

location plan
96 Palmgrove Road, Avalon Beach, NSW 2107

source: Google Maps

DA SHEET LIST

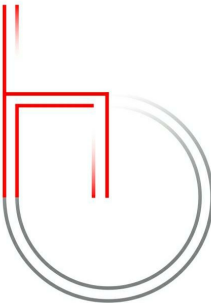
DA001	COVER SHEET
DA005	MATERIALS & FINISHES SCHEDULE
DA010	SITE ANALYSIS PLAN
DA100	GROUND FLOOR
DA101	FIRST FLOOR
DA110	ROOF & CONCEPT DRAINAGE PLAN
DA120	LANDSCAPING PLAN
DA200	NORTH-WEST ELEVATION
DA201	SOUTH-EAST ELEVATION
DA202	SOUTH-WEST ELEVATION
DA203	NORTH-EAST ELEVATION
DA300	SECTION
DA500	SITE MANAGEMENT, DEMOLITION & EXCAVATION PLAN
DA700	CALCULATIONS & COMPLIANCE
DA800	SHADOW DIAGRAMS

CONSULTANTS:

Designer:
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info@hothousestudio.com
www.hothousestudio.com

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Geotechnical:
HODGSON CONSULTING ENGINEERS
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0410 664 359



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abn: 355 0579 1074

Nominated Architect: Wade Stewart Cogle
NSW ARB Registration # 10971

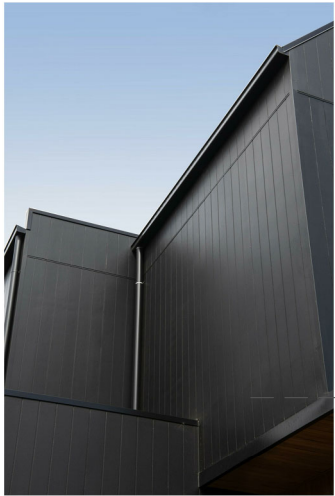
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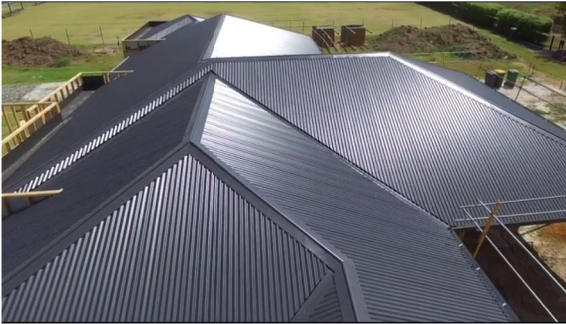
ISSUE	DESCRIPTION	DATE
A	Development Application	14-08-20

CLIENT:	J. Kennedy & J. Horn	COVER SHEET				
PROJECT:	Alterations & Additions	PROJECT NO.		200520		DA001
		DATE		14-08-20		
ADDRESS:	96 PALMGROVE ROAD, AVALON BEACH	LOT:	432	DRAWN BY:	ms	
		DP:	16902	CHECKED BY:	wc	SCALE:

MATERIALS & FINISHES SCHEDULE:



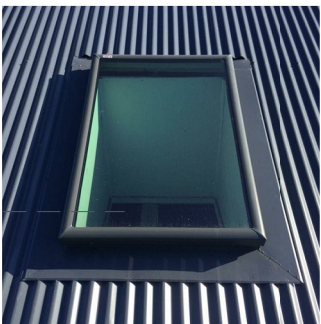
James Hardie Axon Cladding 133mm Smooth
- Painted 'monument'



custom orb colorbond® roof sheets.
'monument' colour or similar



half round gutters 'unslotted' - 'monument'



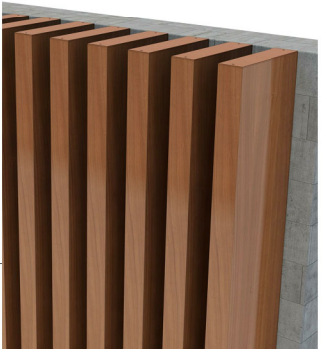
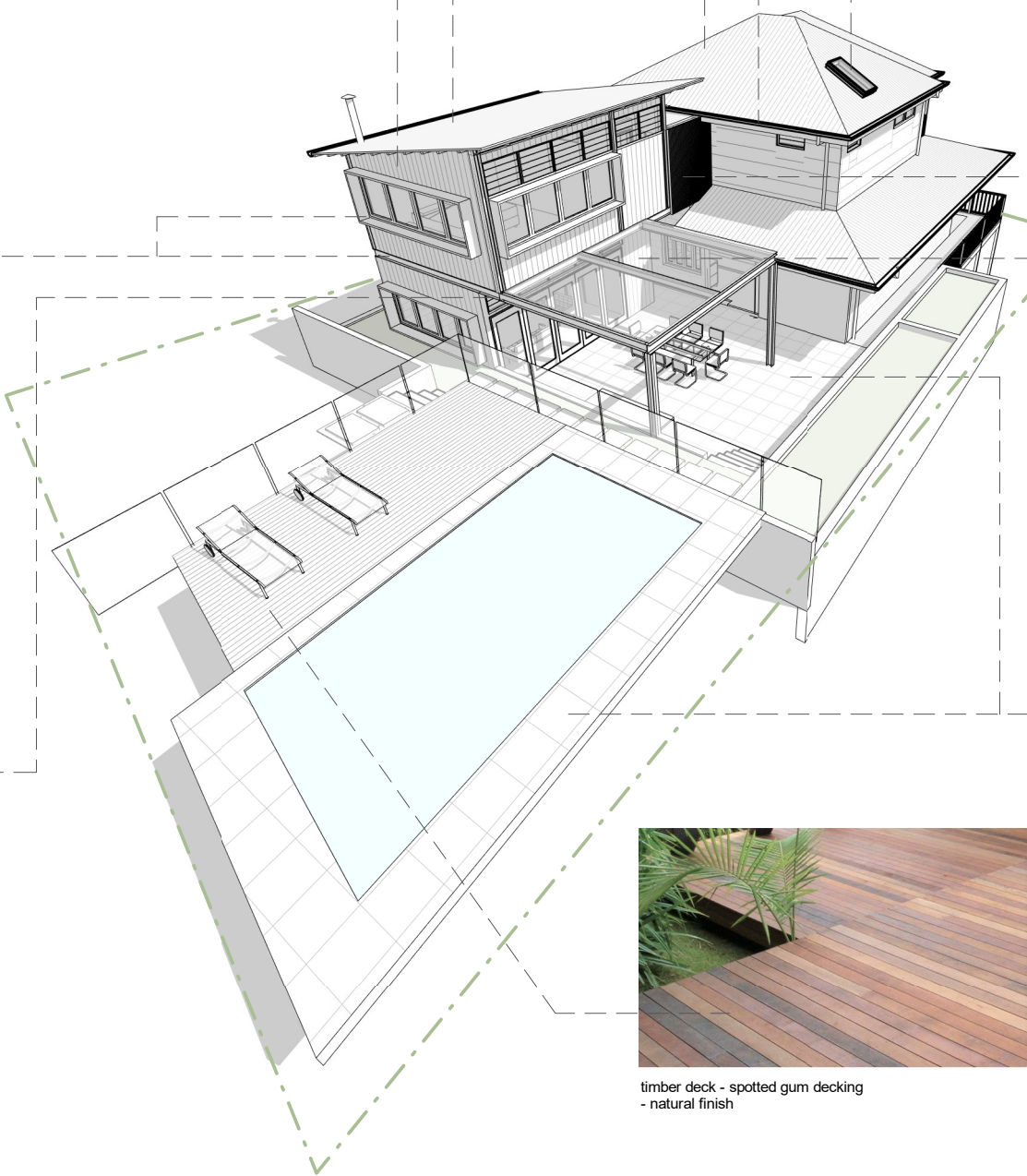
Velux skylights



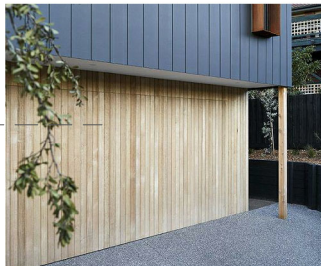
exposed structural steel + window hoods
- painted 'matt black'



timber soffits - shiplap clad
- natural finish



timber batten - vertical
- natural finish



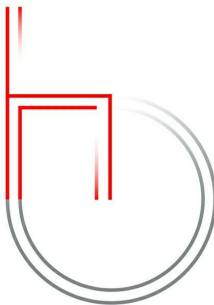
timber cladding - vertical, shiplap
- natural finish



timber deck - spotted gum decking
- natural finish



paving outdoor area & pool coping



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ISSUE	DESCRIPTION	DATE
A	Development Application	14-08-20

