



Freshwater Mixed Use Development

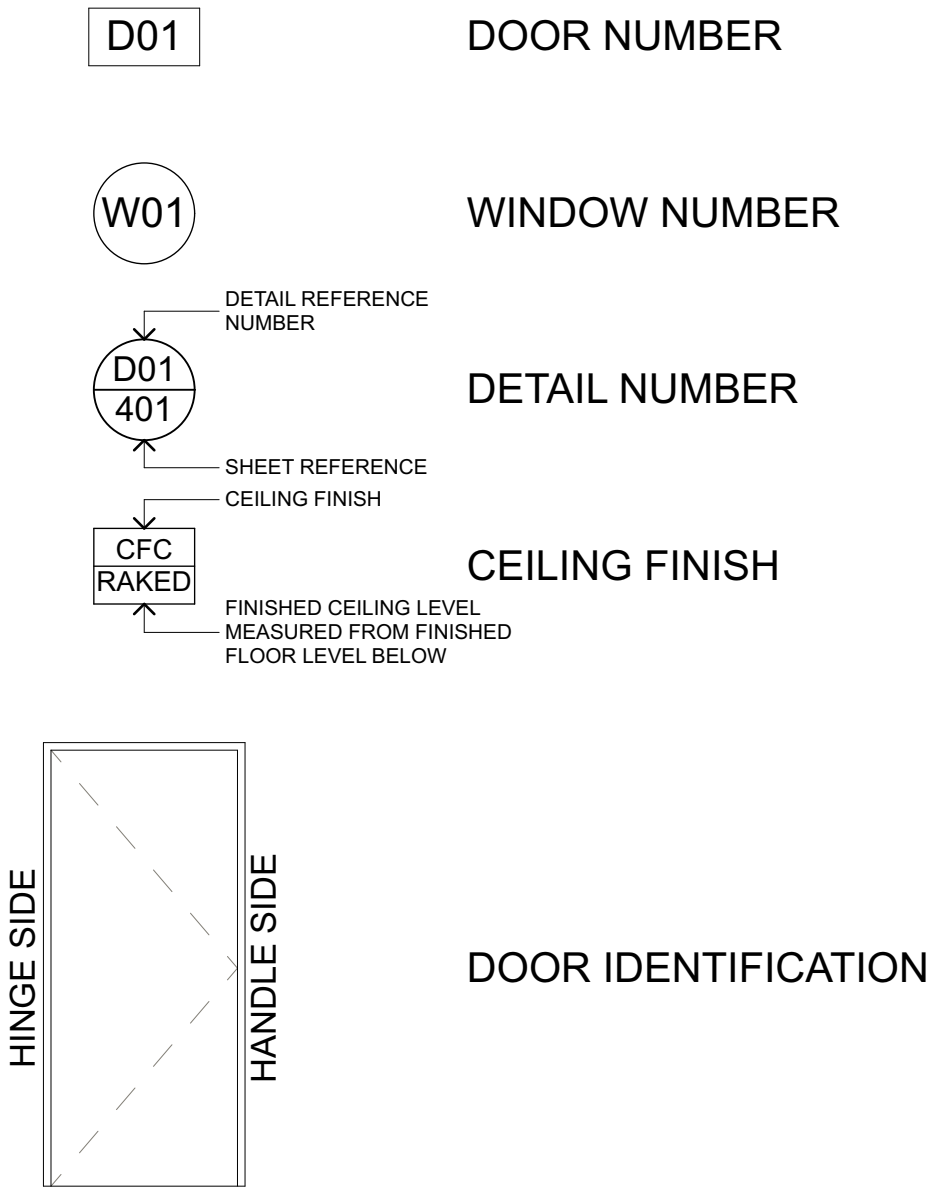
50 Lawrence Street
Freshwater, NSW

Development Application
MAY 2020

General Abbreviations

AA	ANODISED ALUMINIUM
AHD	AUSTRALIAN HEIGHT DATUM
A/C	AIR CONDITIONING (REFER MECHANICAL DRAWINGS)
AP	ACCESS PANEL
B	BENCH
BEJ	BRICK EXPANSION JOINT (REFER ENGINEERS DRAWINGS)
BL	BLOCK WORK - CEMENT RENDER FINISH - PAINTED
BNCH	BENCH
C	CARPET
CFC	COMPRESSED FIBRE CEMENT
CH	COAT HOOK
COL	COLUMN
CONC.	CONCRETE
COS	CONFIRM ON SITE
CT	CERAMIC TILE
CV	COVING
D	DOOR
DP	DOWN PIPE
E	EXTINGUISHER
FB	FACE BRICKWORK
FC	FIBRE CEMENT SHEETING
FCL	FINISHED CEILING LEVEL
FG	FIXED GLASS
FFL	FINISHED FLOOR LEVEL
FHR	FIRE HOSE REEL
FL	FLUORESCENT LIGHT
FW	FLOOR WASTE
G	GAS INSTANTANEOUS HOT WATER
GD	GRATED DRAIN
GPO	POWER OUTLET
GR	GRAB RAIL
HA	HANDLE
HB	HAND BASIN
HC	HOSE COCK
HR	HAND RAIL
HWU	HOT WATER UNIT
LC	LIGHTWEIGHT CLADDING
LV	LOUVRE
M	MASONRY
MC	METAL ROOF CAPPING
MF	METAL FLASHING
MR	METAL ROOF SHEET
MIR	MIRROR
MRPB	MOISTURE RESISTANT PLASTERBOARD
MW	MASONRY WALL
OF	OVERFLOW
PB	PLASTER BOARD - PAINTED
PC	PRECAST CONCRETE
PF	PAINT FINISH
RAG	RETURN AIR GRILLE. REFER MECH ENGINEER
RC	ROOF COWL WITH FLASHING
RD	RECESSED DOWNLIGHT
RS	ROLLER SHUTTER DOOR
RV	ROOF VENTILATION
SD	SMOKE DETECTOR
SDS	SOAP DISPENSER
SG	SLIDING GLASS
SGD	SLIDING GLASS DOOR
SK	SKIRTING
SNK	SINK
SP	DOWN PIPE SPREADER
SPB	SUSPENDED PLASTERBOARD
SPB*	SUSPENDED PLASTERBOARD. MOISTURE RESISTANT
ST	SANDSTONE CLADDING (ON BLOCKWORK)
STR	STORE
SWG	SWING GLASS DOOR
T	TIMBER
TC	TIMBER CLADDING
TF	TIMBER FLOOR
TI	TACTILE GRIP SURFACE INDICATOR
TPH	TOILET PAPER DISPENSER
TR	TOWEL RAIL
V	NON-DUCTED VENT
W	WINDOW
WC	WATER CLOSET
WL	WALL LIGHT
W/PUMP	WATER PUMP FOR TANKS

Drawing Legend



Finishes Legend

FLOOR FINISHES

TILE

EXTERIOR PAVING TILE
WITH APPLIED SEALER/SLIP
COLOUR TBC
RESISTANT FINISH

TF

TIMBER FLOOR BOARDS
OAK OR SIMILAR
REFER FINISHES SCHEDULE

CT

CERAMIC TILE
COLOUR TBC
REFER FINISHES SCHEDULE

CONC.

POLISHED CONCRETE
"INSERT COLOUR/TYPE/CODE"
REFER FINISHES SCHEDULE

C

CARPET
CHARCOAL OR SIMILAR
REFER FINISHES SCHEDULE

WALL FINISHES

TC

TIMBER CLADDING
OFF-WHITE PAINT FINISH
REFER FINISHES SCHEDULE

MR1

METAL ROOF SHEETING
CHARCOAL POWDERCOATING
REFER FINISHES SCHEDULE

BL

CONCRETE BLOCK WORK
NATURAL FINISH
REFER FINISHES SCHEDULE

M

RENDERED MASONRY
WHITE PAINT FINISH
REFER FINISHES SCHEDULE

PC

PRECAST CONCRETE PANEL
NATURAL FINISH
REFER FINISHES SCHEDULE

ST

SANDSTONE
NATURAL FINISH
REFER FINISHES SCHEDULE

ABSA

Accredited

Assessor Name: Terry Chapman

Assessor Number: 20920

Assessment Period: 01/04/2020 to 01/03/2021

6.6

Average star rating

NATIONWIDE HOUSE

www.nathers.gov.au

Certificate no.: 8004826700

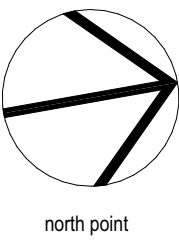
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Accreditation no.: 20920

Certificate date: 12 May 2020

Dwelling Address: 50 Lawrence Street
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REGULATORY ENVIRONMENT

The following planning documents apply:

Warringah DCP
Warringah DCP - Part G5 - Special Area Controls - Freshwater Village
Sept 65 & Apartment Design Guidelines

LEP & MAPPING

Zone:	B2 - Local Centre- Refer to Part F Zones & Sensitive Areas
FSR:	Merit Based Assessment
Height:	11m (11~11.9m) Maximum 3 Storeys
Acid Sulfate Soils:	N/A
Site Area:	590 m ²

FRESHWATER VILLAGE DCP/MERIT BASED ASSESSMENT

Setbacks ***	
Front:	Lawrence Avenue - Up to Boundary (First 2 storeys)
Side:	Adjoining Dowling St - Merit Based Assessment
Side:	Adjoining Oliver St - 2m Adjoining Residential Zone
Rear:	Rear - 2m Adjoining Residential Zone
Third Storey Front boundary:	5m

Soft Landscape Area
Minimum of 25% of site:

Required:	147.5m²
Provided:	L1: 46m² / L2: 2m² / L3: 6.18m² Total: 54.18m²

Deep Soil

Minimum 50% of soft landscaped area:

Required:	74m²
Provided:	0m²

Apartment Design Guide

Min. Apartment Sizes:	St/1/2/3 Bedrooms: 35/50/70/90m ² Respectively
Min. Balcony Sizes:	St/1/2/3 Bedrooms: 4/8/10/12m ² Respectively

GFA:	
GF:	100m ²
L1:	170m ²
L2:	403m ²
L3:	241m ²
Total GFA:	914m²

Unit Mix:

Studio:	no.2
1 Bed:	no.3
2 Bed:	no.4
2 Bed Adaptable:	no.1
3 Bed:	no.1

Calculations FSR

Site Area:	590m ²
FSR:	1.55:1

Carparking

Resident Parking
1/2/3 bedrooms: 1/1.2/1.5 bays respectively

Required: 12.5
Provided: 15

Visitor Parking
1 space per 5 dwellings

Required: 2.2
Provided: 2

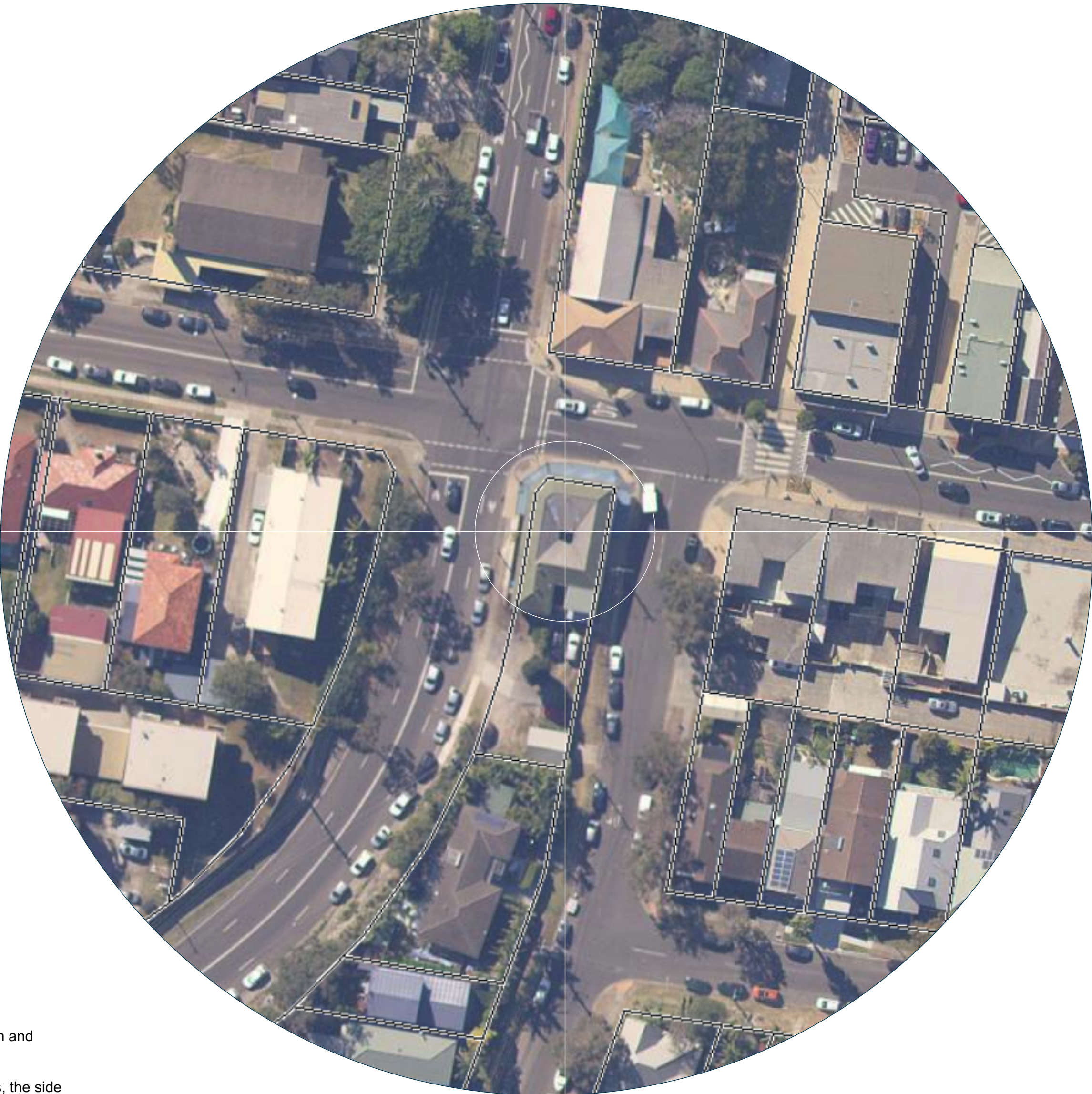
Business + Retail:

Required: 3.29
Provided: 3

TOTAL: 17.99
TOTAL: 19

Freshwater Village DCP Key Points:

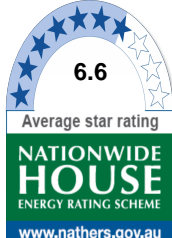
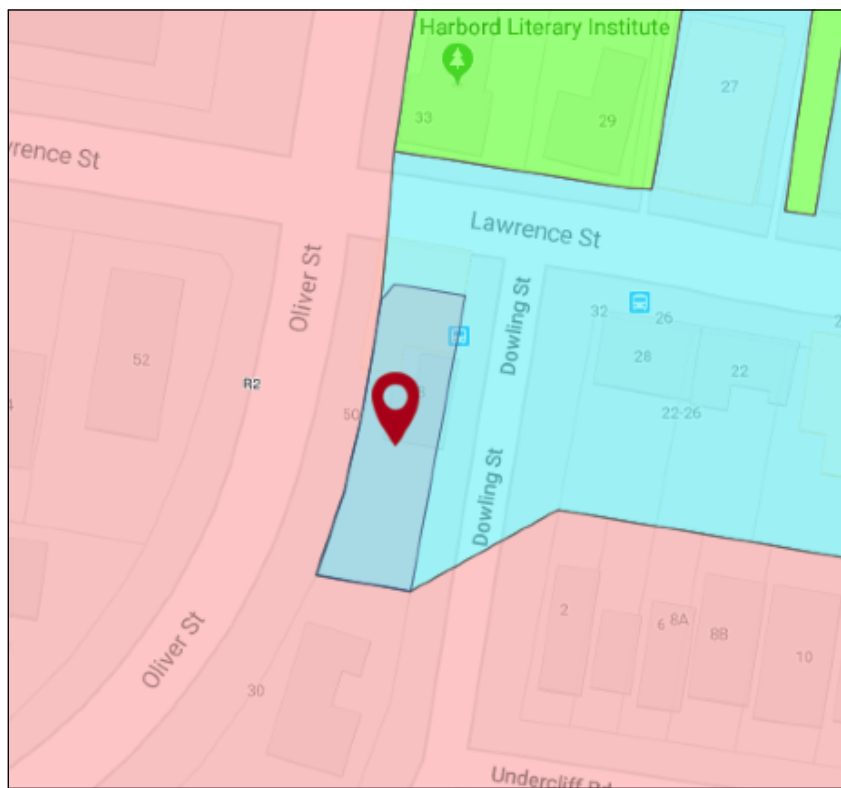
- Street Frontage to have a vertical emphasis
- Maximum length of a shopfront 5-10m
- Awnings on street corners to be wrapped 6m minimum
- Step the building roof form
- Low scale coastal feel of Freshwater
- Buildings not to exceed a maximum building length of 20m without the provision of separate cores and entry points
- To ensure that any proposed development within the vicinity of a heritage listed item does not have an adverse impact on and complements the heritage significance of the item(s)
- Where a side or rear boundary of the proposed development site does not adjoin residential zoned land other than roads, the side and rear boundary setbacks will be determined on a merit basis and will have regard to: streetscape amenity of surrounding properties setbacks of neighbouring development



LAND ZONING

LEGEND

B1	Neighbourhood Centre
B2	Local Centre
C1	Commercial Core
C2	Mixed Use
D1	Business Development
D2	Enterprise Corridor
D3	Business Park
E1	National Park and Nature Reserve
E2	Environmental Conservation
E3	Environmental Management
E4	Environmental Living
I1	General Industrial
I2	Light Industrial
I3	General Residential
I4	Low Density Residential
I5	Medium Density Residential
I6	Large Lot Residential
P1	Public Recreation
P2	Private Recreation
P3	Primary Production
R1	Rural Landscapes
R2	Rural
R3	Rural Small Holdings
R4	Willetts
R5	Timberland
S1	Special Activities
S2	Infrastructure
S3	Tourism
W1	Natural Waterways
W2	Recreational Waterways



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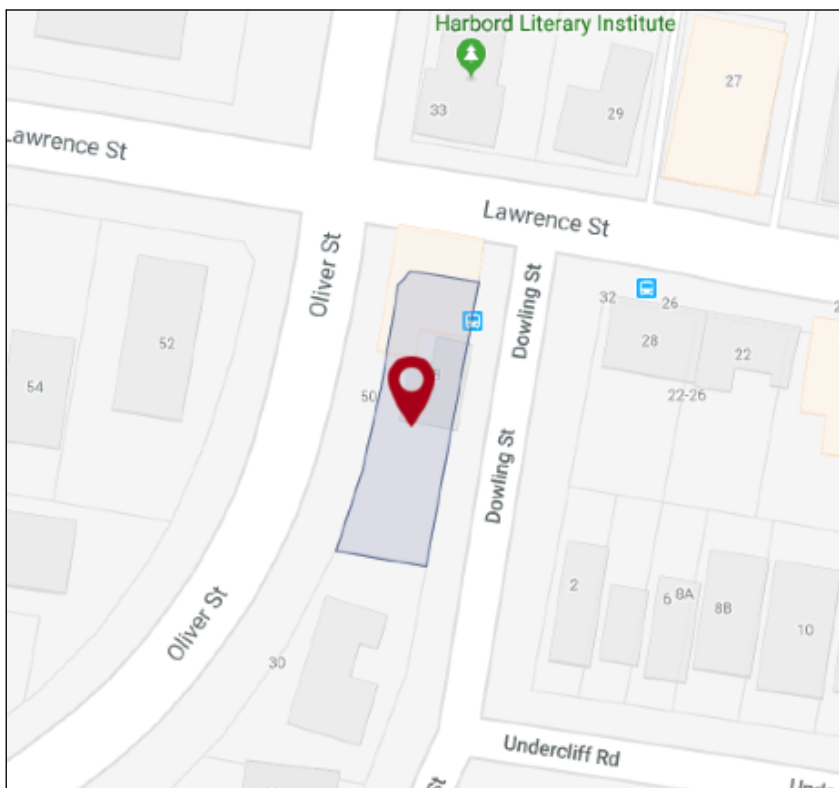
FLOOR SPACE RATIO

