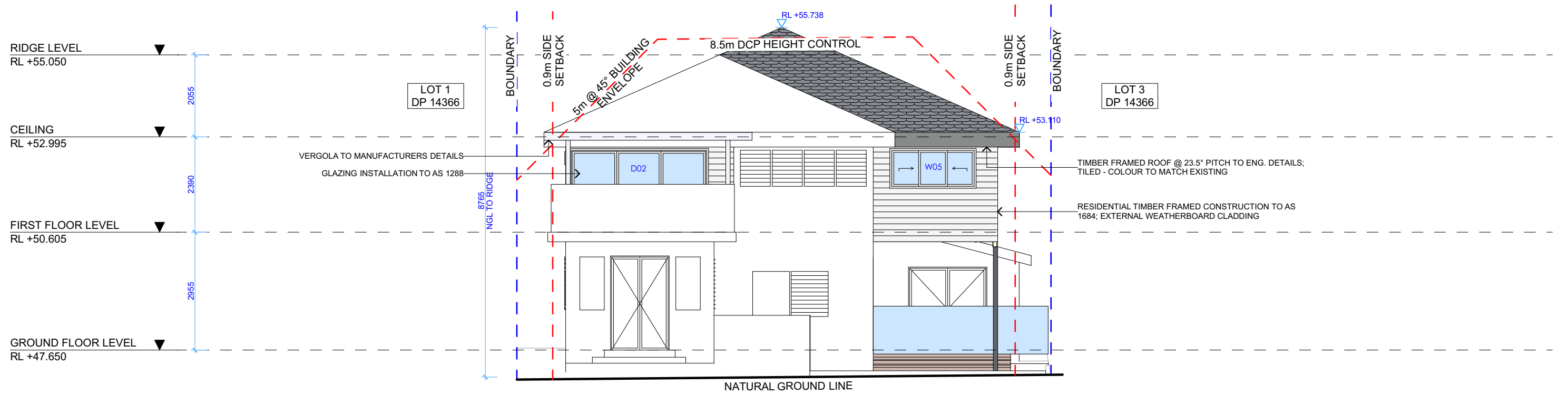
DUST CONTROL :
TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

SEDIMENT NOTE :
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

STOCKPILES :
ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.
ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.
IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

GUTTER PROTECTION :
PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

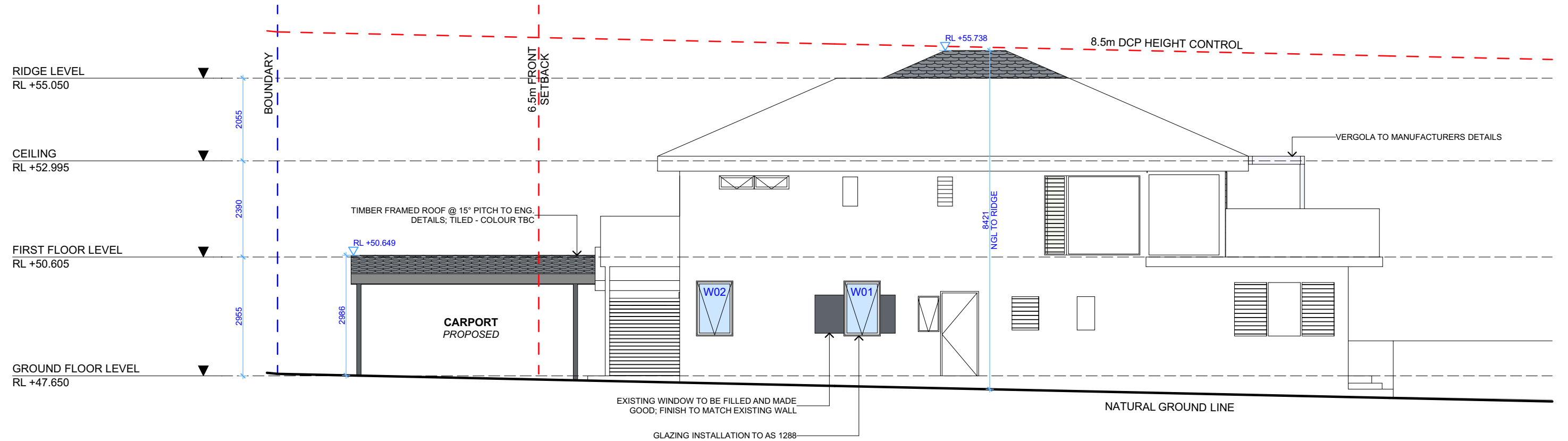
NOTE: ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING



