

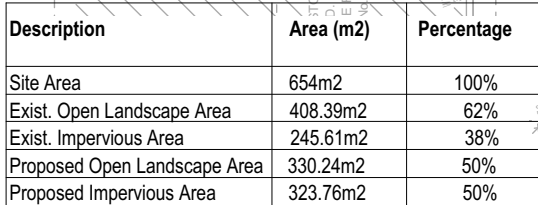


<p>THE SUBJECT TITLE NOTES : AS AT 11/09/2024</p> <p>1) RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)  2) AT975240 MORTGAGE TO NATIONAL AUSTRALIA BANK LIMITED</p>		
<p>NOTES:</p> <p>A) BOUNDARIES OF THE SITE HAVE BEEN IDENTIFIED BY SURVEY  B) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT</p> <p>AT THE TIME OF SURVEY, SERVICES MAY EXIST WHICH ARE NOT SHOWN. THE RELEVANT SERVICE AUTHORITY SHOULD BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.</p> <p>C) DIAMETER, HEIGHT &amp; SPREAD OF TREES ARE APPROXIMATE ONLY.  D) LEVELS SHOWN ARE OF AUSTRALIAN HEIGHT DATUM.  ORIGIN OF LEVELS : PM 46834, RL 17.066 (AHD), CLASS LC.  E) USE STATED DIMENSIONS. DO NOT SCALE.  F) THESE NOTES FORM PART OF THIS PLAN AND CANNOT BE REMOVED.  G) NO COVENANTS AND/OR RESTRICTIONS HAVE BEEN INVESTIGATED BY C &amp; A SURVEYORS PTY LTD.</p>		
REVISION No	DESCRIPTION	DATE
V1	PLAN ISSUED	18/09/2024
V2	.....	..J..
V3	.....	..J..
V4	.....	..J..

**DA APPLICATION**  
**ONLY**  
**NOT FOR CONSTRUCTION**







Note:  
Total Open Landscape Area for the property will be decreased by 12%

LANDSCAPE OPEN SPACE EXISTING  
1:200

1

 Denotes Pervious Area



Site Information	Prop.	Comments
Site Area	654m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	3.5m@ 45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m2)	50%	Yes
Maximum cut into gnd (m)	1.8m	Yes
Maximum depth of fill (m)	1.4m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all  
Measurements Prior to  
Commencement of any works.  
Immediately Report any Discrepanci  
to Rapid Plans**



Drawn | Checked GBJ  
Plot Date: 16/12/2024  
Project NO. RP1024MIT  
Project Status DA

Client Olivia & Luke Mitchell

Site: 31 Walworth Avenue Newport

DRAWING TITLE : SITE AND LOCATION  
**Landscape Open Space  
Plan Existing**

PROJECT NAME : **Alterations & Additions**

REVISION NO.      DATE  
-      **16-12-2024**

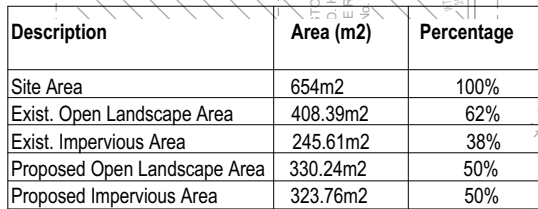
DA1011

Plot Date: 16/12/2020  
Sheet Size: A3  
D:\Archi\jobs on the go\March 2020\Archi\pin

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DRAWING TITLE	SITE AND LOCATION
Landscape Open Plan Existing	
PROJECT NAME :	Alterations

**DA APPLICATION**  
**ONLY**  
**NOT FOR CONSTRUCTION**



Total Open Landscape Area for the property will be decreased by 12%

LANDSCAPE OPEN SPACE PROPOSED  
1:200

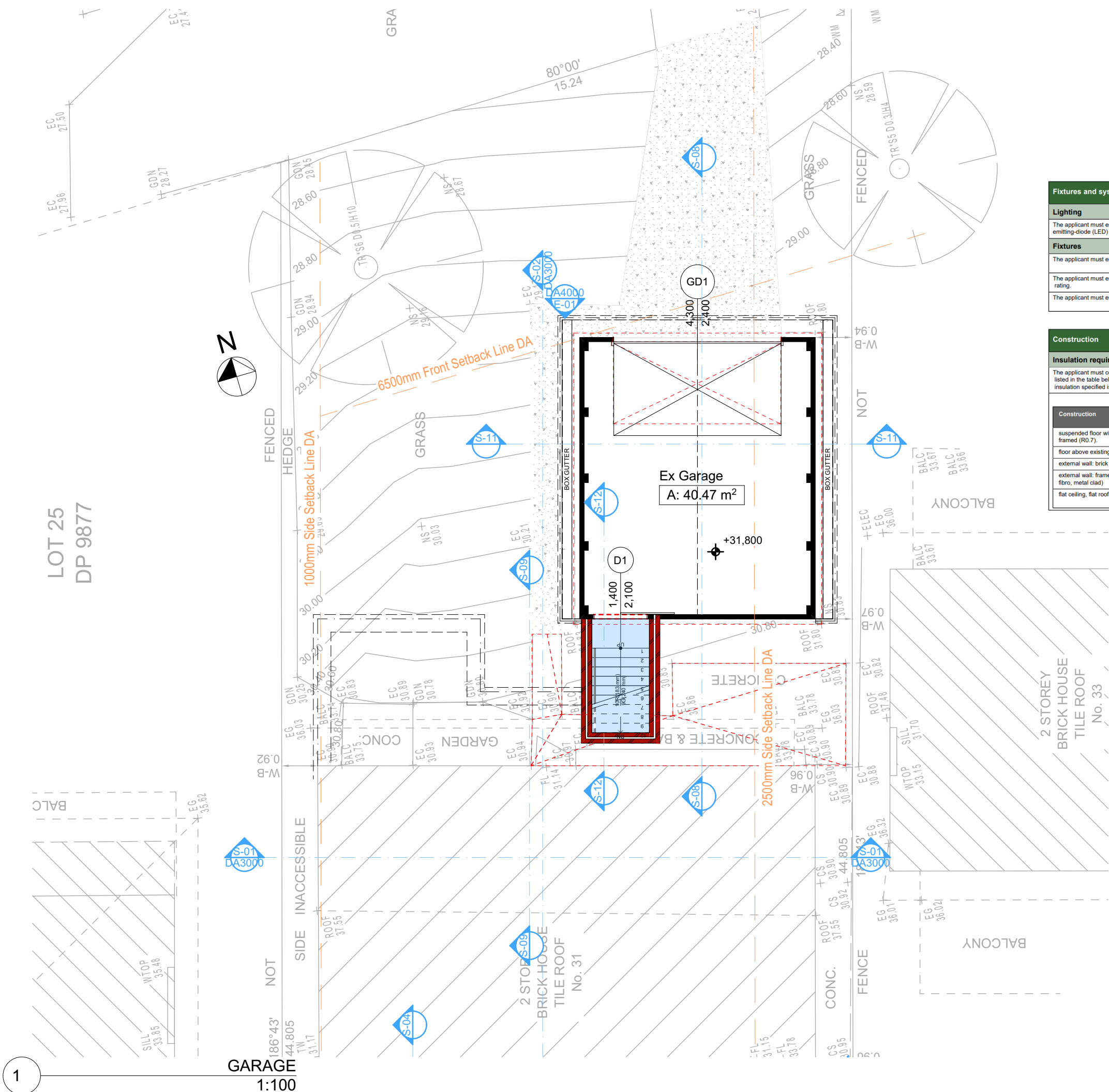
- DA APPLICATION**  
**ONLY**  
**NOT FOR CONSTRUCTION**



**Builder to Check and Confirm all  
Measurements Prior to  
Commencement of any works.  
Immediately Report any Discrepancies  
to Rapid Plans**



<p>These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Raval Engineering &amp; Construction.</p>	<p>DRAWING TITLE: SITE AND LOCATION</p> <p><b>Landscape Open Space Plan Proposed</b></p>
	<p>PROJECT NAME :</p> <p><b>Alterations &amp;</b></p>
	<p>DATE :</p> <p>01/01/2024</p>



Denotes New Works

Denotes New Timber Framed Wall

Denotes New Masonry Wall

Denotes Existing Wall

Denotes Demolished Item

Wall Legend

Fixtures and systems
<b>Lighting</b>
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
<b>Fixtures</b>
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)	N/A
floor above existing dwelling or building.	nil	N/A
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibre, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.58 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

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DA APPLICATION ONLY

NOT FOR CONSTRUCTION

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BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

**bdaa**  
ACCREDITED BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**

31 Walworth Avenue Newport is zoned R2 Low Density Res. 31 Walworth Avenue Newport is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in ShadedBlue.

**Construction**

Timber Framed Floor, Masonry & Cladded Walls  
Roof Sheet Metal to have R1.58 insulation  
Insulation to External Masonry & Cladded Walls R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1884  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2017  
Waterproofing to BCA and AS 3740.

New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Carrying**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Carrying Authority without the written permission of Rapid Plans or the supply of a written Construction Certificate drawings by Rapid Plans.

**Basic**

Basic Certificate Number A177686  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	654m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	3.5m@ 45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m2)	50%	Yes
Maximum cut into gnd (m)	1.8m	Yes
Maximum depth of fill (m)	1.4m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 16/12/2024  
Project NO. RP1024MIT  
Project Status DA

Client Olivia & Luke Mitchell

Site: 31 Walworth Avenue Newport

DRAWING TITLE : PLANS  
**GARAGE**

PROJECT NAME : **Alterations & Additions**

REVISION NO.	DATE
-	16-12-2024

DRAWING NO. **DA2001**

Plot Date: 16/12/2024  
Sheet Size: A3



Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor: framed (R0.7)	R0.60 (down) (or R1.30 including construction)	N/A
floor above existing dwelling or building	nil	N/A
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibre, metal clad)	R1.30 (or R1.70 including construction)	
ceiling: R1.58 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)	

Min. 450 Window Awning To Basix Requirements

Min. 450 Window Awning To Basix Requirements

Line Of Wall Above

New Masonry Wall

New Timber Stairs & Handrail To NCC & Aust. Stds.