Maximum Floor Space Ratio (m:1)

A	0.20
B	0.50
C	0.55
D	0.60
E	0.70
F	0.75
G	0.85
H	0.90
I	1.0
J	1.1
K	1.25
L	1.5
M	2.0
N	2.75
O	3.0
P	3.9

Refer to Clause 4.4

Merit Based Assessment

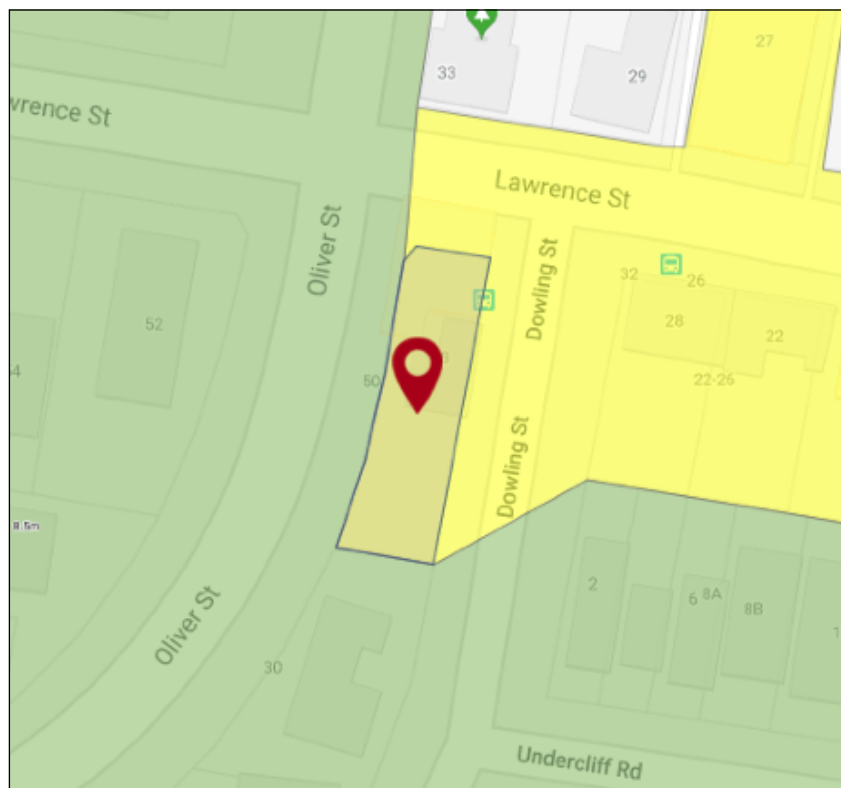


HEIGHT OF BUILDING

Maximum Building Height (m)

A	8.5
B	9.5
C	10.5
D	11
E	12
F	13
G	14
H	15
I	16
J	17
K	18
L	19
M	20
N	21
O	22
P	23
Q	24
R	25
S	26
T	27
U	28
V	29
W	30
X	31
Y	32
Z	33

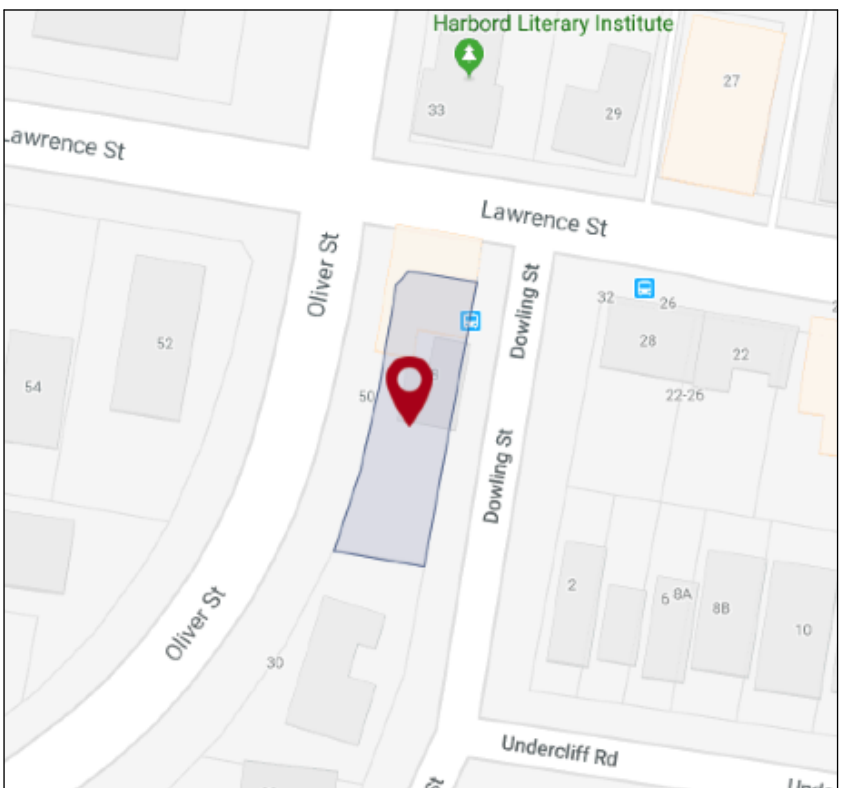
Refer to Clause 4.4



ACID SULPHATE SOIL

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Class 1	All Works
Class 2	Works below ground surface
Class 3	Works beyond 1m below ground surface
Class 4	Works beyond 2m below ground surface
Class 5	Works within 500m of adjacent classes 1-4

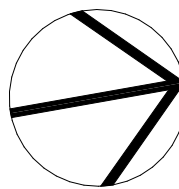


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north point

Freshwater Mix Use

project #

19045

50 Lawrence Street
FRESHWATER NSW 2096

Planning Controls / BASIX

drawing #

DA-0002

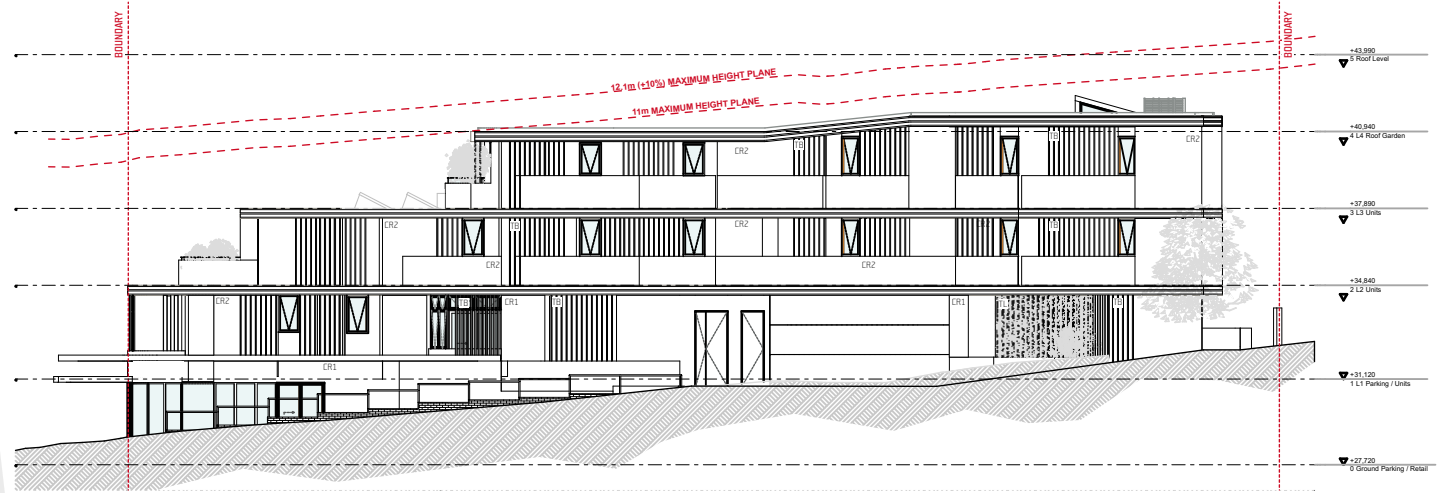
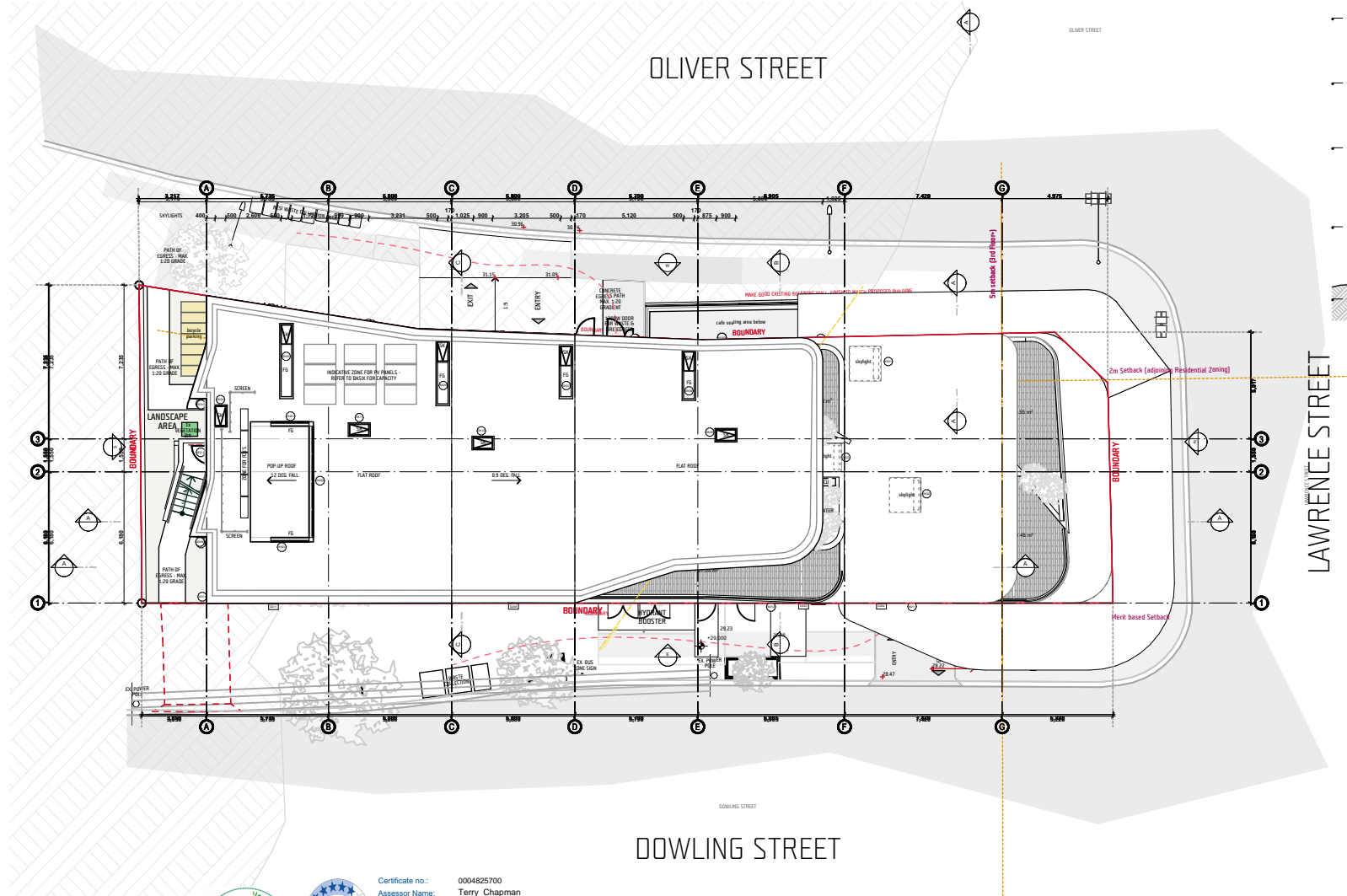
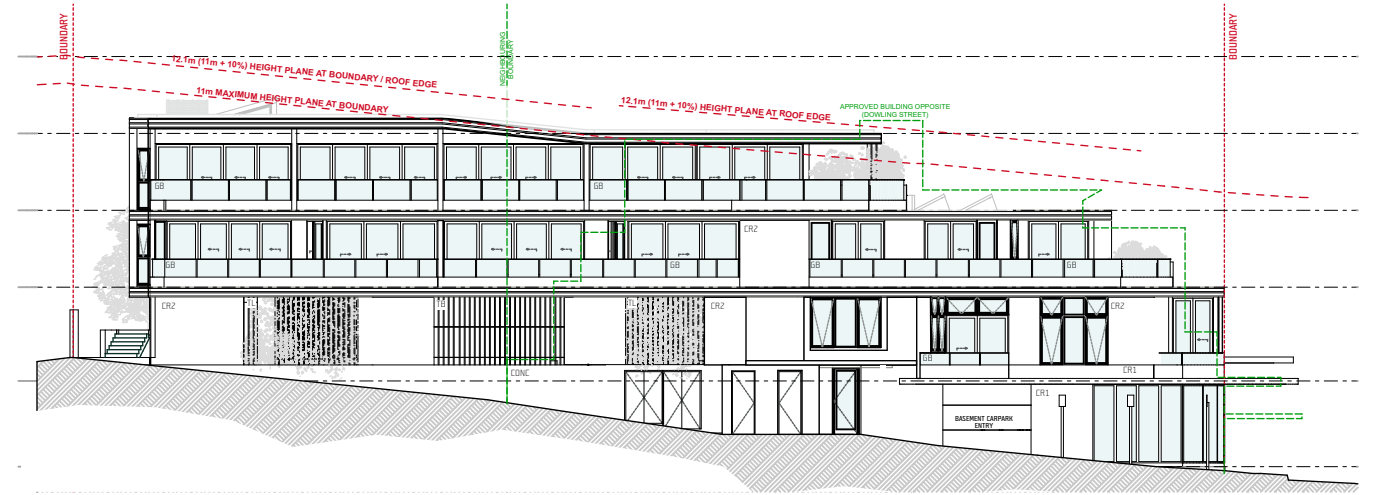
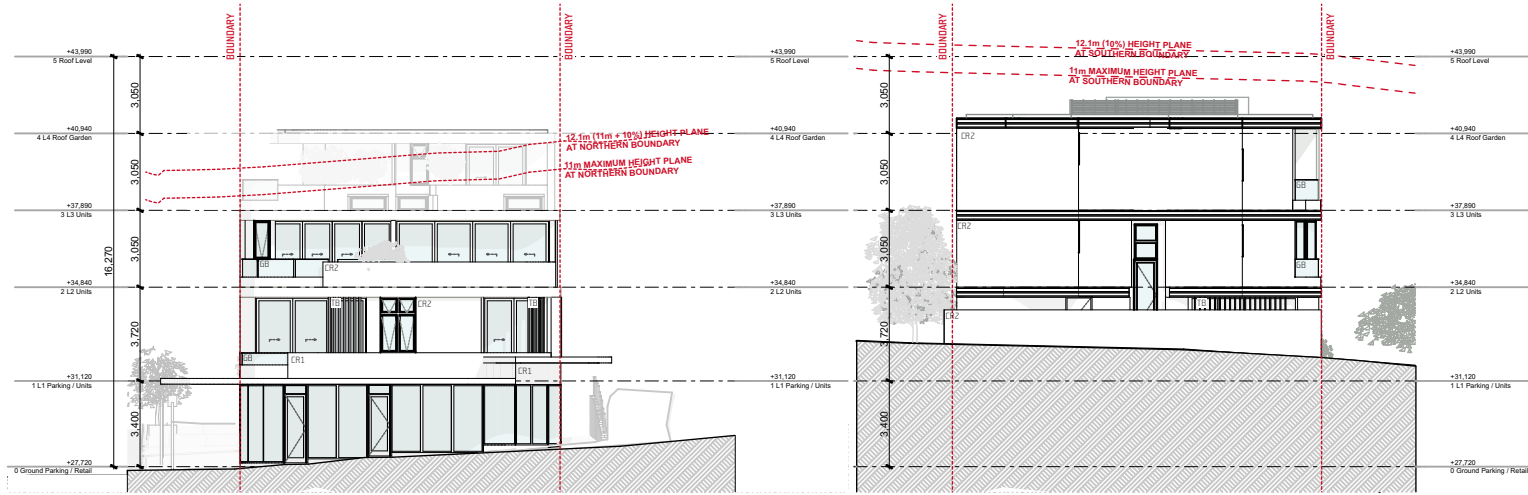
issue

F

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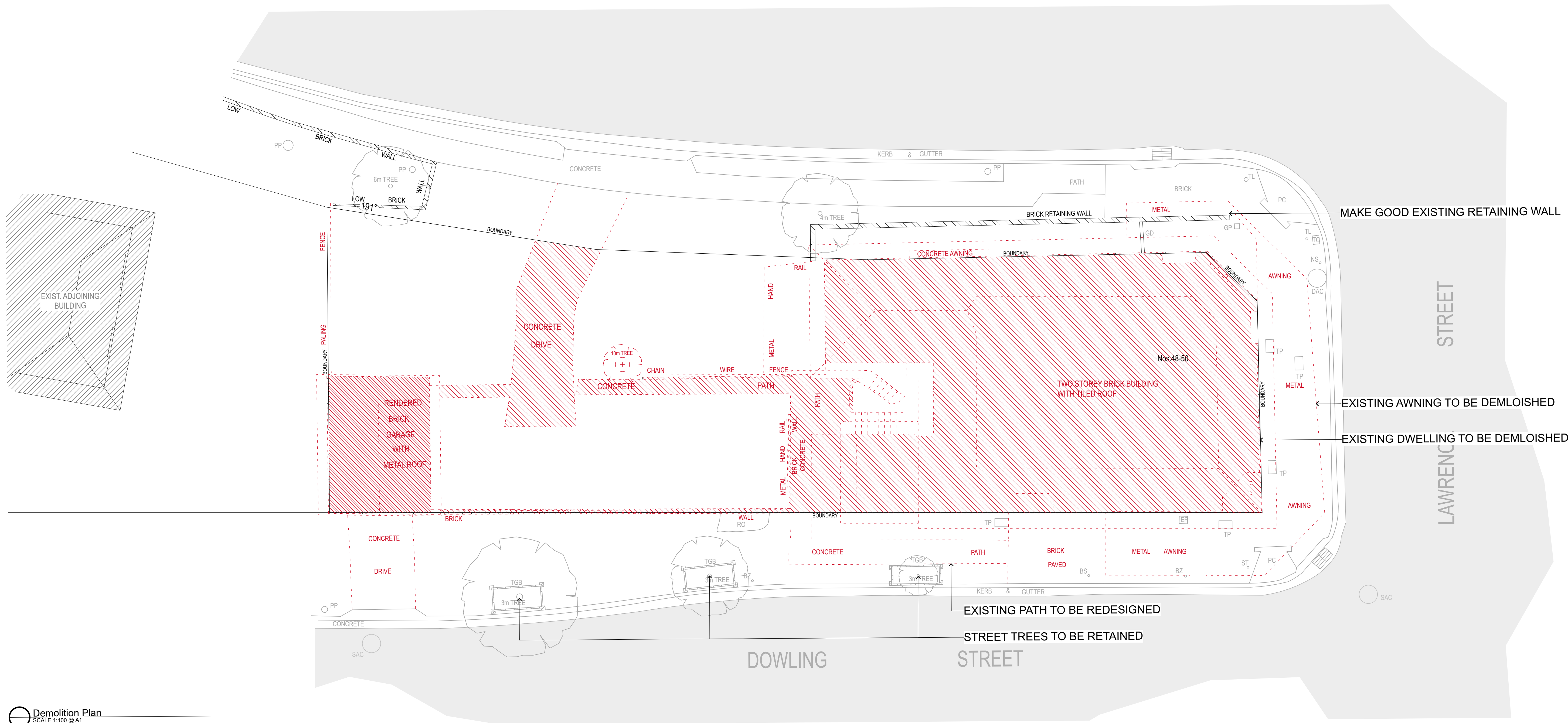
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Notification Plans
drawing #
DA-0003
1:300
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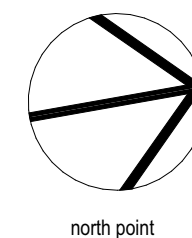