1

NORTH ELEVATION

1:100



2

EAST ELEVATION

1:100



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C	15/07/19	SECOND DESIGN AMENDMENT	RNA	
D	05/08/19	DA DOCUMENTATION	JN	

LEGEND

NEW FLOOR AREA	CONCRETE
NEW WET FLOOR AREA	BRICKWORK
METAL ROOFING	METAL
TILED ROOFING	EXISTING
TIMBER	DEMOLISHED

CLIENT

James & Kelly Mooney

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DA07

DATE

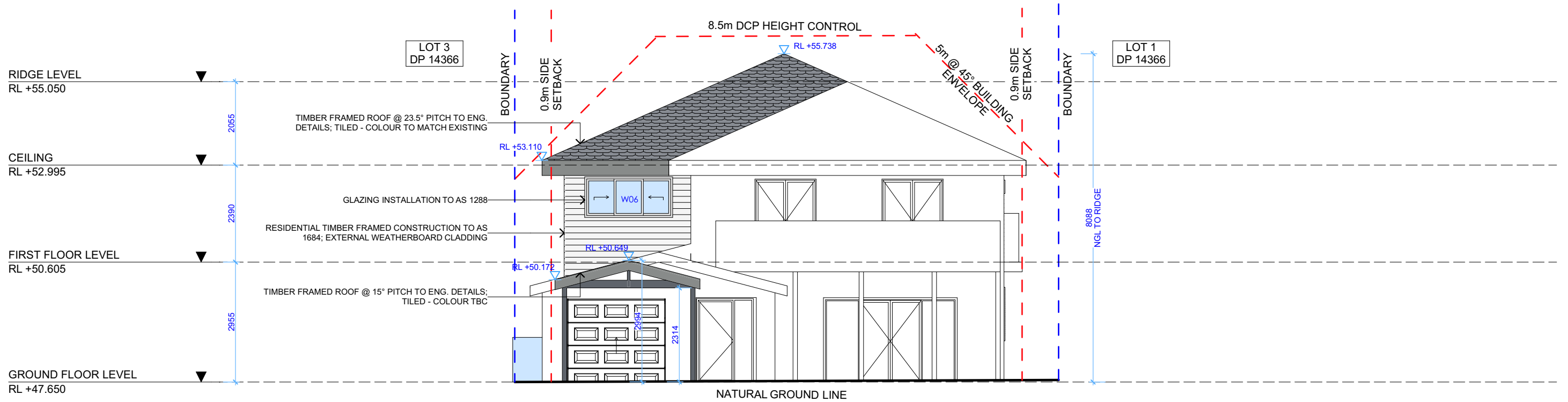
Tuesday, 6 August
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DRAWING NAME

