

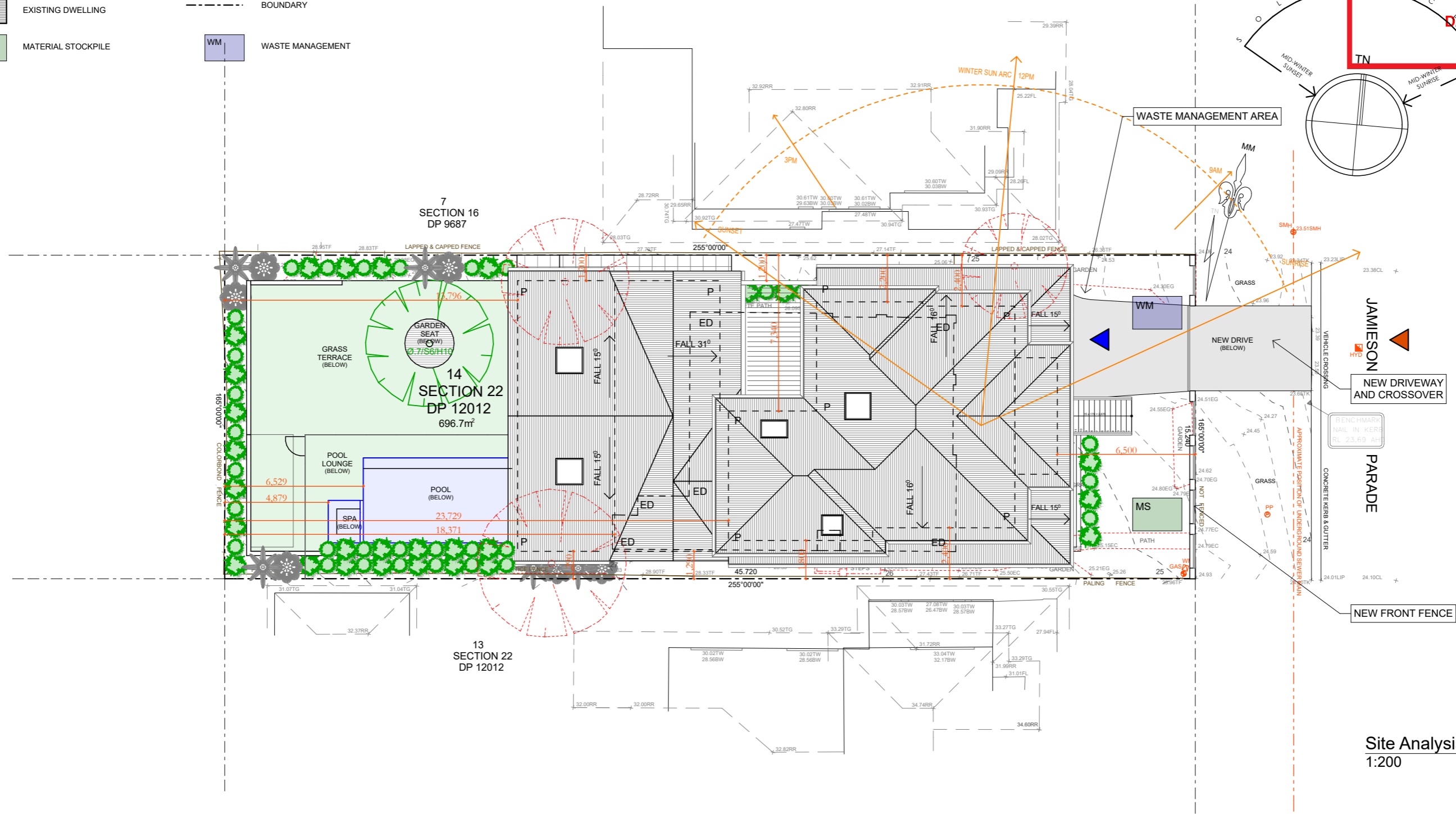
LEGEND

	PROPOSED		EXISTING LEVELS
	PRIVATE OPEN SPACE (EXISTING)		CAR ENTRY POINT
	EXISTING DWELLING		GARAGE ENTRY POINT
	MATERIAL STOCKPILE		BOUNDARY
	WASTE MANAGEMENT		



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

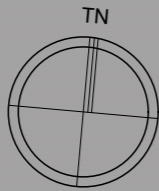
DA2021/0006



Site Analysis Plan
1:200



sketchArc



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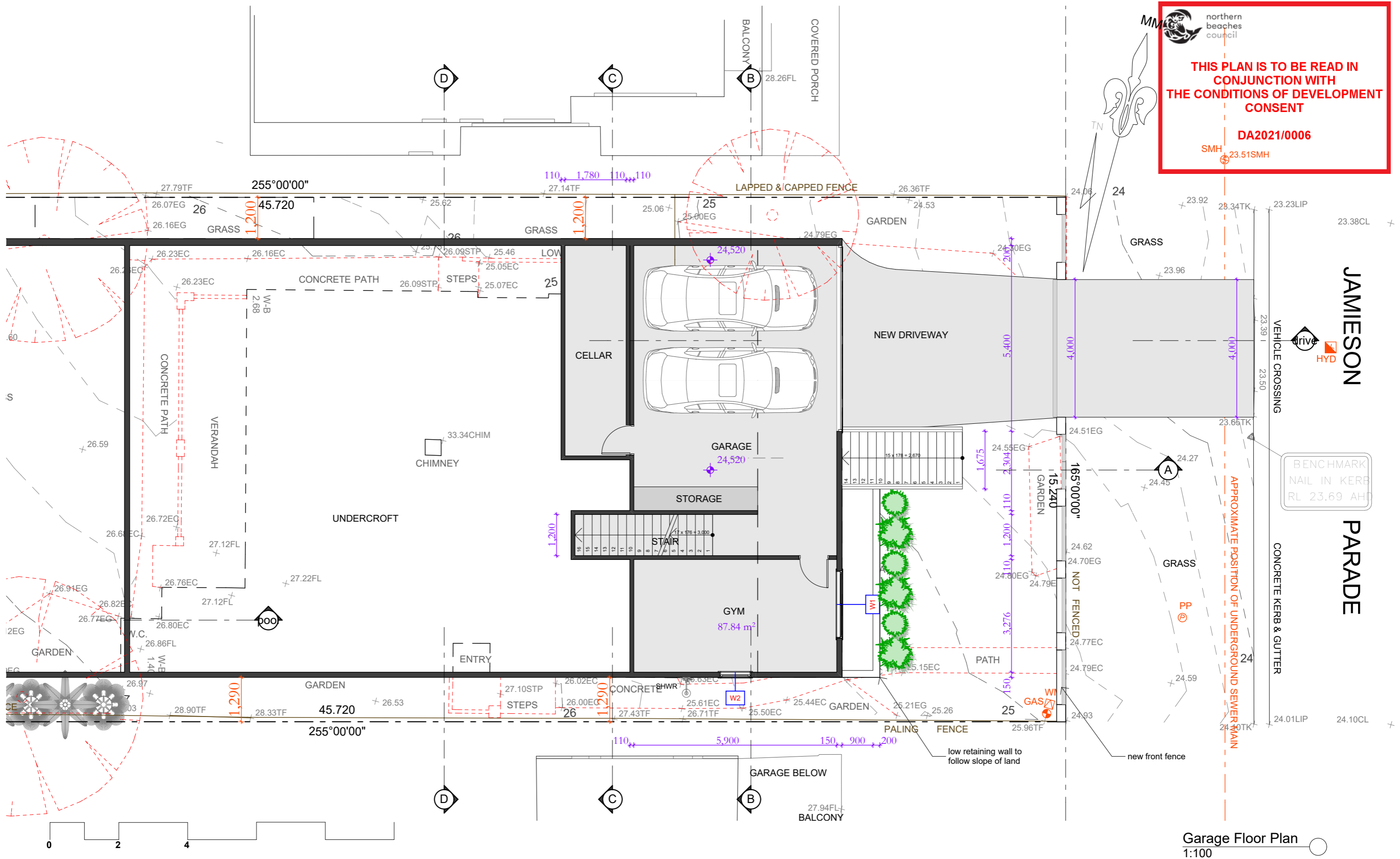
REV	DATE	DESCRIPTION

sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 10 Jamieson Pde, Collaroy,
2097, NSW
New Dwelling
LOT 14 Sec. 22 in DP 12012 - 696.7m2
CLIENT: Private

	= Demolition
	= Proposed

STATUS: DA2		
DATE: 040621	SCALE: 1:200@A3	PROJECT NUMBER: 2023
STAGE: DA2	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA3		



Garage Floor Plan
1:100

sketchArc

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PROJECT: 10 Jamieson Pde, Collaroy,
2097, NSW
New Dwelling
LOT 14 Sec. 22 in DP 12012 - 696.7m2

CLIENT: Private

Demolition

Proposed

STATUS:
DA2

DATE:
040621

STAGE:
DA2


DRAWING NO:
DA4

SCALE:
1:100@A3

DRAWN/DESIGNED:
PB / MP

PROJECT NUMBER:
2023

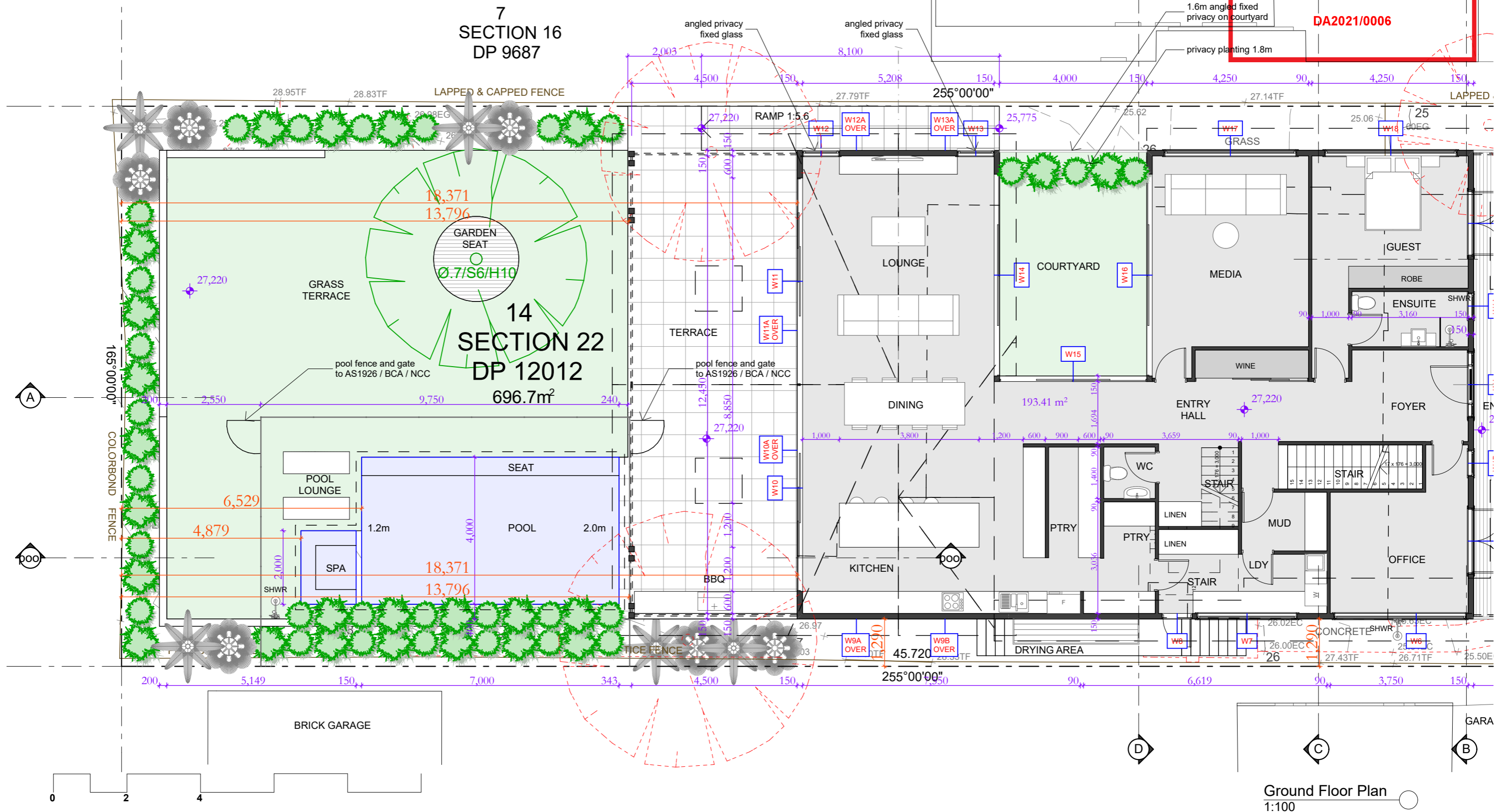
ISSUE:



northern
beaches
council

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CONSENT

DA2021/0006



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2097, NSW
New Dwelling
LOT 14 Sec. 22 in DP 12012 - 696.7m2