Min. 450 Window Awning To Basix Requirements

Render Existing Brick Walls

Existing Masonry Wall

Demolish Items Shown Red Dashed

New Timber Post

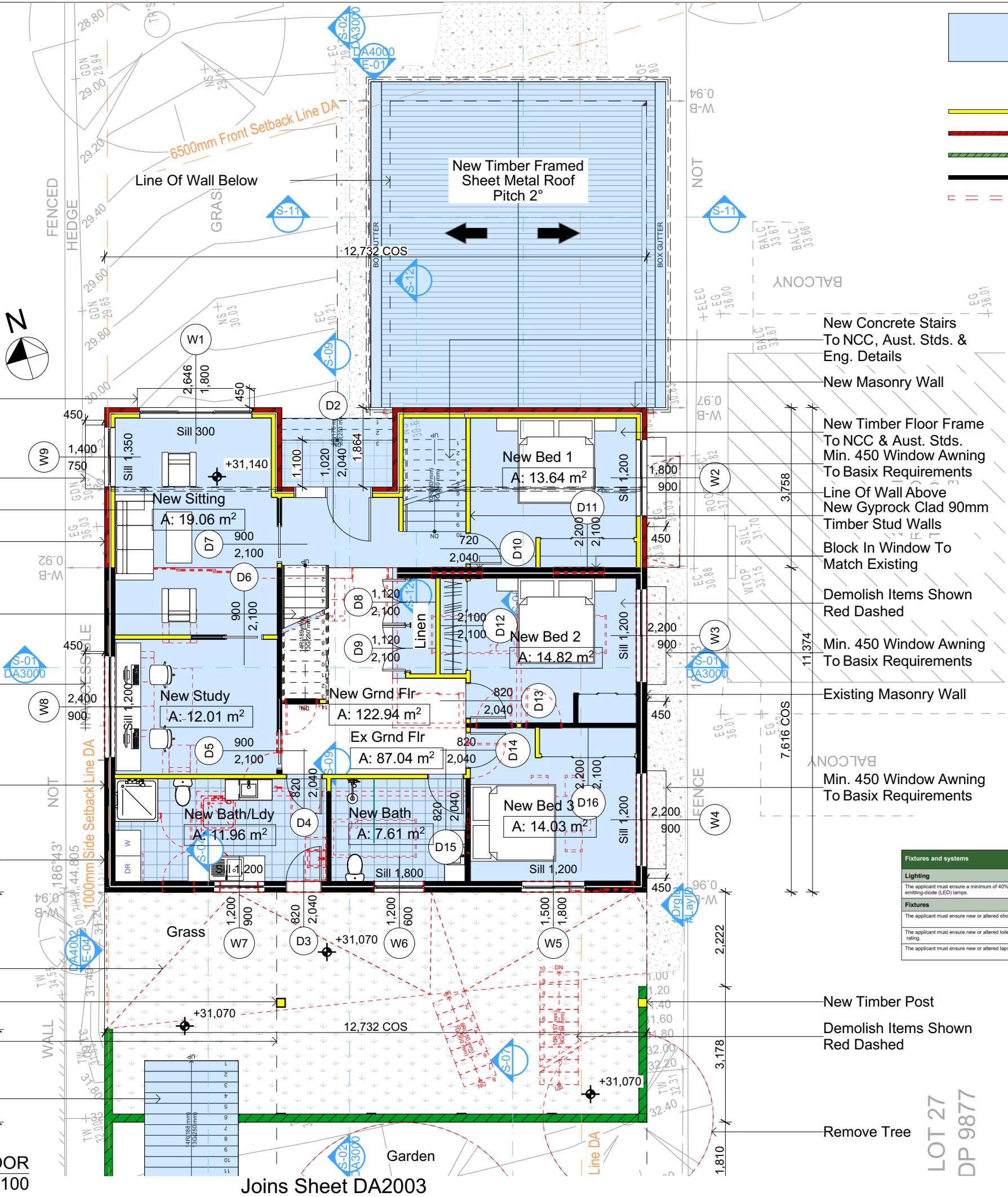
Line Of Deck Above

New Concrete Stairs To NCC, Aust. Stds. & Eng. Details

1

GROUND FLOOR

1:100



Denotes New Works

Denotes New Timber Framed Wall

Denotes New Masonry Wall

Denotes New Concrete Block Wall

Denotes Existing Wall

Denotes Demolished Item

Wall Legend

Denotes New Works

Denotes New Timber Framed Wall

Denotes New Masonry Wall

Denotes New Concrete Block Wall

Denotes Existing Wall

Denotes Demolished Item

Min. 450 Window Awning To Basix Requirements

Min. 450 Window Awning To Basix Requirements

Line Of Wall Above

New Masonry Wall

New Timber Floor Frame To NCC & Aust. Stds.

Min. 450 Window Awning To Basix Requirements

Line Of Wall Above

New Gyprock Clad 90mm Timber Stud Walls

Block In Window To Match Existing

Demolish Items Shown Red Dashed

Min. 450 Window Awning To Basix Requirements

Existing Masonry Wall

Min. 450 Window Awning To Basix Requirements

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

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DA APPLICATION ONLY

NOT FOR CONSTRUCTION

Rapid Plans

Building Design and Architectural Drafting

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bdca

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

31 Walworth Avenue Newport is zoned R2 Low Density Res.

31 Walworth Avenue Newport is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded Blue Construction.

Timber Framed Floor, Masonry & Cladded Walls R1.7

Refer to Engineers drawings for structural details.

All work to Engineers Specification and BCA.

Timber framing to BCA and AS 1884.

Termite Management to BCA and AS 3660.1.

Glazing to BCA and AS 2128-2017.

Waterproofing to BCA and AS 3740.

New Lighting to have minimum of 40% compact fluorescent lamps.

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certification

The DA Application only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a valid Construction Certificate drawings by Rapid Plans.

Basic Certificate Number A1777686

All Plans to be read in conjunction with Basic Certificate.

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gorgona, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	654m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	3.5m@ 45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m2)	50%	Yes
Maximum cut into gnd (m)	1.8m	Yes
Maximum depth of fill (m)	1.4m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ  
Plot Date: 16/12/2024  
Project NO.: RP1024MIT  
Project Status DA

Client Olivia & Luke Mitchell

Site: 31 Walworth Avenue Newport

DRAWING TITLE: PLANS  
GROUND FLOOR NORTH

PROJECT NAME: Alterations & Additions

REVISION NO. DATE  
- 16-12-2024

DRAWING NO. DA2002

Plot Date: 16/12/2024  
Sheet Size: A3

Joins Sheet DA2002



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**NOTES**  
31 Walworth Avenue Newport is zoned R2 Low Density Res. All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded Blue.  
Timber Framed Floor, Masonry & Cladded Walls R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1884  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Basix**  
Basix Certificate Number A1777686  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>. b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	654m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	3.5m@ 45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m <sup>2</sup> )	50%	Yes
Maximum cut into gnd (m)	1.8m	Yes
Maximum depth of fill (m)	1.4m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ  
Plot Date: 16/12/2024  
Project NO: RP1024MIT  
Project Status DA

Client Olivia & Luke Mitchell  
Site: 31 Walworth Avenue Newport

DRAWING TITLE: PLANS  
GROUND FLOOR SOUTH

PROJECT NAME: Alterations & Additions

REVISION NO. DATE  
- 16-12-2024

DRAWING NO. DA2003

Plot Date: 16/12/2024  
Sheet Size: A3

Denotes New Works

Min. 450 Window Awning To Basix Requirements

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Concrete Block Wall
- Denotes Existing Wall
- Denotes Demolished Item

New Timber Post

Demolish Items Shown Red Dashed

Remove Tree

Remove Tree

New Min. 1200 high Pool Safety Barrier To NCC & Aust. Stds.