NORTH / EAST ELEVATION

SCALE

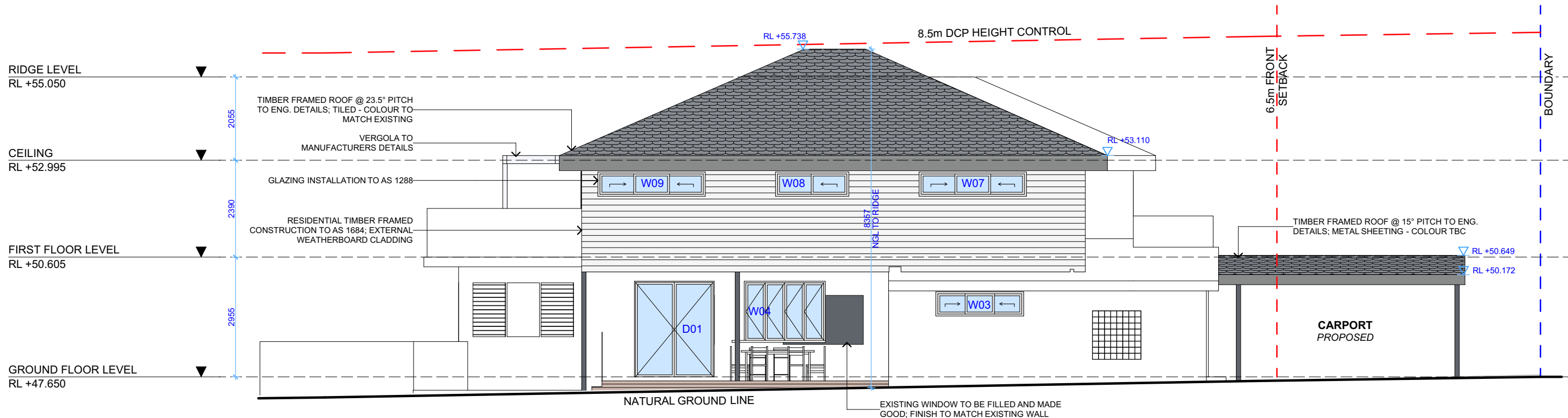
1:100 @A3



1

SOUTH ELEVATION

1:100



2

WEST ELEVATION

1:100



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D	05/08/19	DA DOCUMENTATION	JN	

LEGEND

	NEW FLOOR AREA		CONCRETE
	NEW WET FLOOR AREA		BRICKWORK
	METAL ROOFING		METAL
	TILED ROOFING		EXISTING
	TIMBER		DEMOLISHED

CLIENT

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DA08

DATE

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DRAWING NAME

SOUTH / WEST ELEVATION

SCALE

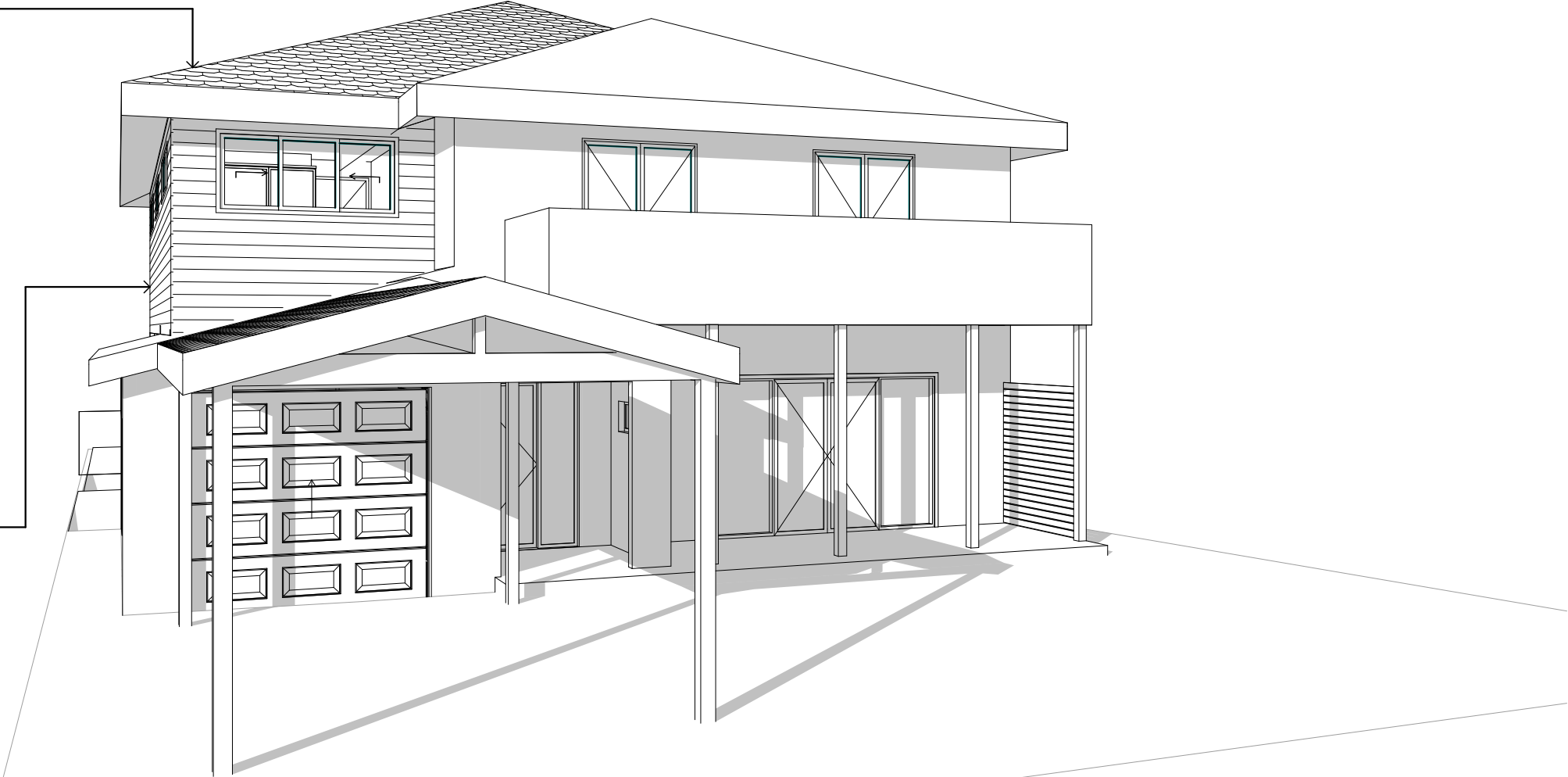
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DARK TILED ROOF TO MATCH EXISTING