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Demolition Plan

drawing #
DA-0101
1:100

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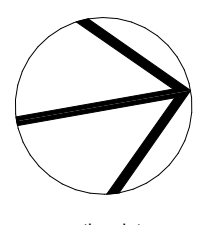
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Average star rating
6.6
NATIONWIDE
HOUSE
ENERGY RATING SCHEME
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north point

Freshwater Mix Use

project #
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Site Plan/Analysis

drawing #
DA-1001
1:250

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OLIVER STREET

LAWRENCE STREET

DOWLING STREET

DEVELOPMENT APPLICATION

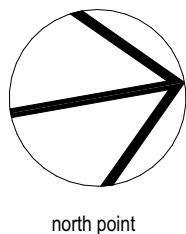


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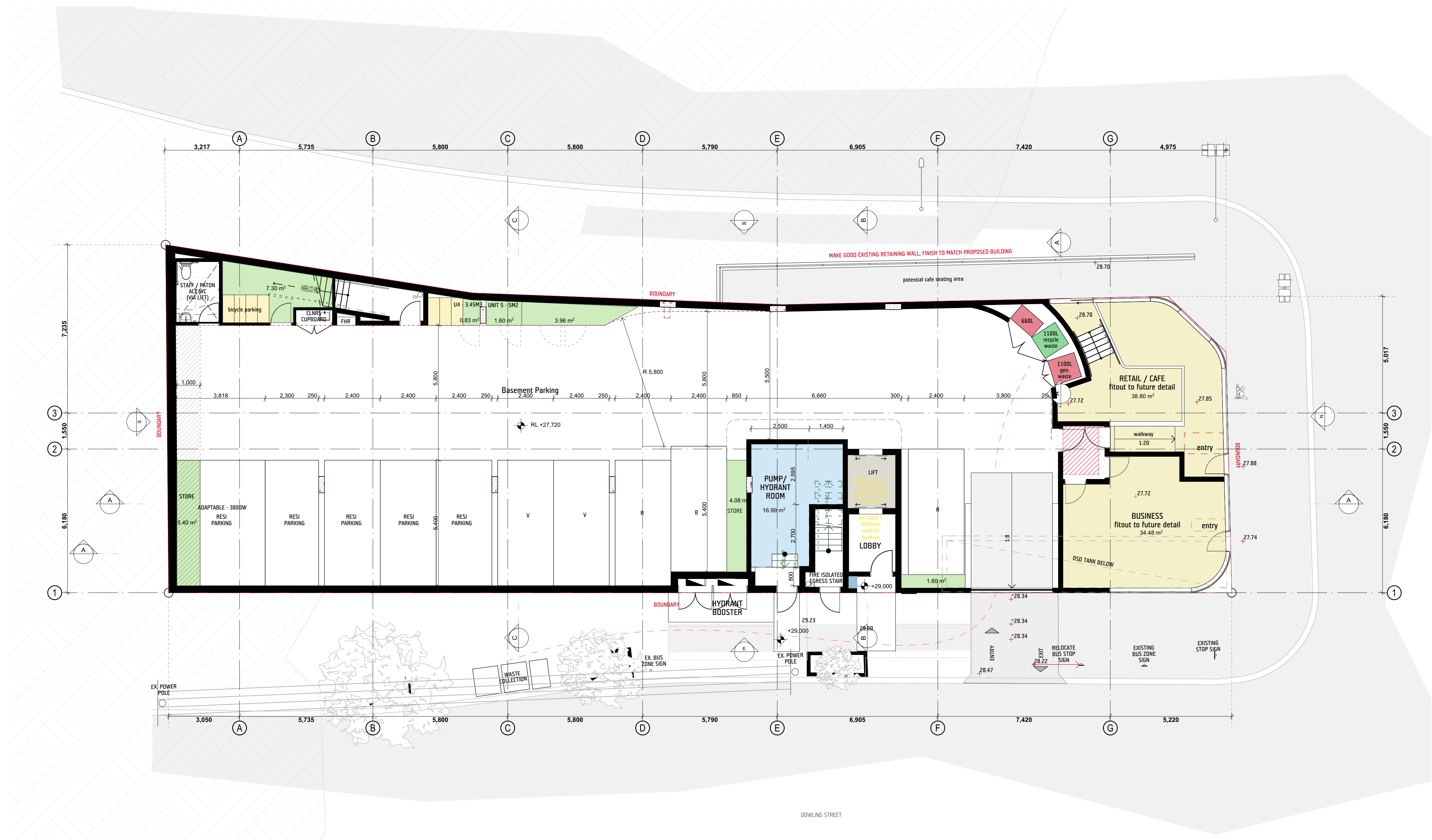
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Site Plan
drawing #
DA-1002
1:100
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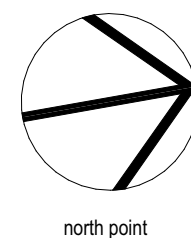


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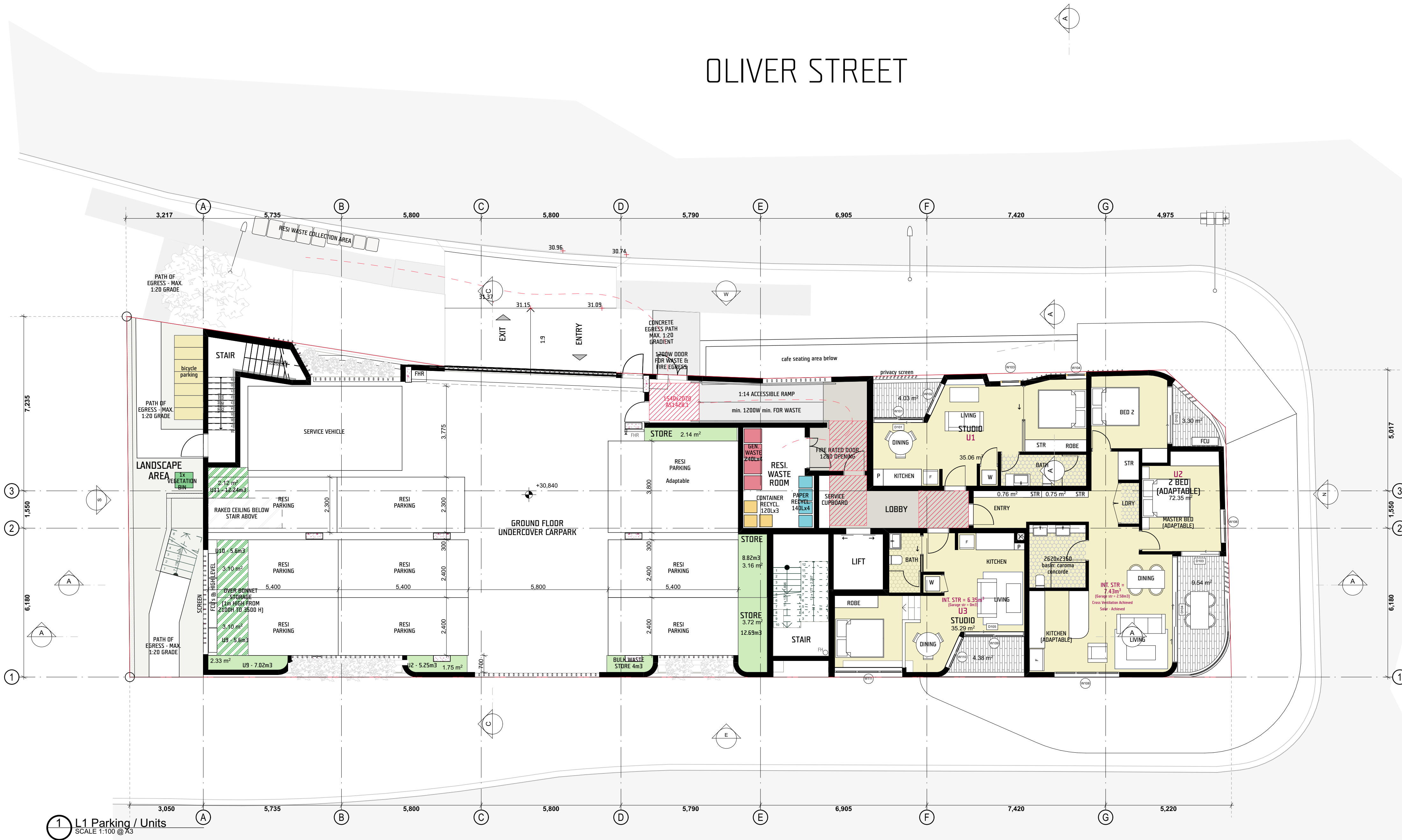
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Ground Floor Plan
drawing # DA-1101
1:100
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OLIVER STREET

LAWRENCE STREET



1 L1 Parking / Units
SCALE 1:100 @ A3

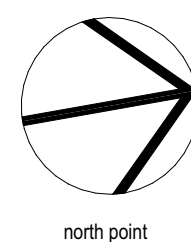


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Level 01 Plan
drawing #
DA-1102
1:100

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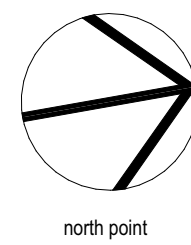


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Level 02 Plan
 drawing #
DA-1103
 1:100
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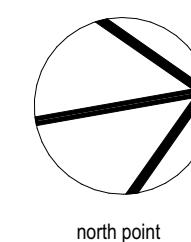


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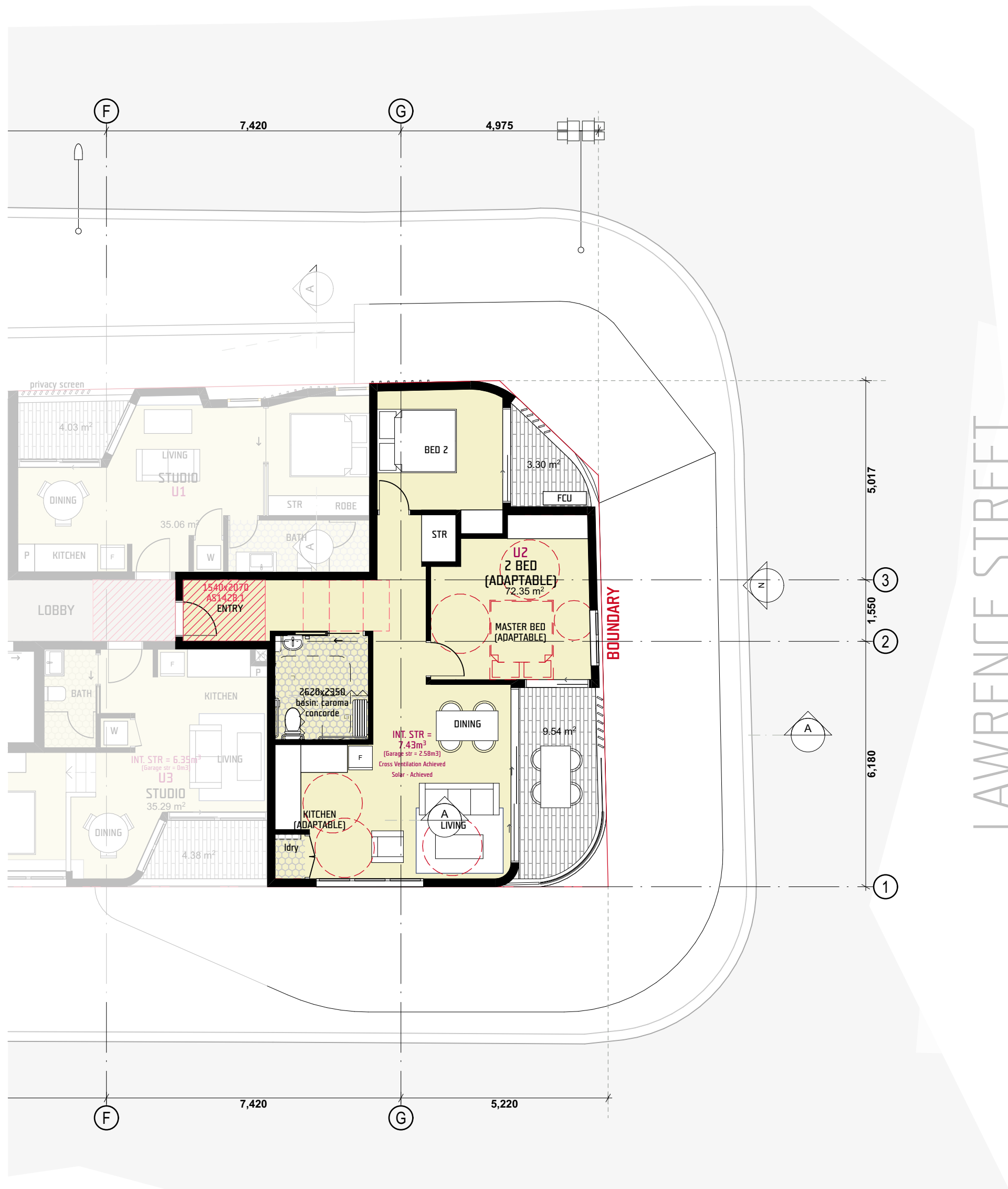


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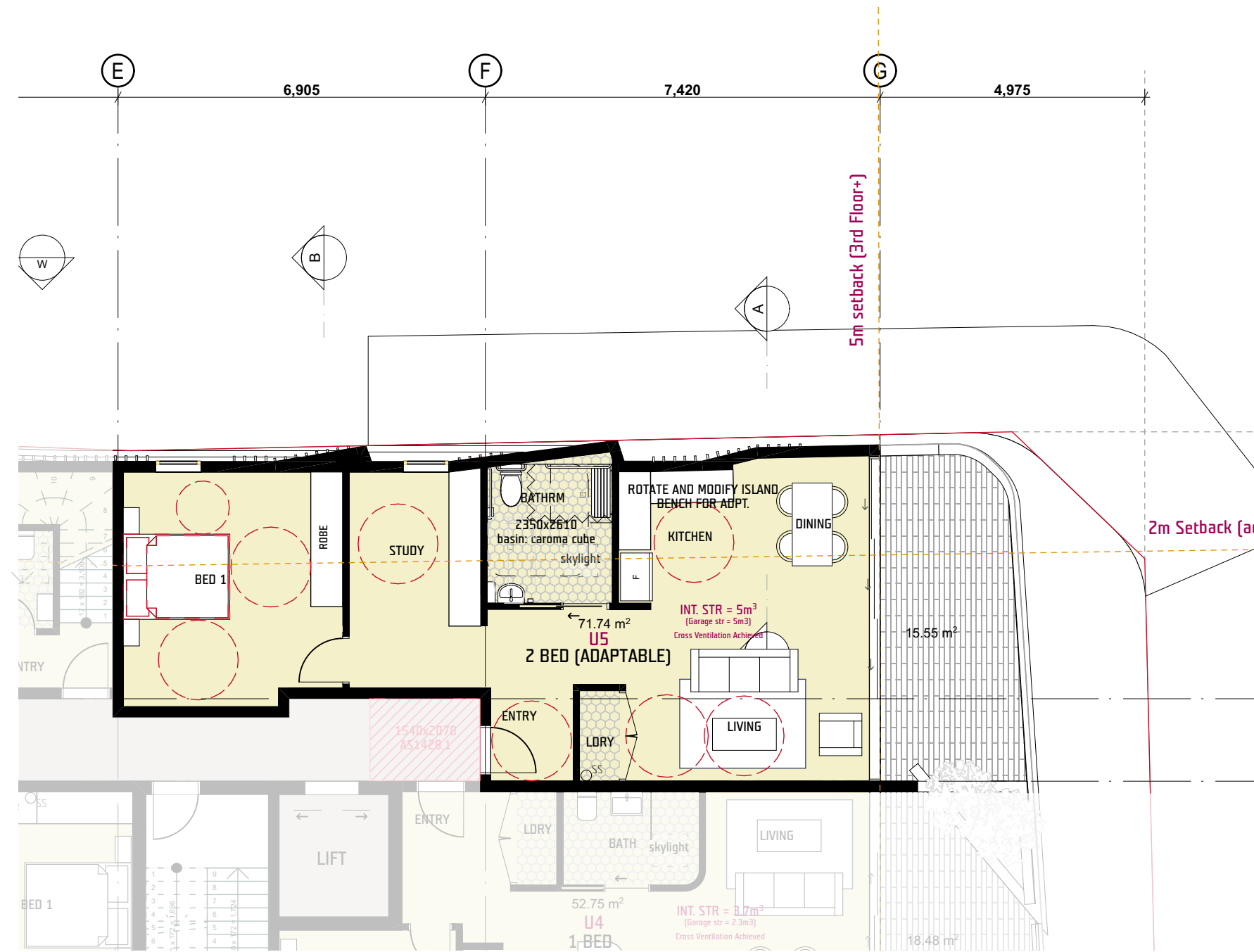
Level 03 Plan
drawing #
DA-1104
1:100
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1. L1 U2 Adaptable
SCALE 1:100 @ A1