New Concrete Block Retaining Wall To Eng. Details

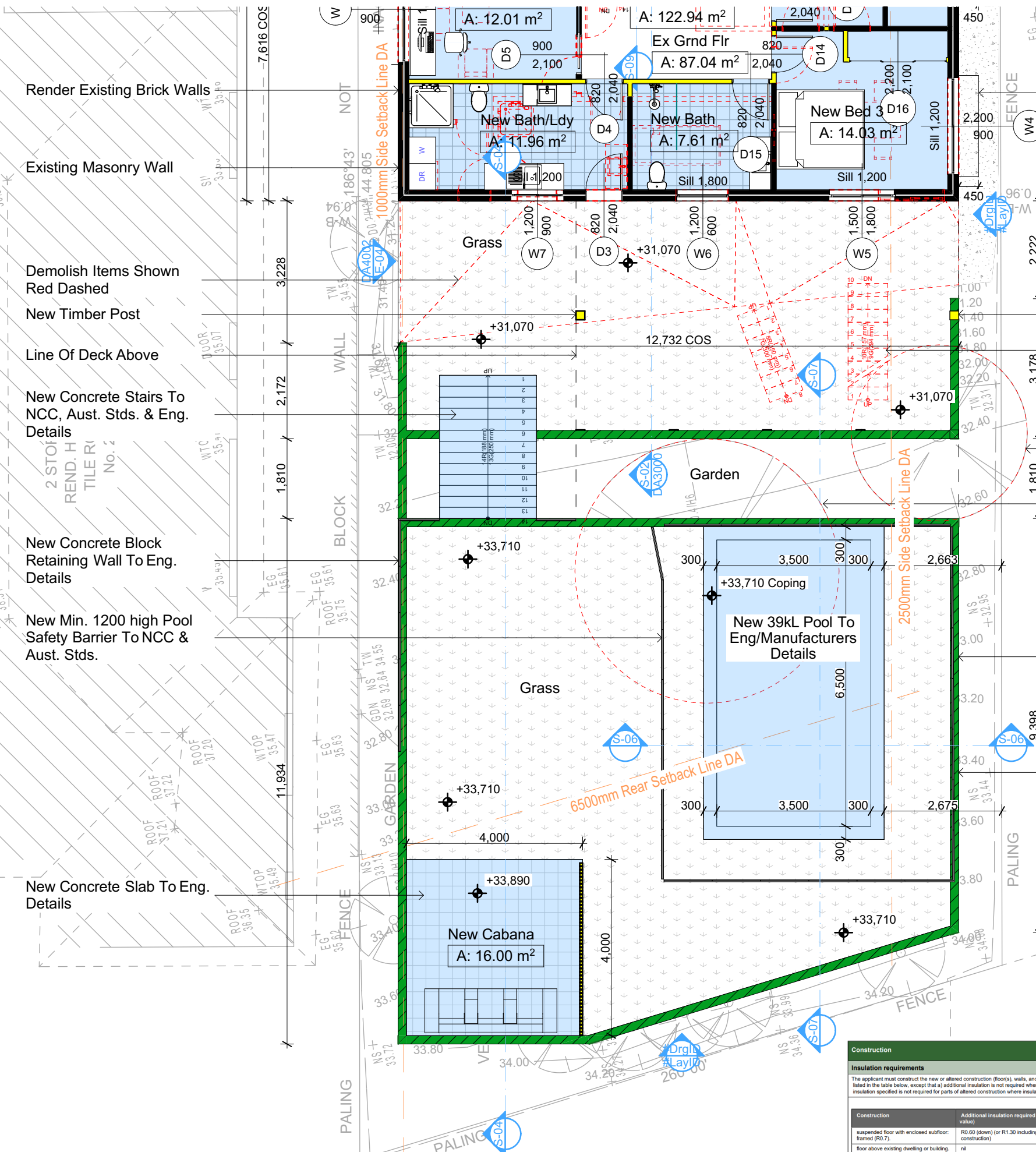
Fixtures and systems	
<b>Lighting</b>	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
<b>Fixtures</b>	
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floors, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m <sup>2</sup> . b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional Insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor: framed (R0.7)	R0.60 (down) (or R1.30 including construction)	N/A
floor above existing dwelling or building	nil	N/A
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.58 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

LOT 1  
DP 1009503

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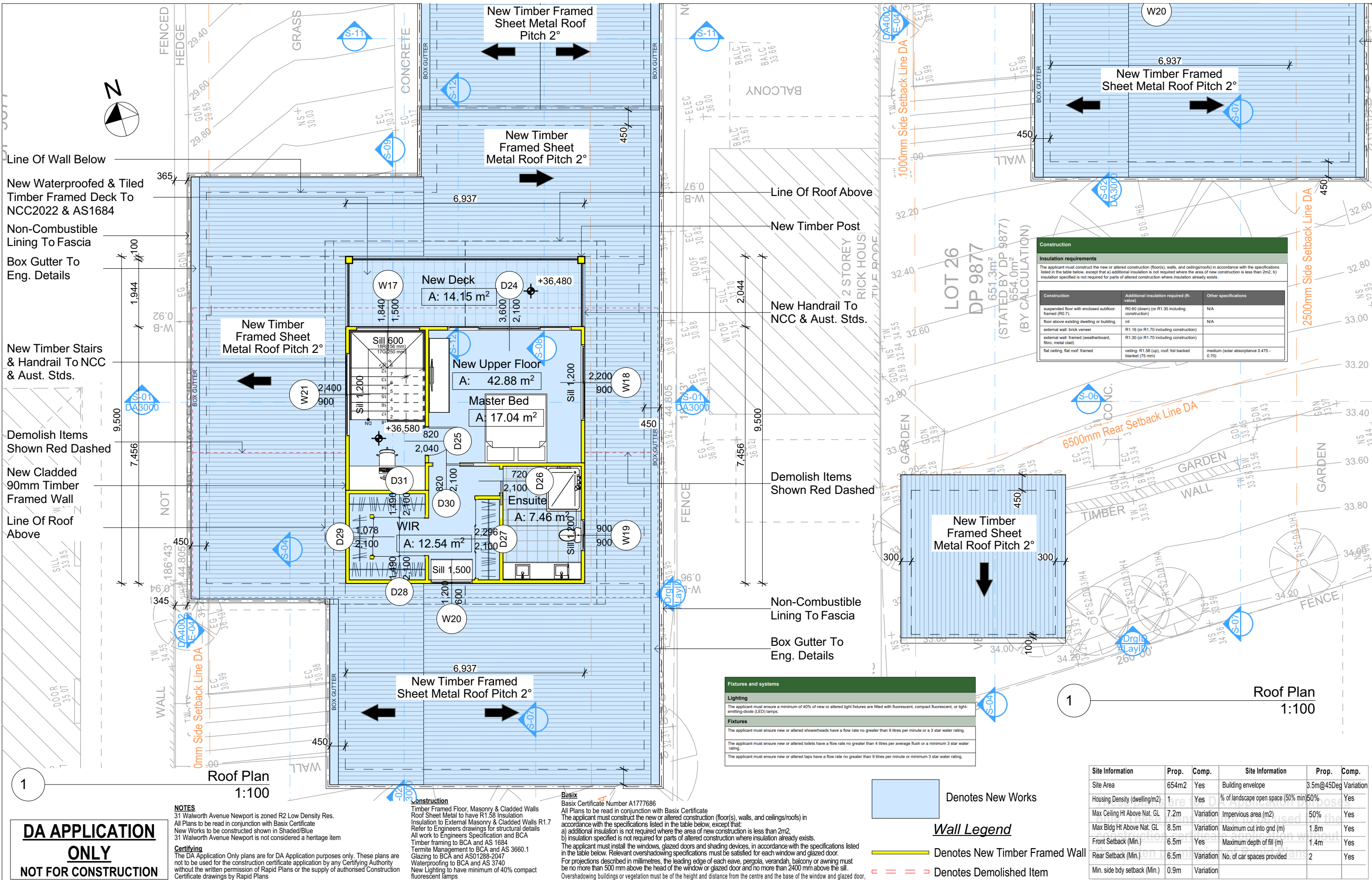
GROUND FLOOR  
1:100











DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION

NOTES

31 Walworth Avenue Newport is zoned R2 Low Density Res.

All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

31 Walworth Avenue Newport is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Timber Framed Floor, Masonry & Cladded Walls

Roof Sheet Metal to have R1.58 Insulation

Insulation to External Masonry & Cladded Walls R1.7

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A1777686

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>

b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	654m <sup>2</sup>	Yes	Building envelope	3.5m@45Deg	Variation
Housing Density (dwelling/m <sup>2</sup> )	1	Yes	% of landscape open space (50% min)	50%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m <sup>2</sup> )	50%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into grd (m)	1.8m	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	1.4m	Yes
Rear Setback (Min.)	6.5m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



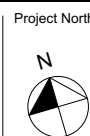
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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans



Project North

Checked  
Plot Date: 16/12/2024  
Project NO: RP1024MIT  
Project Status: DA

Client  
Site: Olivia & Luke Mitchell  
31 Walworth Avenue Newport

Sheet Size: A3

DRAWING TITLE :

PLANS  
SECOND FLOOR

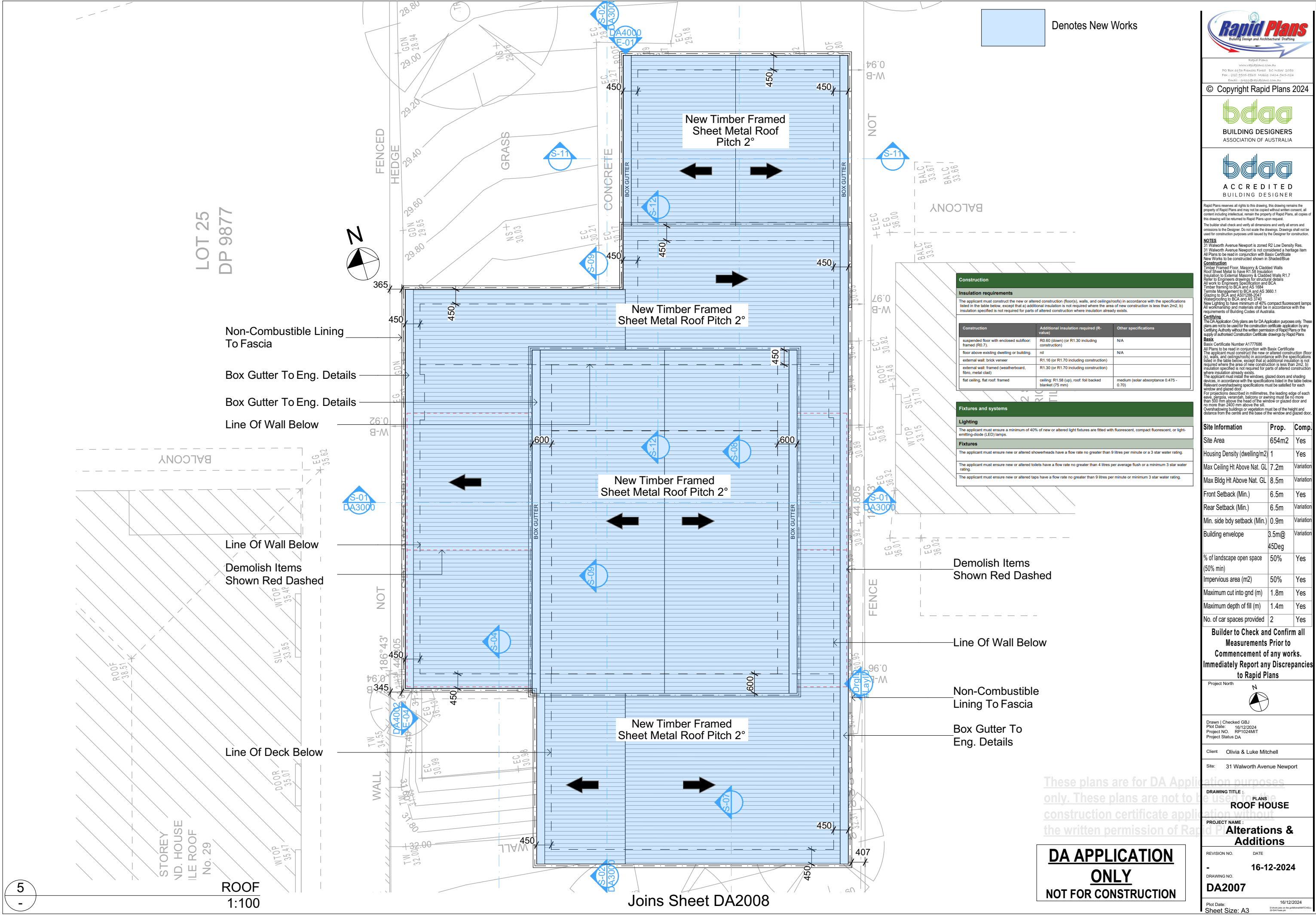
PROJECT NAME :

Alterations & Additions

REVISION NO.