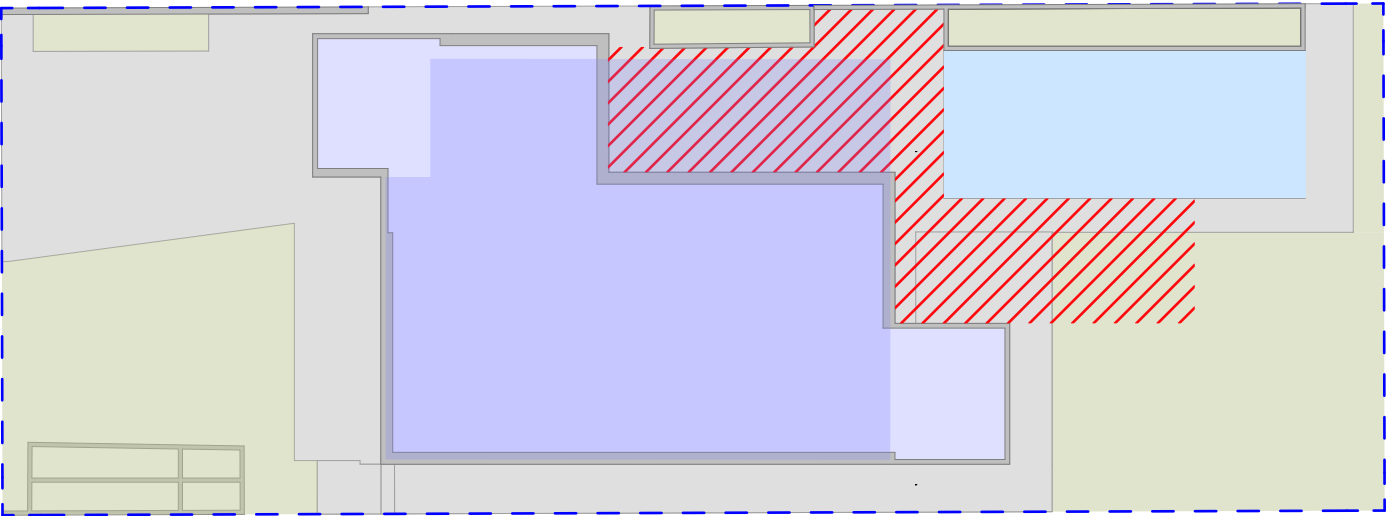


WHITE WEATHERBOARD CLADDING TO MATCH EXISTING



1

SAMPLE BOARD







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PROPOSED AREA CALCULATIONS

1:200

AREA CALCULATIONS

SITE AREA: 490.3m ²	REQUIRED	EXISTING	PROPOSED
LANDSCAPED AREA	40% (196.12m ²)	32% (158.63m ²)	UNCHANGED
PRIVATE OPEN SPACE	60m ²	60m ²	UNCHANGED