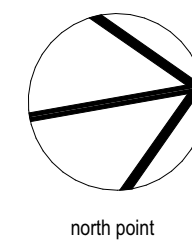
2. L2 U5 adaptable
SCALE 1:100 @ A1

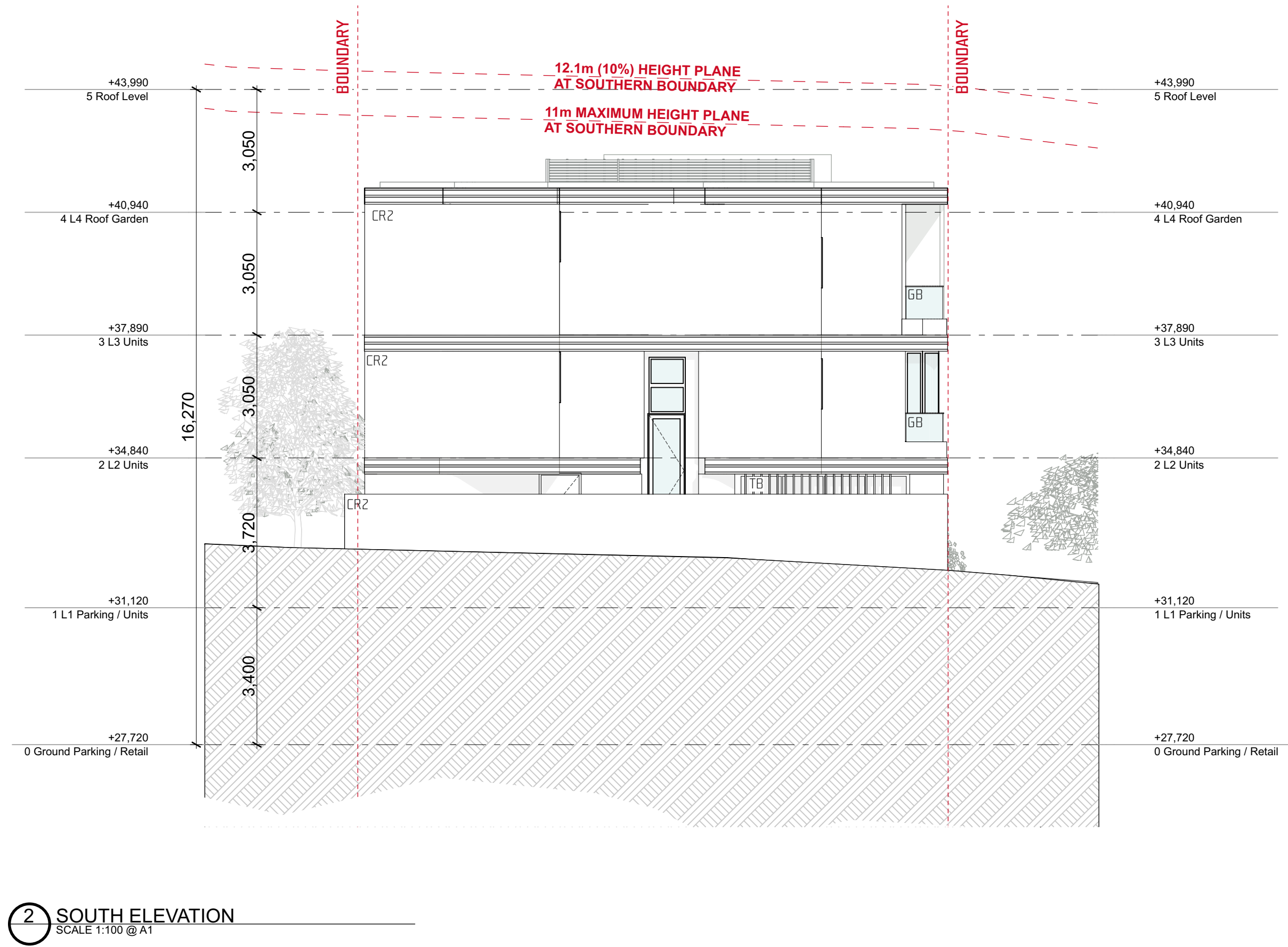
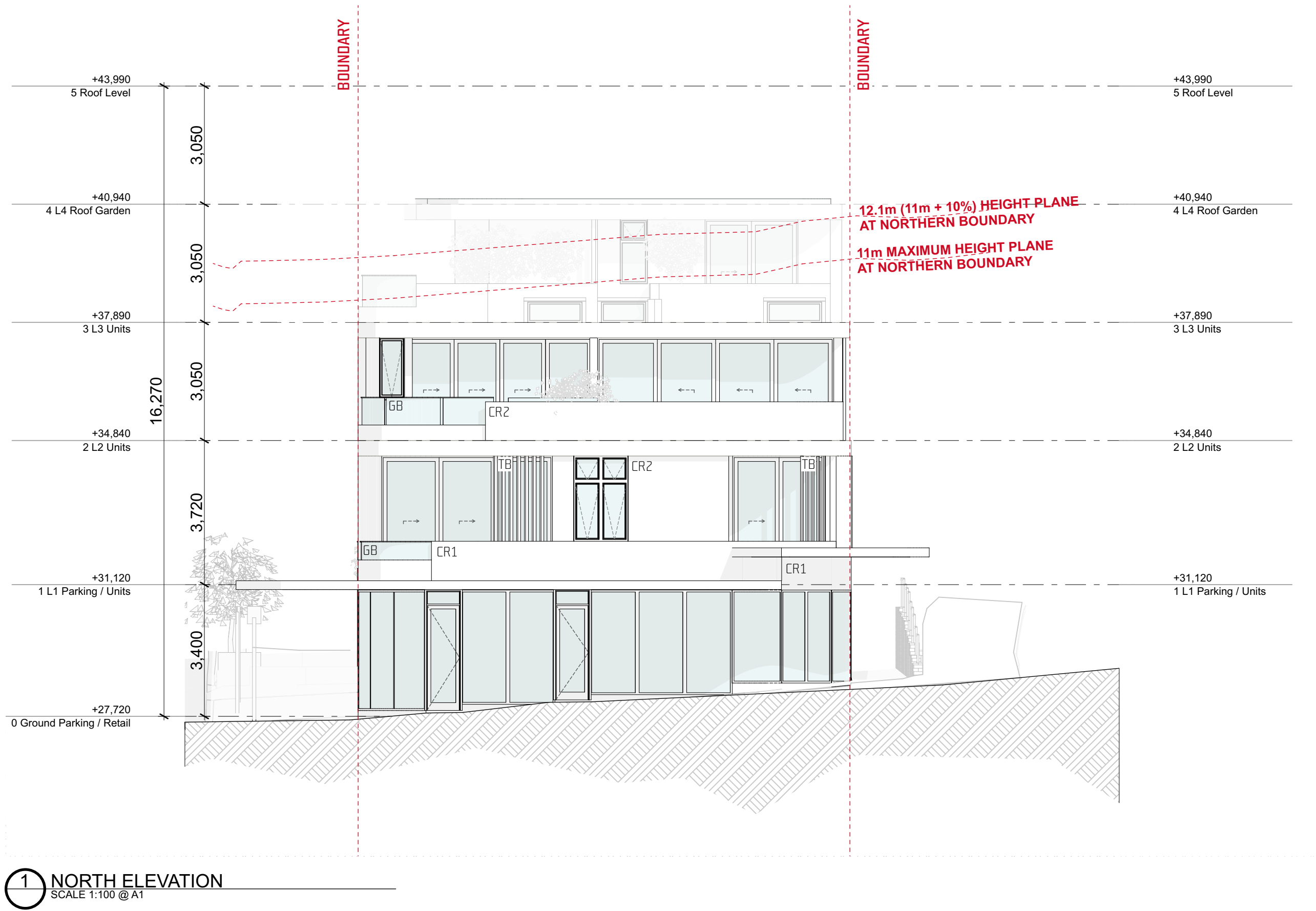
NOTES:

- ALL ADAPTABLE BATHROOMS IN COMPLIANCE WITH AS1428.1
- REINFORCEMENT PROVIDED IN BATHROOM WALLS TO ALLOW FOR INSTALLATION OF GRAB-RAIL BARS
- SECONDARY PLUMBING PROVIDED FOR FUTURE ADAPTATION



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NOTES:

- FOR EXTERNAL FINISHES PLEASE REFER DA-7001

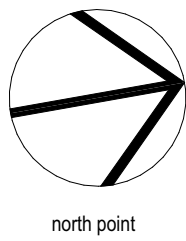


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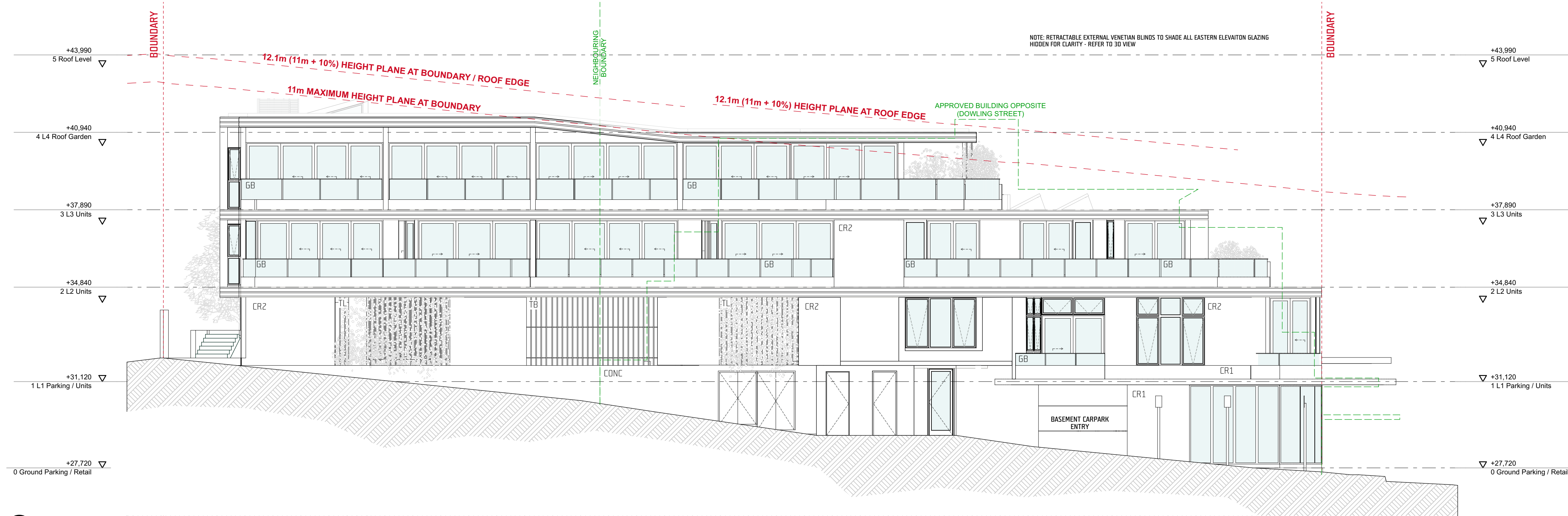


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North/ South Elevation
drawing # DA-2001
1:100
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1 EAST ELEVATION
SCALE 1:100 @ A1



2 WEST ELEVATION
SCALE 1:100 @ A1

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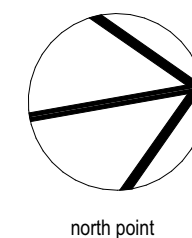


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Assessor Name: Terry Chapman
Accreditation no.: 20920
Certificate date: 12 May 2020
Dwelling Address: 50 Lawrence Street
Freshwater, NSW 2096



CKDS ARCHITECTURE

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P.O. Box 4400
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Ph 02 4321 0503
ACN 129 231 269

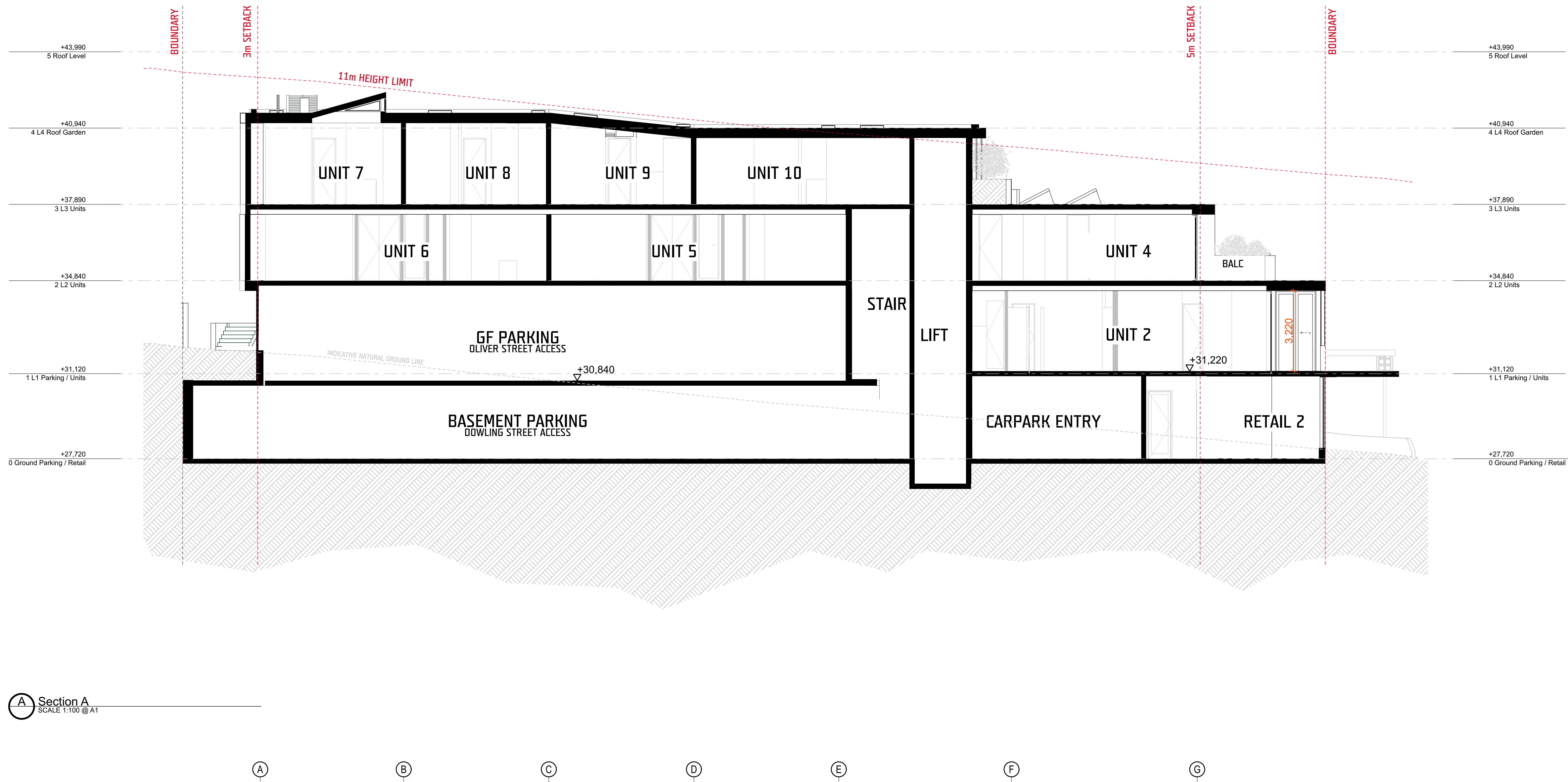


Freshwater Mix Use
project #
19045
50 Lawrence Street
FRESHWATER NSW 2096

East/ West Elevation
drawing #
DA-2002
1:100
Issue
F
12/5/20

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DEVELOPMENT APPLICATION



A Section A
SCALE 1:100 @ A1

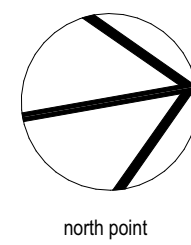


Certificate no.: 0004825700
Assessor Name: Terry Chapman
Accreditation no.: 20920
Certificate date: 12 May 2020
Dwelling Address: 50 Lawrence Street
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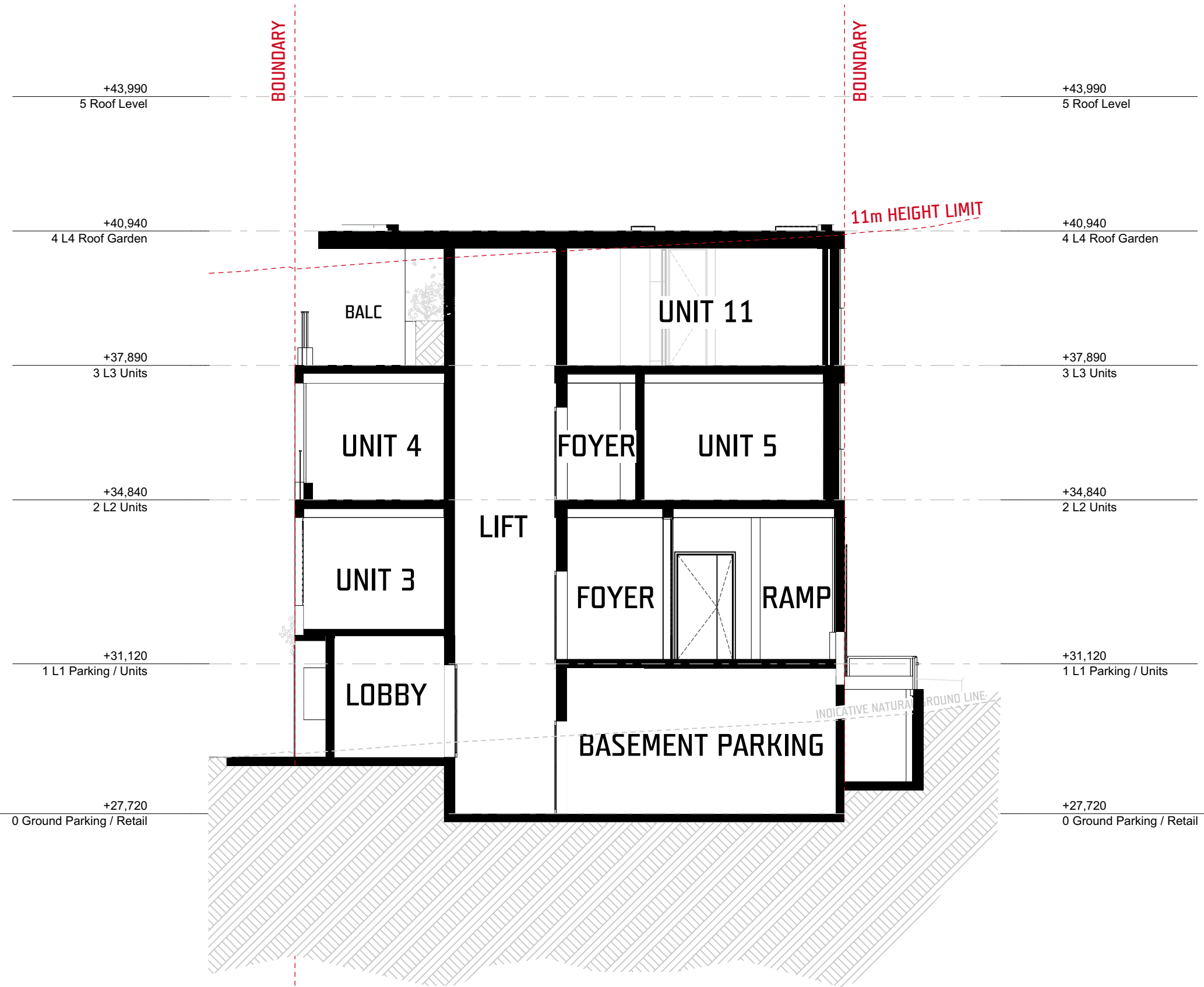