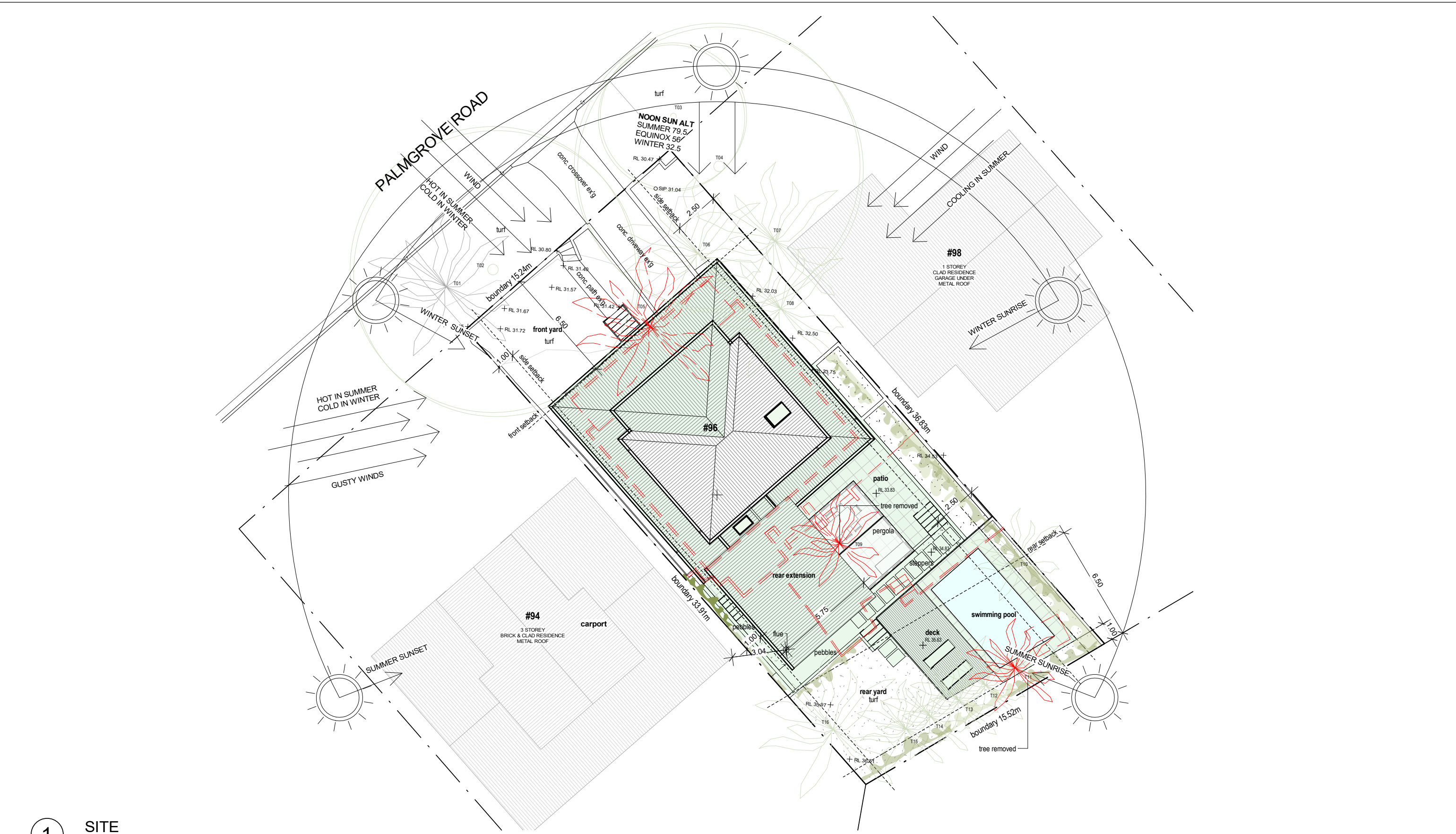
CLIENT:	J. Kennedy & J. Horn
PROJECT:	Alterations & Additions
ADDRESS:	96 PALMGROVE ROAD, AVALON BEACH

MATERIALS & FINISHES SCHEDULE

PROJECT NO.	200520		
DATE	14-08-20		
LOT:	432	DRAWN BY:	ms
DP:	16902	CHECKED BY:	wc

SCALE:

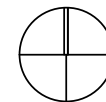
DA005



1

SITE
1 : 200

FOR DEVELOPMENT
APPLICATION ONLY



demolish
new work
boundary
overhead
hidden

basix commitments:
1. all new or altered construction (floor, walls,
ceiling and roof) to be in accordance with basix certificate
2. all windows, skylights and doors to be installed as per
basix glazing requirements

notes:
all design and construction works to be in accordance
with applicable Australian standards and building code
of Australia drawings to be read in conjunction with
basix certificate and the survey

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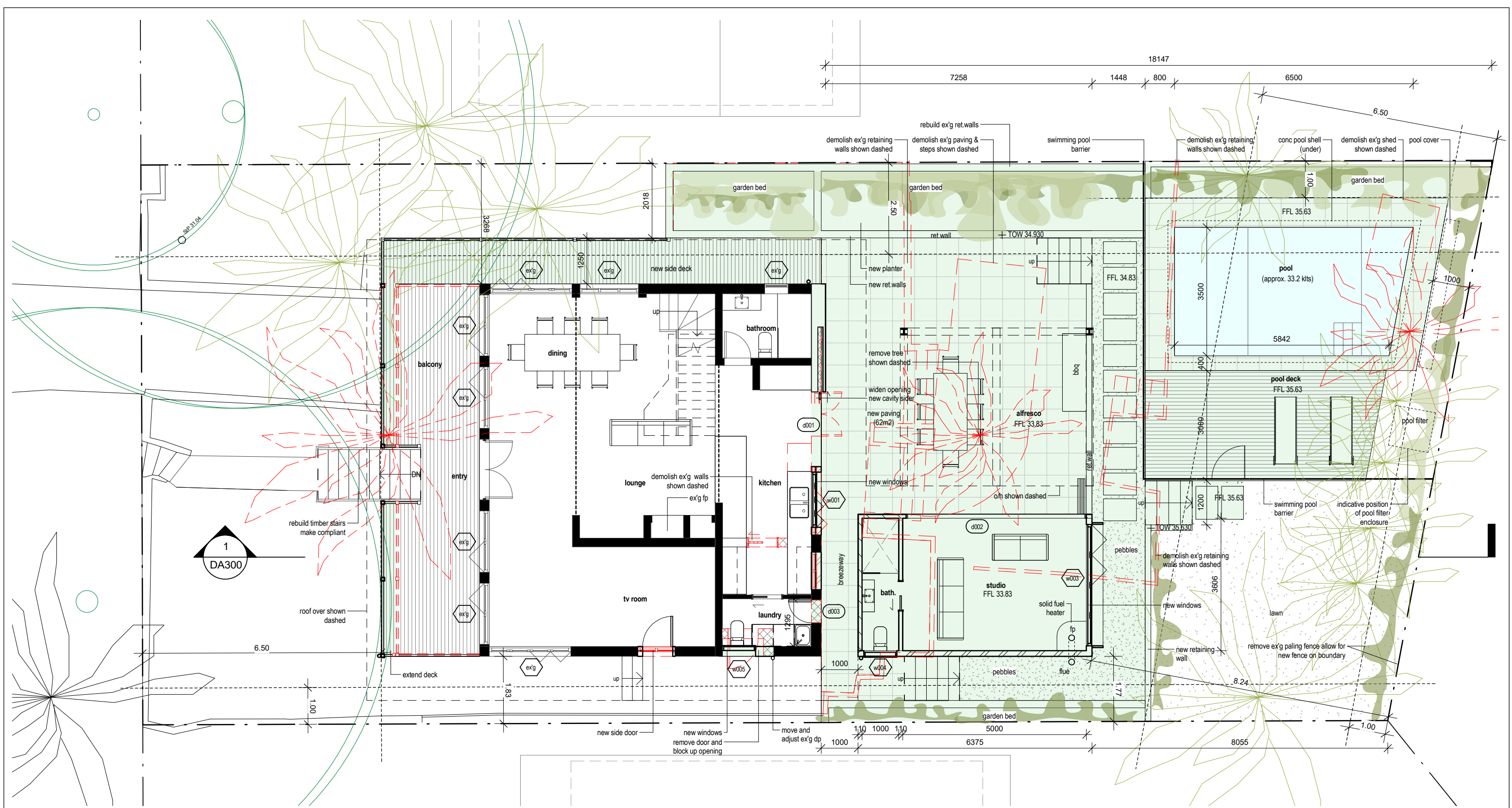
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A	Development Application	14-08-20

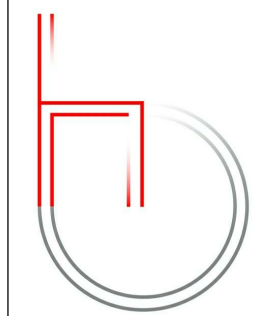
CLIENT:	J. Kennedy & J. Horn	SITE ANALYSIS PLAN			
PROJECT:	Alterations & Additions	PROJECT NO.	200520	DA010	
		DATE	14-08-20		
ADDRESS:	96 PALMGROVE ROAD, AVALON BEACH	LOT:	432		
		DP:	16902	CHECKED BY:	wc



1

GROUND FLOOR

1 : 100



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ISSUE	DESCRIPTION	DATE
A	Development Application	14-08-20

CLIENT:	J. Kennedy & J. Horn
PROJECT:	Alterations & Additions
ADDRESS:	96 PALMGROVE ROAD, AVALON BEACH