DATE:  
16-12-2024  
DRAWING NO.  
DA2006





Joins Sheet DA2007

Demolish Items  
Shown Red Dashed

Line Of Deck Below

Demolish Items  
Shown Red Dashed

Denotes New Works

Line Of Wall Below

Non-Combustible  
Lining To Fascia

Box Gutter To  
Eng. Details

New Timber Framed  
Sheet Metal Roof Pitch 2°

LOT 26  
DP 9877  
651.3m<sup>2</sup>  
(STATED BY DP 9877)  
654.0m<sup>2</sup>  
(BY CALCULATION)

New Timber  
Framed Sheet  
Metal Roof Pitch 2°

LOT 27  
DP 9877

LOT 1  
DP 1009503

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NOT FOR CONSTRUCTION



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Building Design and Architectural Drafting

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**bdaa**  
ACCREDITED  
BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**

31 Walworth Avenue Newport is zoned R2 Low Density Res.  
31 Walworth Avenue Newport is not considered a heritage item.  
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in ShadedBlue

**Construction**

Timber Framed Floor, Masonry & Cladded Walls  
Roof Sheet Metal to have R1.50 insulation  
Insulation to External Masonry & Cladded Walls R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1884  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a written Construction Certificate drawings by Rapid Plans.

**Basic**

Basic Certificate Number A1777686  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	654m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	3.5m@ 45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m <sup>2</sup> )	50%	Yes
Maximum cut into gnd (m)	1.8m	Yes
Maximum depth of fill (m)	1.4m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North



Drawn | Checked GBJ  
Plot Date: 16/12/2024  
Project NO: RP1024MIT  
Project Status DA

Client Olivia & Luke Mitchell

Site: 31 Walworth Avenue Newport

DRAWING TITLE: PLANS  
**ROOF CABANA**

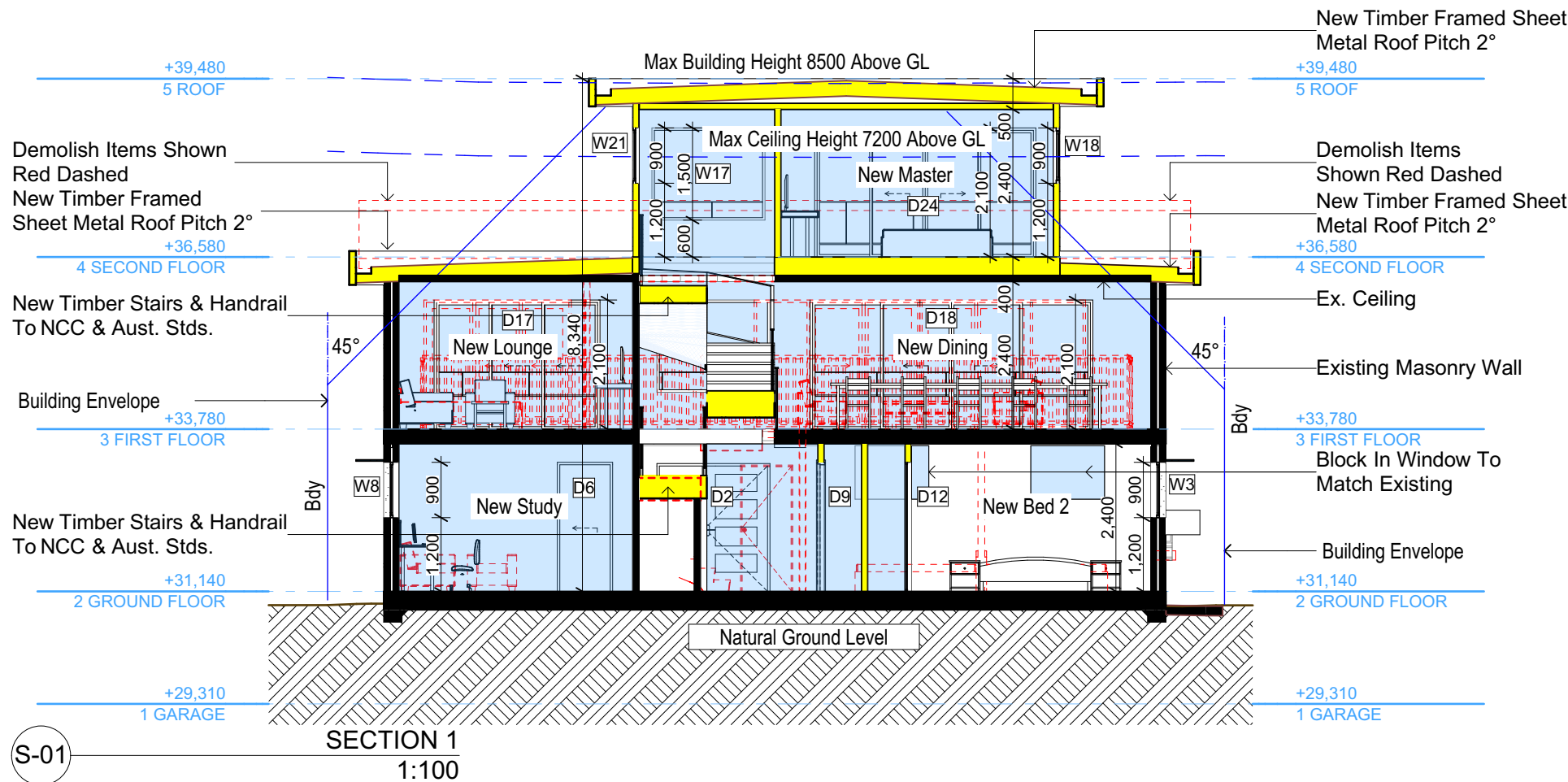
PROJECT NAME:  
**Alterations & Additions**

REVISION NO.	DATE
-	16-12-2024

DRAWING NO.  
**DA2008**

Plot Date: 16/12/2024  
Sheet Size: A3





Denotes New Works

**Wall Legend**

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor: framed (R0.7)	R0.60 (down) (or R1.30 including construction)	N/A
floor above existing dwelling or building	nil	N/A
external wall: brick veneer	R1.16 (or R1.70 including construction)	N/A
external wall: framed (weatherboard, fibre, metal clad)	R1.30 (or R1.70 including construction)	N/A
flat ceiling, flat roof: framed	ceiling: R1.58 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

Building Design and Architectural Drafting

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BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

ACCREDITED BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**

31 Walworth Avenue Newport is zoned R2 Low Density Res.

31 Walworth Avenue Newport is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in ShadedBlue.

**Construction**

Timber Framed Floor, Masonry & Cladded Walls R1.7

Roof Sheet Metal to have insulation in accordance with R1.7

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1288-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Carrying**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Carrying Authority without the written permission of Rapid Plans or the supply of an authorized Construction Certificate drawings by Rapid Plans.

**Basic Certificate Number A1777688**

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	654m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	3.5m@ 45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m2)	50%	Yes
Maximum cut into gnd (m)	1.8m	Yes
Maximum depth of fill (m)	1.4m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 16/12/2024  
Project NO: RP1024MMT  
Project Status DA