Freshwater Mix Use
project #
19045
50 Lawrence Street
FRESHWATER NSW 2096

Section A
drawing #
DA-3001
1:100

ISSUE
F
12/5/20

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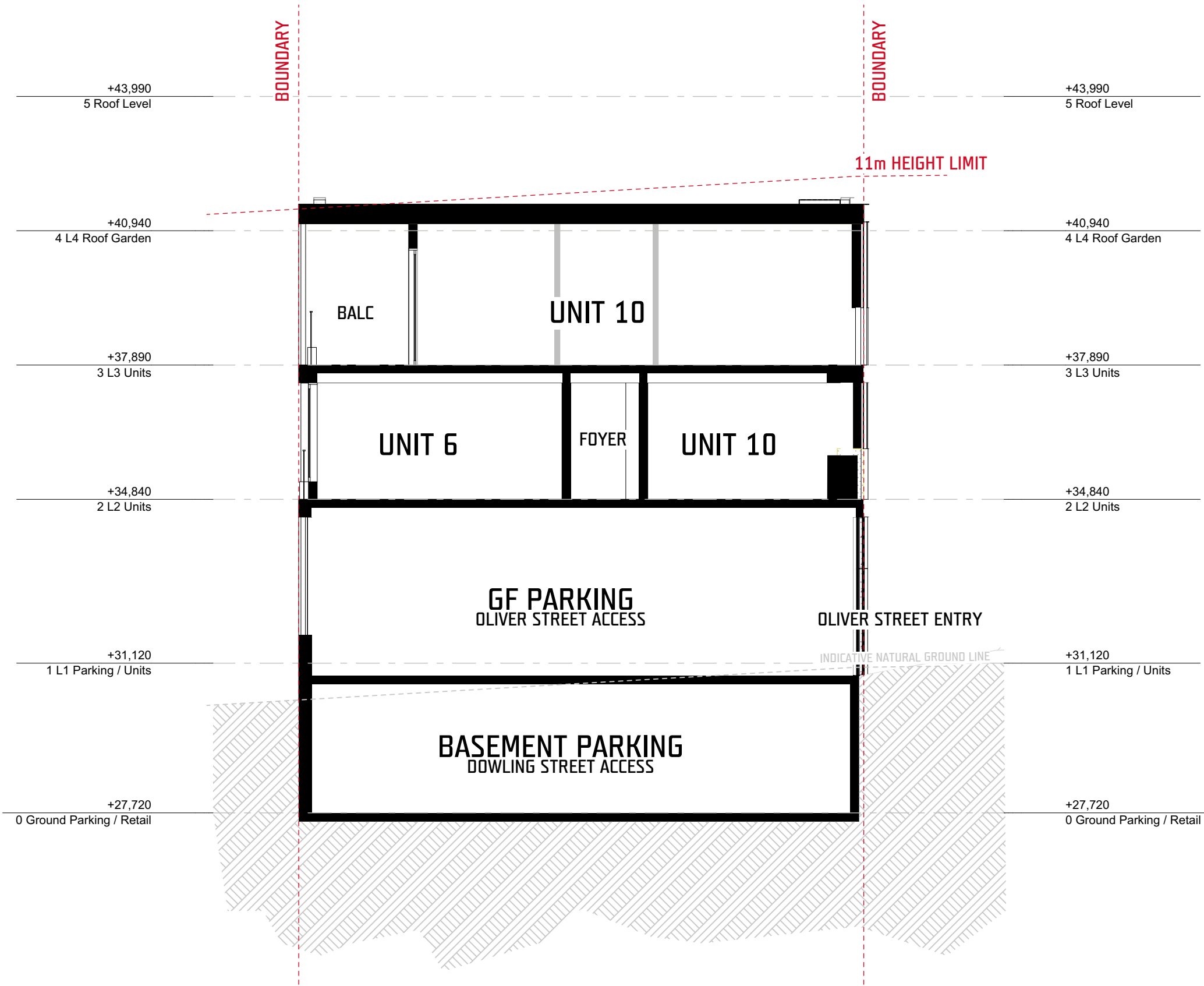


Section B
SCALE 1:100 @ A1

1

2

3

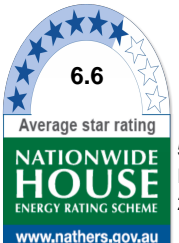


Section C
SCALE 1:100 @ A1

1

2

3

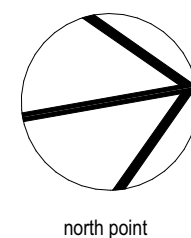


Certificate no.: 0004825700
Assessor Name: Terry Chapman
Accreditation no.: 20920
Certificate date: 12 May 2020
Dwelling Address: 50 Lawrence Street
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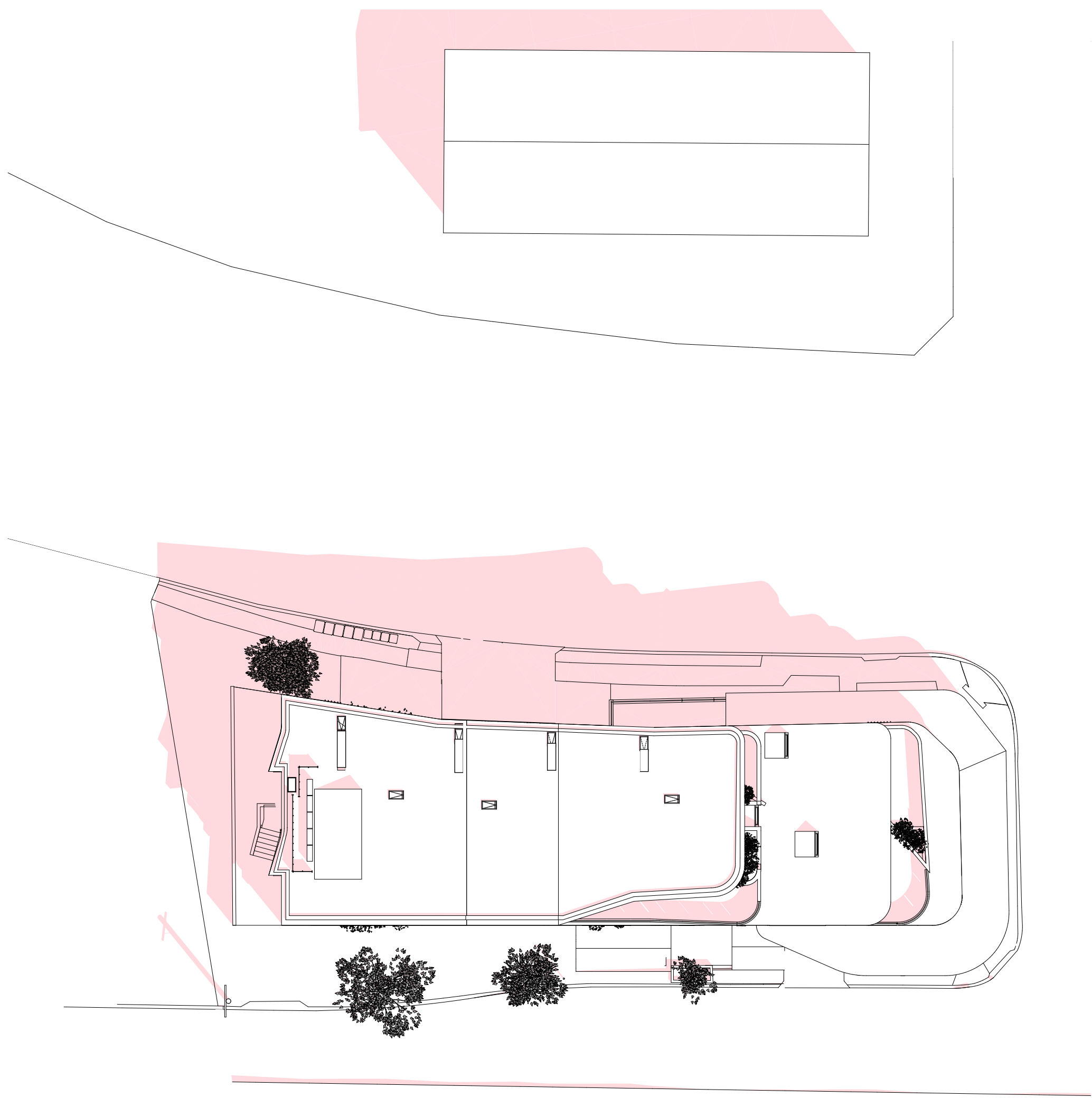
Freshwater Mix Use
project #
19045
50 Lawrence Street
FRESHWATER NSW 2096

Section B + C
drawing #
DA-3002
1:100

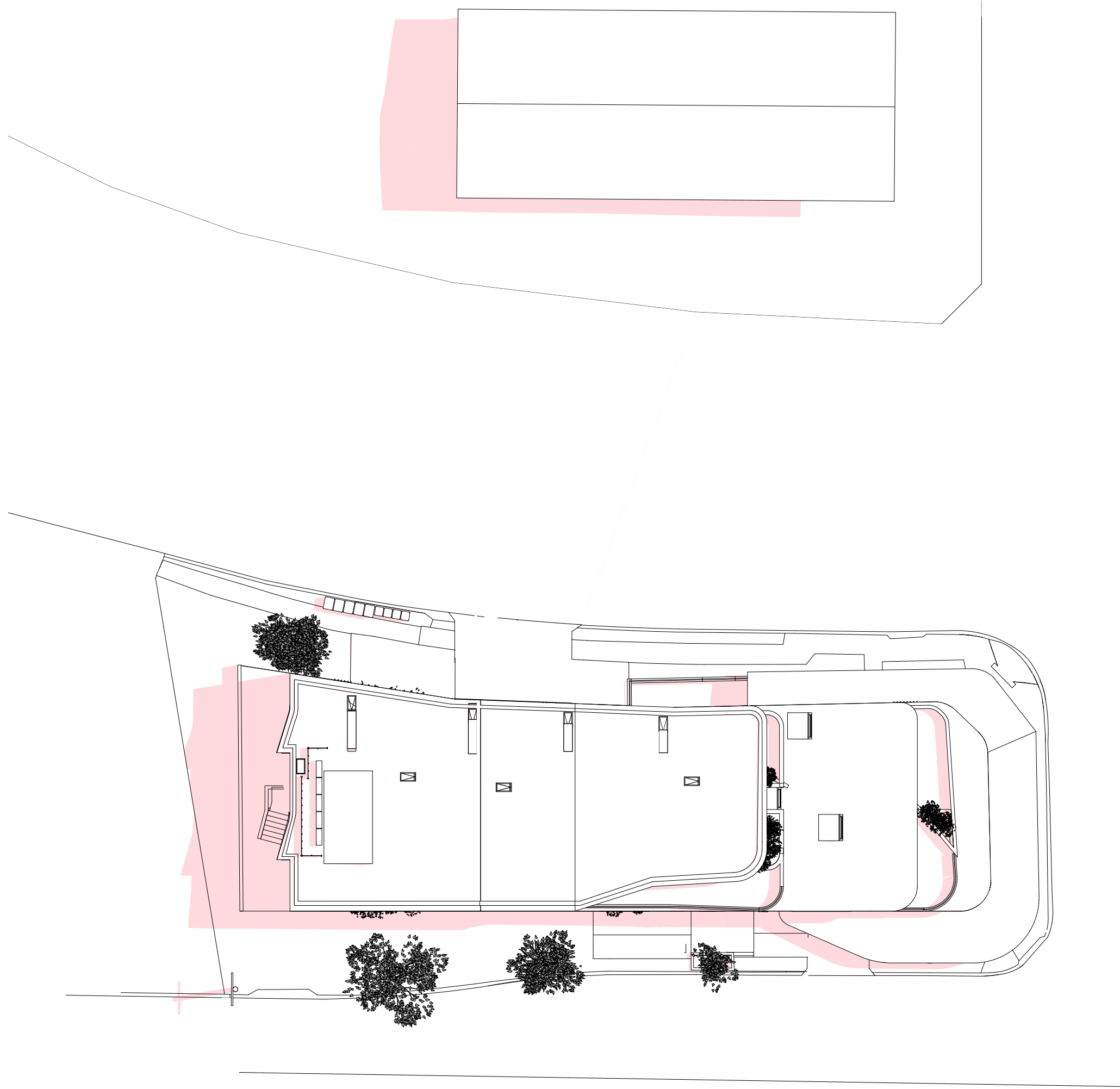
ISSUE
F
12/5/20

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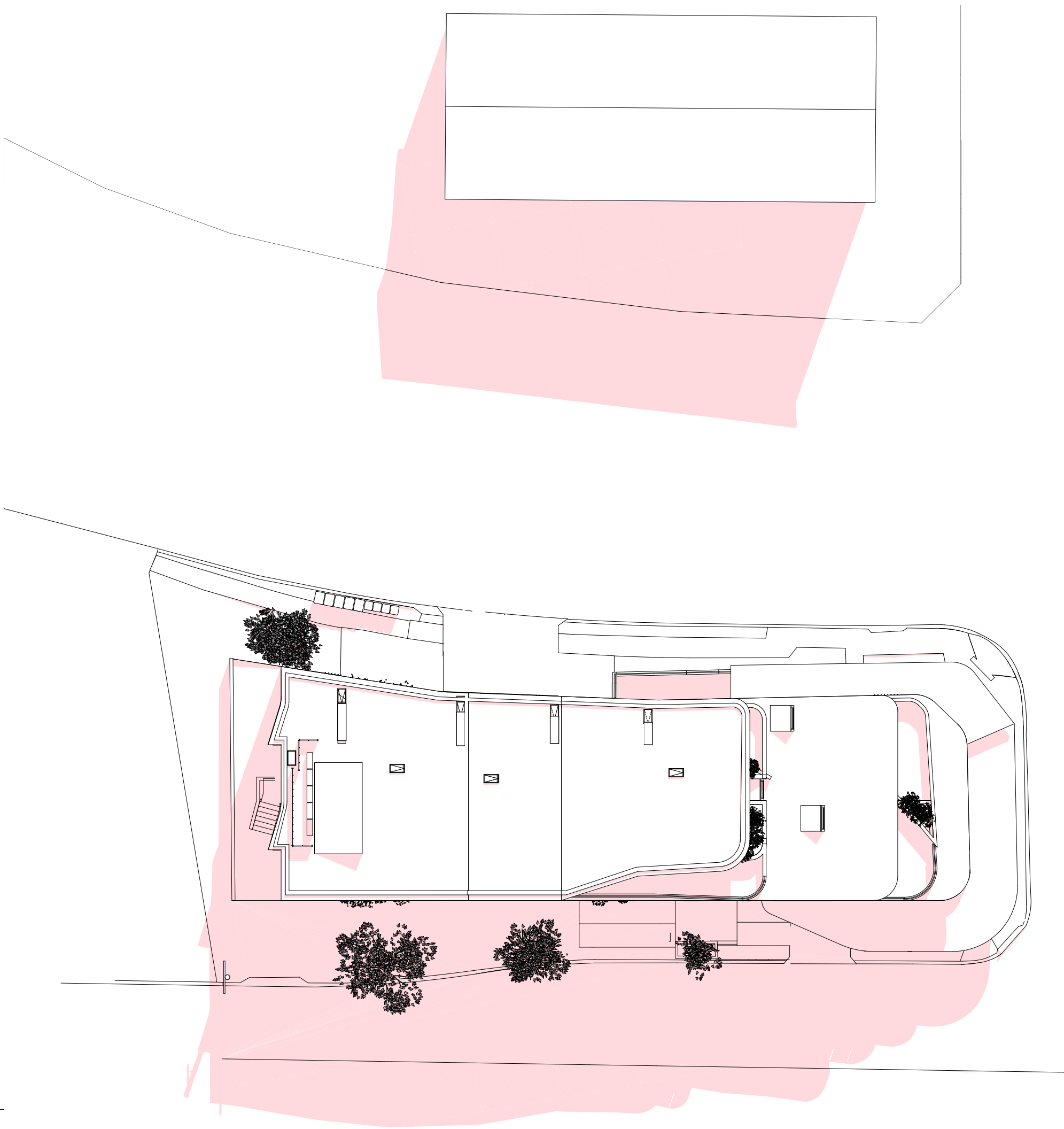
DEVELOPMENT APPLICATION



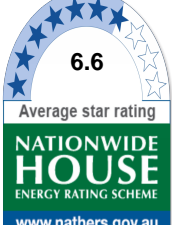

March Shadows 9am
SCALE 1:250 @ A1




March Shadows Noon
SCALE 1:250 @ A1



March Shadows 3pm
SCALE 1:250 @ A1

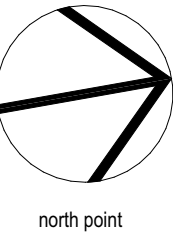


Certificate no.: 0004825700
Assessor Name: Terry Chapman
Accreditation no.: 20920
Certificate date: 12 May 2020
Average star rating: 6.6
Dwelling Address: 50 Lawrence Street
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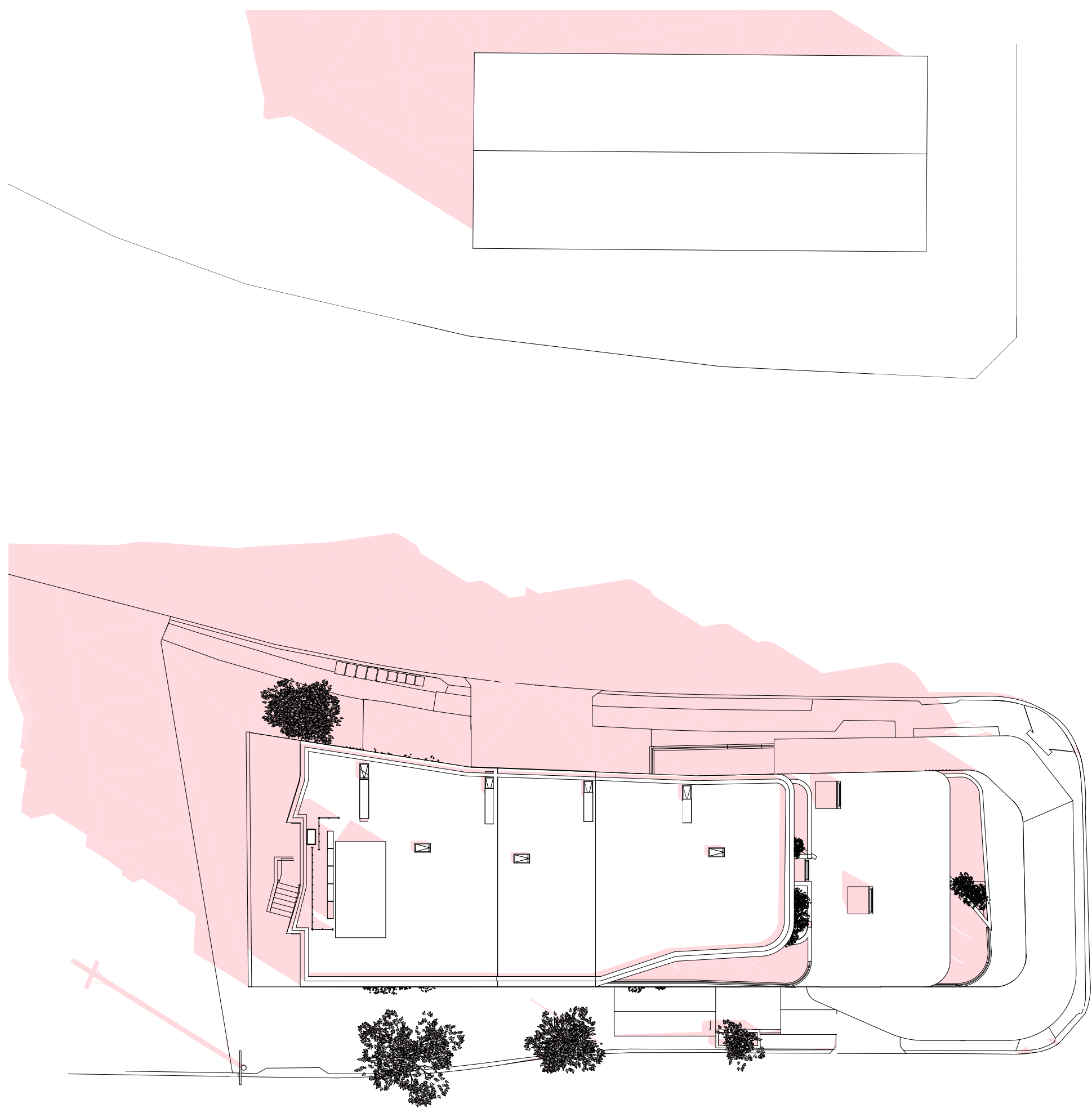