CLIENT: Private

STATUS: DA2

DATE: 040621

STAGE: DA2

DRAWING NO: DA6

SCALE: 1:100@A3

DRAWN/DESIGNED: PB / MP

PROJECT NUMBER: 2023

ISSUE:

7
SECTION 16
DP 9687

PED & CAPPED FENCE

13,796
GARDEN SEAT (BELOW)
14
SECTION 22
DP 12012
696.7m²

POOL (BELOW)

23,729
18,371

LATTICE FENCE

255°00'00"

FALL 31°

FALL 15°

FALL 15°

FALL 24°

255°00'00"

150 4,000 90 2,400 90 2,270 90 4,250 150

D

C

B

GARAGE BELOW

27.94FL
BALCONY



THIS PLAN IS TO BE READ IN
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CONSENT

DA2021/0006

raked ceiling
over Master suite

LAPPED & CAPPED FENCE

NEW
DRIVEWAY
(BELOW)

24.55EG

24.51EG

15.240

165°00'00"

24.27

24.45

24.62

24.70EG

24.80EG

24.79E

24.77EC

24.79EC

24.93

25.26

25.96TF

25

25.21EG

25.15EC

25.06

25.06

25.06

25.06

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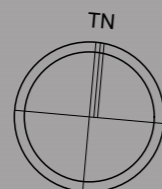
25.06

25.06

25.06

First Floor
1:100

sketchArc



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2097, NSW
New Dwelling
LOT 14 Sec. 22 in DP 12012 - 696.7m2

CLIENT:
Private

Demolition
Proposed

STATUS:
DA2
DATE:
040621
STAGE:
DA2
DRAWING NO:
DA7
SCALE:
1:100@A3
DRAWN/DESIGNED:
PB / MP
PROJECT NUMBER:
2023
ISSUE:

7
SECTION 16
DP 9687

PED & CAPPED FENCE

13,796
GARDEN SEAT (BELOW)
14
SECTION 22
DP 12012
696.7m²

POOL (BELOW)
23,729
18,371

LATTICE FENCE

255°00'00"

FALL 31°

FALL 15°

FALL 15°

45.720

255°00'00"

D

C

B

GARAGE BELOW

BALCONY

LAPPED & CAPPED FENCE

BALCONY

COVERED PORCH

northern
beaches
council
**THIS PLAN IS TO BE READ IN
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CONSENT**
DA2021/0006

GRASS

NEW
DRIVEWAY
(BELOW)

6,500

15,240
165°00'00"

NOT FENCED

GRASS

PP

WM
GAS

PALING FENCE

Roof Plan
1:100

sketchArc



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New Dwelling
LOT 14 Sec. 22 in DP 12012 - 696.7m2

CLIENT:
Private

= Demolition
 = Proposed

STATUS: DA2	SCALE: 1:100@A3	PROJECT NUMBER: 2023
DATE: 040621	DRAWN/DESIGNED: PB / MP	ISSUE:
STAGE: DA2	DRAWING NO: DA8	

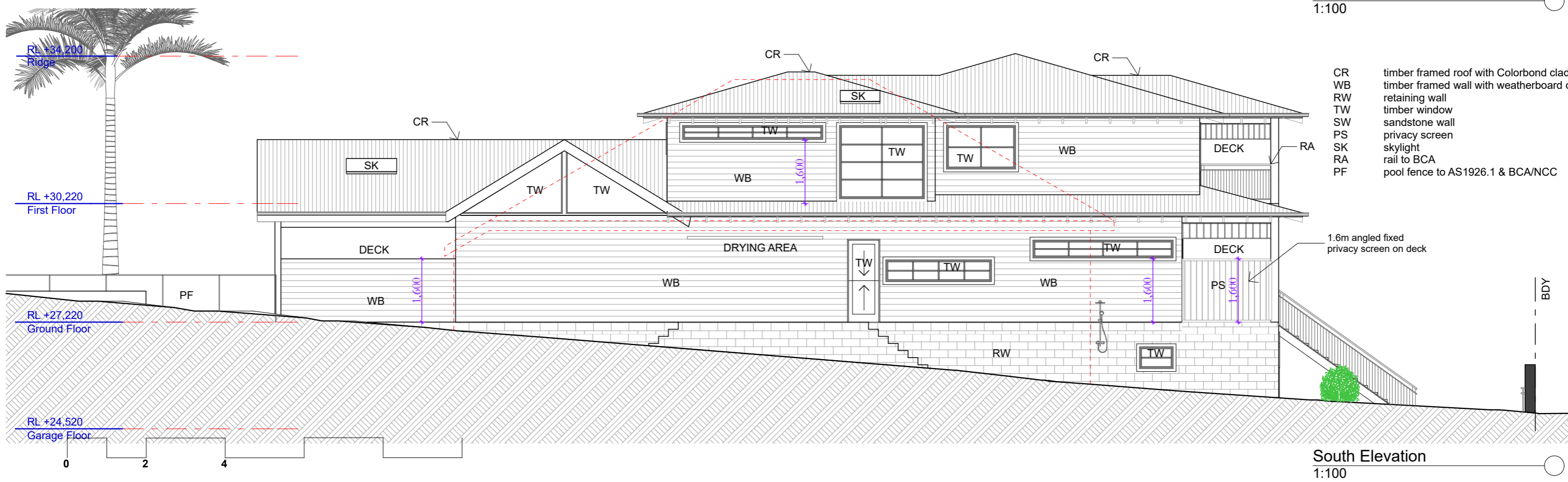
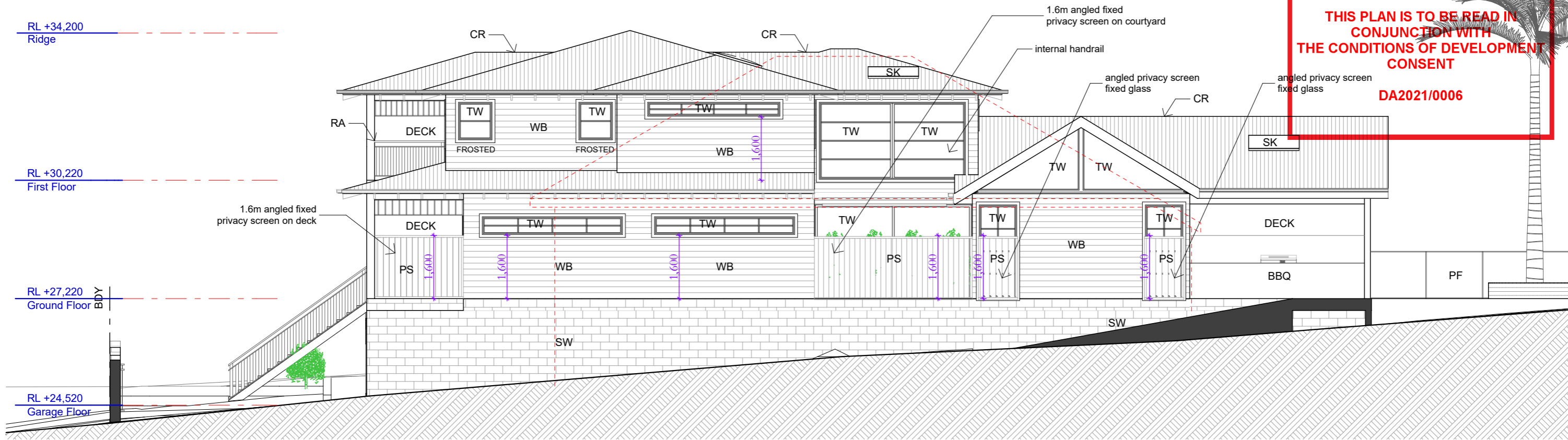


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DA2021/0006







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2097, NSW
New Dwelling
LOT 14 Sec. 22 in DP 12012 - 696.7m2

CLIENT: Private

- Demolition

- Proposed

STATUS: DA2

DATE: 040621

STAGE: DA2

DRAWING NO: DA9

SCALE: 1:100@A3

DRAWN/DESIGNED: PB / MP

PROJECT NUMBER: 2023

ISSUE:



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CONSENT

DA2021/0006

- CR

WB

RW

TW

SW

PS

SK

RA

PF
- timber framed roof with Colorbond cladding

timber framed wall with weatherboard cladding

retaining wall

timber window

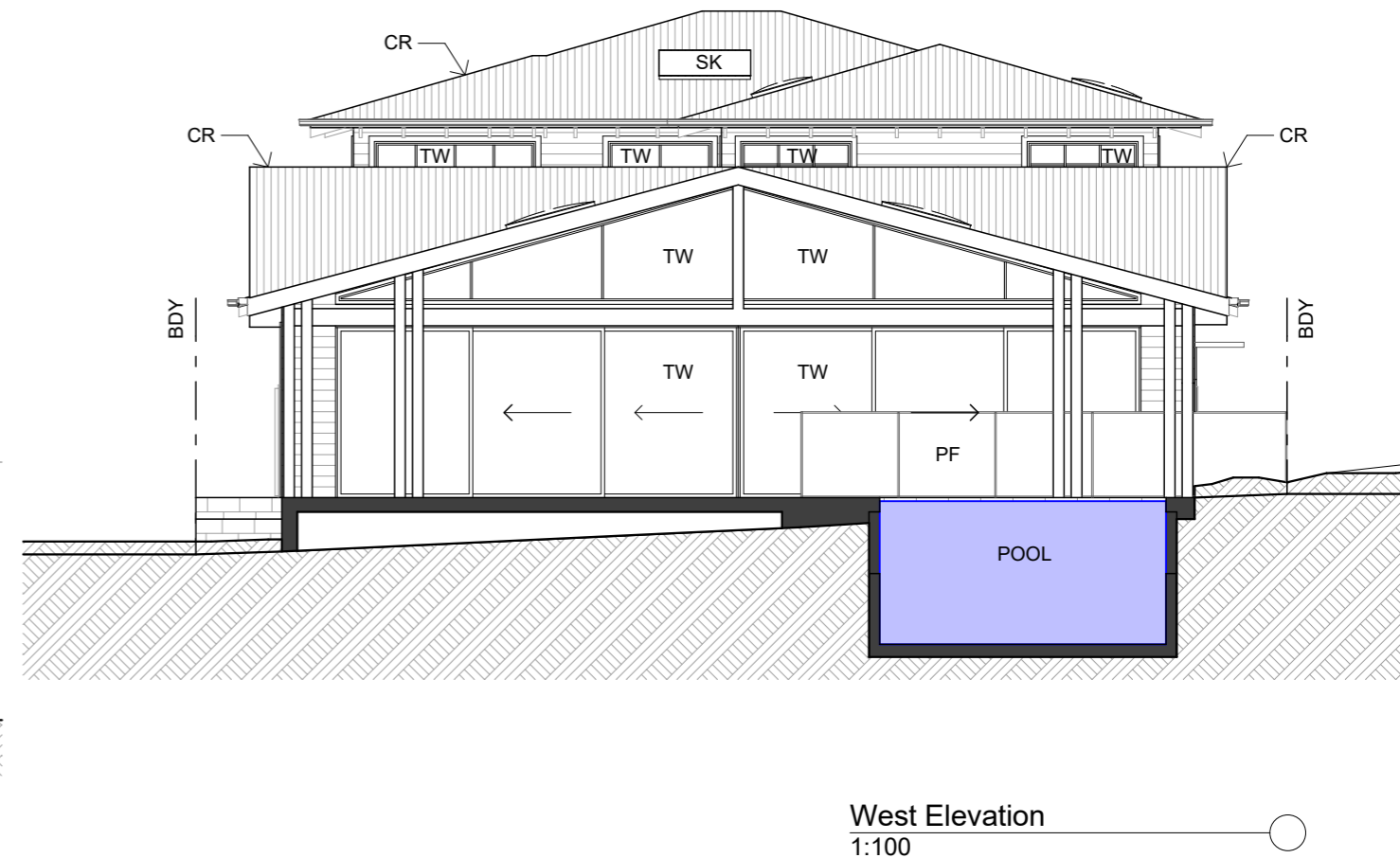
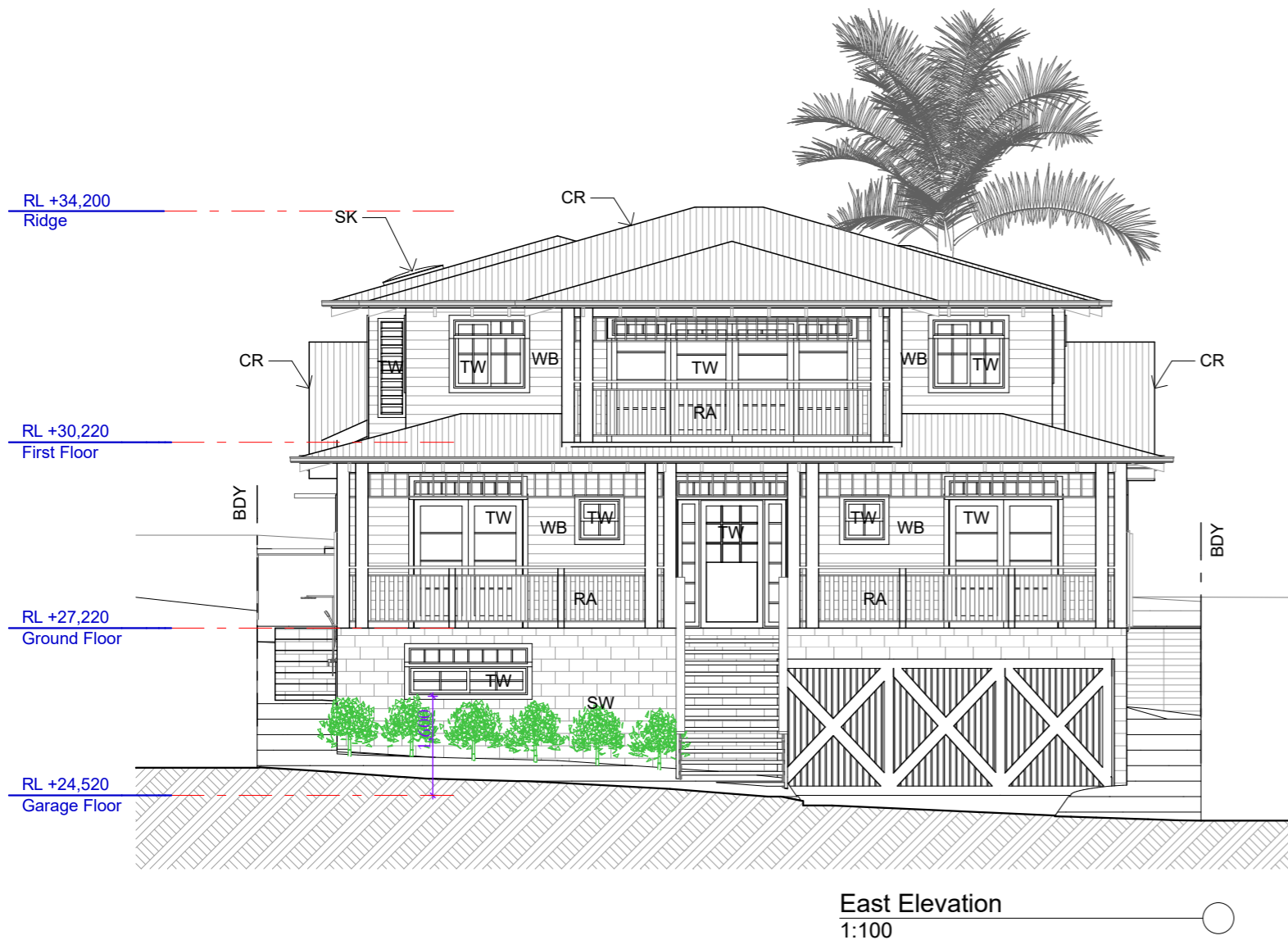
sandstone wall

privacy screen

skylight

rail to BCA

pool fence to AS1926.1 & BCA/NCC





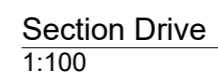
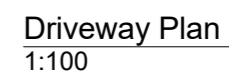
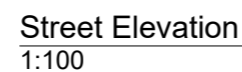
23.38CL

JAMIESON



BENCHMARK
NAIL IN KERB
RL 23.69 AHD

π



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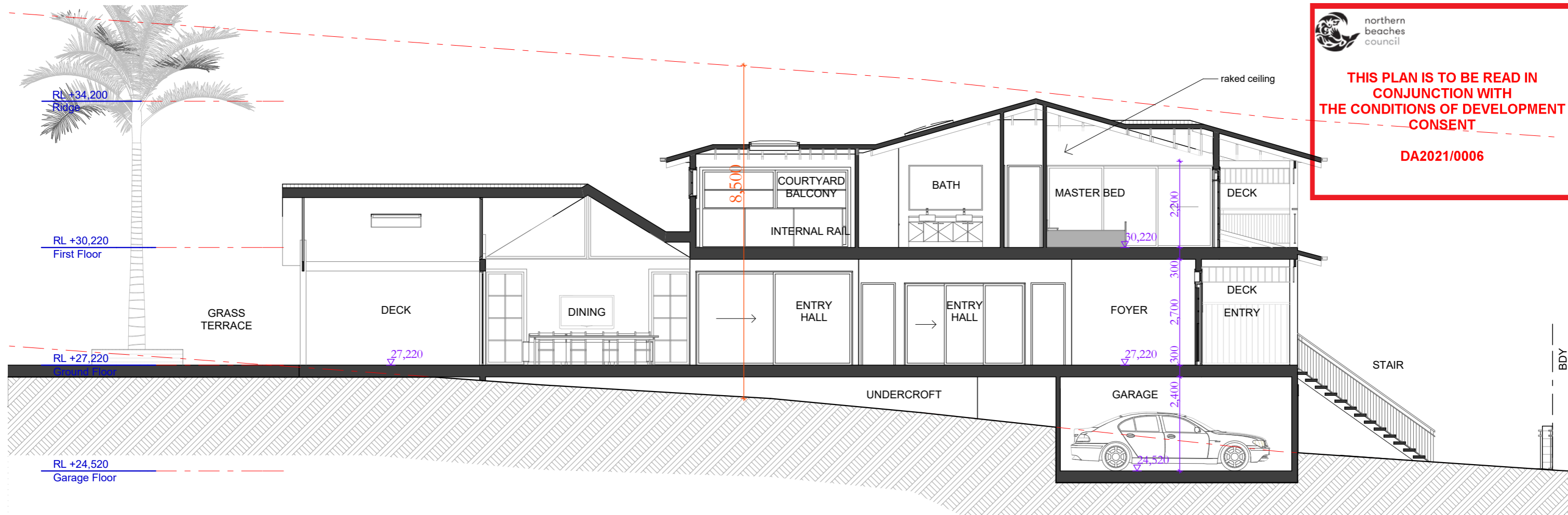
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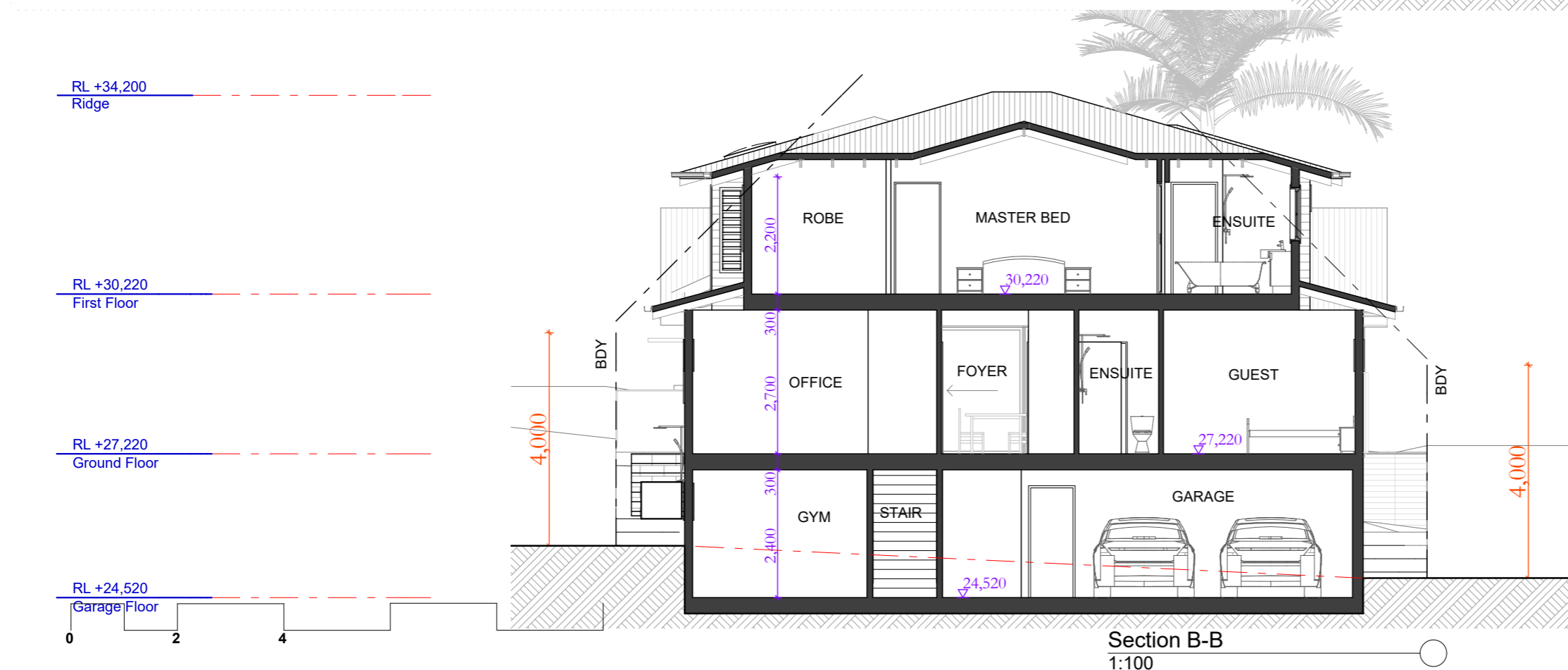
CLIENT: **Private**