FOR DEVELOPMENT APPLICATION ONLY

Legend:
bal balustrade
bdy boundary
cb concrete block
cof concrete off-form
conc concrete
dp down pipe
ex'g existing
f'k face brick
fc fiber cement sheet
fg fixed glass
fz flame zone
fp fireplace
fw floor waste
gd graded drain
gl glass balustrade
hw hardwood
mr metal roof
og operable glass
oh over hang
sh sun hood
sb steel beam
sc steel column
tbc to be confirm
tf timber floor
ts timber screen
wr walk in robe
wb weatherboard

basix commitments:
1. all new or altered construction (floor, walls, ceiling and roof) to be in accordance with basix certificate
2. all windows, skylights and doors to be installed as per basix glazing requirements

notes:
all design and construction works to be in accordance with applicable Australian standards and building code of Australia drawings to be read in conjunction with basix certificate and the survey

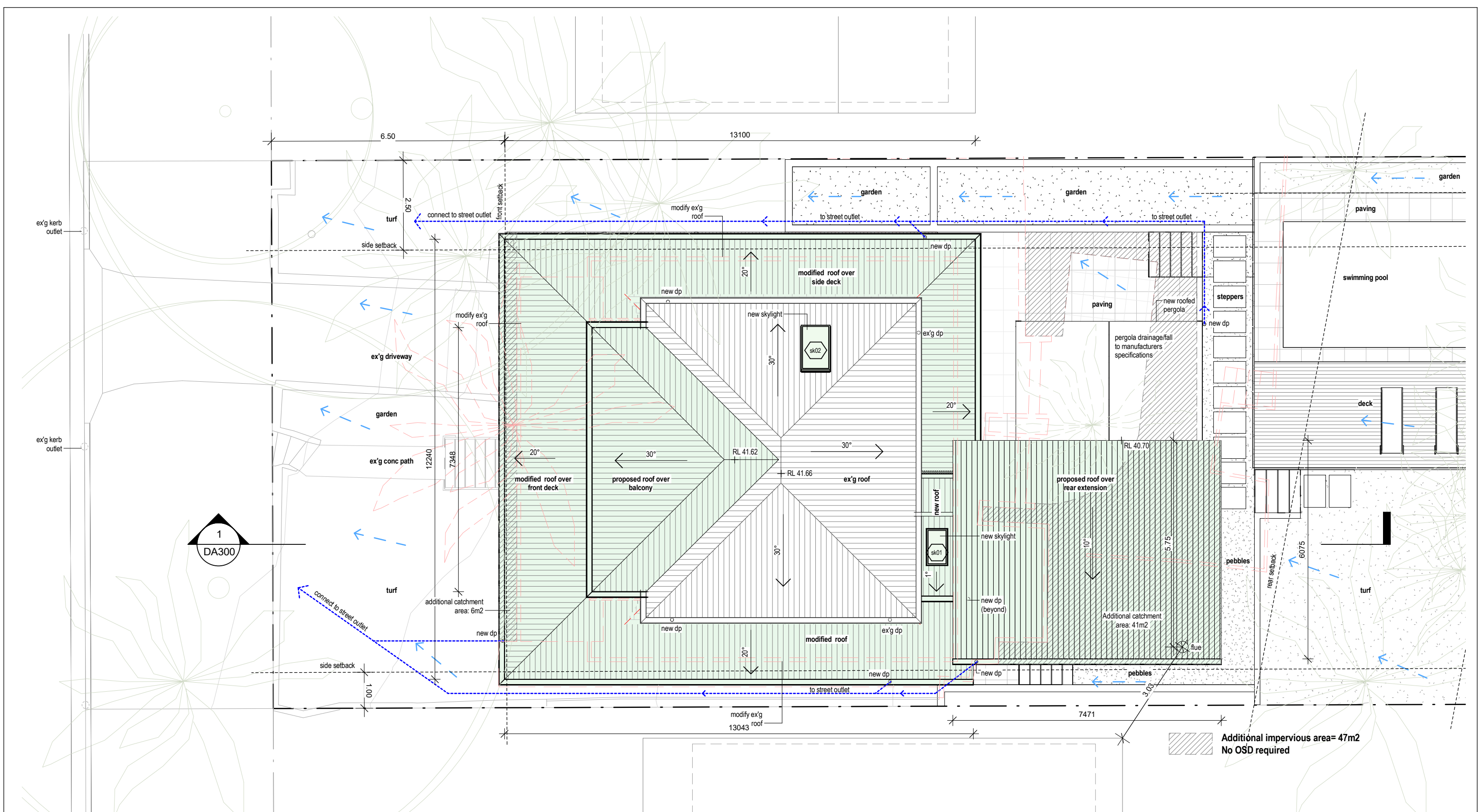
GROUND FLOOR			
PROJECT NO.	200520		
DATE	14-08-20		
LOT:	432	DRAWN BY:	ms
DP:	16902	CHECKED BY:	wc
SCALE:			As indicated

DA100



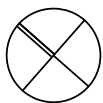
1 : 100

SCALE:	As indicated
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1

ROOF PLAN
1 : 100



<u>Legend:</u>									
bal	balustrade	ex'g	existing	fw	floor waste	oh	over hang	wir	walk in robe
bd	boundary	fbk	face brick	gd	grated drain	sh	sun hood	wb	weatherboard
cb	concrete block	fc	fiber cement sheet	gl	glass balustrade	sb	steel beam		
cof	concrete off-form	fg	fixed glass	hw	hardwood	sc	steel column		
conc	concrete	fz	flame zone	mr	metal roof	tbc	to be confirm		
dp	down pipe	fp	fireplace	og	operable glass	tf	timber floor		
demolish	— — — — —	basix commitments:				notes:			
new work	— — — — —	1. all new or altered construction (floor, walls,				all design and construction works to be in accordance			
boundary	— — — — —	ceiling and roof) to be in accordance with basix certificate				with applicable australian standards and building code			
overhead	— — — — —	2. all windows, skylights and doors to be installed as per				of australia drawings to be read in conjunction with			
hidden	— — — — —	basix glazing requirements				basix certificate and the survey			
overland flow	← — — — — →								

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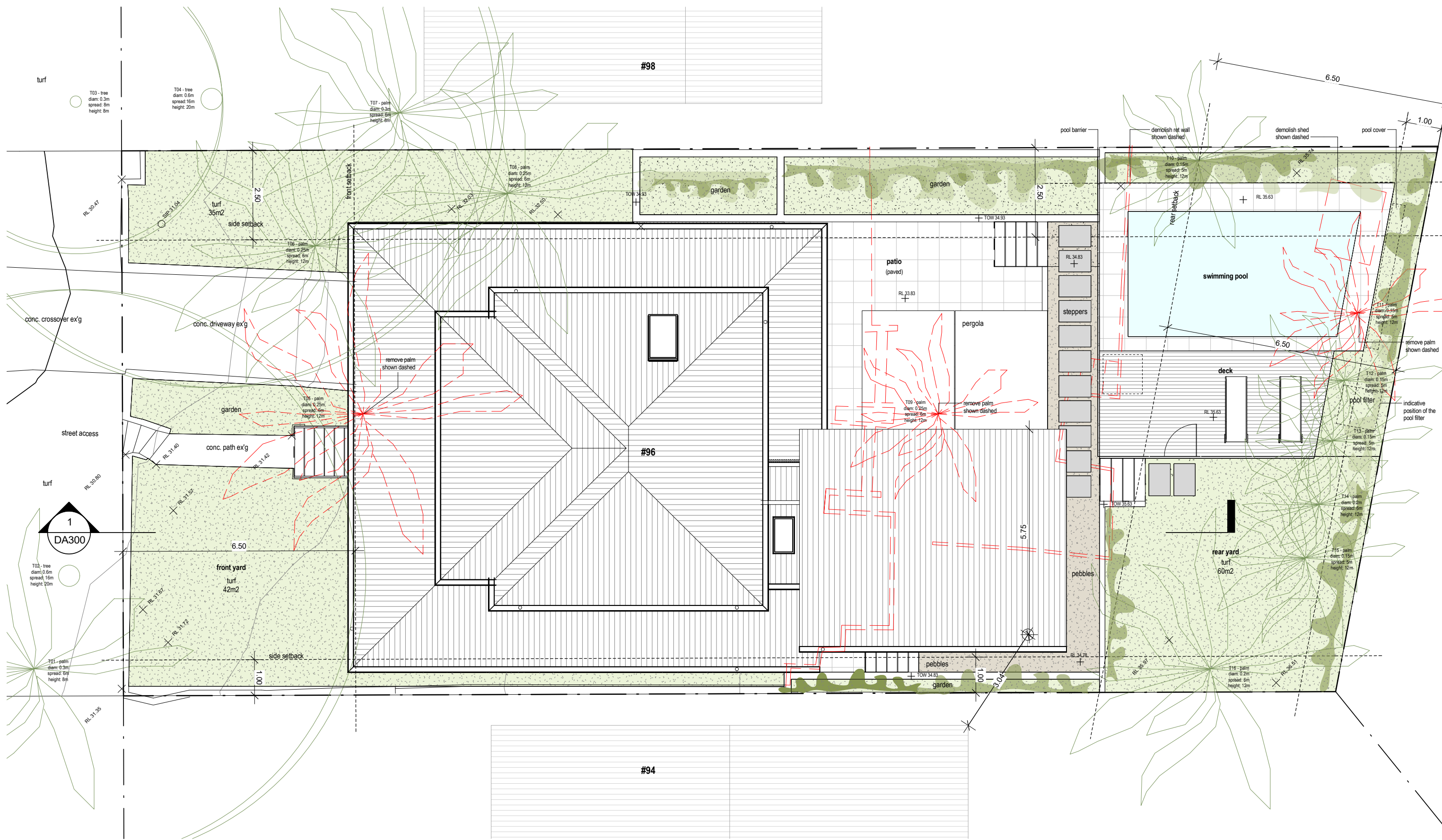
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ISSUE	DESCRIPTION	DATE
A	Development Application	14-08-20