Freshwater Mix Use
project # 19045
50 Lawrence Street
FRESHWATER NSW 2096

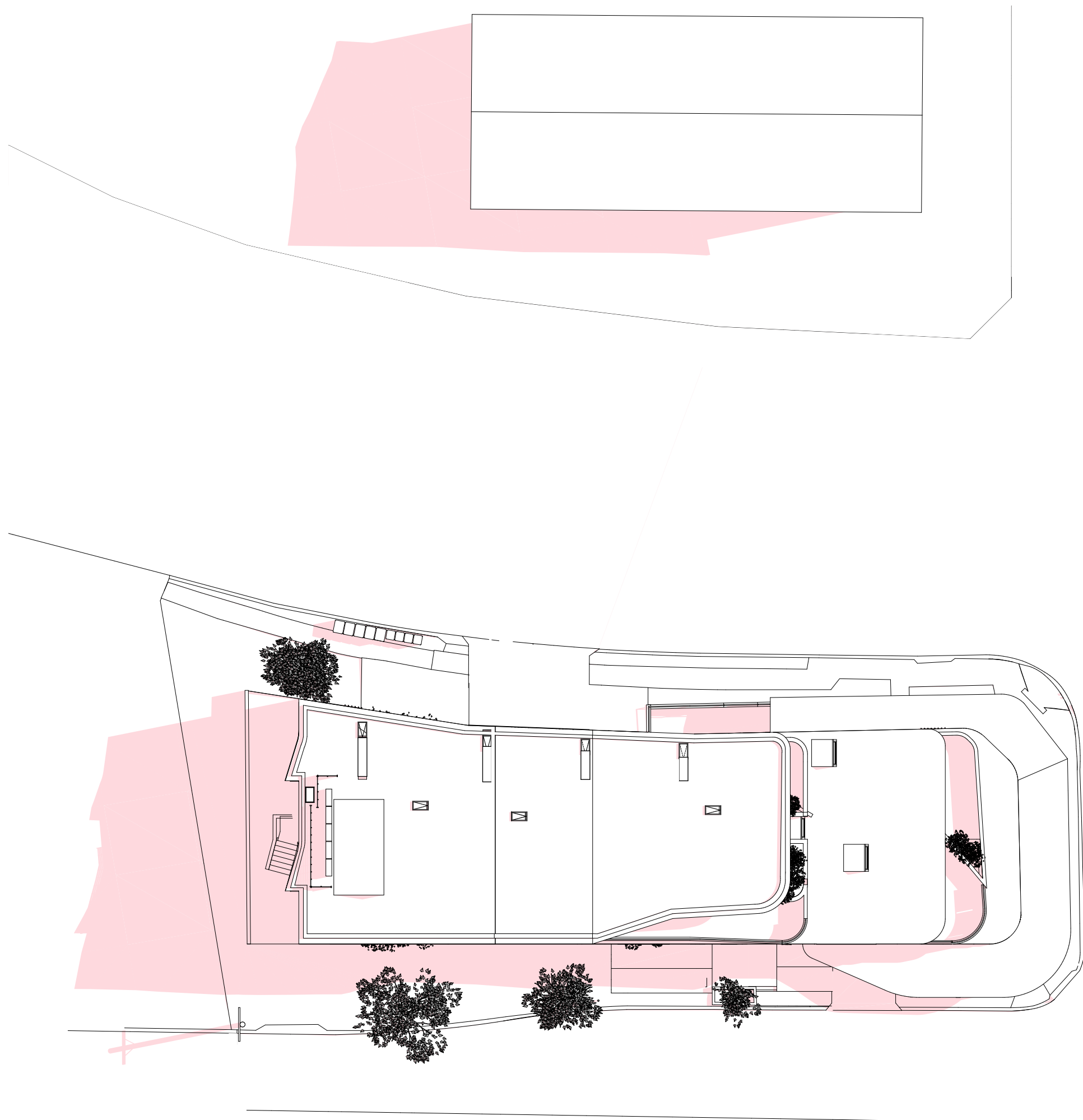
Shadow Diagrams March
drawing # DA-4001
1:250
Issue F
12/5/20

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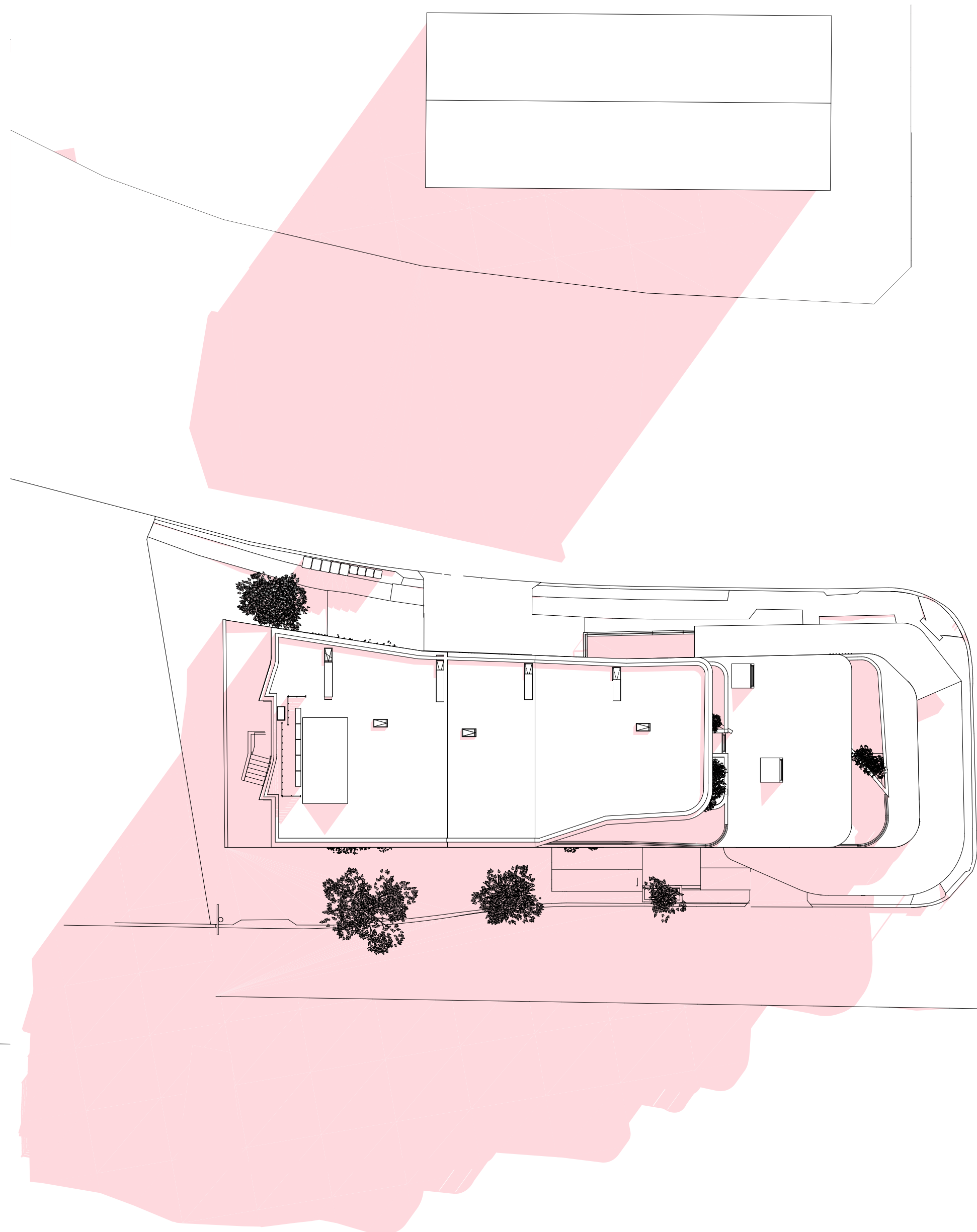
DEVELOPMENT APPLICATION



June Shadows 9am
SCALE 1:250 @ A1



June Shadows Noon
SCALE 1:250 @ A1



June Shadows 3pm
SCALE 1:250 @ A1

DEVELOPMENT APPLICATION

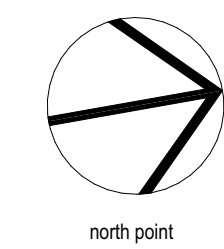


Certificate no.: 0004825700
Assessor Name: Terry Chapman
Accreditation no.: 20920
Certificate date: 12 May 2020
Dwelling Address: 50 Lawrence Street
Freshwater, NSW 2096
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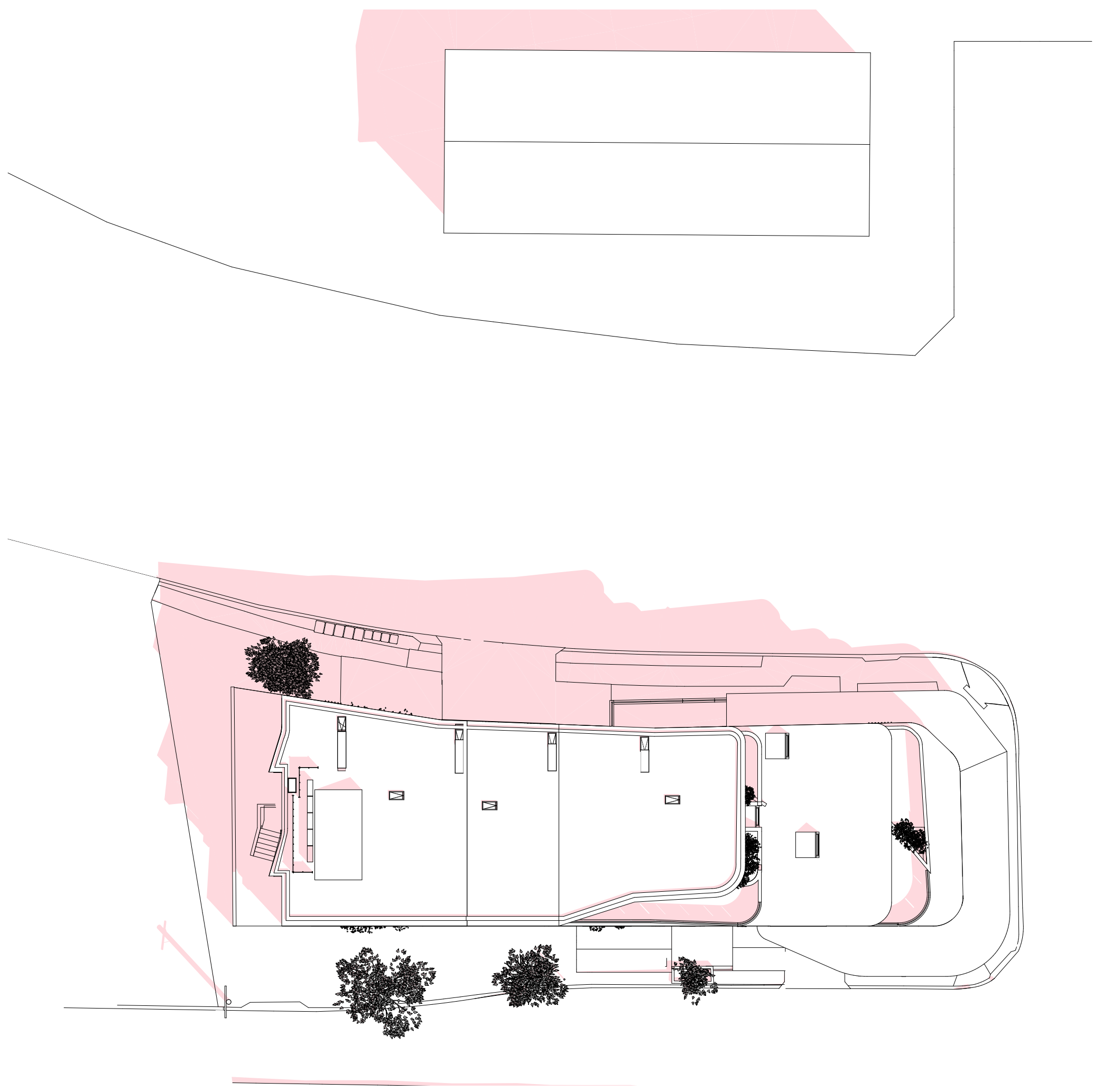
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East Gosford NSW Australia
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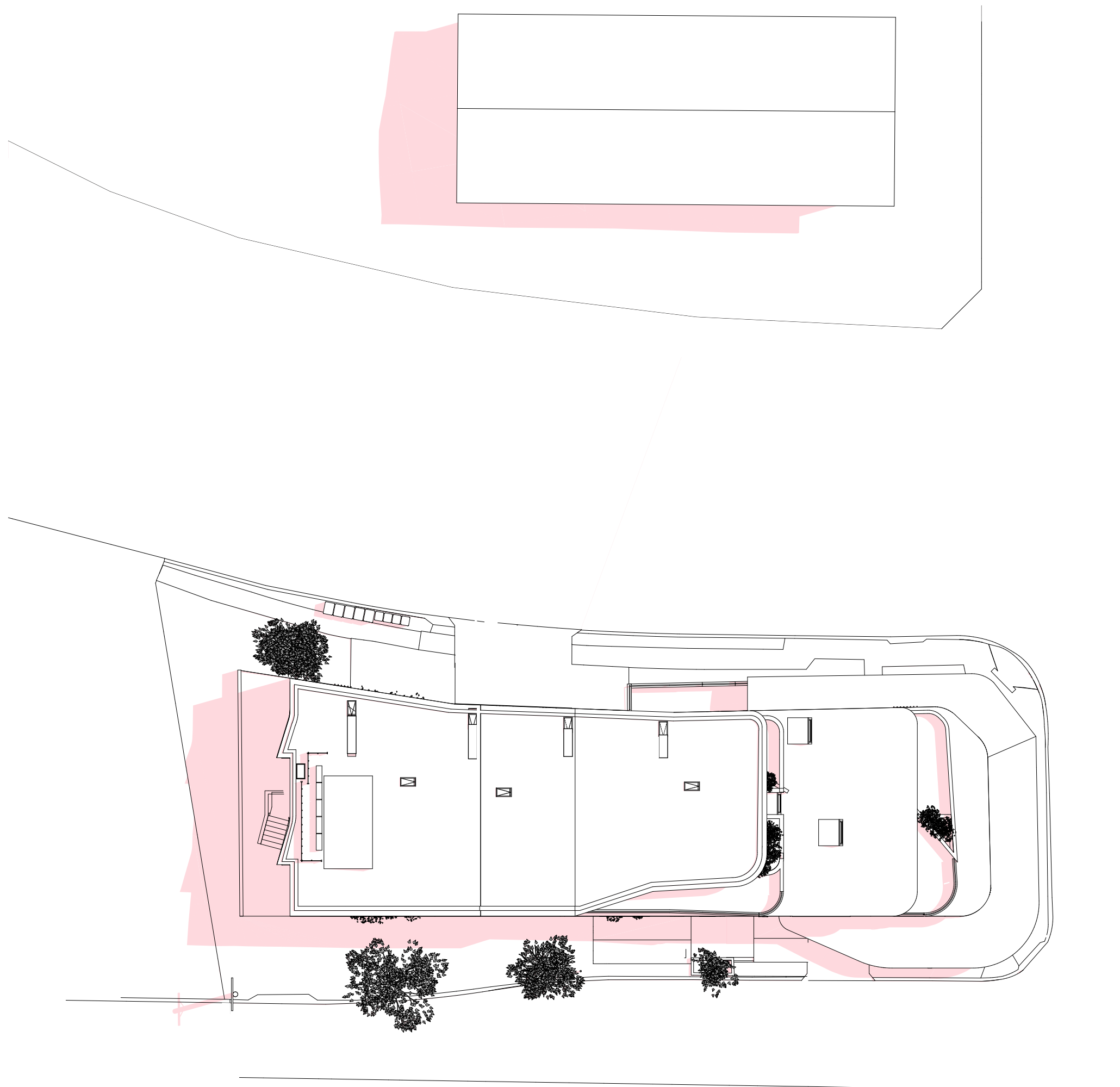
Freshwater Mix Use
project #
19045
50 Lawrence Street
FRESHWATER NSW 2096

Shadow Diagrams June
drawing #
DA-4002
1:250
issue
F
12/5/20

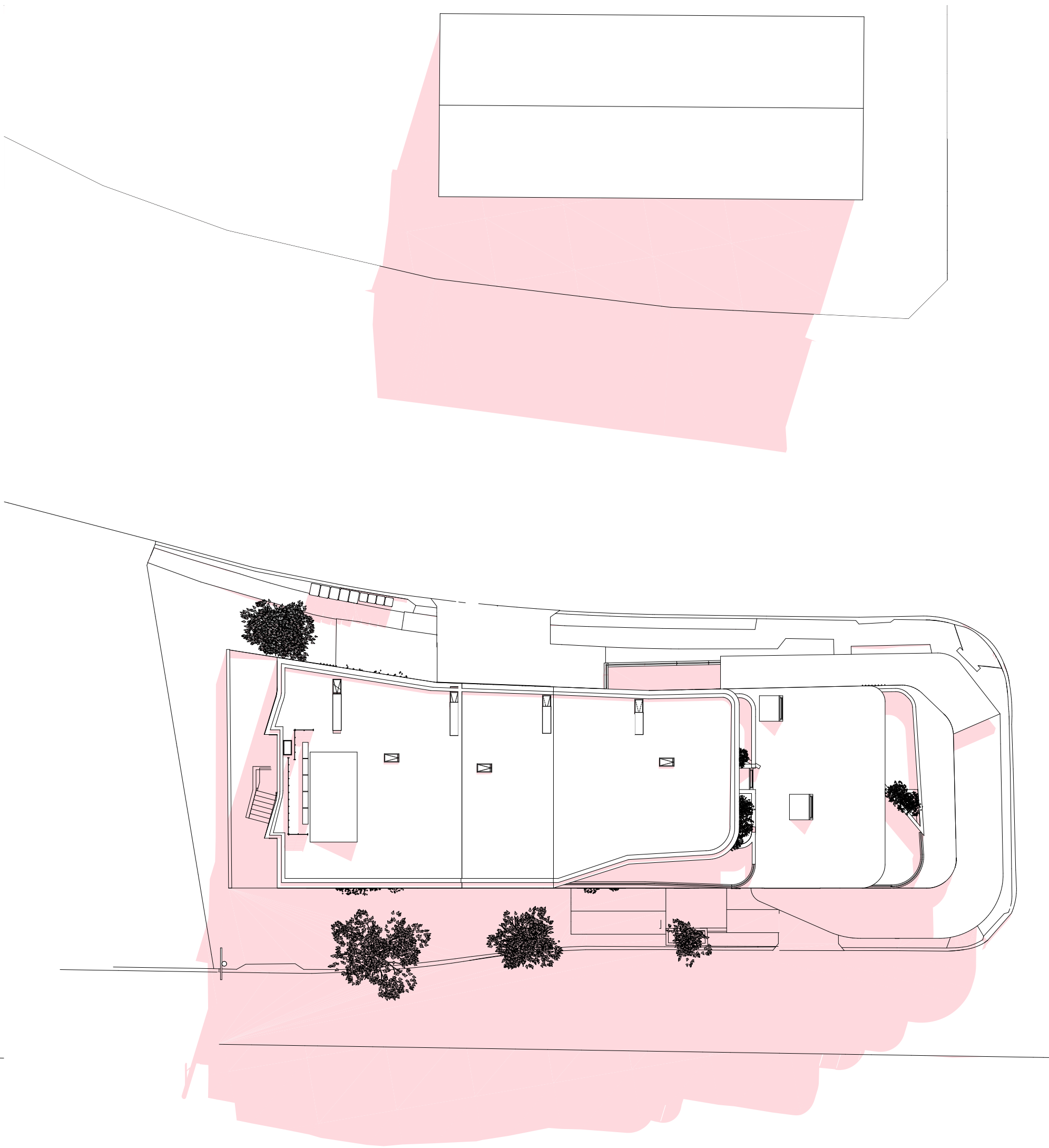
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Sept Shadows 9am
SCALE 1:250 @ A1