STATUS: DA2		
DATE: 040621	SCALE: 1:100@A3	PROJECT NUMBER: 2023
STAGE: DA2	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA11		



Section A-A
1:100



Section B-B
1:100

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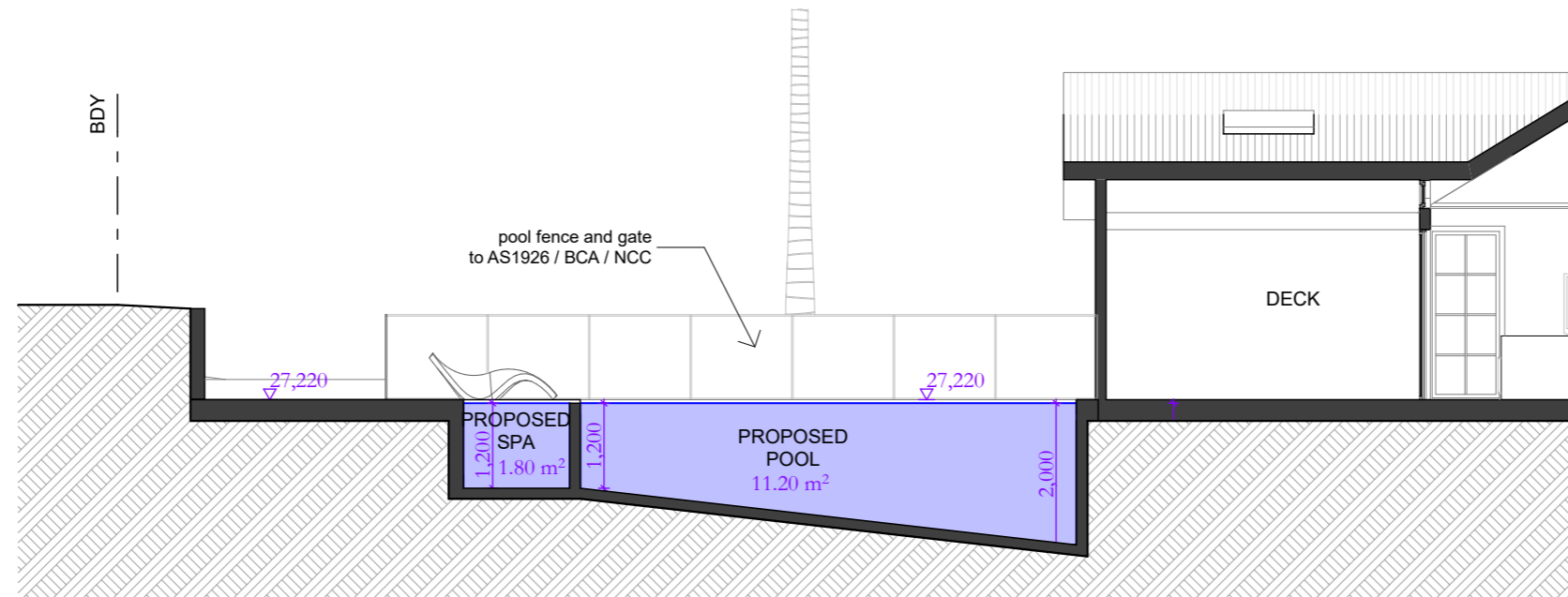
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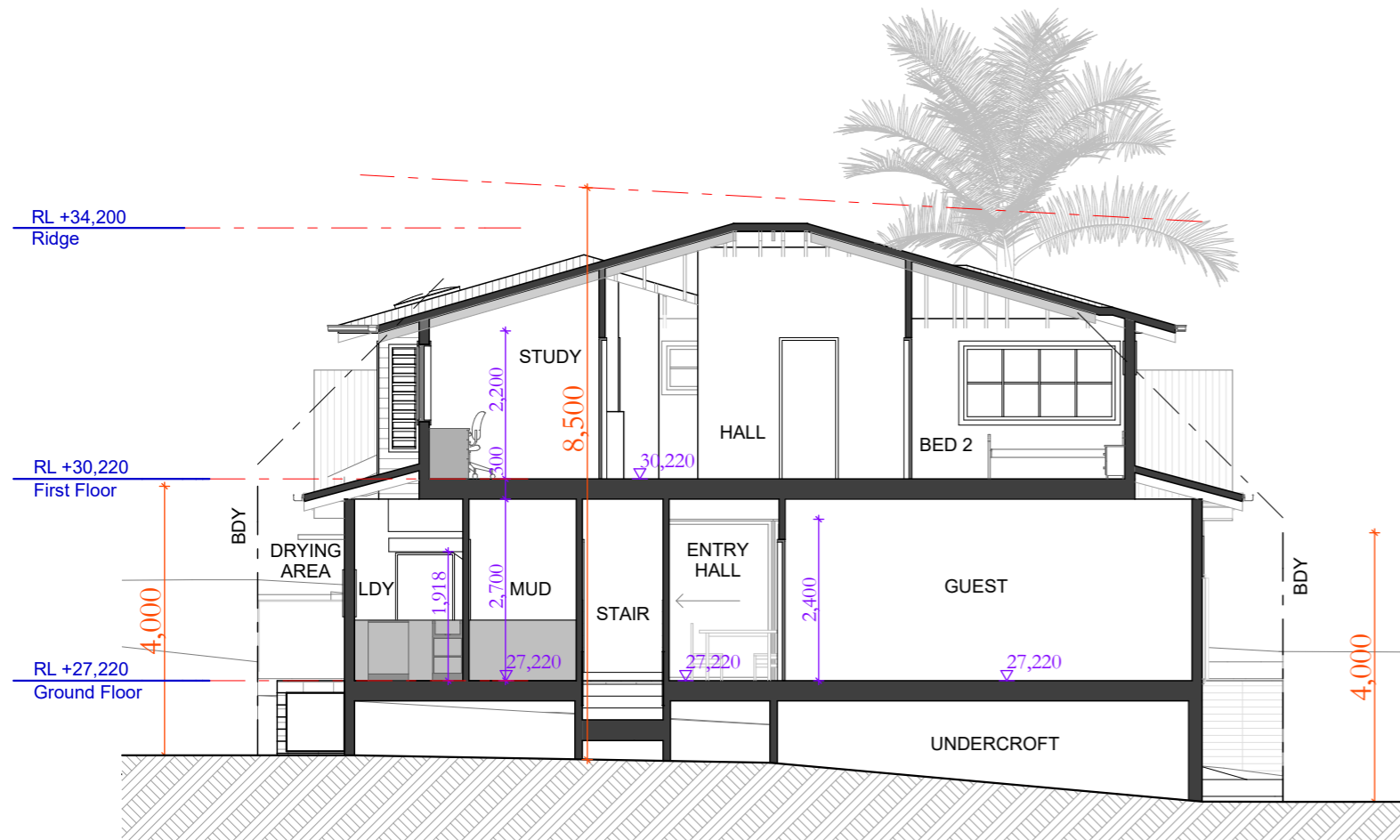
CLIENT:
Private

= Demolition
 = Proposed

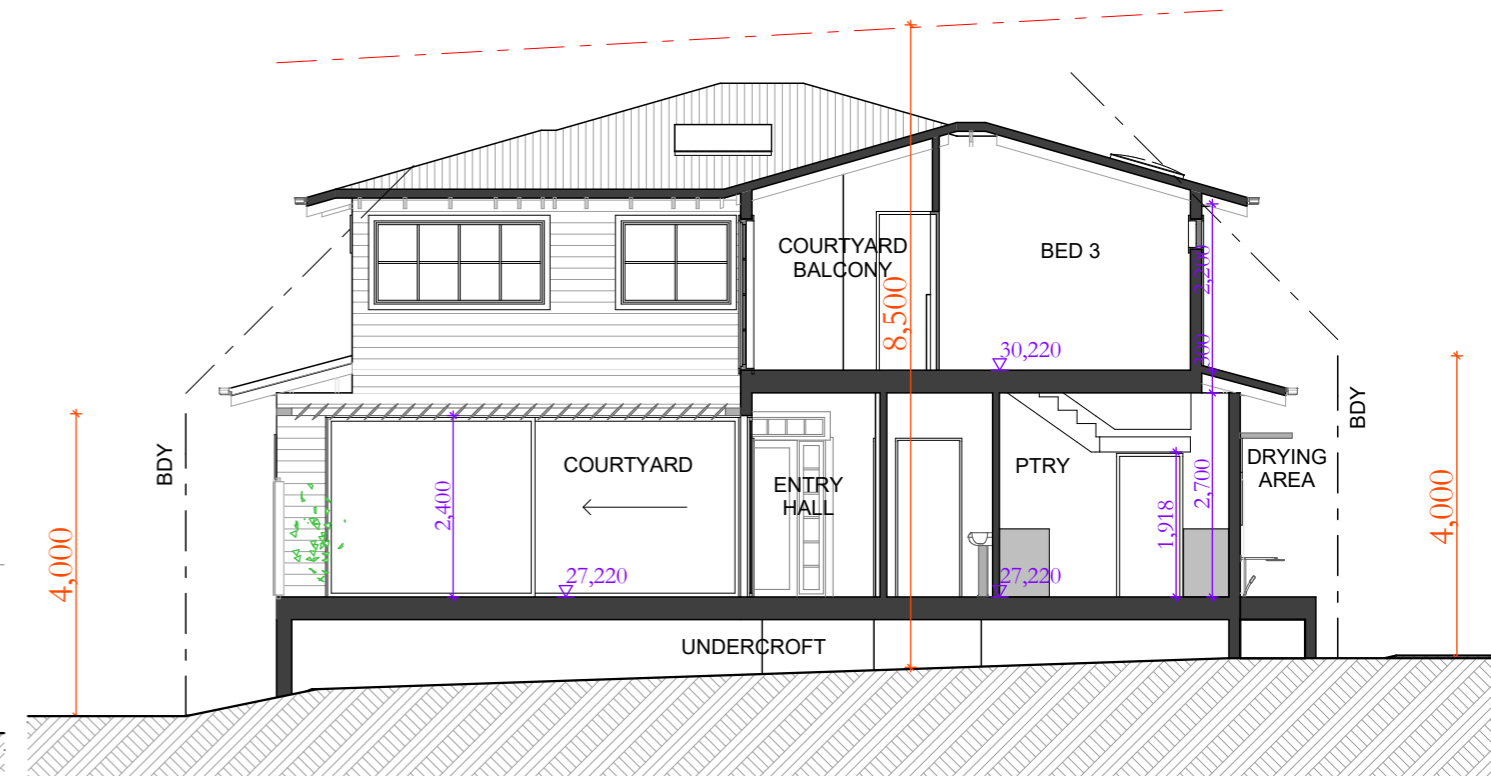
STATUS: DA2	SCALE: 1:100@A3	PROJECT NUMBER: 2023
DATE: 040621	DRAWN/DESIGNED: PB / MP	ISSUE:
STAGE: DA2	DRAWING NO: DA12	