Client: Olivia & Luke Mitchell

Site: 31 Walworth Avenue Newport

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

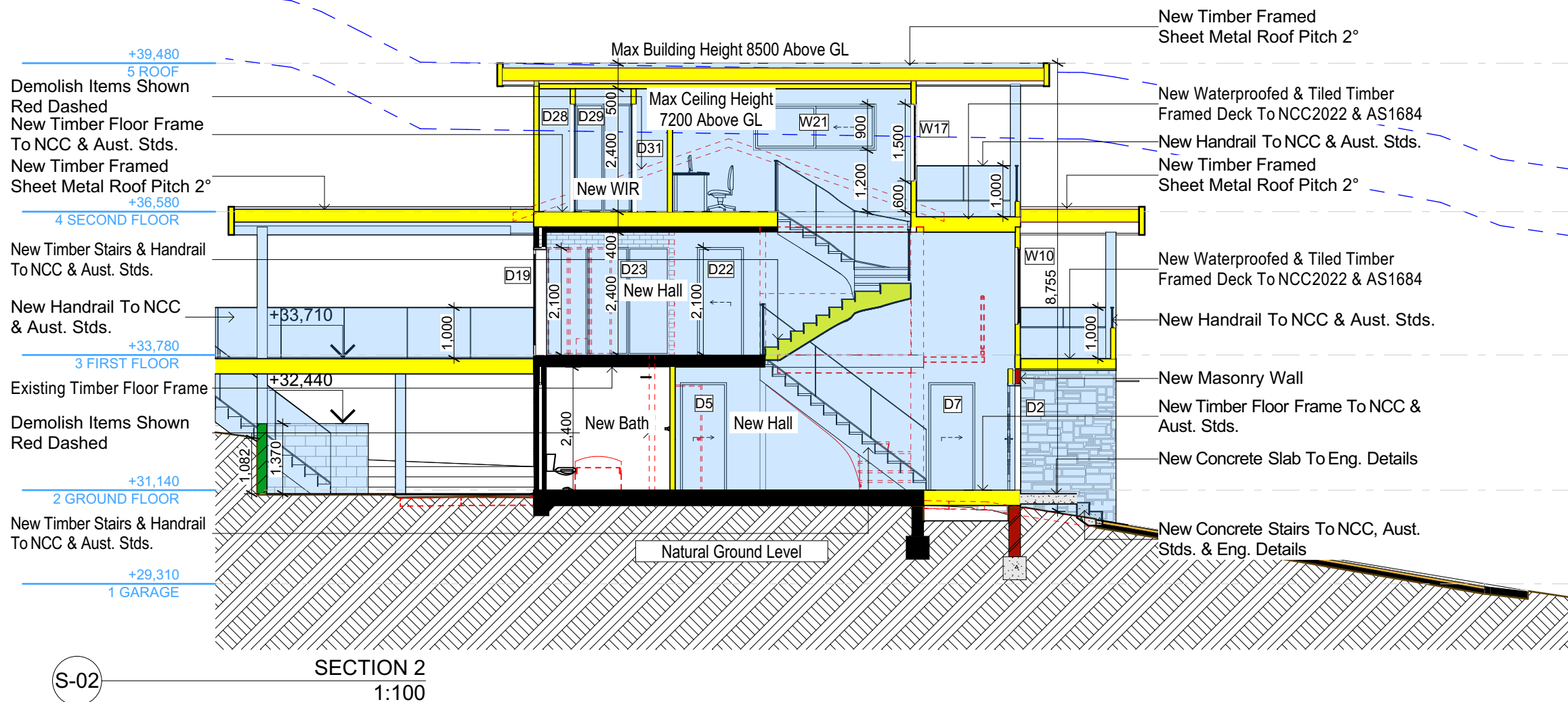
DRAWING TITLE: SECTIONS  
**SECTION 1**

PROJECT NAME: **Alterations & Additions**

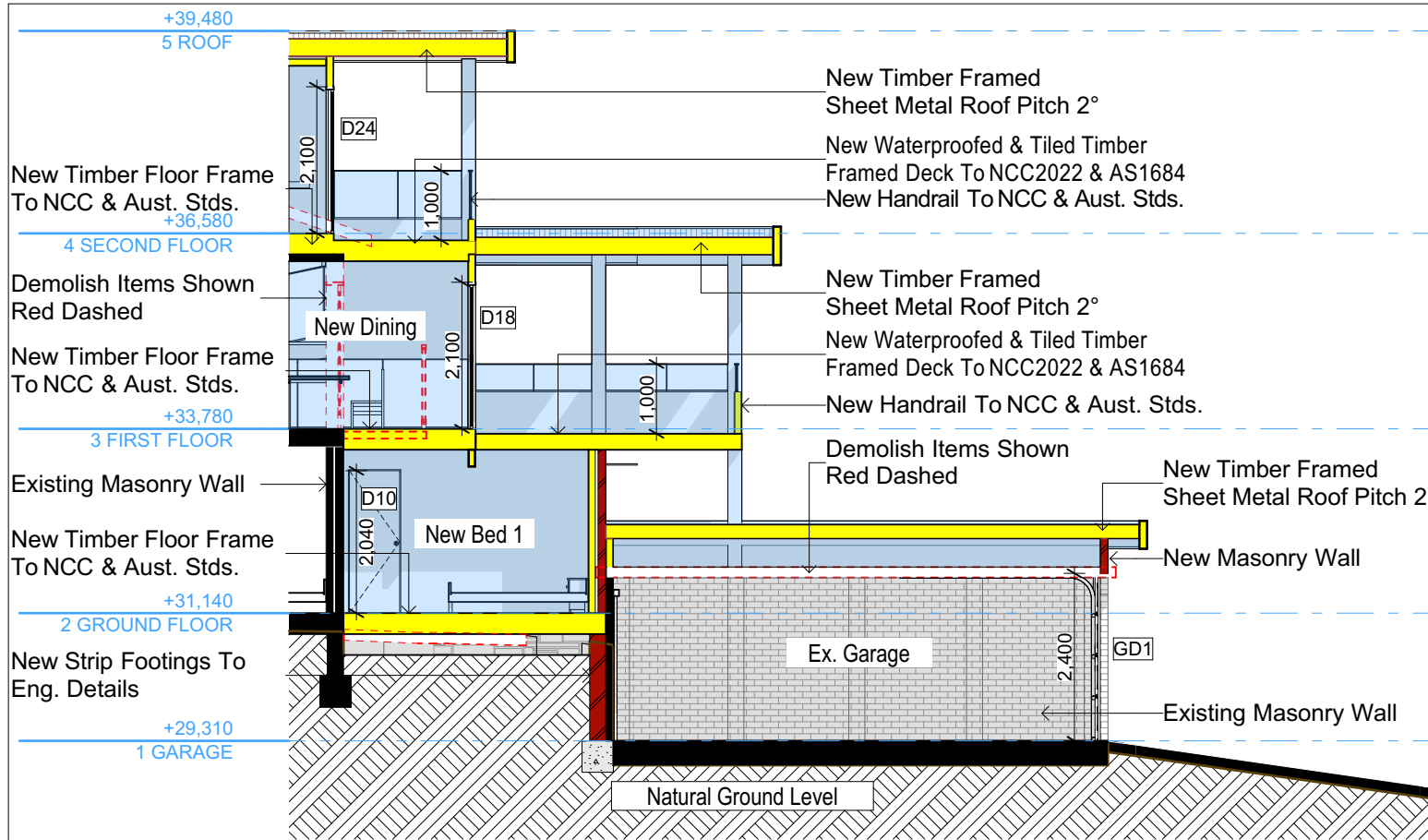
REVISION NO.	DATE
-	16-12-2024

DRAWING NO: **DA3000**

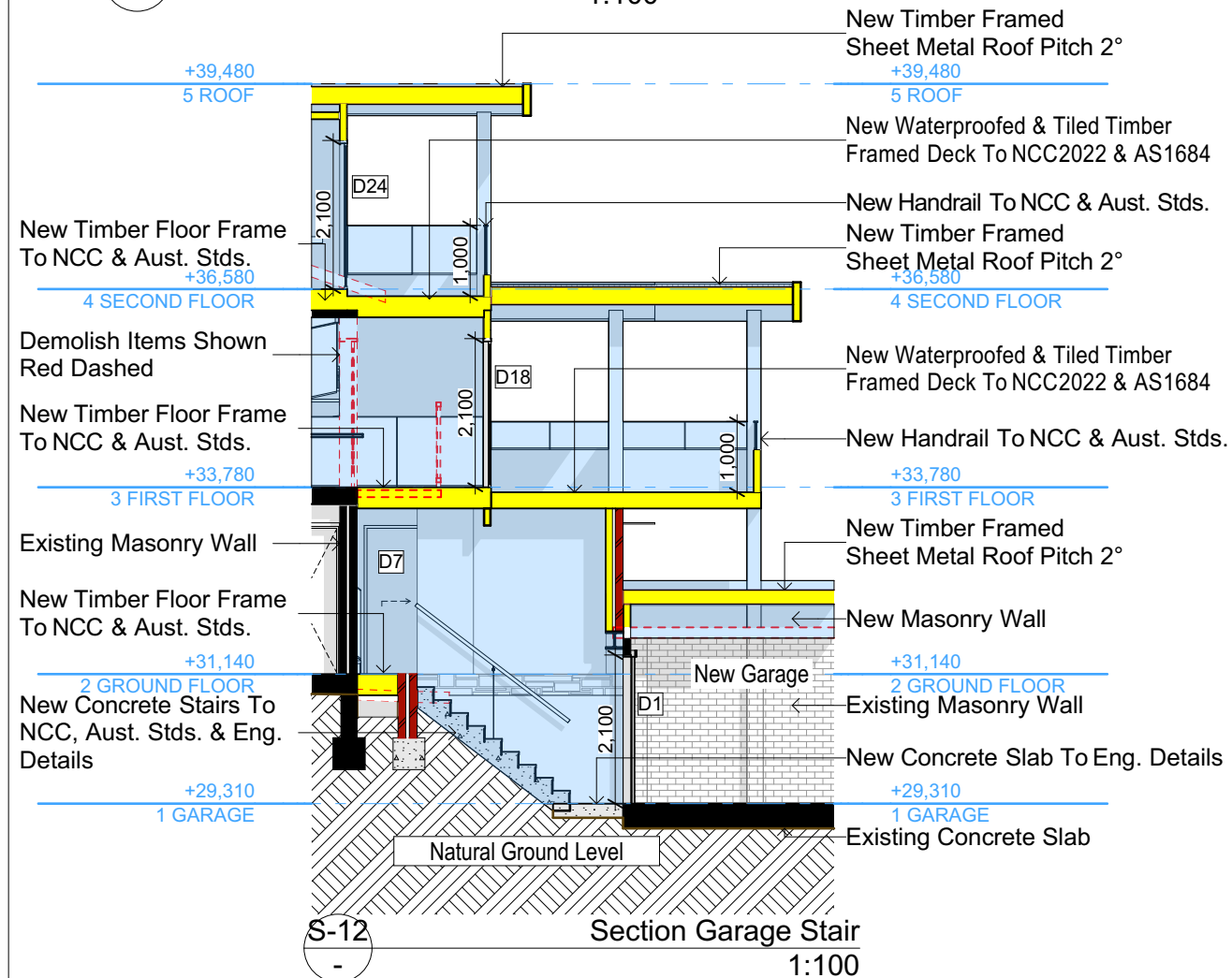
Plot Date: 16/12/2024  
Sheet Size: A3



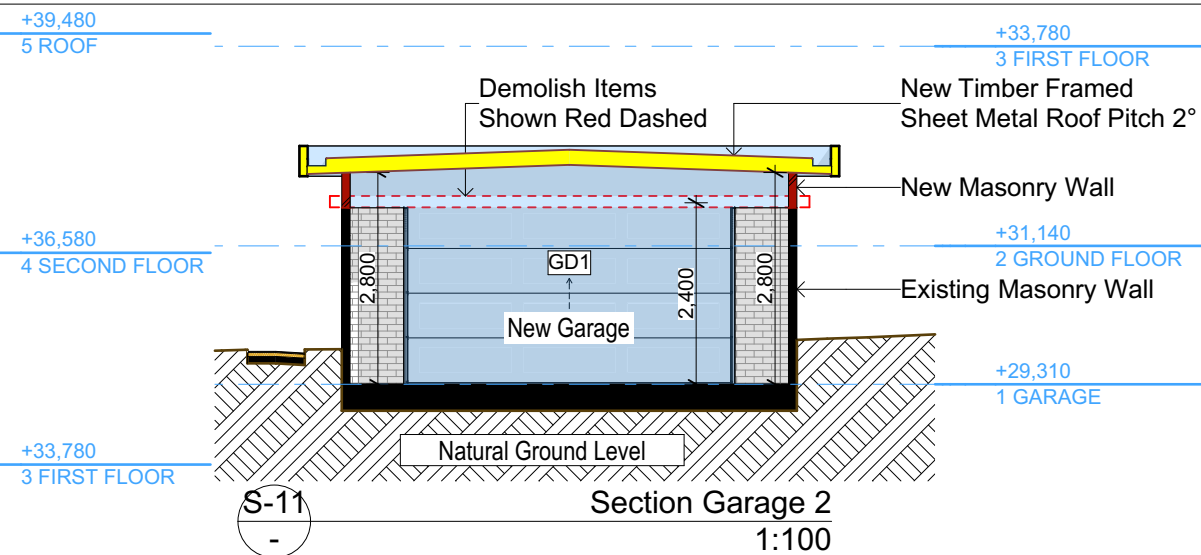
**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**



S-08  
Section Garage 1  
1:100



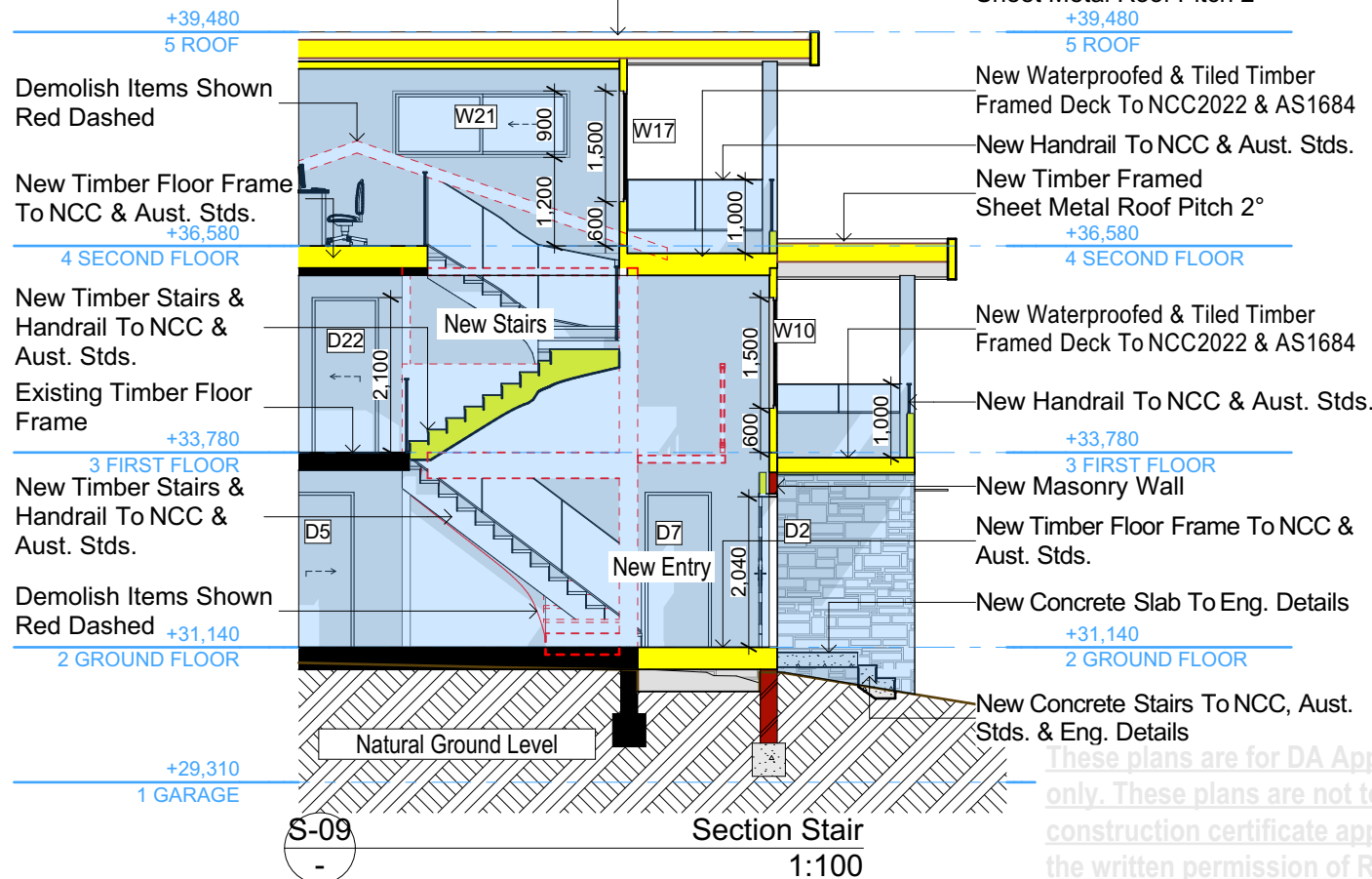
S-09  
Section Garage 2  
1:100



S-11  
Section Garage 2  
1:100

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floors), walls, and ceilings/roofs in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor-framed (R0.7)	R0.60 (down) (or R1.30 including construction)	N/A
floor above existing dwelling or building	nil	N/A
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.58 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

- Wall Legend**
- Denotes New Works
  - Denotes New Timber Framed Wall
  - Denotes New Masonry Wall
  - Denotes New Concrete Block Wall
  - Denotes Existing Wall
  - Denotes Demolished Item



S-09  
Section Stair  
1:100

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

Building Design and Architectural Drafting

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**bdaa**  
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**bdaa**  
ACCREDITED BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes unless issued by the Designer for construction.

**NOTES**

31 Walworth Avenue Newport is zoned R2 Low Density Res. 31 Walworth Avenue Newport is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in ShadedBlue.

**Construction**

Timber Framed Floor, Masonry & Cladded Walls Roof Sheet Metal to have R1.70 insulation insulation to External Masonry & Cladded Walls R1.7 Refer to Engineers drawings for structural details All work to Engineers Specification and BCA Timber framing to BCA and AS 1684 Termite Management to BCA and AS 3660.1 Glazing to BCA and AS1288-2017 Waterproofing to BCA and AS 3740 New Lighting to have minimum of 40% compact fluorescent lamps All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Carrying**

The DA Application only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Carrying Authority without the written permission of Rapid Plans or the supply of a written Construction Certificate drawings by Rapid Plans.

**Basic**

Basic Certificate Number A177686 All Plans to be read in conjunction with Basic Certificate The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

**Site Information**

Site Information	Prop.	Comp.
Site Area	654m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	3.5m@ 45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m2)	50%	Yes
Maximum cut into gnd (m)	1.8m	Yes
Maximum depth of fill (m)	1.4m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 16/12/2024  
Project NO: RP1024MIT  
Project Status DA