Sept Shadows Noon
SCALE 1:250 @ A1




Sept Shadows 3pm
SCALE 1:250 @ A1

DEVELOPMENT APPLICATION



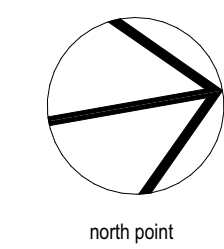
6.6

Certificate no.: 0004825700
Assessor Name: Terry Chapman
Accreditation no.: 20920
Certificate date: 12 May 2020
Dwelling Address: 50 Lawrence Street
Freshwater, NSW 2096



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ACN 129 231 269



Freshwater Mix Use

project #
19045

50 Lawrence Street
FRESHWATER NSW 2096

Shadow Diagrams Sept

drawing #
DA-4003

1:250

Issue
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12/5/20

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TL - STAINLESS STEEL
TENSILE WITH LANDSCAPE



CONC - CONCRETE



CR1 - CEMENT RENDER IN
CHARCOAL



CR2 - CEMENT RENDER IN
WHITE



CONCRETE SLAB EDGE



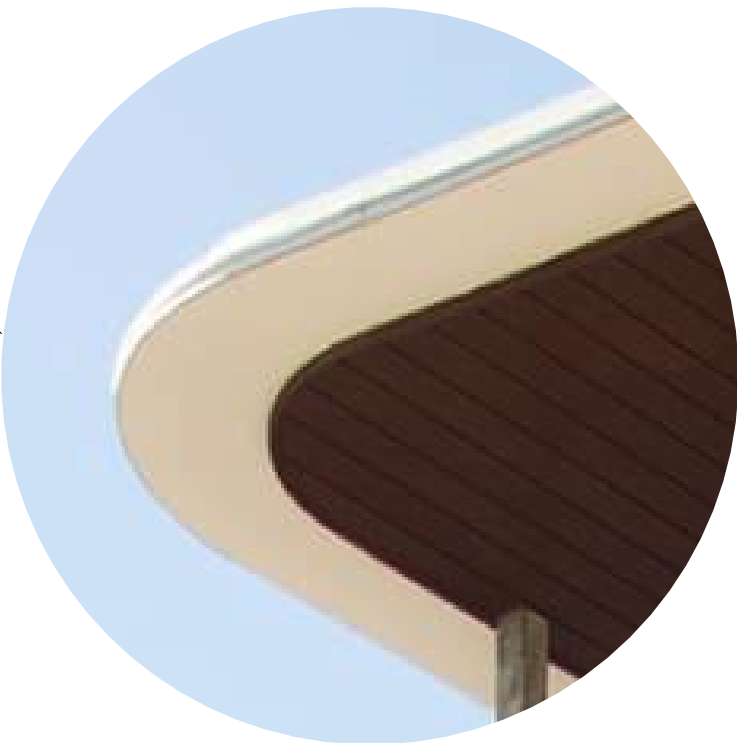
TB - ALUMINIUM TIMBER-
LOOK BATTEN



COMPOSITE TIMBER-LOOK
SOFFIT LINING



AWNING DETAIL



DOWLING STREET ELEVATION

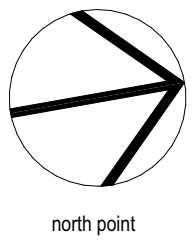


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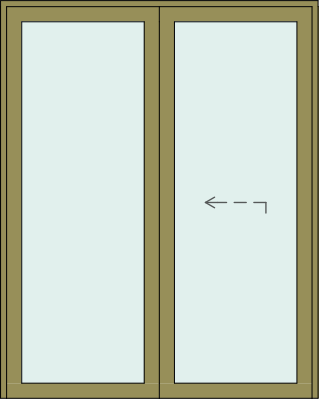
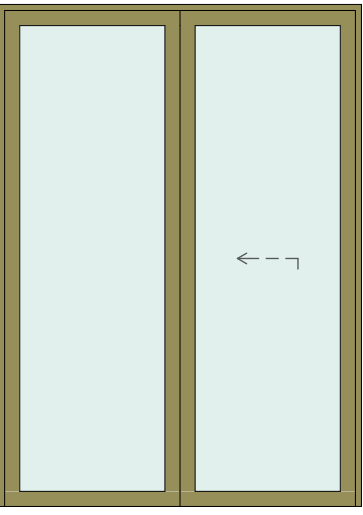
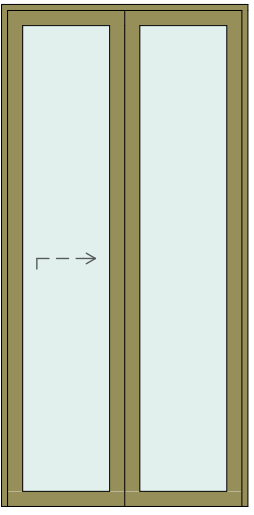
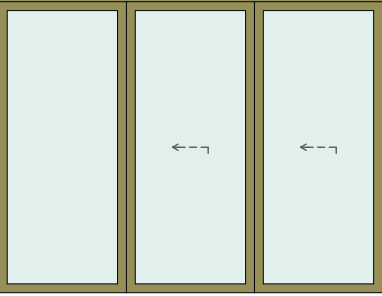
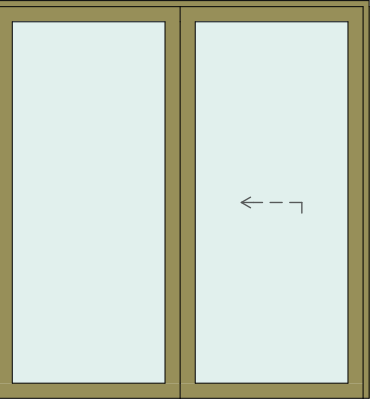
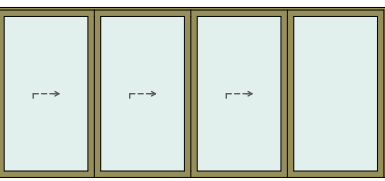
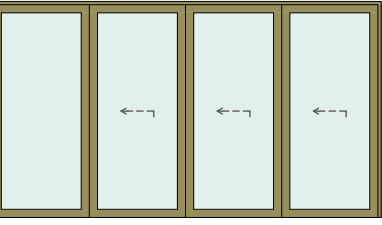
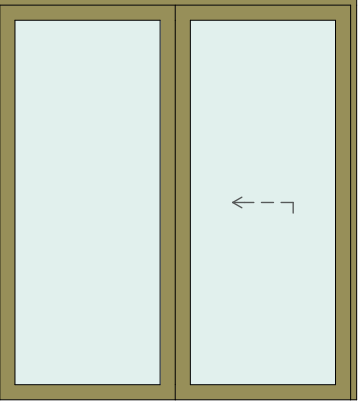
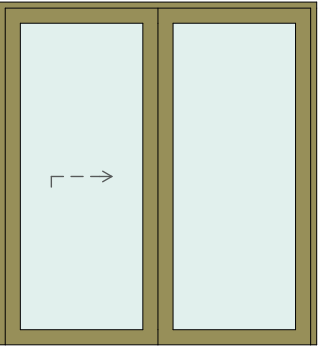
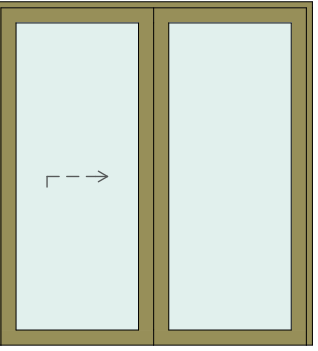
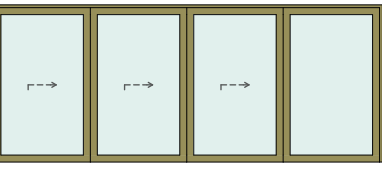
Freshwater Mix Use
project #
19045
50 Lawrence Street
FRESHWATER NSW 2096

External Material Schedule
drawing #
DA-7001
Issue
F
12/5/20


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DEVELOPMENT APPLICATION

DOOR SCHEDULE

													
NAME	Sliding Door 23	Sliding Door 23	Sliding Door 23	Sliding Door 23	Sliding Door 23	Sliding Door 23	Sliding Door 23	Sliding Door 23	Sliding Door 23	Sliding Door 23	Sliding Door 23	Sliding Door 23	Sliding Door 23
ID	D101	D102	D103	D104	D105	D201	D202	D203	D204	D205	D206	D207	D208
W x H	2,100×2,630	2,400×3,320	1,630×3,320	4,410×3,320	2,500×2,630	6,100×2,650	4,800×2,650	2,400×2,650	2,100×2,267	2,100×2,271	4,435×2,650	1,735×2,650	5,600×2,250

											
NAME	Sliding Door 23	Sliding Door 23	Sliding Door 23	Sliding Door 23	Door 23	Sliding Door 23	Sliding Door 23	Sliding Door 23	Sliding Door 23	Sliding Door 23	Sliding Door 23
ID	D208	D209	D210	D211	D212	D301	D302	D303	D304	D305	D306
W x H	5,600×2,250	4,435×2,650	1,700×2,650	4,975×2,250	850×2,760	2,400×2,650	4,250×2,650	4,250×2,650	5,600×2,650	5,602×2,650	5,420×2,650


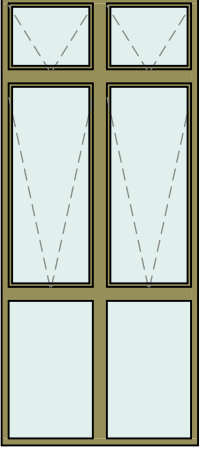
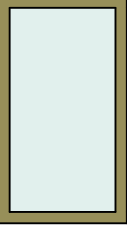
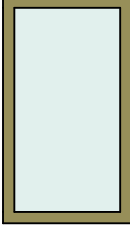
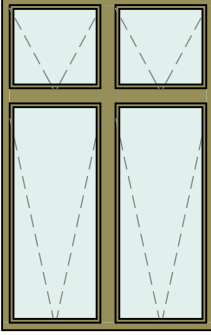
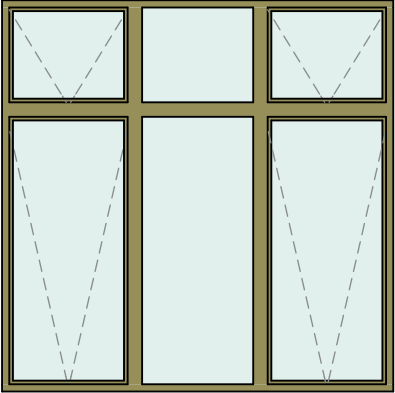
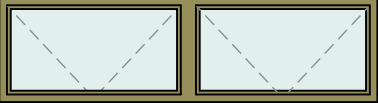
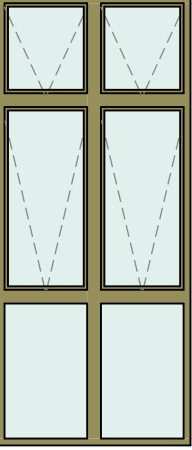
Basix Requirements Summary - Multi Dwelling					
Freshwater Unit Development 50 Lawrence Street Freshwater NSW 2096		Prepared by Chapman Environmental Services www.basixcertificates.com.au 1300 004 914			
Water Target	40	Water Score	41		
Energy Target	35	Energy Score	35		
Max. Heating Load is (MJ/m²)	40	Actual Heating Load	19.9		
Max. Cooling Load is (MJ/m²)	26	Actual Cooling Load	23.6		
Basix Commitments					
Landscaping	Total area of garden & lawn (m²)	Ref Plans	Area of indigenous/low water use plants (m²)	0	
Fixtures	Shower heads	3 star (> 7.5 but <= 9 L/min)	Toilets	4 star	
			All taps	5 star	
Alternative Water	n/a				
Pool and Spa	n/a				
Energy	Hot water system	Gas instantaneous	Rating	5 star	
	Bathroom ventilation	Individual fan, ducted to facade or roof	with	Manual switch on/off	
	Kitchen ventilation	Individual fan, ducted to facade or roof	with	Manual switch on/off	
	Laundry ventilation	Individual fan, ducted to facade or roof	with	Manual switch on/off	
	Cooling - living areas	1-phase airconditioning	Rating	EER 2.5 - 3.0	
	Cooling - bedrooms	1-phase airconditioning	Rating	EER 2.5 - 3.0	
	Heating - living areas	1-phase airconditioning	Rating	EER 2.5 - 3.0	
	Heating - bedrooms	1-phase airconditioning	Rating	EER 2.5 - 3.0	
	Alternate Energy	Photovoltaic system able to generate at least		3.5	peak kilowatts of electricity
	Gas cooktop & electric oven	No outdoor clothesline required		Indoor clothesline required	

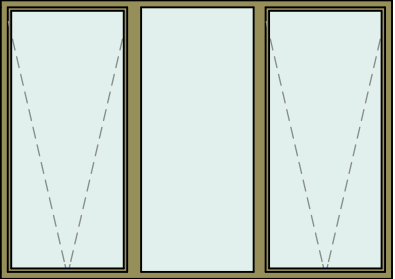
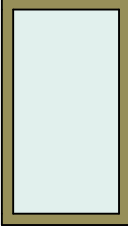
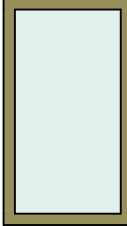
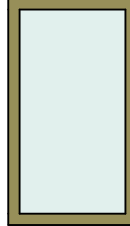
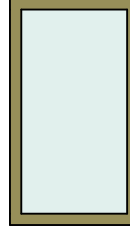

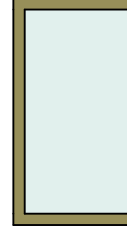
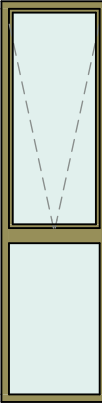
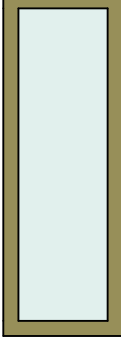
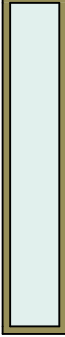

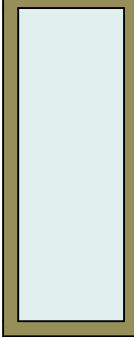

Thermal Performance Assessment Based on the Following Requirements				
Floor Types	Suspended concrete slab	with	R1.2 Foilboard insulation carpark ceiling only	
External Walls	Steel framed With Pronto Rendered Panels	with	Sarking and R1.5 bulk insulation	Colour Light
Internal Walls	Plasterboard	with	Nil	
Party Walls	AFS or equivalent	with	Nil	
Ceiling (floor over)	Concrete above plasterboard	with	Nil	
Ceilings (roof over)	Concrete above plasterboard	with	R2.5 Foilboard insulation	
Roof	Concrete	with	Waterproof membrane only	Colour Light
	Metal	with	R1.3 roof blanket	Colour Light
Windows and Doors	AF double glazed clear Or single Glazed Low E		Group A ALM-003-01 U-Value 4.80 or less SHGC 0.51 +/- 5%	
	to all windows and glazed doors unless noted otherwise		Group B ALM-004-01 U-Value 4.80 or less SHGC 0.59 +/- 5%	
	AF TB double glazed argon filled LowE		Group A ATB-005-03 U-Value 2.91 or less SHGC 0.44 +/- 5%	
	to all windows and glazed doors unless noted otherwise - Unit 4, Unit 6, Unit 7, Unit 9,		Group B ATB-006-03 U-Value 2.90 or less SHGC 0.51 +/- 5%	
	Group A windows are Awning, Bifold, Casement or Tilt'n'turn		Group A doors are Bifold, Entry, French or Hinged	
	Group B windows are Double hung, Fixed, Louvre or Sliding		Group B doors are Sliding or Stackler	
	AF = Aluminium Framed	TB = Thermally Broken Aluminium Framed	TF = Timber Framed	
Notes	Unit 1 - No Change Unit 2 - No Change Unit 3 - W109 removed Unit 4 - D202, D203, D204, D205 - 2400mm high //W211, D204, D205, W212 to have an external blind fitted Unit 5 - W205, W206, W207 - 1800X600 // D204 2400mm high Unit 6 - D206, D207, D208 - 2400mm high // D208 to have an external blind fitted Unit 7 - D209, D210, D211 - 2400mm high - D211 to have an external blind fitted Unit 8 - W201, W301 - 1800x600 // W308 deleted // D306 - 2400mm high Unit 9 - W202, W302 - 1800x600 // W307 deleted // D305 - 2400mm high Unit 10 - W203, W303 - 1800x600 // W306 deleted // D304 - 2400mm high Unit 11 - W204, W304, W305 - 1800x600 // D301, D302, D303 - 2400mm high			


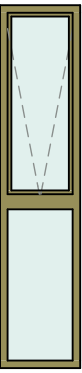
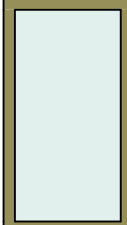
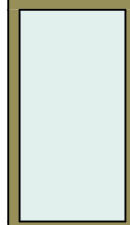
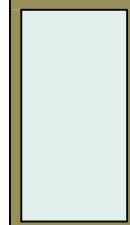

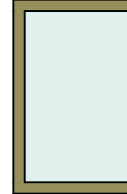

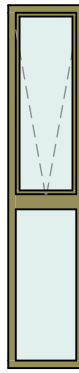
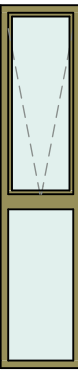

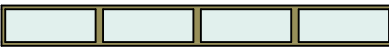



Certificate no.: 0004825700
Assessor Name: Terry Chapman
Accreditation no.: 20920
Certificate date: 12 May 2020
Dwelling Address: 50 Lawrence Street
Freshwater, NSW 2096
www.nathers.gov.au



WINDOW SCHEDULE								
ELEVATION								
ID	W101	W102	W103	W104	W106	W108	W109	W110
W x H	2,100×570	1,400×3,200	850×1,500	850×1,500	1,400×2,200	2,700×2,700	2,500×690	1,400×3,260
SILL HEIGHT	2,650	220	1,150	1,150	1,120	185	2,530	0
COMMENT								

WINDOW SCHEDULE													
ELEVATION													
ID	W111	W201	W202	W203	W204	W205	W206	W210	W211	W212	W212	W212	W213
W x H	2,810×2,000	850×1,500	850×1,500	850×1,500	850×1,500	850×1,500	850×1,500	700×2,650	790×2,267	425×2,239	545×2,250	900×2,271	530×2,400
SILL HEIGHT	675	1,150	1,150	1,150	1,150	1,150	1,150	0	383	411	400	379	88
COMMENT													

WINDOW SCHEDULE													
ELEVATION													
ID	W214	W215	W301	W302	W303	W304	W305	W306	W309	W310	W401	W402	W403
W x H	900×1,400	530×2,400	850×1,550	850×1,550	850×1,550	850×1,294	850×1,282	700×1,650	500×2,400	530×2,400	1,800×500	5,245×540	1,800×500
SILL HEIGHT	3,890	250	1,300	1,300	0	1,303	1,315	1,000	46	694	455	455	455
COMMENT													

SKYLIGHT SCHEDULE - REFER TO ROOF PLAN



Certificate no.: 0004825700
Assessor Name: Terry Chapman
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Freshwater, NSW 2096
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DEVELOPMENT APPLICATION



Certificate no.: 0004825700
Assessor Name: Terry Chapman
Accreditation no.: 20920
Certificate date: 12 May 2020
Dwelling Address: 50 Lawrence Street
Freshwater, NSW 2096
www.nathers.gov.au