Section Pool
1:100



Section C-C
1:100



Section D-D
1:100



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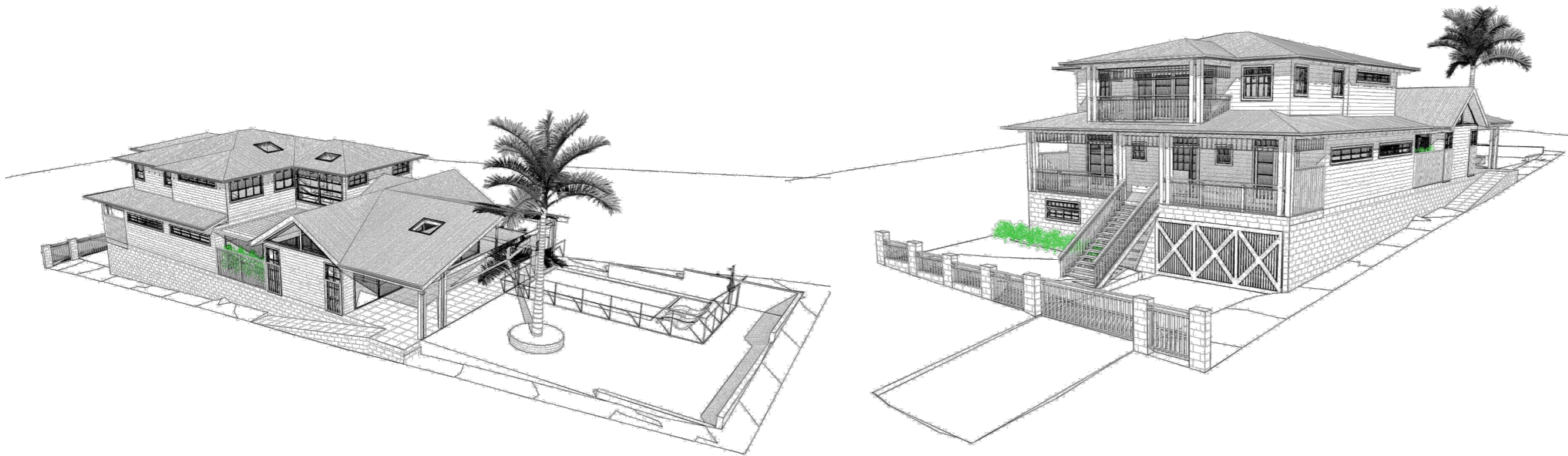
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2097, NSW
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LOT 14 Sec. 22 in DP 12012 - 696.7m2

CLIENT:
Private

 = Demolition
 = Proposed

STATUS: DA2		
DATE: 040621	SCALE: 1:100@A3	PROJECT NUMBER: 2023
STAGE: DA2	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA13		



CONTENTS

DA1	MATERIALS, COLOURS & FINISHES
DA2	SURVEY
DA3	SITE ANALYSIS & WASTE MANAGEMENT PLAN
DA4	GARAGE FLOOR PLAN
DA5	GROUND FLOOR PLAN
DA6	GROUND FLOOR PLAN
DA7	FIRST FLOOR PLAN
DA8	ROOF PLAN
DA9	ELEVATIONS, N, S
DA10	ELEVATIONS, E, W
DA11	STREET ELEVATION, DRIVE PLAN
DA12	SECTIONS A-A, B-B
DA13	SECTIONS C-C, D-D, POOL, DRIVE
DA14	LANDSCAPED AREA PLAN
DA15	LANDSCAPING PLAN
DA16	SOLAR JUNE 21 - 9AM
DA17	SOLAR JUNE 21 - 12PM
DA18	SOLAR JUNE 21 - 3PM
DA19	BASIX



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2021/0006

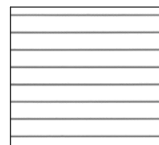
private residence

10 jamieson parade, collaroy

new dwelling
development application

architectural perspectives

WEATHERBOARD
WHITE
or similar



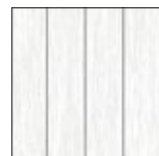
WINDOWS
WHITE
TIMBER
or similar



ROOF
COLORBOND
SHALE GREY
or similar



TIMBER
TO DECK
or similar



TILES
GREY
or similar



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2021/0006

GENERAL NOTES
ALL PLUMBING WITHIN THE SITE MUST BE CARRIED OUT IN ACCORDANCE WITH RELEVANT PROVISIONS OF AUSTRALIAN STANDARD AS/NZS 3500.3-2018 PLUMBING AND DRAINAGE - STORMWATER DRAINAGE.

ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM. (AHD)

DO NOT SCALE FROM THE DRAWINGS.

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORKS. REPORT ANY DISCREPANCIES TO THE SUPERINTENDENT OR DESIGN ENGINEER.

ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS AND SPECIFICATION.

READ THESE PLANS IN CONJUNCTION WITH APPROVED ARCHITECTURAL, STRUCTURAL, HYDRAULIC AND MECHANICAL DRAWINGS AND SPECIFICATION.

WHERE NEW WORK ABUTS EXISTING, THE CONTRACTOR SHALL ENSURE THAT A SMOOTH EVEN PROFILE, FREE FROM ABRUPT CHANGES, IS OBTAINED.

DESIGN LEVELS GIVEN ARE TO FINISHED SURFACE LEVEL AND INCLUSIVE OF TOPSOIL. (TOPSOIL DEPTH VARIES).

THE CONTRACTOR SHALL ARRANGE ALL SURVEY SETOUT TO BE CARRIED OUT BY A REGISTERED SURVEYOR.

CARE IS TO BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES. NO MECHANICAL EXCAVATIONS ARE TO BE UNDERTAKEN OVER TELECOM OR ELECTRICAL SERVICES. HAND EXCAVATE IN THESE AREAS.

ALL BUILDING SURROUND SHOULD BE GRADED TO ENSURE OVERLAND FLOW FROM UPSTREAM AREAS CAN DRAIN AROUND THE FOUNDATIONS, WALLS OF BUILDING.

ALL EXCAVATION SHORING OF EXCAVATION AND STABILITY OF ADJACENT STRUCTURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

DURING CONSTRUCTION, THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.

WORKMANSHIP AND MATERIALS SHALL CONFORM WITH THE REQUIREMENTS OF THE RELEVANT SAA CODES, BCA REQUIREMENTS AND THE SPECIFICATION, BY-LAWS AND ORDINANCES OF THE RELEVANT AUTHORITIES.

PROPRIETARY PRODUCTS USED SHALL BE INSTALLED TO MANUFACTURERS SPECIFICATION AND TO THE SATISFACTION OF THE SUPERINTENDENT.

EXTERNAL WORKS

ALL ACTIVITIES AND WORKS EXTERNAL TO THE SITE, OR THAT AFFECT PUBLIC ROADS, ARE TO BE CARRIED OUT IN ACCORDANCE WITH COUNCIL'S CODES AND STANDARDS.

PUBLIC FOOTPATHS SHALL BE RECONSTRUCTED TO THE SATISFACTION OF COUNCIL'S DIRECTOR OF ENGINEERING SERVICES. A ROAD OPENING PERMIT SHALL BE OBTAINED FOR ALL WORKS CARRIED OUT IN A PUBLIC OR COUNCIL CONTROLLED LAND. RESTORATION OF LANDSCAPING, ROADS AND PATHS SHALL BE TO COUNCIL'S REQUIREMENTS. ALL OTHER RESTORATION SHALL BE TOTHE SATISFACTION OF THE AFFECTED PARTIES.

WHERE WORKS ARE UNDERTAKEN ON PUBLIC ROADS, ADEQUATE TRAFFIC CONTROL AND DIRECTIONS TO MOTORISTS SHALL BE PROVIDED.

DRAINAGE PITS

PITS DEEPER THAN 1200mm TO BE FITTED WITH STEP IRONS AT 300mm CENTRES AND STAGGERED.

APPROVED PRECAST PITS MAY BE USED.

DIAMETER 100mm HOLE FOR SUBSOIL DRAINAGE OUTLET TO BE LOCATED 100mm ABOVE INVERT OF ALL INLET PIPES. DIAMETER 100mm SUBSOIL DRAINAGE TO EXTEND FOR A DISTANCE OF 3.0m UPSTREAM OF PIT (AT EACH INLET PIT) WITH THE UPSTREAM END SEALED.

ALL CONNECTIONS TO THE EXISTING DRAINAGE PITS SHALL BE MADE IN A TRADESMAN LIKE MANNER AND THE INTERNAL WALL OF THE PIT AT THE POINT OF ENTRY SHALL BE CEMENT RENDERED TO ENSURE A SMOOTH FINISH.

PIT GRATES AND SOLID COVERS SHALL BE CLASS 'B' IN NON TRAFFIC AREAS AND CLASS 'D' IN TRAFFIC AREAS IN ACCORDANCE WITH AS 3996.

DRAINAGE PIPES

EXISTING PIPES WHICH FORM NO PART OF THE DRAINAGE SYSTEM SHALL BE REMOVED OR SANDFILLED AS INDICATED ON THE PLANS.

PIPE LENGTHS MEASURED ARE BETWEEN PIT CENTRES.

ALL DRAINAGE PIPES LESS THAN 300mm DIAMETER SHALL BE SEWER GRADE uPVC WITH SOLVENT WELDED JOINTS (U.N.O.). ALL PIPE JOINTS AND TAPERS SHALL BE VIA PURPOSE MADE FITTINGS.

MINIMUM GRADE TO DRAINAGE PIPES TO BE 1.5% U.N.O.

MINIMUM PIPE SIZE TO BE 100mm DIAMETER U.N.O.

THE CONTRACTOR IS TO SUPPLY AND INSTALL ALL FITTINGS AND SPECIALS INCLUDING VARIOUS PIPE ADAPTORS TO ENSURE PROPER CONNECTION BETWEEN DISSIMILAR PIPEWORK.

RAINWATER RE-USE NOTES AND SPECIFICATIONS

ROOF WATER ONLY TO BE DRAINED TO THE RAINWATER STORAGE TANKS.

THE RAINWATER STORAGE TANKS ARE TO BE CONNECTED FOR RE-USE AS REQUIRED BY THE BASIX CERTIFICATE.

RAINWATER STORAGE TANKS TO BE CONFIGURED IN ACCORDANCE WITH SYDNEY WATER SPECIFICATIONS 'GUIDELINES FOR RAINWATER TANKS ON RESIDENTIAL PROPERTIES'.

PROVIDE MAINS 'TOP-UP' SUPPLY TO RAINWATER TANKS. MAINS TOP-UP ZONE TO BE BASED ON THE DAILY NON-POTABLE USAGE THAT MAY BE EXPECTED FROM THE TANK.

PROVIDE A MECHANICAL PUMPING ARRANGEMENT (ON SOUND-PROOF HOUSING) TO PUMP SUPPLIERS SPECIFICATION TO SUIT INTENDED USAGE OF RAINWATER STORAGE. PUMPING ARRANGEMENTS MUST COMPLY WITH EPA GUIDELINES.

INLETS TO RAINWATER TANKS MUST BE SCREENED TO PREVENT THE ENTRY OF FOREIGN MATTER, ANIMALS OR INSECTS.

A SIGN MUST BE AFFIXED TO THE RAINWATER TANKS AND HOSE TAPS AS PER ASS3001.1 CLEARLY STATING THAT THE WATER IN THE TANK IS RAINWATER AND IS NOT TO BE USED FOR HUMAN CONSUMPTION.

FIRST FLUSH DEVICE TO BE PROVIDED TO EACH DOWNPIPE OR IF PREFERRED A SINGLE DEVICE TO BE PROVIDED ON THE UPSTREAM SIDE OF STORAGE TANK FOR EACH PIPED INLET TO STORAGE TANK. A SINGLE FIRST FLUSH DEVICE MAY BE PROVIDED IN LIEU OF EACH DOWNPIPE.

RAINWATER TANKS TO BE PLACED ON A STRUCTURALLY ADEQUATE BASE IN ACCORDANCE WITH THE MANUFACTURER'S OR STRUCTURAL ENGINEER'S DETAILS.

THE TANK MUST NOT BE INSTALLED OVER ANY MAINTENANCE STRUCTURE OR FITTINGS USED BY A PUBLIC AUTHORITY.

RAINWATER TANKS AND ASSOCIATED PLUMBING WORKS TO BE INSTALLED AND COMPLETED BY A LICENSED PLUMBER. PUMP TO BE INSTALLED BY A LICENSED ELECTRICIAN.