-  LANDSCAPED AREA / LANDSCAPED OPEN SPACE
-  HARD SURFACE AREA / BUILT UPON AREA / SITE COVERAGE
-  FLOOR SPACE RATIO / FLOOR AREA
-  PRIVATE OPEN SPACE



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LEGEND

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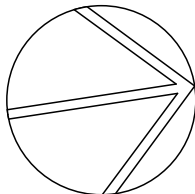
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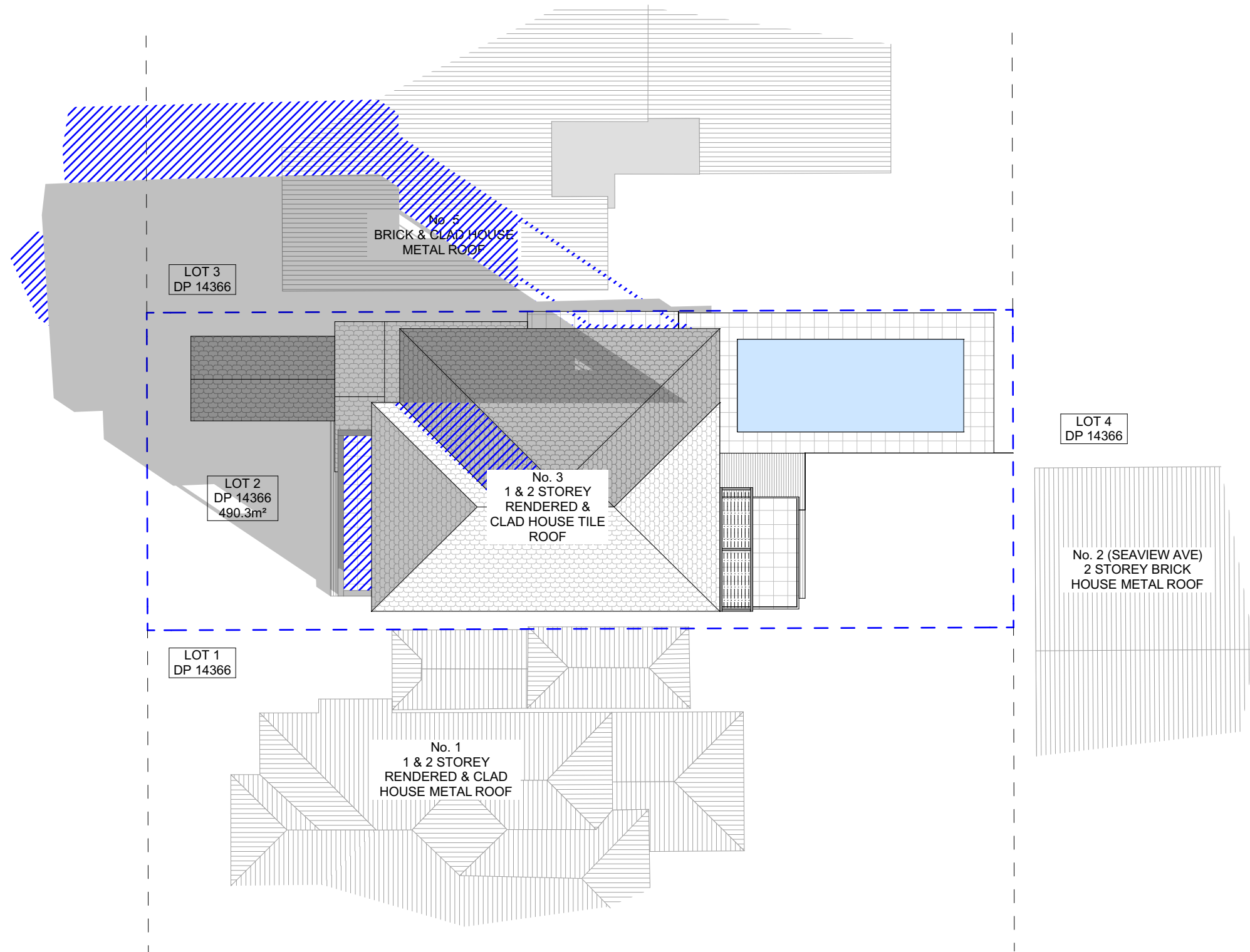
DRAWING NO.
DA10