CLIENT:	J. Kennedy & J. Horn
PROJECT:	Alterations & Additions
ADDRESS:	96 PALMGROVE ROAD, AVALON BEACH

ROOF & CONCEPT DRAINAGE PLAN			
PROJECT NO.	200520	DA110	
DATE	14-08-20		
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DP:	16902	CHECKED BY:	wc
SCALE:	As indicated		



1 LANDSCAPE PLAN
1 : 100

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ISSUE	DESCRIPTION	DATE
A	Development Application	14-08-20

CLIENT:	J. Kennedy & J. Horn
PROJECT:	Alterations & Additions
ADDRESS:	96 PALMGROVE ROAD, AVALON BEACH

LANDSCAPING PLAN			
PROJECT NO.	200520	DA120	
DATE	14-08-20		
LOT:	432	DRAWN BY:	ms
DP:	16902	CHECKED BY:	wc
SCALE:			1 : 100



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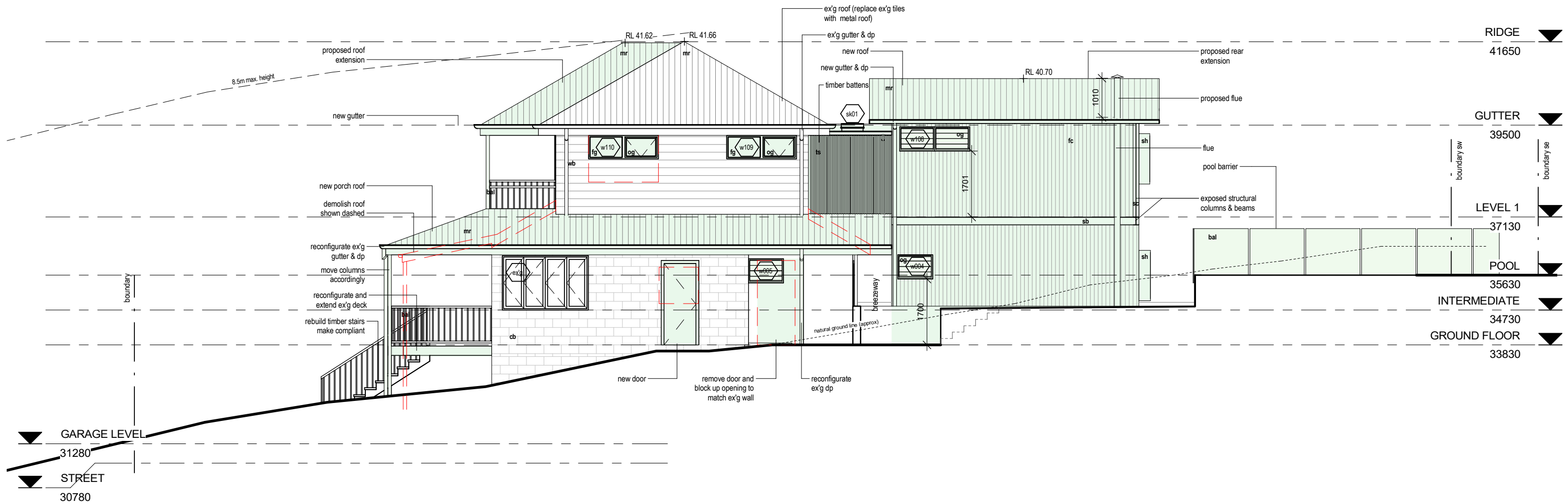
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A	Development Application	14-08-20

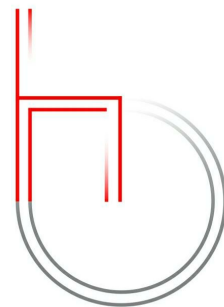
CLIENT:	J. Kennedy & J. Horn	NORTH-WEST ELEVATION			
PROJECT:	Alterations & Additions	PROJECT NO.	200520	DA200	
		DATE	14-08-20		
ADDRESS:	96 PALMGROVE ROAD, AVALON BEACH	LOT:	432		
		DP:	16902	CHECKED BY:	wc



1 SOUTH-WEST ELEVATION
1 : 100

Legend:											
bal	balustrade	ex'g	existing	fw	floor waste	ch	over hang	ts	timber screen		
bdy	boundary	fbk	face brick	gd	grated drain	sh	sun hood	wir	walk in robe		
cb	concrete block	fc	fiber cement sheet	gl	glass balustrade	sb	steel beam	wb	weatherboard		
cof	concrete off-form	fg	fixed glass	hw	hardwood	sc	steel column				
conc	concrete	fz	flame zone	mr	metal roof	tbc	to be confirm				
dp	down pipe	fp	fireplace	og	operable glass	tf	timber floor				
demolish new work boundary overhead hidden											
basix commitments: 1. all new or altered construction (floor, walls, ceiling and roof) to be in accordance with basix certificate 2. all windows, skylights and doors to be installed as per basix glazing requirements											
notes: all design and construction works to be in accordance with applicable australian standards and building code of australia drawings to be read in conjunction with basix certificate and the survey											

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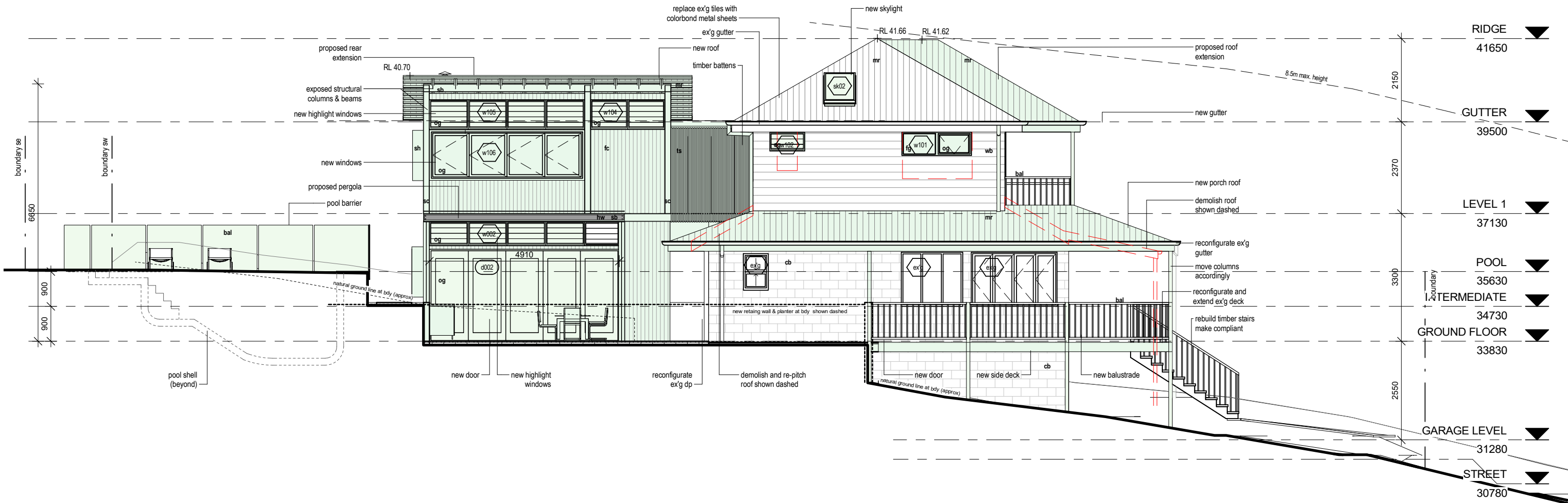
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ISSUE	DESCRIPTION	DATE
A	Development Application	14-08-20

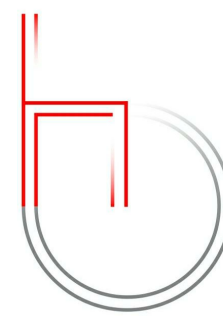
CLIENT:	J. Kennedy & J. Horn	SOUTH-WEST ELEVATION			
PROJECT:	Alterations & Additions	PROJECT NO.		200520	DA202
		DATE		14-08-20	
ADDRESS:	96 PALMGROVE ROAD, AVALON BEACH	LOT:	432	DRAWN BY:	
		DP:	16902	CHECKED BY:	wc



1

NORTH-EAST ELEVATION

1 : 100



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ISSUE	DESCRIPTION	DATE
A	Development Application	14-08-20