Client: Olivia & Luke Mitchell

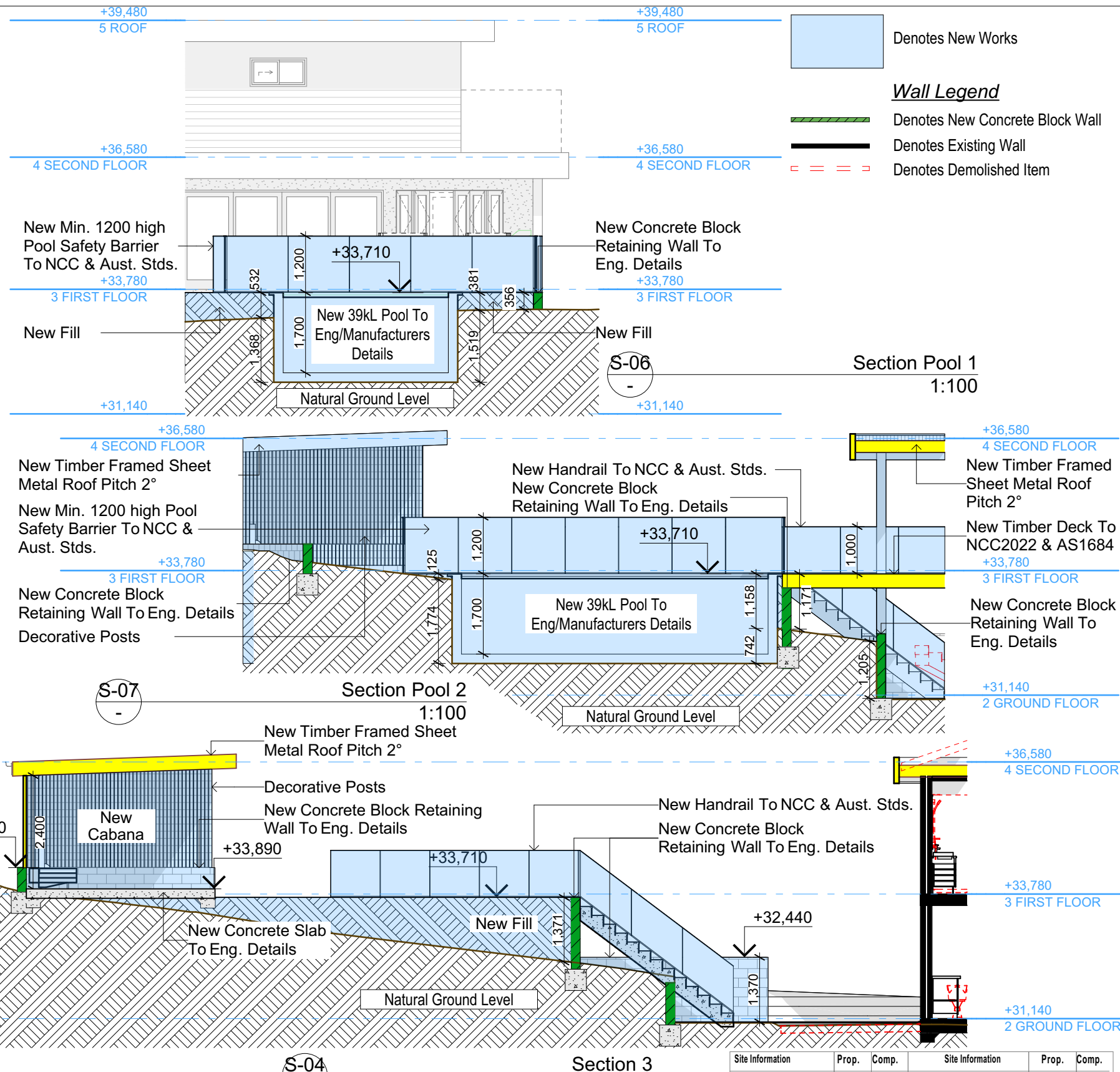
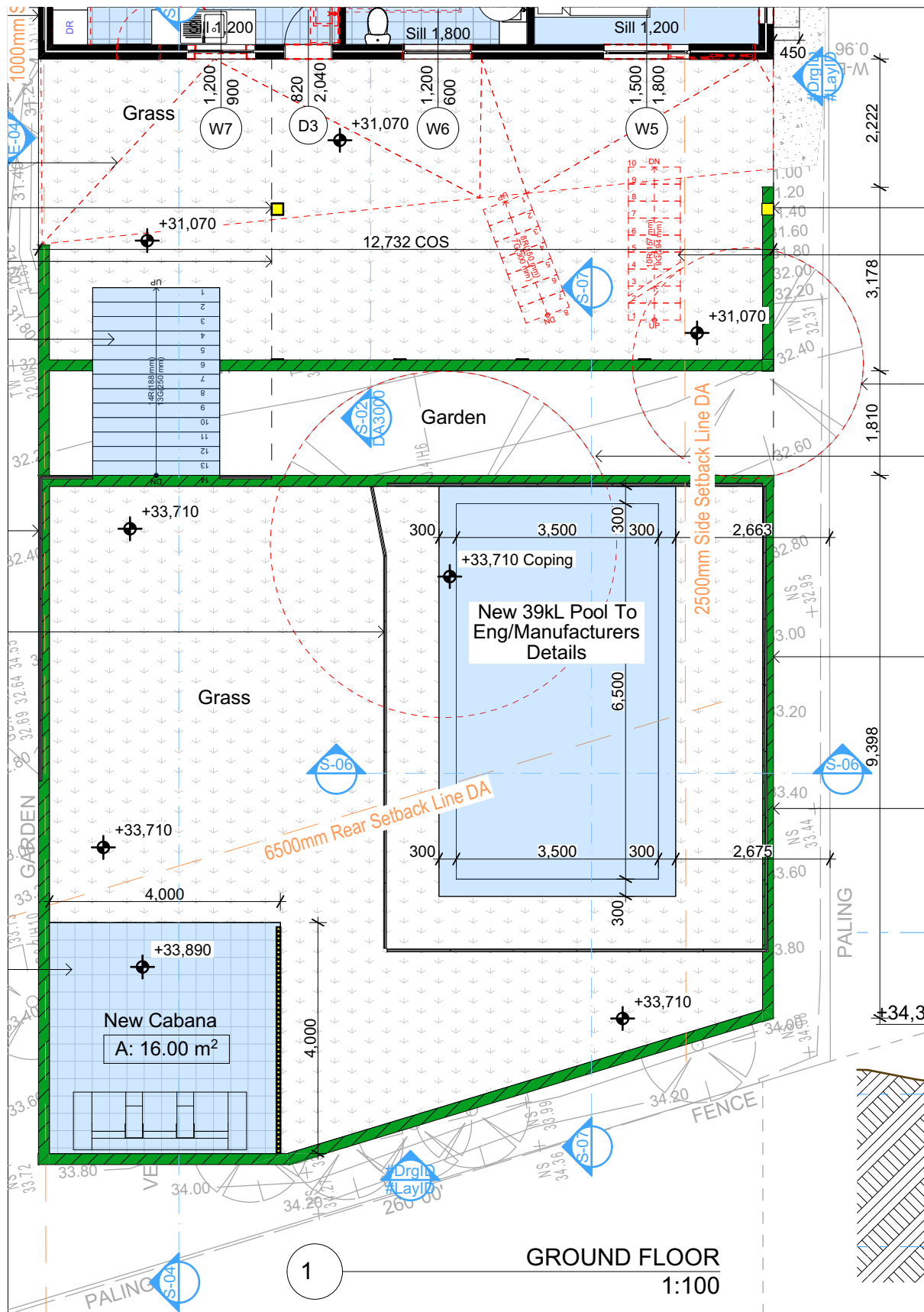
Site: 31 Walworth Avenue Newport

**DRAWING TITLE: SECTIONS SECTION 2**

**PROJECT NAME: Alterations & Additions**

REVISION NO. DATE  
- 16-12-2024  
DRAWING NO. DA3001  
Plot Date: 16/12/2024  
Sheet Size: A3





**NOTES**  
31 Walworth Avenue Newport is zoned R2 Low Density Res.  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
31 Walworth Avenue Newport is not considered a heritage item

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Construction**  
Timber Framed Floor, Masonry & Cladded Walls  
Roof Sheet Metal to have R1.58 Insulation  
Insulation to External Masonry & Cladded Walls R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
Basix Certificate Number A1777686  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>  
b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	654m <sup>2</sup>	Yes	Building envelope	3.5m@45Deg	Variation
Housing Density (dwelling/m <sup>2</sup> )	1	Yes	% of landscape open space (50% min)	50%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m <sup>2</sup> )	50%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	1.8m	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	1.4m	Yes
Rear Setback (Min.)	6.5m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

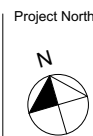
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**NOT FOR CONSTRUCTION**



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Rapid Plans 2024



**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**



Checked Plot Date: 16/12/2024  
Project NO: RP1024MIT  
Project Status: DA  
Client Site: Olivia & Luke Mitchell  
31 Walworth Avenue Newport  
Sheet Size: A3

**DRAWING TITLE :**  
**SECTIONS**  
**SECTION POOL**  
**PROJECT NAME :**  
**Alterations & Additions**

REVISION NO.  
-  
DATE: 16-12-2024  
DRAWING NO.  
**DA3002**

New Timber Framed  
Sheet Metal Roof Pitch 2°  
+39,480  
5 ROOF

New Handrail To  
NCC & Aust. Stds.

Demolish Items  
Shown Red Dashed  
+36,580  
4 SECOND FLOOR

New Timber Post

New Handrail To  
NCC & Aust. Stds.  
+33,780  
3 FIRST FLOOR

Building Envelope  
New Timber Framed  
Sheet Metal Roof Pitch 2°  
New Masonry Wall  
+31,140  
2 GROUND FLOOR  
Existing Masonry Wall  
+29,310  
1 GARAGE

Max Building Height 8500 Above GL

Max Ceiling Height 7200 Above GL

+39,480  
5 ROOF

New Cladded 90mm  
Timber Framed Wall  
New Timber Post

Demolish Items  
Shown Red Dashed  
+36,580  
4 SECOND FLOOR

New Timber Framed  
Sheet Metal Roof  
Pitch 2°  
New Timber Post  
+33,780  
3 FIRST FLOOR

Building Envelope

New Masonry Wall  
+31,140  
2 GROUND FLOOR  
New Concrete Stairs  
To NCC, Aust. Stds.  
& Eng. Details  
+29,310  
1 GARAGE

Natural Ground Level

E-01

North  
1:100

+39,480  
5 ROOF

Demolish Items  
Shown Red Dashed

New Cladded 90mm  
Timber Framed Wall

+36,580  
4 SECOND FLOOR  
New Timber Framed Sheet  
Metal Roof Pitch 2°

Decorative Posts  
Building Envelope  
+33,780  
3 FIRST FLOOR

New Concrete Block  
Retaining Wall To Eng. Details  
Block In Window To Match  
Existing

Max Building Height 8500 Above GL

Max Ceiling Height 7200 Above GL

+39,480  
5 ROOF

New Timber Framed Sheet  
Metal Roof Pitch 2°  
Demolish Items Shown  
Red Dashed  
New Timber Framed Sheet  
Metal Roof Pitch 2°  
+36,580  
4 SECOND FLOOR

New Timber Post

Existing Masonry Wall  
Servery Window  
+33,780  
3 FIRST FLOOR

New Concrete Block Retaining  
Wall To Eng. Details

Building Envelope

Natural Ground Level

E-03

South  
1:100

Denotes New Works

Legend

Denotes Existing Item  
Denotes Demolished Item

Glazing requirements						
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or torched/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.						
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.						
Glazing requirements						
Windows and glazed doors glazing requirements						
Window/door number	Orientation	Area of glass including frame (m <sup>2</sup> )	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W1	N	4.76	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 6.44, SHGC: 0.46)
W2	E	1.62	3.66	1.9	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	E	1.98	3.66	1.9	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	E	1.98	0	0	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W5	S	2.7	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
Glazing requirements						
Window/door number	Orientation	Area of glass including frame (m <sup>2</sup> )	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W6	S	0.72	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	S	1.08	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W8	W	2.16	3.28	3.06	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W9	W	1.05	0	0	eave/ verandah/ pergola/balcony >=450 mm	aluminium, single low-e, (U-value: 5.6, SHGC: 0.38)
W10	N	2.76	0	0	eave/ verandah/ pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**