THIS IS AN ON-SITE STORMWATER DETENTION SYSTEM REQUIRED BY YOUR LOCAL COUNCIL. IT IS AN OFFENCE TO REDUCE THE VOLUME OR TO INTERFERE WITH THE ORIFICE PLATE THAT CONTROLS THE OUTFLOW. THE BASE OF THE OUTLET CONTROL PIT AND DEBRIS SCREEN MUST BE CLEANED OF DEBRIS AND SEDIMENT ON REGULAR BASIS BY OWNER. THIS PLATE MUST NOT BE REMOVED

TOTAL SITE AREA: 696.7m2

TO OSD TANK VOLUME:

696.7 x 0.02 = 13.94m3

RAIN WATER TANK DETERMINED BY BASIX CERTIFICATE: 7000L (7m3)

REVISED OSD VOLUME: 14.0 - 7.0 = 7.0m3

PERMISSIBLE SITE DISCHARGE:

400/10000 x 696.7 = 27.9 l/s

CONCENTRATED MAX. SITE DISCHARGE TO KERB AND GUTTER = 20 l/s

DRIVEWAY DISCHARGE BY-PASSING OSD BASIN 32m2	
5 YEAR ARI	= 1.5 l/s
20 YEAR ARI	= 2.0 l/s
100 YEAR ARI	= 2.5 l/s

OSD BASIN MAX. DISCHARGE (L/S)

20.0 - 2.5 = 17.5 l/s

MINIMAL INTERNAL DIMENSIONS FOR STORMWATER PITS (mm)		
DEPTH TO INVERT OF OUTLET	WIDTH	LENGTH
<600	450	450
>600 <900	600	600
>900 <1200	600	900
>1200	900	900

UNDERGROUND SERVICES
DIAL 1100 BEFORE YOU DIG FOR LOCATION OF UNDERGROUND SERVICES PRIOR TO ANY CONSTRUCTION WORKS.
CONTACT TELSTRA FOR WRITTEN PERMISSION TO MAINTAIN OR RELOCATE ANY EXISTING SERVICE PIT.
ALL SERVICES ARE TO MATCH INTO THE NEW FOOTPATH LEVELS CONTACT THE RELEVANT AUTHORITY FOR ADJUSTMENT TO SERVICES.

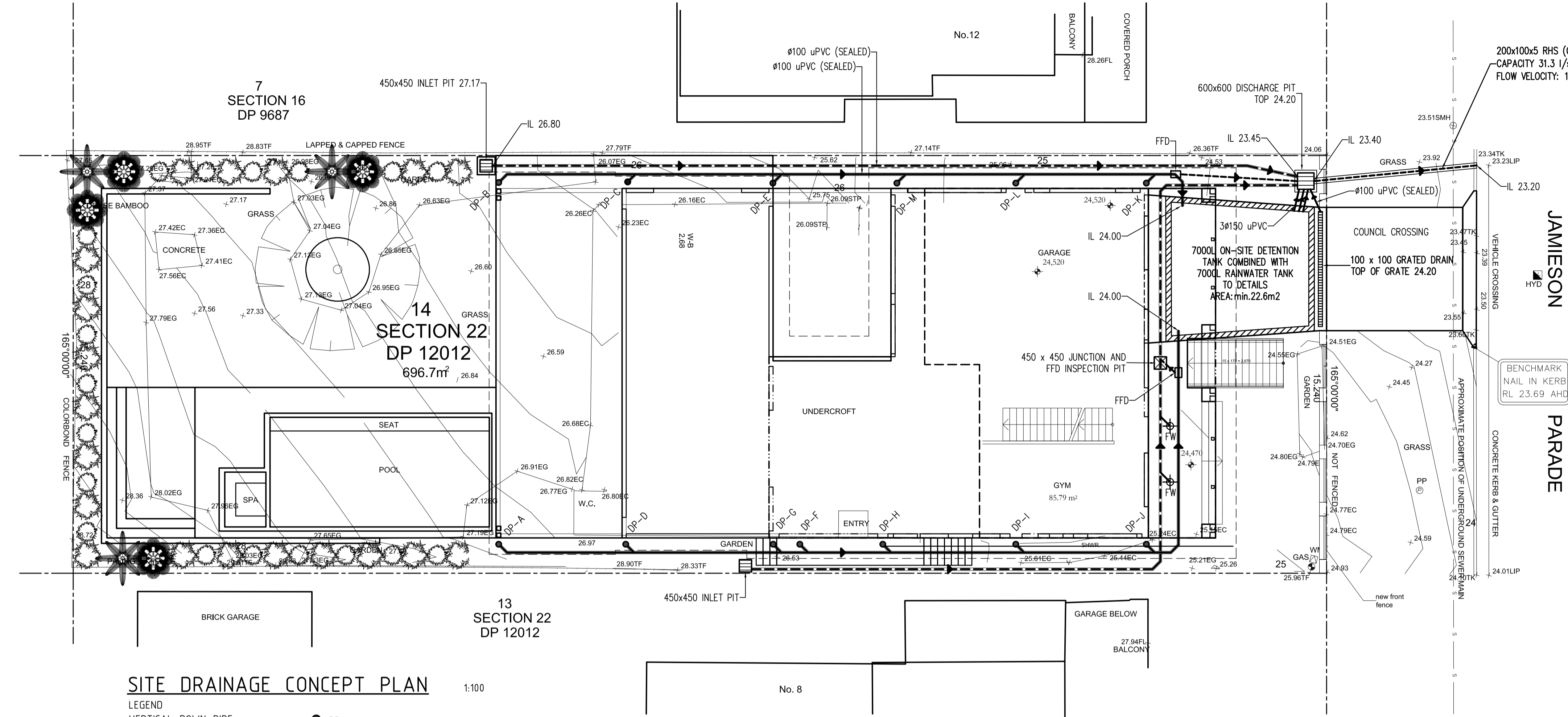
THIS STORMWATER MANAGEMENT PLAN IS SUBJECT TO NORTHERN BEACHES COUNCIL APPROVAL

DRAINAGE LINES LOCATIONS ARE INDICATIVE ONLY AND MAY VARY DUE TO SITE CONSTRAINTS. FINAL PIPES LOCATIONS TO BE COORDINATED ON SITE WITH OTHER SERVICES & BUILDERS.

LEAF GUARDS
TO BE INSTALLED TO EACH DOWN PIPE

CONNECTION WITH 150mm CONCRETE KERB

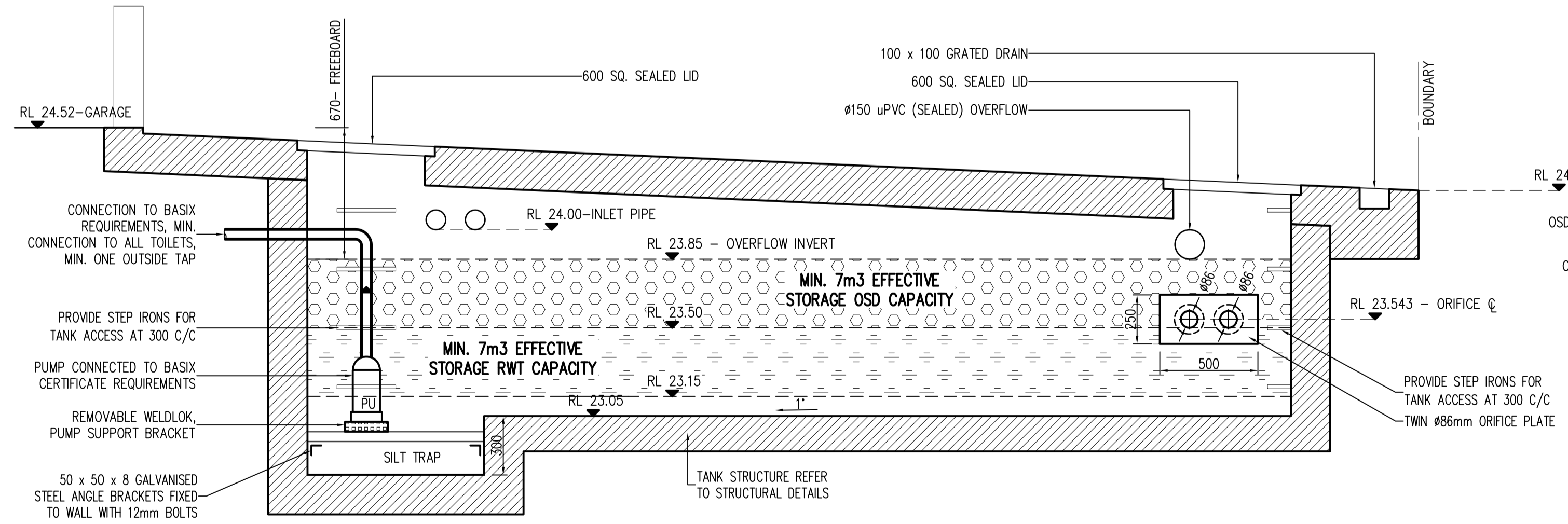
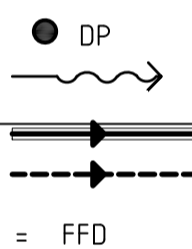
NOTES
1. INTERNAL HEIGHT OF RECTANGULAR SECTION ACROSS THE FOOTPATH SHALL BE 100mm MAXIMUM.
2. RECTANGULAR SECTION ACROSS FOOTPATH SHALL BE HOT DIP GALVANISED RHS.
3. CONVERT STORMWATER PIPES WITHIN PROPERTY TO SHS ACROSS FOOTPATH USING STORMWATER PIT.



SITE DRAINAGE CONCEPT PLAN

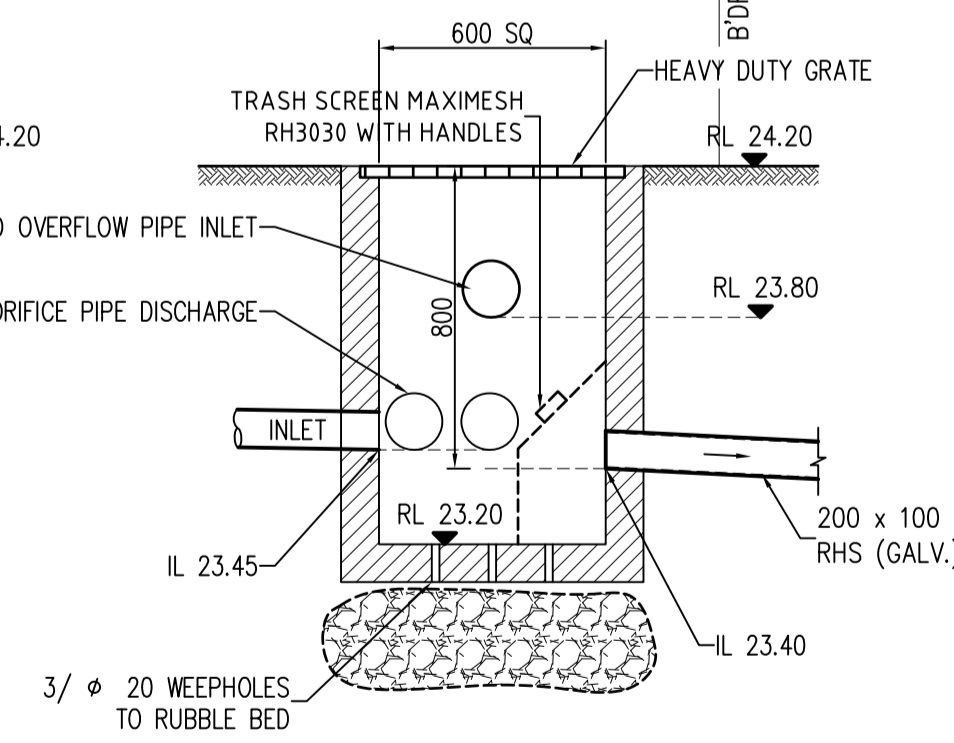
1:100

LEGEND
VERTICAL DOWN PIPE
SURFACE RUN OFF
ROOF DRAINAGE TO RWT
DISCHARGE PIPE BY-PASSING RWT
FIRST FLASH DEVICE TO MANUFACTURERS SPECIFICATION