CLIENT:	J. Kennedy & J. Horn	NORTH-EAST ELEVATION	
PROJECT:	Alterations & Additions	PROJECT NO.	200520
ADDRESS:	96 PALMGROVE ROAD, AVALON BEACH	DATE	14-08-20
		LOT:	432
		DRAWN BY:	ms
		DP:	16902
		CHECKED BY:	wc
		SCALE:	As indicated

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Legend:

bal balustrade

bdy boundary

cb concrete block

cof concrete off-form

conc concrete

dp down pipe

ex'g existing

fbk face brick

fc fiber cement sheet

fg fixed glass

fz flame zone

fp fireplace

fw floor waste

gd grated drain

gl glass balustrade

hw hardwood

mr metal roof

og operable glass

oh over hang

sh sun hood

sb steel beam

sc steel column

tbc to be confirm

tf timber floor

ts timber screen

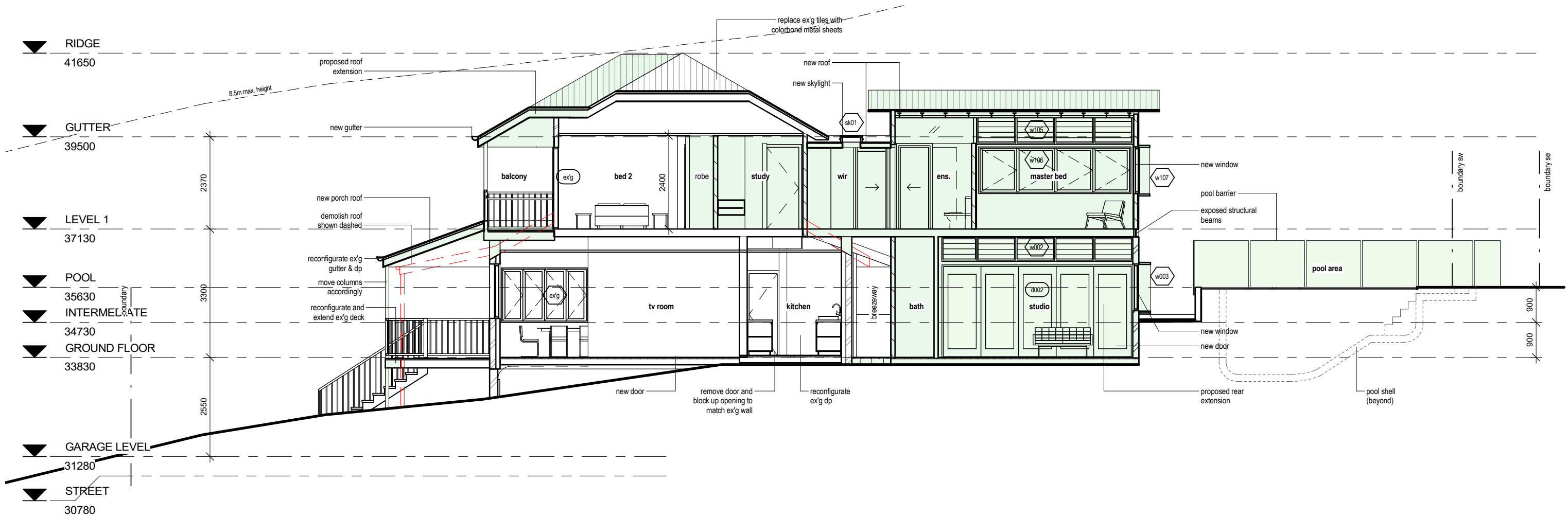
wir walk in robe

wb weatherboard

demolish new work boundary overhead hidden

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notes:
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1 SECTION
1 : 100

legend:											
bal	balustrade	ex'g	existing	fw	floor waste	oh	over hang	ts	timber screen		
bdy	boundary	fbk	face brick	gd	grated drain	sh	sun hood	wir	walk in robe		
cb	concrete block	fc	fiber cement sheet	gl	glass balustrade	sb	steel beam	wb	weatherboard		
cof	concrete off-form	fg	fixed glass	hw	hardwood	sc	steel column				
conc	concrete	fz	flame zone	mr	metal roof	tbc	to be confirm				
dp	down pipe	fp	fireplace	og	operable glass	tf	timber floor				
demolish				basix commitments:				notes:			
new work				1. all new or altered construction (floor, walls,				all design and construction works to be in accordance			
boundary				ceiling and roof) to be in accordance with basix certificate				with applicable australian standards and building code			
overhead				2. all windows, skylights and doors to be installed as per				of australia drawings to be read in conjunction with			
hidden				basix glazing requirements				basix certificate and the survey			

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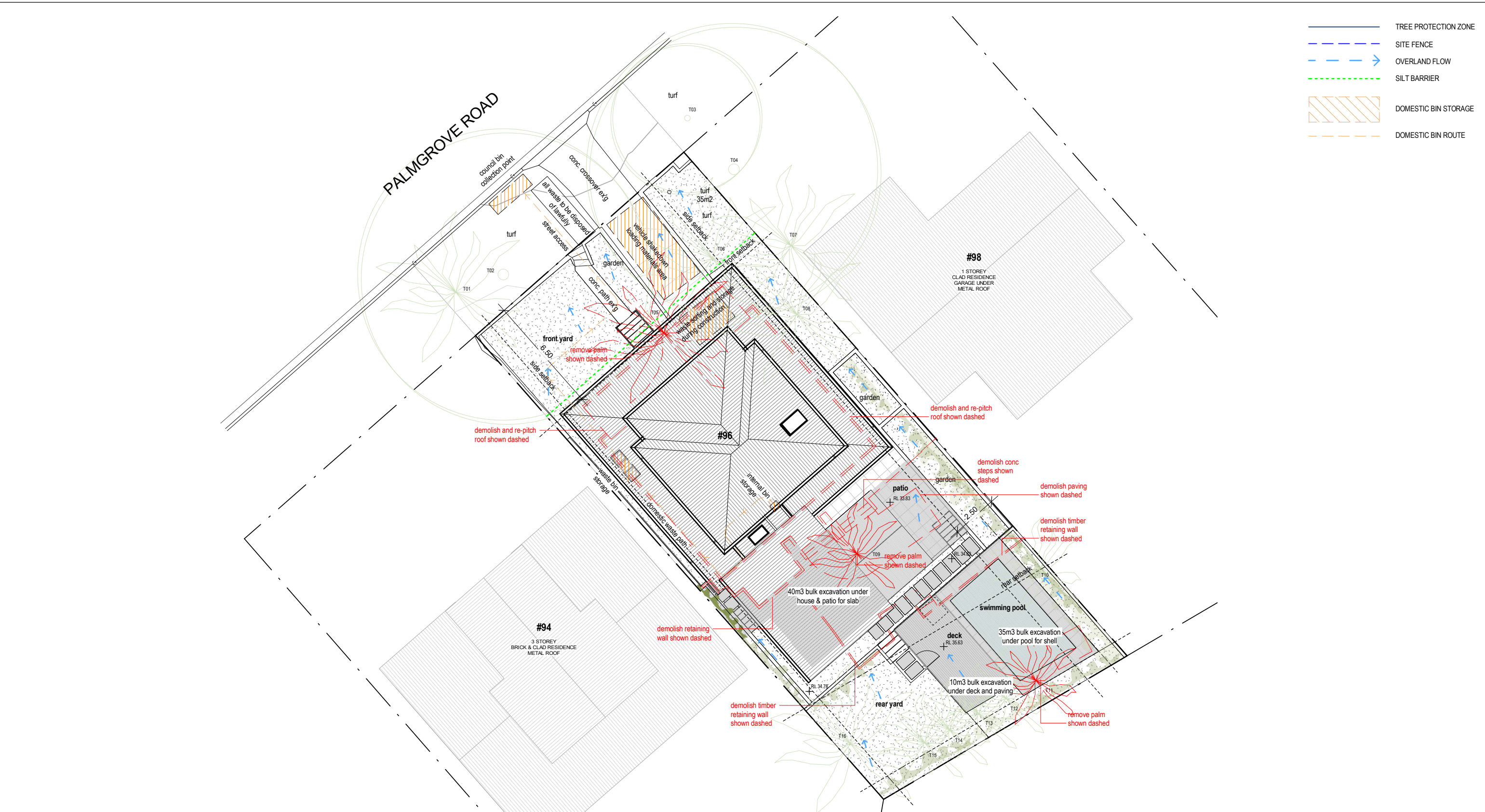
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ISSUE	DESCRIPTION	DATE
A	Development Application	14-08-20

CLIENT:	J. Kennedy & J. Horn	SECTION	
PROJECT:	Alterations & Additions	PROJECT NO.	200520
ADDRESS:	96 PALMGROVE ROAD, AVALON BEACH	DATE	14-08-20
		LOT:	432
		DRAWN BY:	ms
		DP:	16902
		CHECKED BY:	wc
		SCALE:	@A3 As indicated

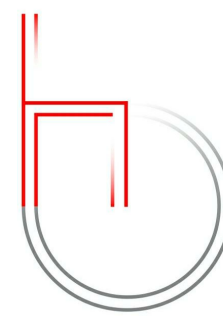
DA300



1

SITE MANAGEMENT

1 : 200



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ISSUE	DESCRIPTION	DATE
A	Development Application	14-08-20