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Building Design and Architectural Drafting

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**bdca**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

**bdca**  
ACCREDITED  
BUILDING DESIGNER

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**NOTES**  
31 Walworth Avenue Newport is zoned R2 Low Density Res.  
31 Walworth Avenue Newport is not considered a heritage item.  
All Plans to be read in conjunction with Basic Certificate.  
New Works to be constructed shown in Shaded Blue.  
**Construction**  
Timber Framed Floor, Masonry & Cladded Walls  
Roof Sheet Metal to have insulation to External Masonry & Cladded Walls R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1884  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Carrying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Carrying Authority without the written permission of Rapid Plans or the supply of an authorized Construction Certificate drawings by Rapid Plans.  
**Basic**  
Basic Certificate Number A1777686  
All Plans to be read in conjunction with Basic Certificate.  
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m<sup>2</sup>. b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	654m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	3.5m@ 45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m <sup>2</sup> )	50%	Yes
Maximum cut into gnd (m)	1.8m	Yes
Maximum depth of fill (m)	1.4m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North



Drawn | Checked GBJ  
Plot Date: 16/12/2024  
Project NO.: RP1024MIT  
Project Status DA

Client Olivia & Luke Mitchell

Site: 31 Walworth Avenue Newport

DRAWING TITLE :  
ELEVATIONS  
**ELEVATIONS 1**

PROJECT NAME:  
**Alterations & Additions**

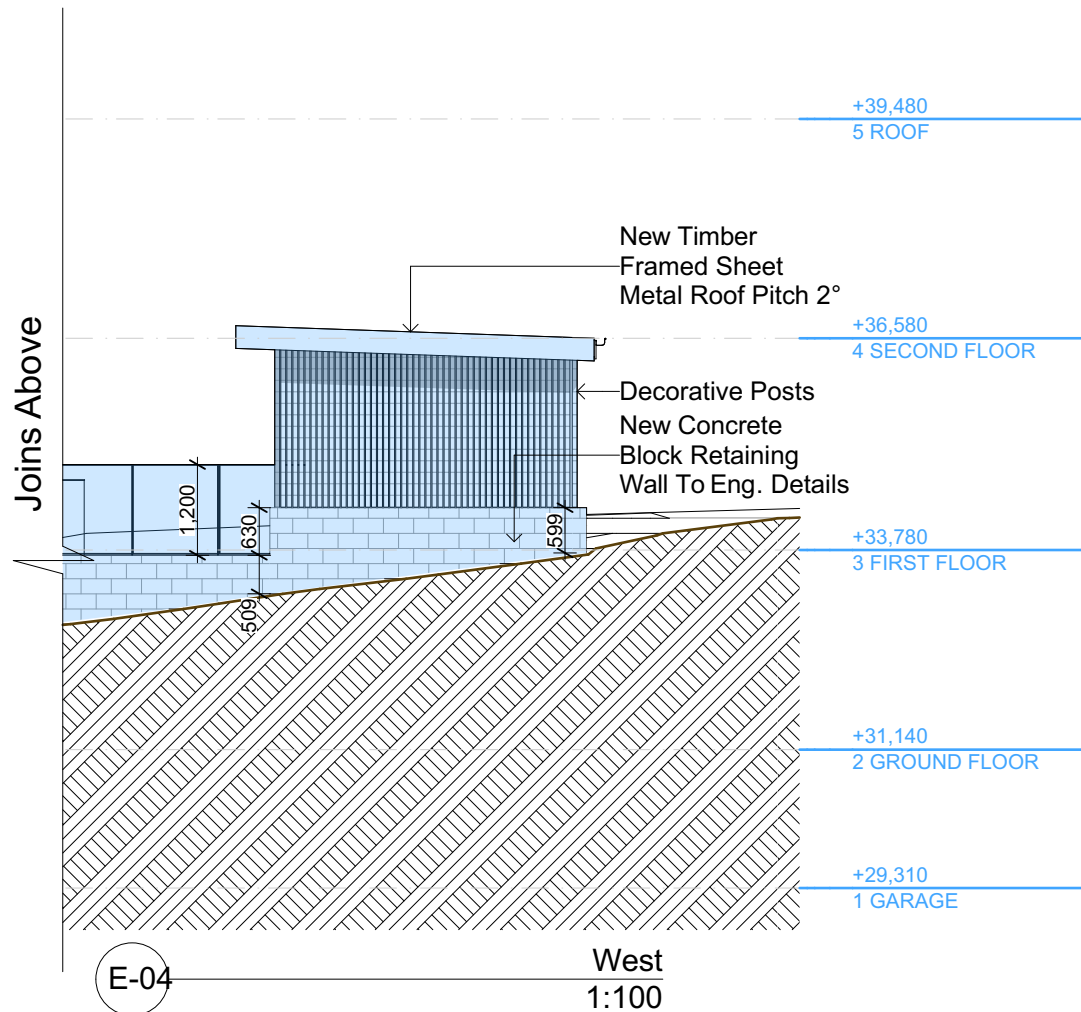
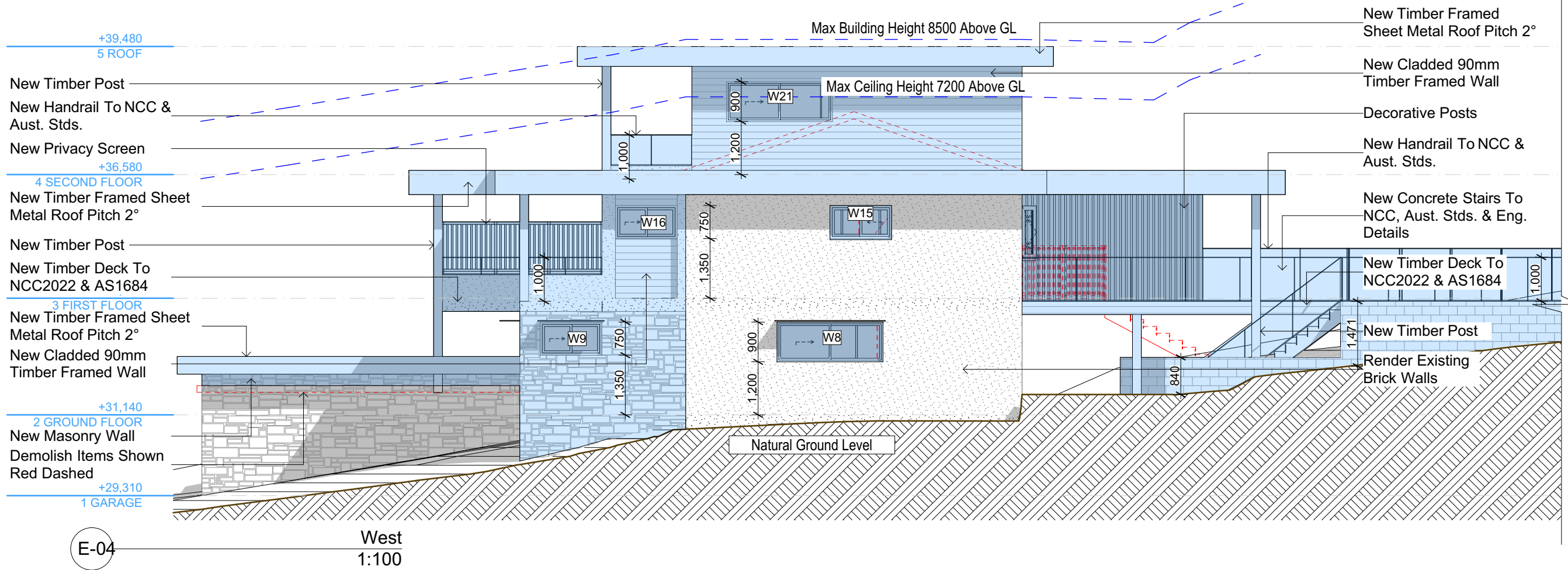
REVISION NO.	DATE
-	16-12-2024

DRAWING NO.  
**DA4000**

Plot Date: 16/12/2024  
Sheet Size: A3







Denotes New Works

Denotes Existing Item

Denotes Demolished Item

**Legend**

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**



**Rapid Plans**  
Building Design and Architectural Drafting

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**

31 Walworth Avenue Newport is zoned R2 Low Density Res.

31 Walworth Avenue Newport is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate.

New Works to be constructed shown in ShadedBlue.

**Construction**

Timber Framed Floor, Masonry & Cladded Walls

Roof Sheet Metal to have insulation

Insulation to External Masonry & Cladded Walls R1.7

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660, 1

Glazing to BCA and AS1288-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Carrying**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Carrying Authority without the written permission of Rapid Plans or the supply of a Carrying Certificate. Drawings by Rapid Plans.

**Basic**

Basic Certificate Number A1777688

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	654m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	3.5m@ 45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m <sup>2</sup> )	50%	Yes
Maximum cut into gnd (m)	1.8m	Yes
Maximum depth of fill (m)	1.4m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North



Drawn | Checked GBJ  
Plot Date: 16/12/2024  
Project NO: RP1024MIT  
Project Status DA

Client Olivia & Luke Mitchell

Site: 31 Walworth Avenue Newport

DRAWING TITLE: ELEVATIONS  
**ELEVATIONS 3**

PROJECT NAME:  
**Alterations & Additions**

REVISION NO.	DATE
-	16-12-2024

DRAWING NO:  
**DA4002**

Plot Date: 16/12/2024  
Sheet Size: A3