DATE
Tuesday, 6 August
2019

DRAWING NAME
AREA CALCULATIONS /
SAMPLE BOARD

SCALE
1:200, 1:1.09 @A3





1

WINTER SOLSTICE 9AM

1:200



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LEGEND	
	EXISTING SHADOWS
	PROPOSED SHADOWS
	NEIGHBOURING SHADOWS

CLIENT
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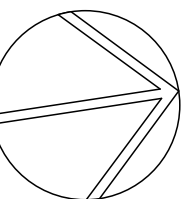
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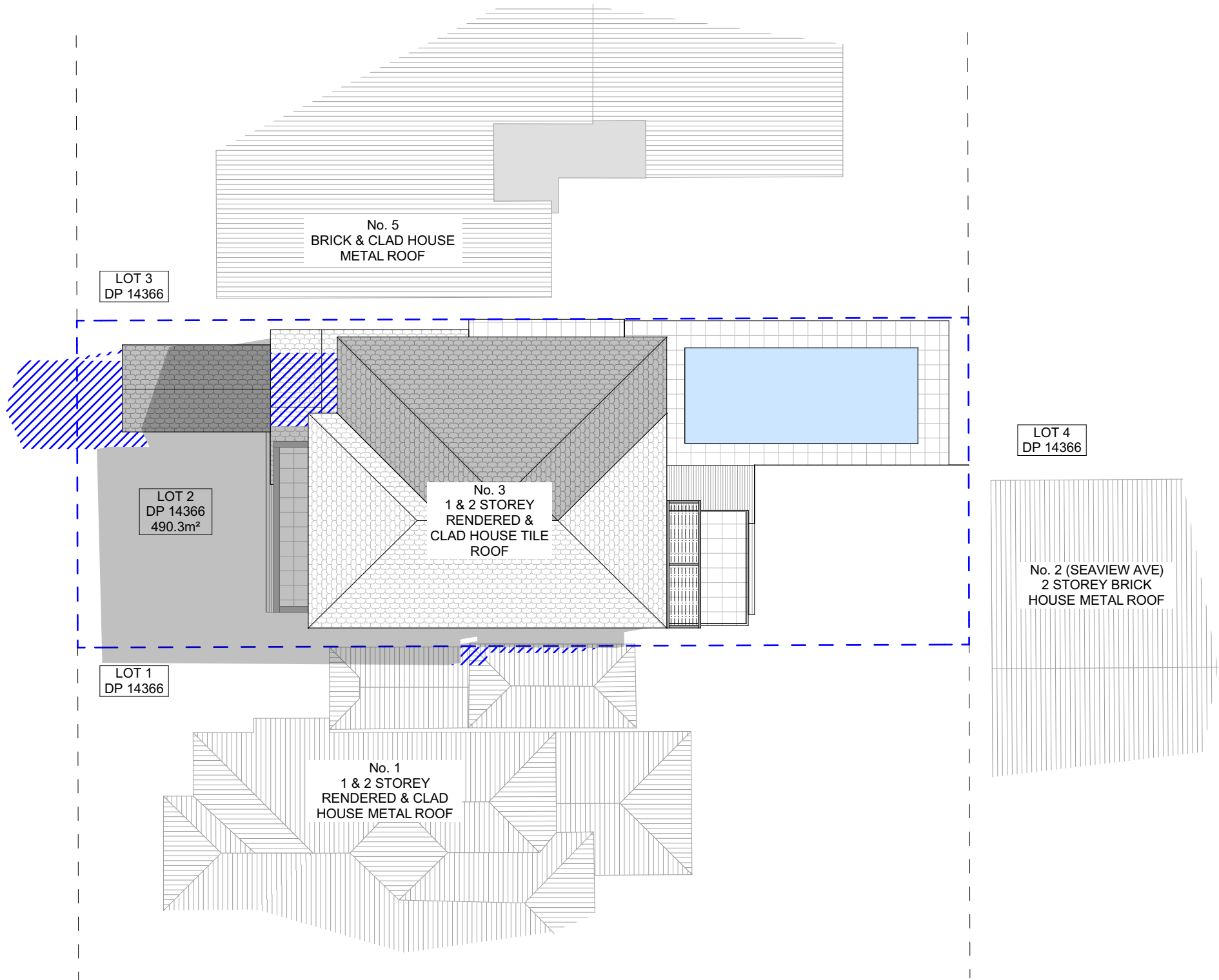
DRAWING NO.
DA11