CLIENT:	J. Kennedy & J. Horn
PROJECT:	Alterations & Additions
ADDRESS:	96 PALMGROVE ROAD, AVALON BEACH

SITE MANAGEMENT, DEMOLITION & EXCAVATION PLAN			
PROJECT NO.	200520	DA500	
DATE	14-08-20		
LOT:	432	DRAWN BY:	ms
DP:	16902	CHECKED BY:	wc
SCALE:		As indicated	

FOR DEVELOPMENT APPLICATION ONLY

legend:

demolish

new work

boundary

overhead

hidden

overland flow

balustrade

boundary

concrete block

concrete off-form

concrete

down pipe

ex'g

fbk

fc

fg

fz

fp

existing

face brick

fiber cement sheet

fixed glass

flame zone

fireplace

fw

gd

gl

hw

mrr

og

floor waste

grated drain

glass balustrade

hardwood

metal roof

operable glass

oh

sh

sb

sc

tbc

tf

over hang

sun hood

steel beam

steel column

to be confirm

timber floor

wir

wb

walk in robe

weatherboard

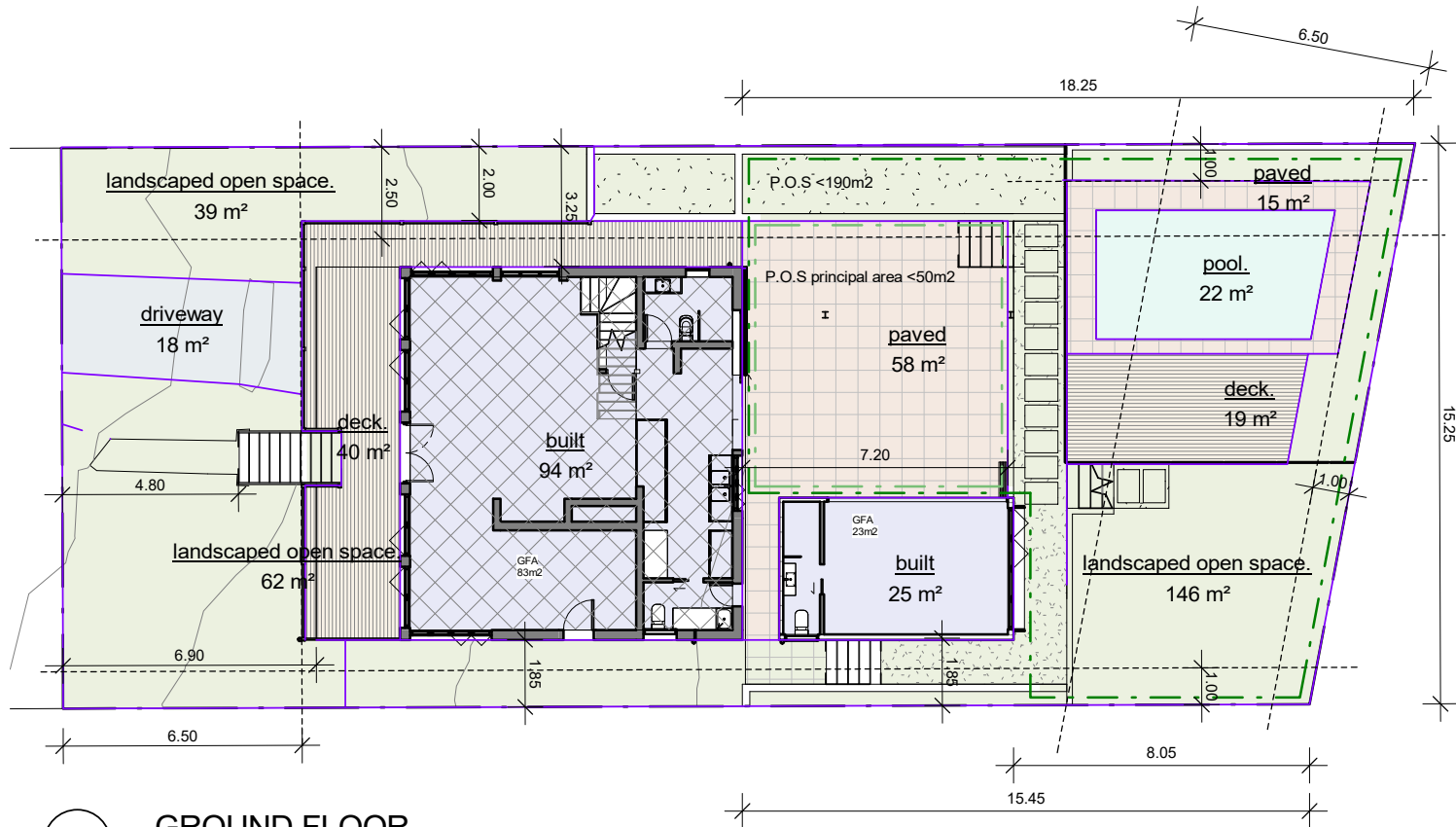
basix commitments:

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notes:

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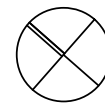


1 GROUND FLOOR
1 : 200

COMPLIANCE & CALCULATION TABLE				
Land Zoning (Pittwater LEP2014)	R2 Low Density Residential			
Height of Building	8.5 m			
Floor Space Ratio	N/A			
Heritage Item or Heritage Conservation Area	No			
Foreshore Building Line	No			
Land Reservation Acquisition	No			
Acid Sulfate Soils	Class 5			
Minimum Lot Size	700 m²			
Geotechnical Hazard	H1			
Terrestrial Biodiversity	Biodiversity			
Site Area	539 m² (By DP)			
	Existing	Proposed	Required	Compliance
FSR	126.5m²	169m² (0.59:1)	N/A	Yes
Landscaped Area (DCP) R2 Low Density Residential - Area 2: 60% of the site area	291.2m² (53.9%) + 32.3m2 (6%)= 323.5m2 (60%)	248m² (46%) + 32.3m2 (6%)= 280.1m2 (52%)	323.4m² (60% total Site)	No / Merit based
Private Open Space (DCP - min 80m2 of private open space)	>80m²	>160m²	80m² (dim >3m)	Yes
Private Open Space - Principal Area (DCP - min 16m2 of Principal Area within private open space)	>16m²	>50m²	min. 16m²	Yes
Building Height	8.3 m	8.3 m (exisitng)	Max of 8.5m	Yes
Building Envelope:	complies	complies	45 deg. from 3.5m height	Yes
Front building line (DCP - Land zoned R2)	6.9m rear setback	6.5m rear setback	min. 6.5m rear setback	Yes
Side Setbacks (DCP - Land zoned R2)	1.8m (NE) and 2.5m (SW)	1.8m (NE) and 2.0m (SW)	min. 1.0m (NE) and 2.5m (SW)	No / Merit based
Rear Setback (DCP)	15.5m rear setback	8.25m rear setback	min. 6.5m rear setback	Yes

built	119.1 m²	22.1%
deck.	59.0 m²	10.9%
driveway	18.3 m²	3.4%
landscaped open space.	247.8 m²	46.0%
paved	73.4 m²	13.6%
pool.	21.6 m²	4.0%

FOR DEVELOPMENT
APPLICATION ONLY



demolish
new work
boundary
overhead
hidden

basix commitments:
1. all new or altered construction (floor, walls,
ceiling and roof) to be in accordance with basix certificate
2. all windows, skylights and doors to be installed as per
basix glazing requirements

notes:
all design and construction works to be in accordance
with applicable australian standards and building code
of australia drawings to be read in conjunction with
basix certificate and the survey

m: 0433 775 490
p.o. box 26 newport nsw 2106
info@hthousestudio.com
abn: 355 0579 1074