ON-SITE DETENTION TANK SECTION

1:20



SITE DISCHARGE PIT (TYP)

(INLET PIT SIMILAR)

1:20

DOCUMENT CERTIFICATION
I AM A QUALIFIED CIVIL ENGINEER. I HOLD THE FOLLOWING QUALIFICATIONS: MEngSci (Civil), MEngSci (Mech), MEngSci (Struct), MEngSci (Hydro), MEngSci (Enviro), MEngSci (Geo), MEngSci (Marine), MEngSci (Aerospace), MEngSci (Agriculture), MEngSci (Food), MEngSci (Textile), MEngSci (Paper), MEngSci (Chemical), MEngSci (Metallurgical), MEngSci (Mineral), MEngSci (Petroleum), MEngSci (Transport), MEngSci (Energy), MEngSci (Environmental), MEngSci (Health), MEngSci (Social), MEngSci (Humanities), MEngSci (Arts), MEngSci (Design), MEngSci (Engineering), MEngSci (Science), MEngSci (Technology), MEngSci (Management), MEngSci (Business), MEngSci (Law), MEngSci (Medicine), MEngSci (Dentistry), MEngSci (Nursing), MEngSci (Pharmacy), MEngSci (Veterinary), MEngSci (Agriculture), MEngSci (Food), MEngSci (Textile), MEngSci (Paper), MEngSci (Chemical), MEngSci (Metallurgical), MEngSci (Mineral), MEngSci (Petroleum), MEngSci (Transport), MEngSci (Energy), MEngSci (Environmental), MEngSci (Health), MEngSci (Social), MEngSci (Humanities), 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GENERAL NOTES

ALL PLUMBING WITHIN THE SITE MUST BE CARRIED OUT IN ACCORDANCE WITH RELEVANT PROVISIONS OF AUSTRALIAN STANDARD AS/NZS 3500.3-2018 PLUMBING AND DRAINAGE - STORMWATER DRAINAGE.

ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM. (AHD)

DO NOT SCALE FROM THE DRAWINGS.

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORKS. REPORT ANY DISCREPANCIES TO THE SUPERINTENDENT OR DESIGN ENGINEER.

ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS AND SPECIFICATION.

READ THESE PLANS IN CONJUNCTION WITH APPROVED ARCHITECTURAL, STRUCTURAL, HYDRAULIC AND MECHANICAL DRAWINGS AND SPECIFICATION.

WHERE NEW WORK ABUTS EXISTING, THE CONTRACTOR SHALL ENSURE THAT A SMOOTH EVEN PROFILE, FREE FROM ABRUPT CHANGES, IS OBTAINED.

DESIGN LEVELS GIVEN ARE TO FINISHED SURFACE LEVEL AND INCLUSIVE OF TOPSOIL. (TOPSOIL DEPTH VARIES).

THE CONTRACTOR SHALL ARRANGE ALL SURVEY SETOUT TO BE CARRIED OUT BY A REGISTERED SURVEYOR.

CARE IS TO BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES. NO MECHANICAL EXCAVATIONS ARE TO BE UNDERTAKEN OVER TELECOM OR ELECTRICAL SERVICES. HAND EXCAVATE IN THESE AREAS.

ALL BUILDING SURROUND SHOULD BE GRADED TO ENSURE OVERLAND FLOW FROM UPSTREAM AREAS CAN DRAIN AROUND THE FOUNDATIONS, WALLS OF BUILDING.

ALL EXCAVATION SHORING OF EXCAVATION AND STABILITY OF ADJACENT STRUCTURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

DURING CONSTRUCTION, THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.

WORKMANSHIP AND MATERIALS SHALL CONFORM WITH THE REQUIREMENTS OF THE RELEVANT SAA CODES, BCA REQUIREMENTS AND THE SPECIFICATION, BY-LAWS AND ORDINANCES OF THE RELEVANT AUTHORITIES.

PROPRIETARY PRODUCTS USED SHALL BE INSTALLED TO MANUFACTURERS SPECIFICATION AND TO THE SATISFACTION OF THE SUPERINTENDENT.

EXTERNAL WORKS

ALL ACTIVITIES AND WORKS EXTERNAL TO THE SITE, OR THAT AFFECT PUBLIC ROADS, ARE TO BE CARRIED OUT IN ACCORDANCE WITH COUNCIL'S CODES AND STANDARDS.

PUBLIC FOOTPATHS SHALL BE RECONSTRUCTED TO THE SATISFACTION OF COUNCIL'S DIRECTOR OF ENGINEERING SERVICES. A ROAD OPENING PERMIT SHALL BE OBTAINED FOR ALL WORKS CARRIED OUT IN A PUBLIC OR COUNCIL CONTROLLED LAND. RESTORATION OF LANDSCAPING, ROADS AND PATHS SHALL BE TO COUNCIL'S REQUIREMENTS. ALL OTHER RESTORATION SHALL BE TO THE SATISFACTION OF THE AFFECTED PARTIES.

WHERE WORKS ARE UNDERTAKEN ON PUBLIC ROADS, ADEQUATE TRAFFIC CONTROL AND DIRECTIONS TO MOTORISTS SHALL BE PROVIDED.

DRAINAGE PITS

PITS DEEPER THAN 1200mm TO BE FITTED WITH STEP IRONS AT 300mm CENTRES AND STAGGERED.

APPROVED PRECAST PITS MAY BE USED.

DIAMETER 100mm HOLE FOR SUBSOIL DRAINAGE OUTLET TO BE LOCATED 100mm ABOVE INVERT OF ALL INLET PIPES. DIAMETER 100mm SUBSOIL DRAINAGE TO EXTEND FOR A DISTANCE OF 3.0m UPSTREAM OF PIT (AT EACH INLET PIT) WITH THE UPSTREAM END SEALED.

ALL CONNECTIONS TO THE EXISTING DRAINAGE PITS SHALL BE MADE IN A TRADESMAN LIKE MANNER AND THE INTERNAL WALL OF THE PIT AT THE POINT OF ENTRY SHALL BE CEMENT RENDERED TO ENSURE A SMOOTH FINISH.

PIT GRATES AND SOLID COVERS SHALL BE CLASS 'B' IN NON TRAFFIC AREAS AND CLASS 'D' IN TRAFFIC AREAS IN ACCORDANCE WITH AS 3996.

DRAINAGE PIPES

EXISTING PIPES WHICH FORM NO PART OF THE DRAINAGE SYSTEM SHALL BE REMOVED OR SANDFILLED AS INDICATED ON THE PLANS.

PIPE LENGTHS MEASURED ARE BETWEEN PIT CENTRES.

ALL DRAINAGE PIPES LESS THAN 300mm DIAMETER SHALL BE SEWER GRADE uPVC WITH SOLVENT WELDED JOINTS (U.N.O.). ALL PIPE JUNCTIONS AND TAPERS SHALL BE VIA PURPOSE MADE FITTINGS.

MINIMUM GRADE TO DRAINAGE PIPES TO BE 1.5% U.N.O.

MINIMUM PIPE SIZE TO BE 100mm DIAMETER U.N.O.

THE CONTRACTOR IS TO SUPPLY AND INSTALL ALL FITTINGS AND SPECIALS INCLUDING VARIOUS PIPE ADAPTORS TO ENSURE PROPER CONNECTION BETWEEN DISSIMILAR PIPEWORK.

RAINWATER RE-USE NOTES AND SPECIFICATIONS

ROOF WATER ONLY TO BE DRAINED TO THE RAINWATER STORAGE TANKS.

THE RAINWATER STORAGE TANKS ARE TO BE CONNECTED FOR RE-USE AS REQUIRED BY THE TASK CERTIFICATE.

RAINWATER STORAGE TANKS TO BE CONFIGURED IN ACCORDANCE WITH SYDNEY WATER SPECIFICATIONS 'GUIDELINES FOR RAINWATER TANKS ON RESIDENTIAL PROPERTIES'.

PROVIDE MAINS 'TOP-UP' SUPPLY TO RAINWATER TANKS. MAINS TOP-UP ZONE TO BE BASED ON THE DAILY NON-POTABLE USAGE THAT MAY BE EXPECTED FROM THE TANK.

PROVIDE A MECHANICAL PUMPING ARRANGEMENT (IN SOUND-PROOF HOUSING) TO PUMP SUPPLIERS SPECIFICATION TO SUIT INTENDED USAGE OF RAINWATER STORAGE. PUMPING ARRANGEMENTS MUST COMPLY WITH EPA GUIDELINES.

INLETS TO RAINWATER TANKS MUST BE SCREENED TO PREVENT THE ENTRY OF FOREIGN MATTER, ANIMALS OR INSECTS.

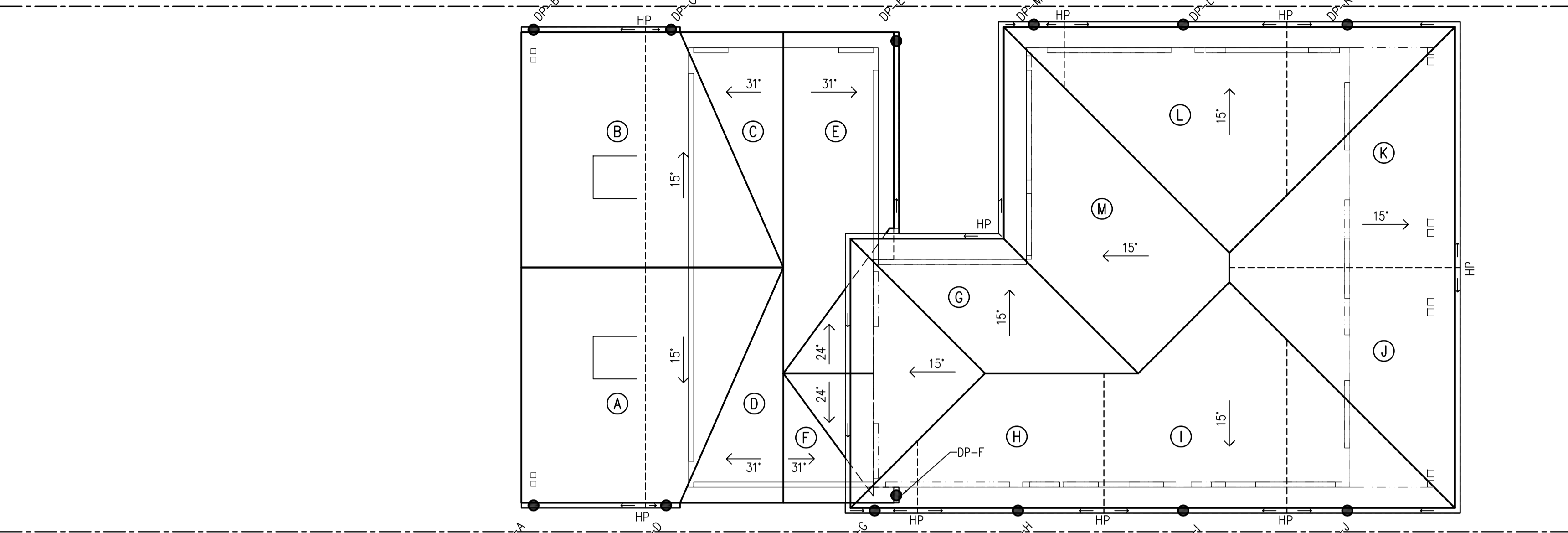
A SIGN MUST BE AFFIXED TO THE RAINWATER TANKS AND HOSE TAPS AS PER AS3500.1 CLEARLY STATING THAT THE WATER IN THE TANK IS RAINWATER AND IS NOT TO BE USED FOR HUMAN CONSUMPTION.