DATE
Tuesday, 6 August
2019

DRAWING NAME
WINTER SOLSTICE 9 AM

SCALE
1:200 @A3





1

WINTER SOLSTICE 12PM

1:200






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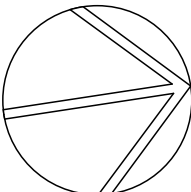
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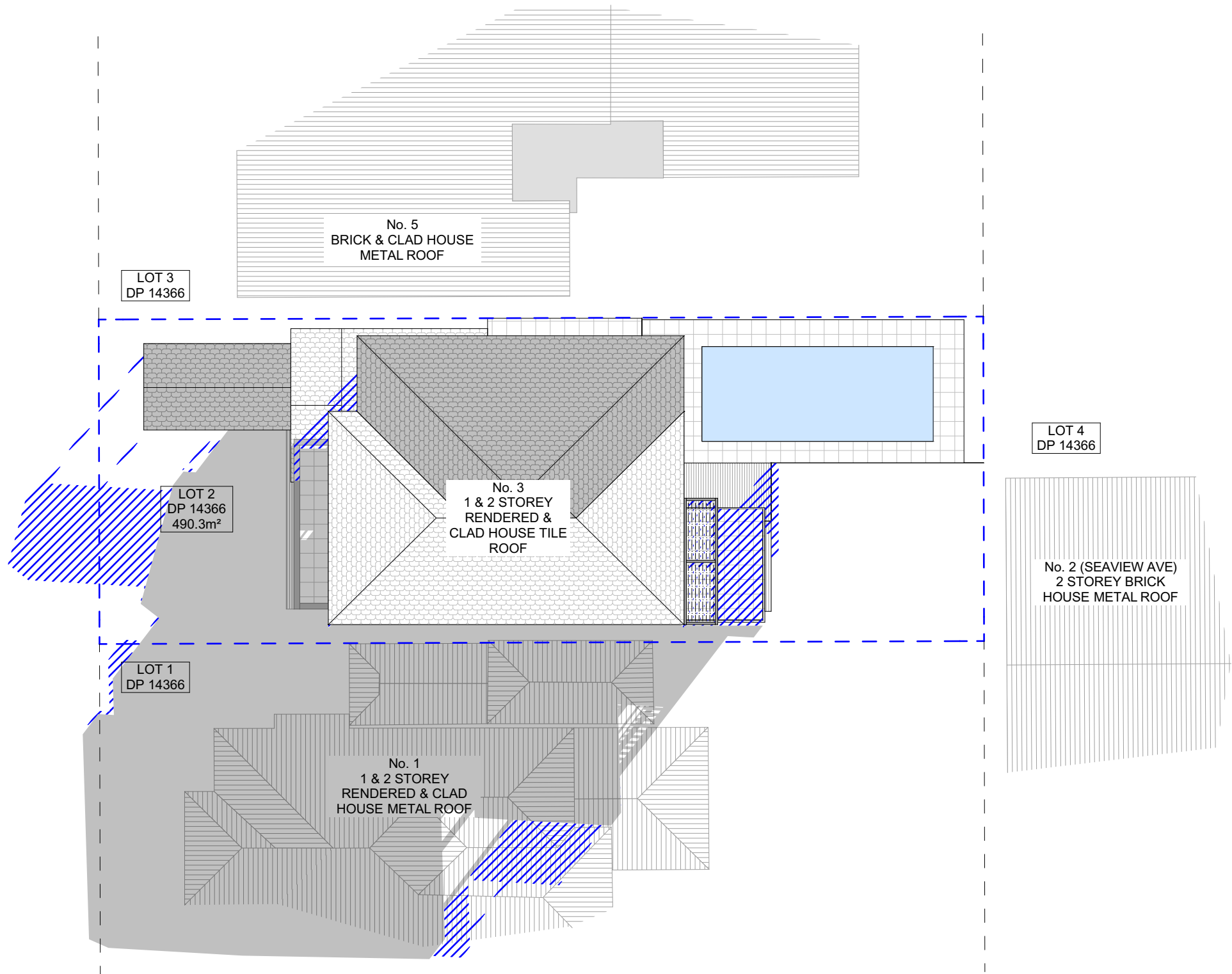
LEGEND
 EXISTING SHADOWS
 PROPOSED SHADOWS
 NEIGHBOURING SHADOWS