Nominated Architect: Wade Stewart Cogle
NSW ARB Registration # 10971

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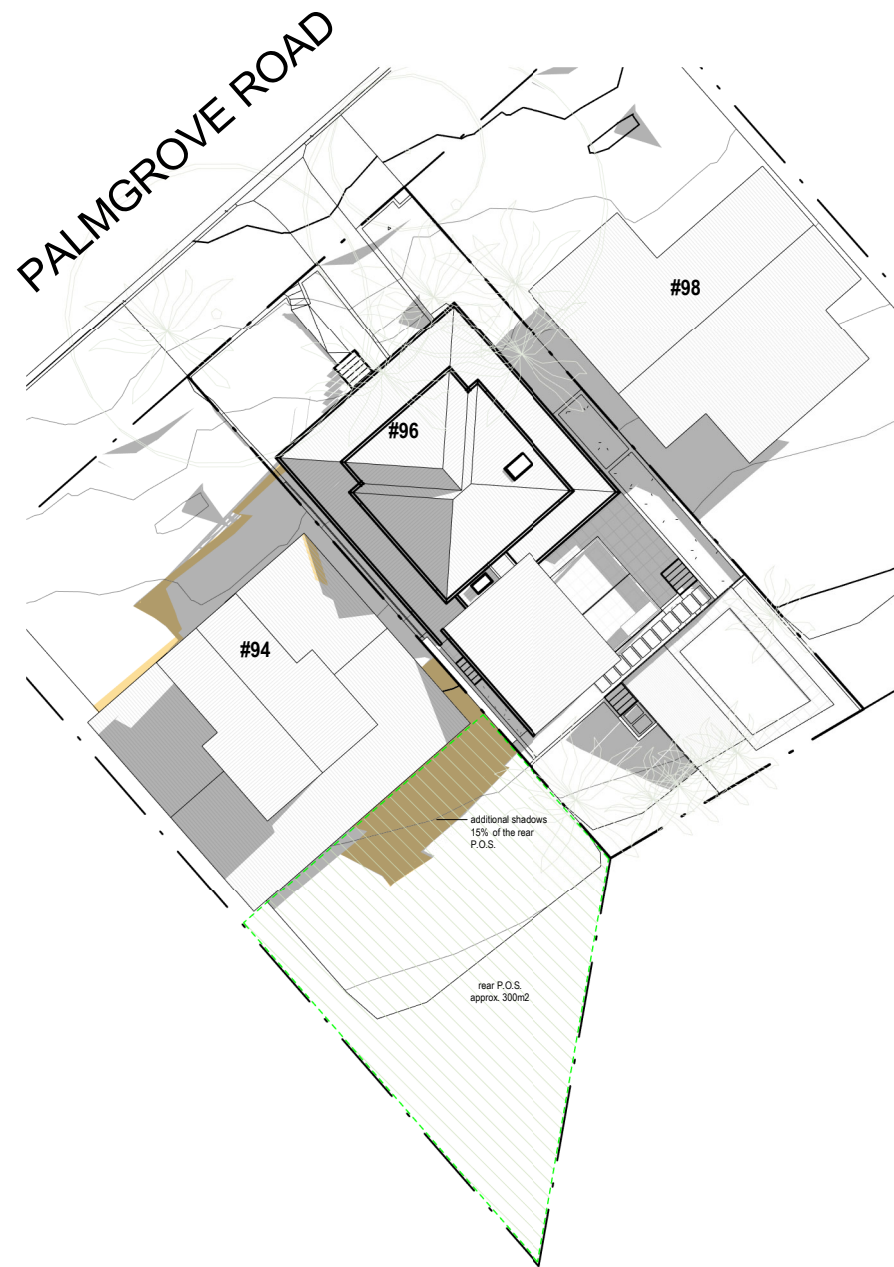
PRINT DATE: 18/08/2020 9:45:48 AM PRINT SIZE: A3

NOTES:
Builder is to examine the site and verify conditions and dimensions.
Any discrepancies must be brought to the architect's attention.
Use figured dimensions only. Do not scale drawings.
All work shall comply with the Building Code of Australia and
relevant australian standards.

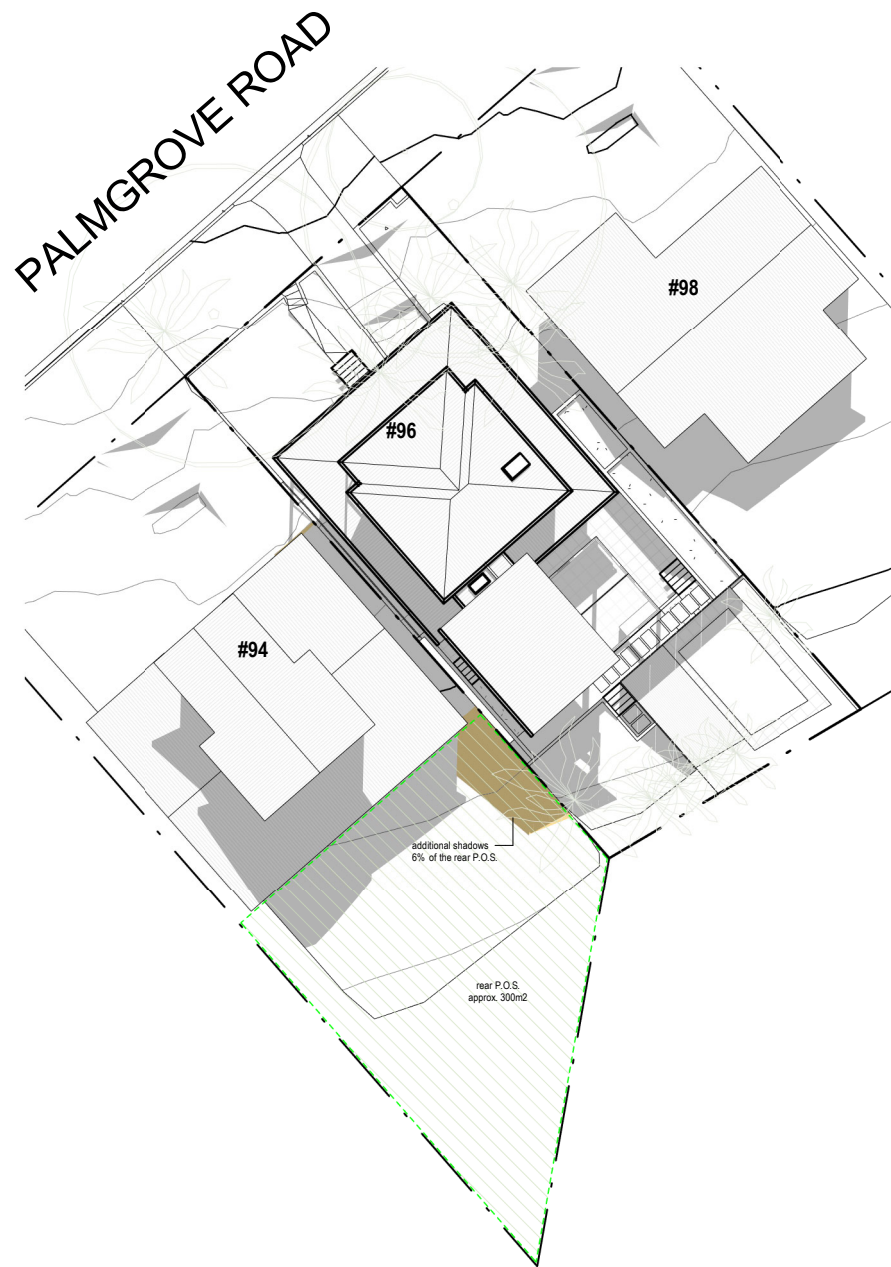
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ISSUE	DESCRIPTION	DATE
A	Development Application	14-08-20

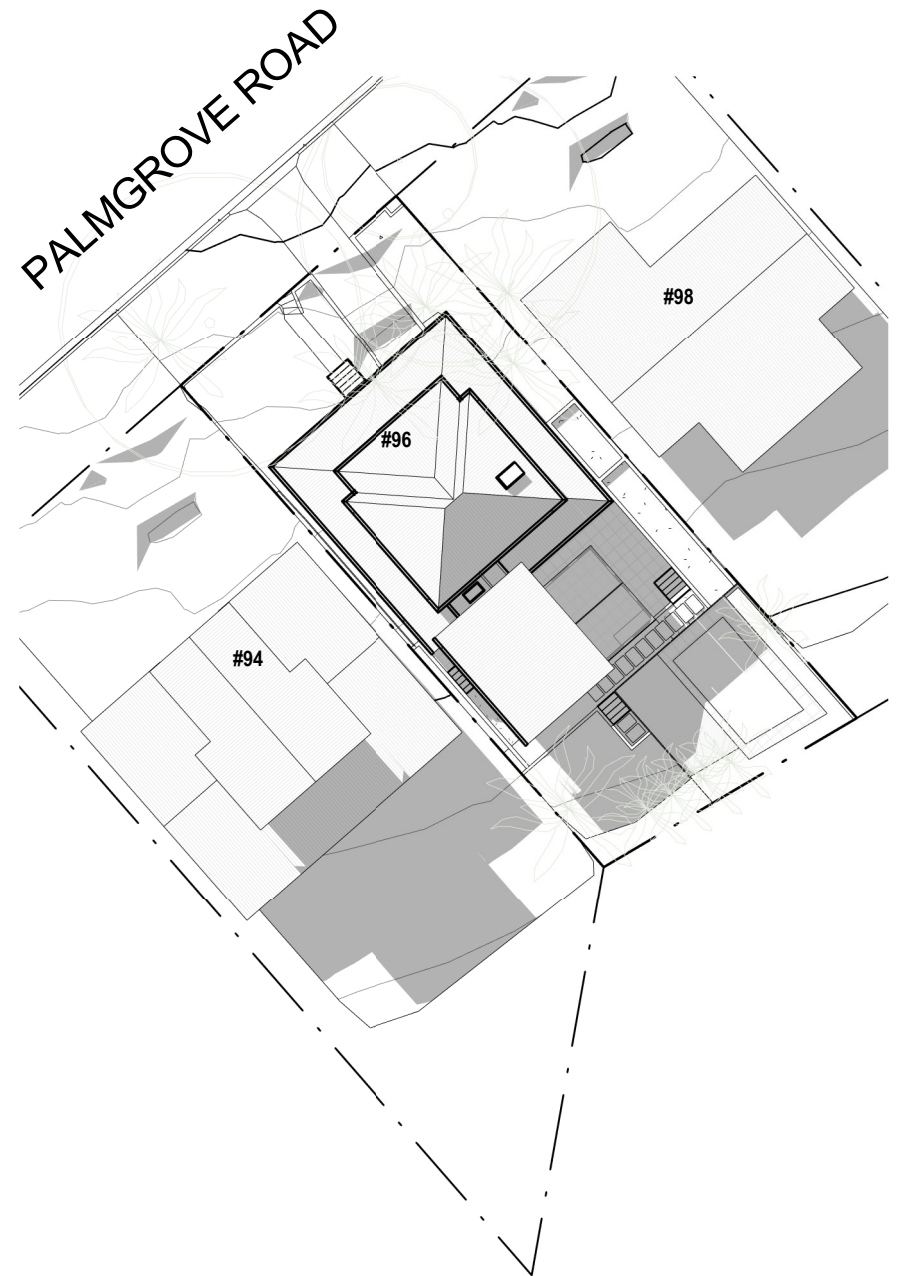
CLIENT:	J. Kennedy & J. Horn	CALCULATIONS & COMPLIANCE			
PROJECT:	Alterations & Additions	PROJECT NO.	200520	DA700	
		DATE	14-08-20		
ADDRESS:	96 PALMGROVE ROAD, AVALON BEACH	LOT:	432		
		DP:	16902	CHECKED BY:	wc