FIRST FLUSH DEVICE TO BE PROVIDED TO EACH DOWNPIPE OR IF PREFERRED A SINGLE DEVICE TO BE PROVIDED ON THE UPSTREAM SIDE OF STORAGE TANK FOR EACH PIPED INLET TO STORAGE TANK. A SINGLE FIRST FLUSH DEVICE MAY BE PROVIDED LIEU OF EACH DOWNPIPE.

RAINWATER TANKS TO BE PLACED ON A STRUCTURALLY ADEQUATE BASE IN ACCORDANCE WITH THE MANUFACTURER'S OR STRUCTURAL ENGINEER'S DETAILS.

THE TANK MUST NOT BE INSTALLED OVER ANY MAINTENANCE STRUCTURE OR FITTINGS USED BY A PUBLIC AUTHORITY.

RAINWATER TANKS AND ASSOCIATED PLUMBING WORKS TO BE INSTALLED AND CONFIGURED BY A LICENSED PLUMBER. PUMP TO BE INSTALLED BY A LICENSED ELECTRICIAN.



ROOF PLAN 1:100

LEGEND

VERTICAL DOWN PIPE = ● DP
HIGH POINT = HP

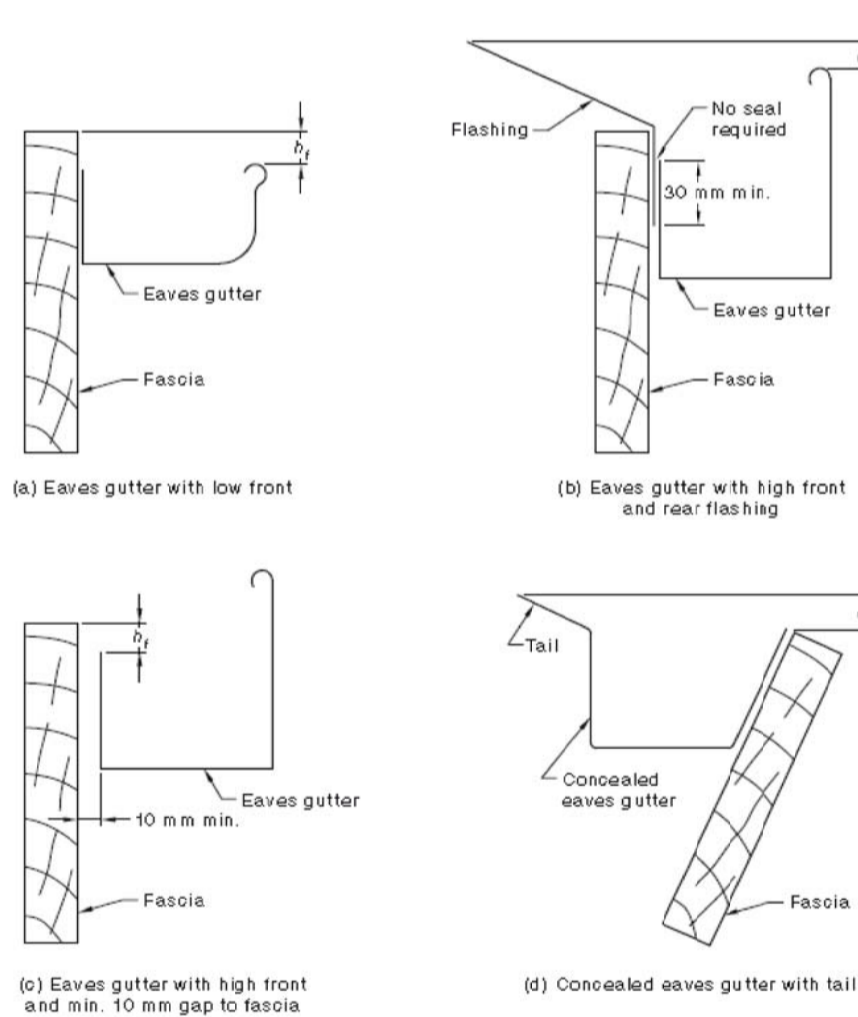


FIGURE G1 EAVES GUTTER OVERFLOW METHODS

ALL PIPES INCL. DOWN PIPES SHALL BE SEWER GRADE uPVC WITH SOLVENT WELDED JOINTS (U.N.O.).

UNDERGROUND SERVICES

DIAL 1100 BEFORE YOU DIG FOR LOCATION OF UNDERGROUND SERVICES PRIOR TO ANY CONSTRUCTION WORKS.

CONTACT TELSTRA FOR WRITTEN PERMISSION TO MAINTAIN OR RELOCATE ANY EXISTING SERVICE PIT.

ALL SERVICES ARE TO MATCH INTO THE NEW FOOTPATH LEVELS CONTACT THE RELEVANT AUTHORITY FOR ADJUSTMENT TO SERVICES.

THIS STORMWATER MANAGEMENT PLAN IS SUBJECT TO NORTHERN BEACHES COUNCIL APPROVAL

EXISTING STORMWATER SYSTEM TO BE REMOVED

DRAINAGE LINES LOCATIONS ARE INDICATIVE ONLY AND MAY VARY DUE TO SITE CONSTRAINTS. FINAL PIPES LOCATIONS TO BE COORDINATED ON SITE WITH OTHER SERVICES & BUILDERS.

LEAF GUARDS

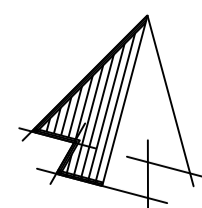
TO BE INSTALLED TO EACH DOWN PIPE

DOCUMENT CERTIFICATION

I AM A QUALIFIED CIVIL ENGINEER. I HOLD THE FOLLOWING QUALIFICATIONS: MEngSc (Civil), MEngSc (Mech), MEngSc (Struct), MEngSc (Hydro), MEngSc (Thermal), MEngSc (Environmental), MEngSc (Marine), MEngSc (Aerospace), MEngSc (Automotive), MEngSc (Agricultural), MEngSc (Food), MEngSc (Textile), MEngSc (Paper), MEngSc (Chemical), MEngSc (Metallurgical), MEngSc (Mineral), MEngSc (Petroleum), MEngSc (Biological), MEngSc (Medical), MEngSc (Pharmaceutical), MEngSc (Agricultural), MEngSc (Food), MEngSc (Textile), MEngSc (Paper), MEngSc (Chemical), MEngSc (Metallurgical), MEngSc (Mineral), MEngSc (Petroleum), MEngSc (Biological), MEngSc (Medical), MEngSc (Pharmaceutical).

Michael Korecky

1	ISSUED FOR DA ONLY	18/12/20
No.	AMENDMENT	DATE
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DESIGN BY:

MICHAL KORECKY

21 NALYA ROAD, NARRAMEENA NSW 2099

ABN: 79 393 130 294

Email: koreckym@gmail.com

MOB: 0438148944

PROJECT:

PROPOSED RESIDENCE

10 JAMESON PARADE

COLLAROY NSW 2097

DATE: 18/12/20

DRAWN: MK

DRAWING Nr :

20102

SCALE: AS NOTED

ISSUE: 1

SHEET:

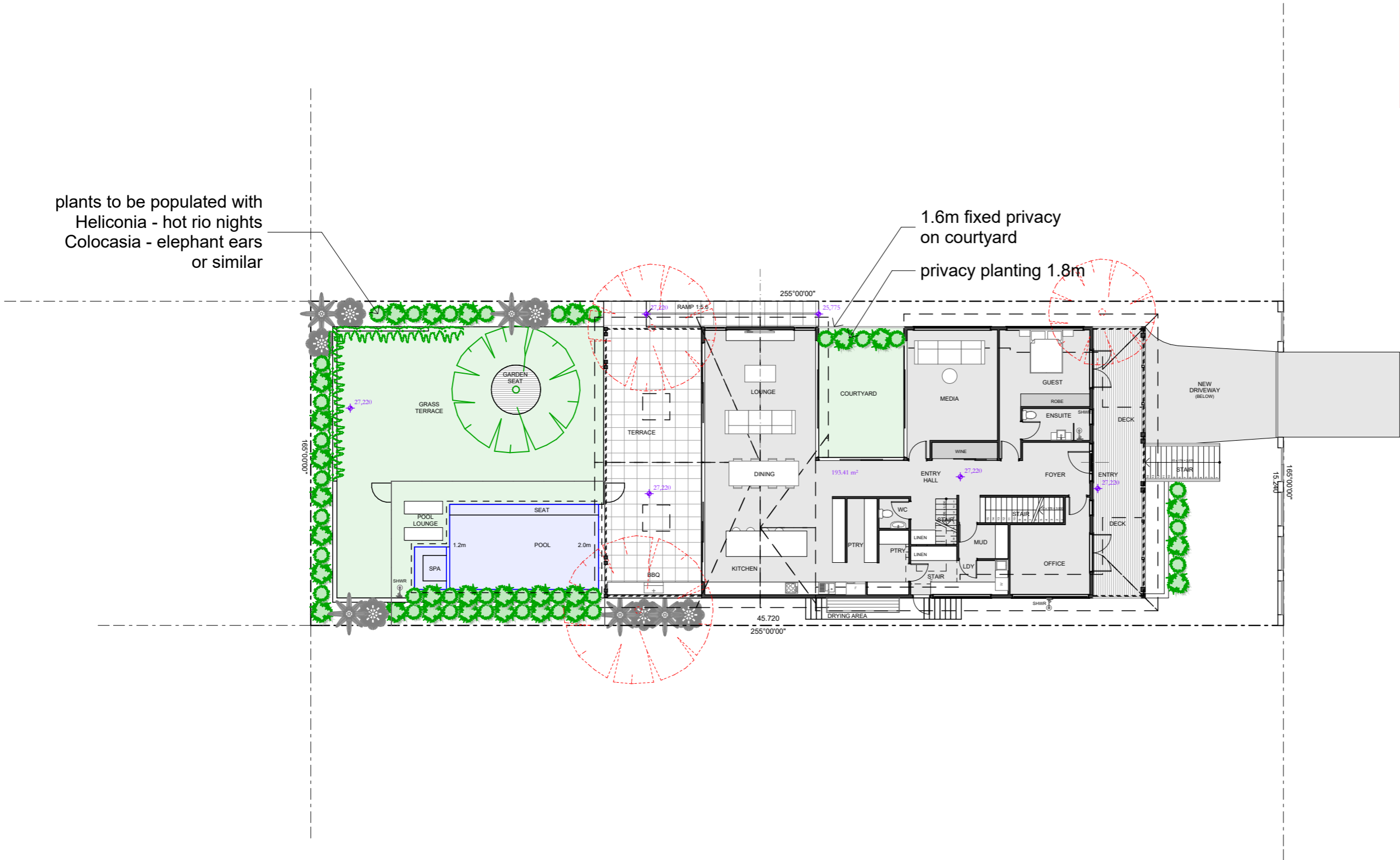
SW-2



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2021/0006



Landscaping Plan
1:200



TN



DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.
The builder shall check and verify all dimensions
and verify all errors and omissions to the
Architect. Do not scale the drawings.
Drawings shall not be used for construction
purposes until issued by the
Architect for construction.

REV	DATE	DESCRIPTION

sketchArc

Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 10 Jamieson Pde, Collaroy,
2097, NSW
New Dwelling
LOT 14 Sec. 22 in DP 12012 - 696.7m2

CLIENT:
Private

- Demolition

- Proposed

STATUS: DA2	SCALE: 1:200@A3	PROJECT NUMBER: 2023
DATE: 040621	DRAWN/DESIGNED: PB / MP	ISSUE:
STAGE: DA2	DRAWING NO: DA15	