CLIENT
James & Kelly Mooney
PROJECT ADDRESS
3 Wyadra Avenue, Freshwater NSW 2096

DRAWING NO.
DA12
DATE
Tuesday, 6 August 2019

DRAWING NAME
WINTER SOLSTICE 12 PM
SCALE
1:200 @A3





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LEGEND
EXISTING SHADOWS
PROPOSED SHADOWS
NEIGHBOURING SHADOWS

CLIENT
James & Kelly Mooney

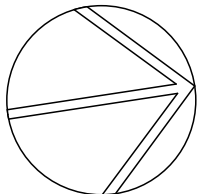
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DRAWING NO.
DA13

DATE
Tuesday, 6 August
2019

DRAWING NAME
WINTER SOLSTICE 3 PM

SCALE
1:200 @A3



Alterations and Additions

Certificate number: A355022

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 05, August 2019
To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning & Environment

Description of project

Project address	
Project name	3 Wyadra Ave
Street address	3 Wyadra Avenue Freshwater 2096
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 14366
Lot number	2
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Action Plans
ABN (if applicable): 17118297587

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
floor above existing dwelling or building.	nil				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
flat ceiling, pitched roof	ceiling: R2.50 (up), roof: foil/sarking	dark (solar absorptance > 0.70)			

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors									
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.							✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:								✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.								✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.								✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.							✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.								✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.								✓	✓
Pergolas with adjustable shading may have adjustable blades or removable shade cloth (not less than 80% shading ratio). Adjustable blades must overlap in plan view.								✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.							✓	✓	✓
Windows and glazed doors glazing requirements									
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
W1	E	1.25	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W2	E	1.25	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W3	W	1.3	0.99	0.65	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W4	W	2.92	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W5	N	2.17	0	0	pergola (adjustable shade) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W6	S	2.17	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W7	W	1.59	0.33	0.65	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W8	W	1.09	0.33	0.65	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W9	W	1.59	0.33	0.65	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
D01	W	4.65	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D02	N	7.07	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.



ACTION PLANS

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REV.	DATE	COMMENTS	DRWN	NOTES
A	03/07/2019	INITIAL DESIGN PLAN	AM	<p>This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.</p> <p>Do not scale measure from drawings. Figured dimensions are to be used only.</p> <p>The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.</p> <p>All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.</p> <p>All window & door dimensions, orientation, glazing materials, opening types, frame types are to be confirmed by a suitably qualified person prior to the ordering of any such materials are to take place.</p> <p>U value takes precedence over glazing type/colour in all cases.</p> <p>all new glazing must meet the BASIX specified frame and glass type, <i>QR</i> meet the ecified U value and SHGC value.</p>
B	12/07/2019	DESIGN AMENDMENT	AM	
C	15/07/19	SECOND DESIGN AMENDMENT	RNA	
D	05/08/19	DA DOCUMENTATION	JN	

CLIENT

James & Kelly Mooney

PROJECT ADDRESS

3 Wyadra Avenue,
Freshwater NSW 2096

DRAWING NO.

DA14

DATE _____

Tuesday, 6 August
2019

DRAWING NAME

BASIX COMMITMENTS