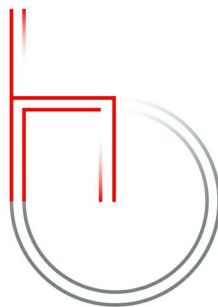
1 WINTER 9AM
1 : 400



2 WINTER 12PM
1 : 400



3 WINTER 3PM
1 : 400



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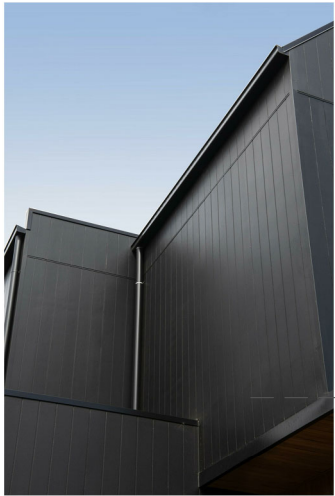
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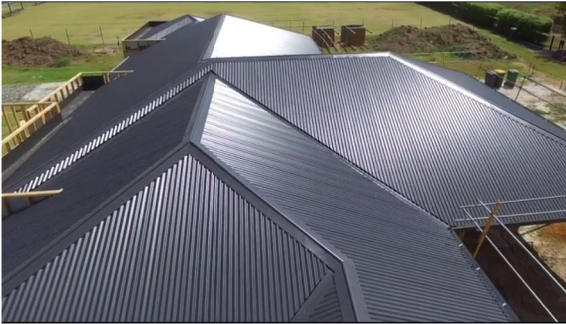
ISSUE	DESCRIPTION	DATE
A	Development Application	14-08-20

CLIENT:	J. Kennedy & J. Horn	SHADOW DIAGRAMS		
PROJECT:	Alterations & Additions	PROJECT NO.	200520	DA800
ADDRESS:	96 PALMGROVE ROAD, AVALON BEACH	DATE	14-08-20	
		LOT:	432	
		DP:	16902	SCALE: 1 : 400
		DRAWN BY:	ms	
		CHECKED BY:	wc	

MATERIALS & FINISHES SCHEDULE:



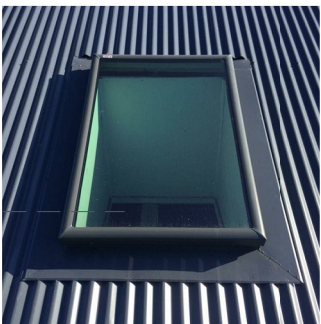
James Hardie Axon Cladding 133mm Smooth
- Painted 'monument'



custom orb colorbond® roof sheets.
'monument' colour or similar



half round gutters 'unslotted' - 'monument'



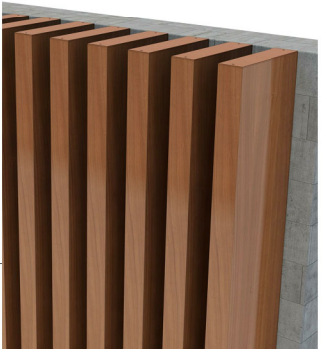
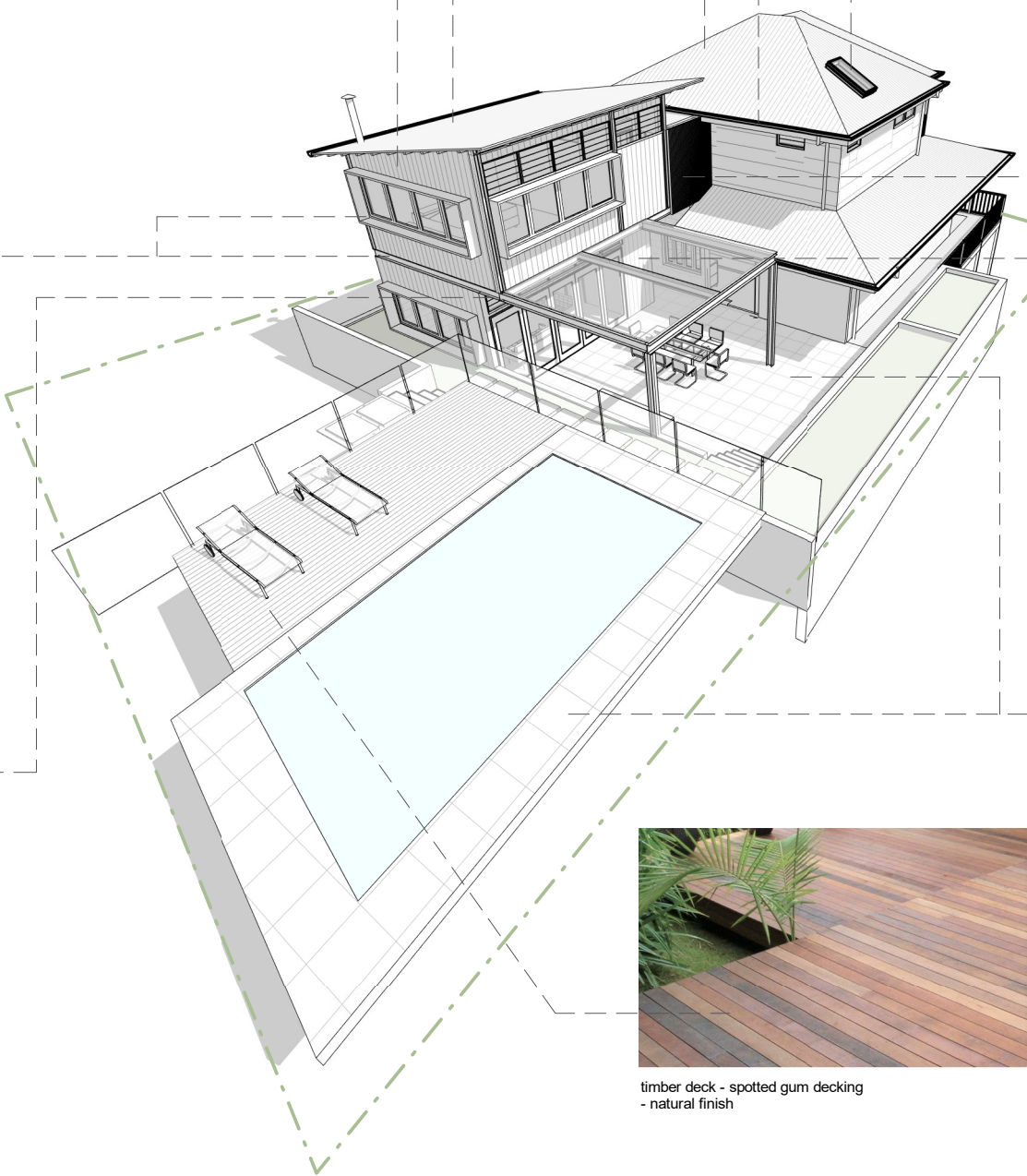
Velux skylights



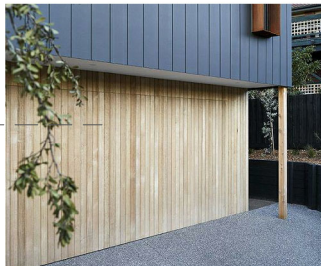
exposed structural steel + window hoods
- painted 'matt black'



timber soffits - shiplap clad
- natural finish



timber batten - vertical
- natural finish



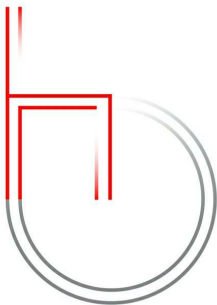
timber cladding - vertical, shiplap
- natural finish



timber deck - spotted gum decking
- natural finish



paving outdoor area & pool coping



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CLIENT:	J. Kennedy & J. Horn
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ADDRESS:	96 PALMGROVE ROAD, AVALON BEACH

MATERIALS & FINISHES SCHEDULE

PROJECT NO.	200520		
DATE	14-08-20		
LOT:	432	DRAWN BY:	ms
DP:	16902	CHECKED BY:	wc

SCALE:

DA005