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PO Box 4400
East Gosford NSW Australia
Ph 02 4321 0503
ACN 129 231 269



Freshwater Mix Use
project #
19045
50 Lawrence Street
FRESHWATER NSW 2096

3D Perspective
drawing #
SK-0003
1:208.33
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Issue
B
12/5/20



DEVELOPMENT APPLICATION



Certificate no.: 000425700
Assessor Name: Terry Chapman
Accreditation no.: 20920
Certificate date: 12 May 2020
Dwelling Address: 50 Lawrence Street
Freshwater, NSW
2096



www.nathers.gov.au

CKDS ARCHITECTURE

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East Gosford NSW Australia
Ph 02 4321 0503
ACN 129 231 269



Freshwater Mix Use
project #
19045
50 Lawrence Street
FRESHWATER NSW 2096

3D Perspective

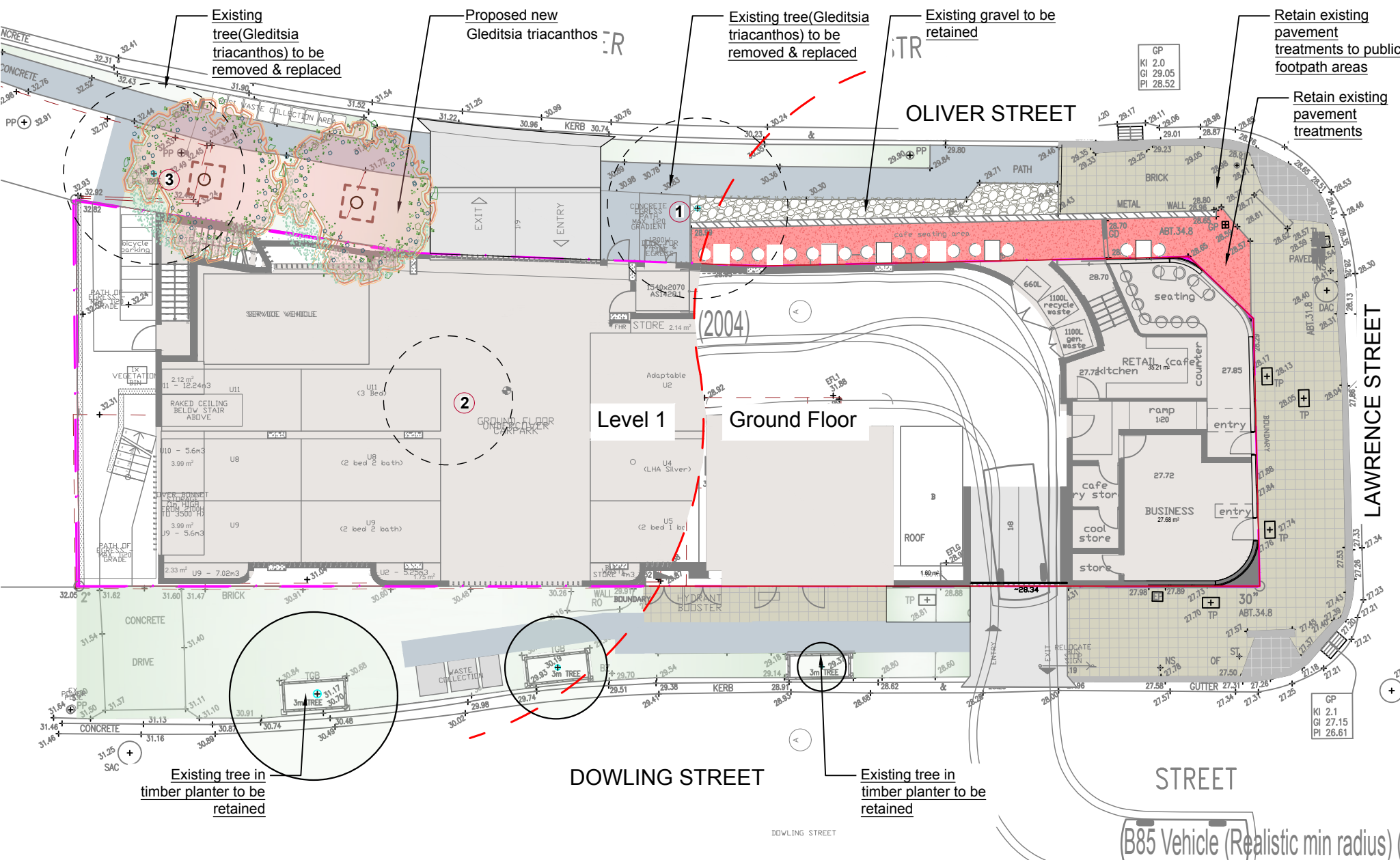
drawing #
SK-0004

1:209.49

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Issue
A

12/5/20



TREE SURVEY				
Existing Trees based on Arborists Report by Aura Tree Services prepared on March 2020				
No.#	Species	Size (Ht x Sp)	Condition	Action
1	Gleditsia triacanthos	7x7.5	Good	Remove & replace
2	Cupressus sempervirens	14.5x5	Good	Remove
3	Gleditsia triacanthos	6.5x6.5	Fair	Remove & replace

REV	DATE	NOTATION/AMENDMENT
A	30.03.20	Preliminary plan prepared for review
B	03.04.20	Co-ordinated with architect's comments & stormwater plan
C	09.04.20	Co-ordinated with architect's comments & amended architectural plan


DRAWING SCHEDULE

SHEET #	DRAWING TITLE	REV.
/1	HARDSCAPE PLAN	C
/2	LANDSCAPE PLAN	C
/3	DETAILS	A
/4	SPECIFICATION	A



PROPOSED RESIDENTIAL APARTMENT DEVELOPMENT

48 LAWRENCE STREET, FRESHWATER NSW
DWG.No: LPDA 20 - 190 / 1



STREET TREES

Botanical Name: Gleditsia triacanthos
(to match exiting neighbouring tree)

Pot size: 75L

Height: 7m x7m

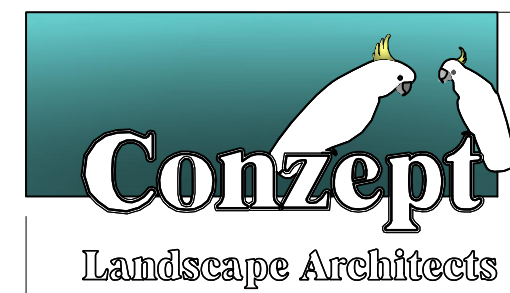
Qty Required: 2

--- Street tree tree guard-refer detail

○ Trees proposed to be removed and replaced with new landscaping

○ Existing trees proposed to be retained and protected

■ Retain existing pavement treatments to public areas



Conzept
Landscape Architects


Suite 101, 506 Miller St
CAMMERAY NSW 2062


Phone: 9922 5312
Fax: 8209 4982
Mob: 0413 861 351


www.conzept.net.au
enquiries@conzept.net.au


LEGEND & SCHEDULE


NOTES:
1. ALL FINAL PLANT QUANTITIES INDICATED ON PLANS SHALL BE CHECKED AND VERIFIED BY SUCCESSFUL LANDSCAPE CONTRACTOR.
2. ANY PLANT SUBSTITUTES REQUIRED DUE TO UNAVAILABILITY SHALL BE RECOMMENDED BY THE LANDSCAPE CONTRACTOR TO BEST MATCH SUBSTITUTED PLANTS AND APPROVED PRIOR TO PURCHASING BY THE LANDSCAPE ARCHITECT.
3. WORKS CERTIFIED FOR FINAL OCCUPANCY CERTIFICATE ARE TO MATCH APPROVED LANDSCAPE PLANS.
4. LANDSCAPE CONTRACTOR SHALL LOCATE AND AVOID SITE STORM WATER & DRAINAGE SERVICES. LOCATE TREES A MINIMUM 1.25M FROM PITS
5. ALL PLANTING AROUND EXISTING TREES SHALL BE ADJUSTED TO AVOID DAMAGE AND CLASHING WITH SURFACE ROOTS.
6. THE NATURE STRIP (STREET FRONTAGE) FOR THE SITE IS PUBLIC LAND, AND ONLY AUTHORIZED WORKS MAY OCCUR HERE. EXISTING CONDITIONS SUCH AS STREET TREES, COUNCIL PLANTING ETC SHALL BE RETAINED AND PROTECTED DURING CONSTRUCTION, UNLESS SPECIFIC APPROVAL HAS BEEN GRANTED FOR NEW WORK IN THIS AREA.


TREES
**Botanical Name:** *Lagerstroemia 'Natchez'*
Common Name: Crepe Myrtle (Exotic)
Pot size: 100Lt
Mature H x S: 6m x 4m
Qty Required: 1






SHRUBS AND HEDGES
**Botanical Name:** *Raphiolepis indica*
Common Name: Indian Hawthorn (Exotic)
Pot size: 300mm
Mature H x S: 1.5m x 1.8m
Qty Required: 2

**Botanical Name:** *Viburnum odoratissimum*
Common Name: Sweet Viburnum (Exotic)
Pot size: 300mm
Mature H x S: 3m x 2m
Qty Required: 5

ACCENT PLANTS
**Botanical Name:** *Phormium tenax 'Purpureum'*
Common Name: New Zealand Flax (Exotic)
Pot size: 300mm
Mature H x S: 0.9m x 0.9m
Qty Required: 9

GRASSES / GROUNDCOVERS
**Climber Mix:**
Cissus antarctica
Pyrostegia venusta
Pandorana jasminiodes
Pot size: 100mm
Mature H x S: 0.3m x climbing
Qty Required: 7/m2 (**14.4m2 total**)

**Botanical Name:** *Myoporum parvifolium 'Yareena'*
Common Name: Creeping Boobialla (Native)
Pot size: 140mm
Mature H x S: 0.15m x spreading
Qty Required: 7/m2 (**3.0m2 total**)

OTHER LANDSCAPE ITEMS
**Decorative gravel over slab to be nom. by client**
**Retaining / raised planter wall - refer detail**
**Tensile stainless steel wires to be nom. by client**
**detail refers to manufacturer's detail**
**Street tree tree guard-refer detail**

LANDSCAPE PLAN NOTES

This plan should be read in conjunction with the architectural and hydraulics plans. Work specific to these plans should be prepared in accordance to these plans, including specification and details prior to the installation of landscaping, and should not be altered or compromised during landscape construction. Elements such as drainage swales may be incorporated in garden bed areas (using non-floatable mulch) without compromising the capacity or form.

This plan has been prepared for Development Application approval only, not for construction.

This plan has been prepared with reference to **NORTHERN BEACHES Councils** Landscaping Guidelines & requirements. Planting proposed using mainly indigenous, commercially available plant species selected from local planting lists and the BASIX local plant list and from Sydney Waters "Plant Selector" web site one-drip rated native plants (**acceptable for Basix planting**).

The Design & location of new letter boxes shall be in accordance with Australia Post's "Requirements for Delivery of Mail to Residential Premises" published Feb '97. All noxious weeds listed in Councils weed lists & located on the site shall be continually removed & suppressed. Reinstate all boundary fencing in poor condition with Council approved 1.8m fencing to rear of building line, rake to 1m forward of BL. Pollution, sediment & erosion control devices as specified shall be in place, and maintained for the duration of the construction period. Proposed excavation near existing established trees to be supervised by arborist.

D.A approved landscape plan's are required to be constructed as approved to obtain occupancy certificate. **Permeable areas may be indicated to achieve site coverage restrictions & should be constructed as drawn on this plan.**

SAMPLE IMAGES

Images are diagrammatic only, and final planting species may vary, as determined by Council Approval



Lagerstroemia 'Natchez'



Raphiolepis indica



Pandorana jasminiodes



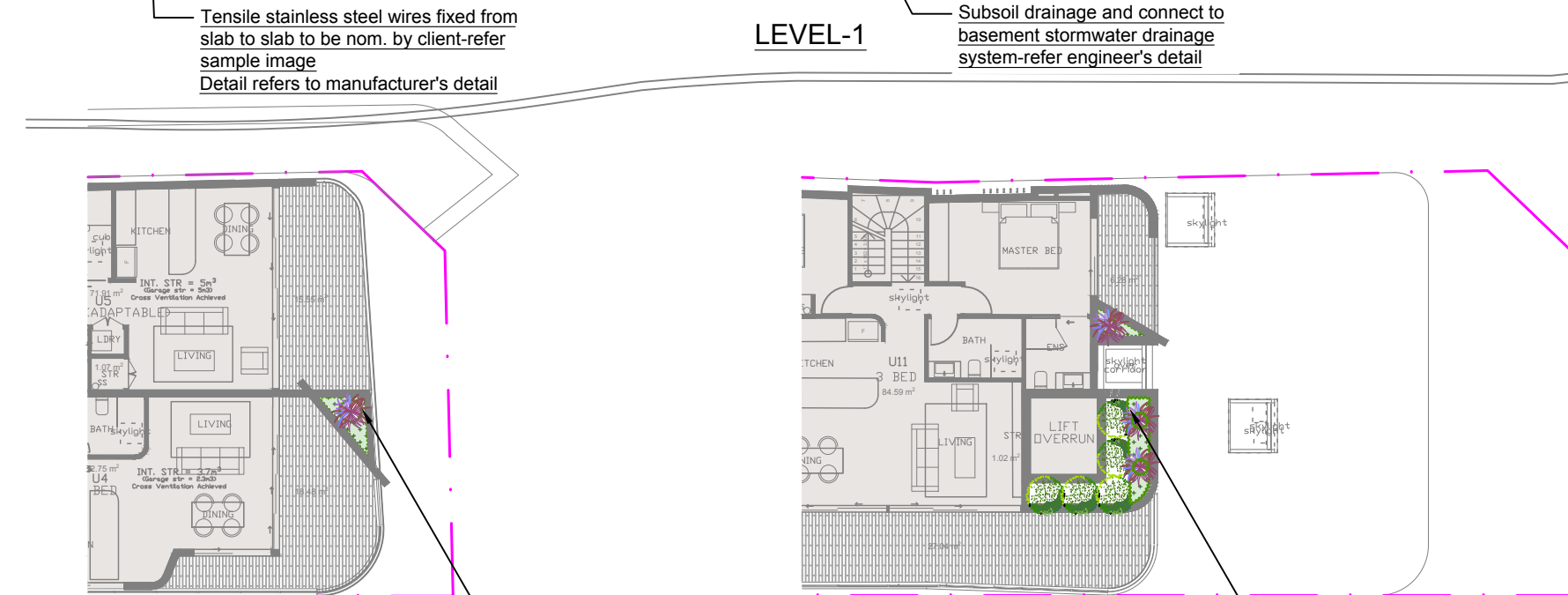
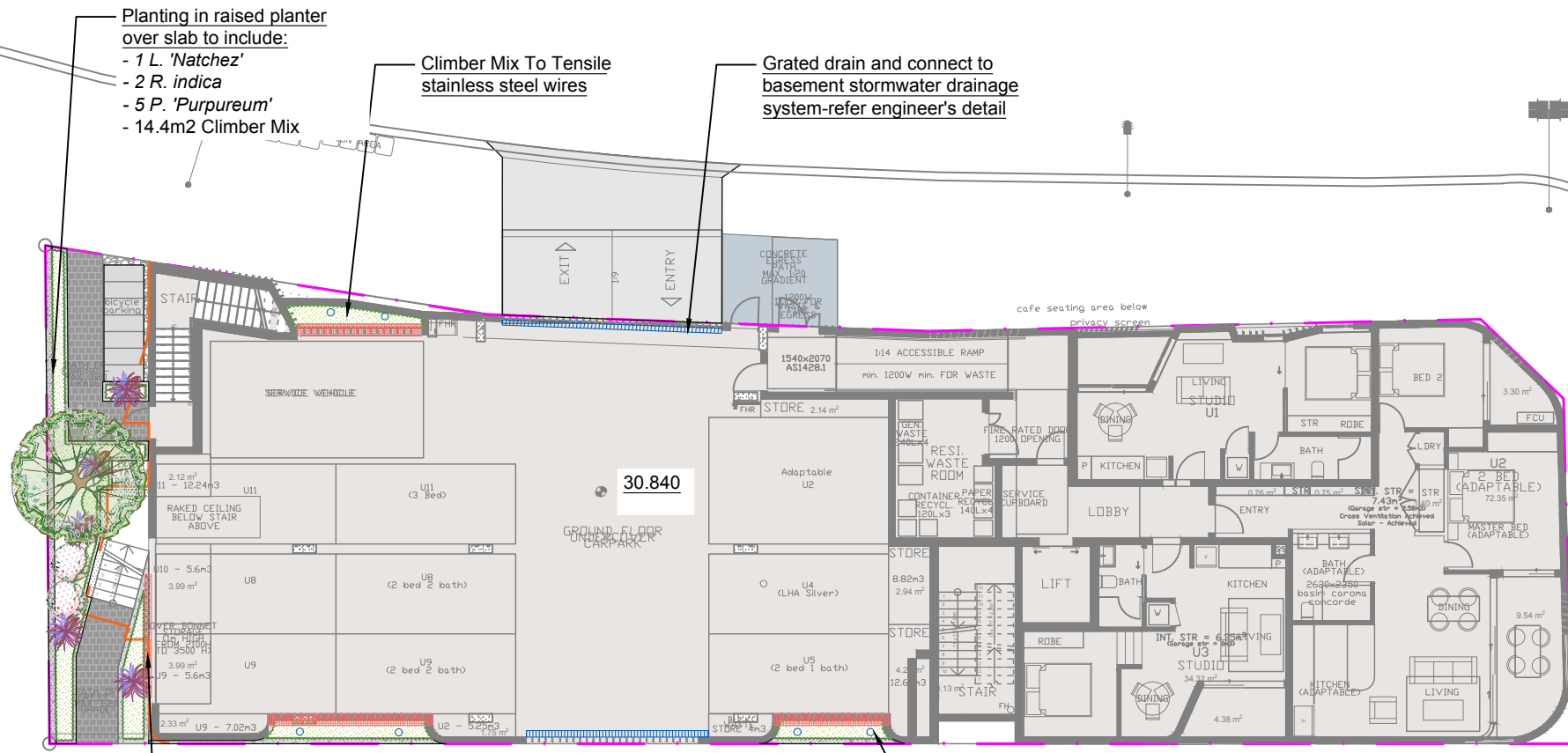
Phormium tenax 'Purpureum'



Viburnum odoratissimum



Myoporum parvifolium 'Yareena'




LEVEL-2

LEVEL-3

General Notes:


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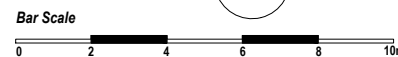
AILA Associate



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Bar Scale

0 2 4 6 8 10m

REV	DATE	NOTATION/AMENDMENT
A	26.2.2020	Preliminary plan prepared for review
B	03.04.2020	Co-ordinated with architect's comments & stormwater plan
C	09.04.20	Co-ordinated with architect's comments & amended architectural plan

COUNCIL	NORTHERN BEACHES
CLIENT	
ARCHITECT	CKDS ARCHITECTURE
STATUS / ISSUE	DA - ISSUE C



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TITLE:	LANDSCAPE PLAN	DWG.No:	LPDA 20 - 190 / 2
	PROPOSED RESIDENTIAL DEVELOPMENT	SCALE:	1:200 @ A3
	48 LAWRENCE STREET	DATE:	MARCH 20
	FRESHWATER	DRAWN:	K.Z
		CHECKED:	R.F



General Notes:

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[illegible]

COUNCIL	NORTHERN BEACHES
CLIENT	
ARCHITECT	CKDS ARCHITECTURE
STATUS / ISSUE	DA - ISSUE A

TITLE:

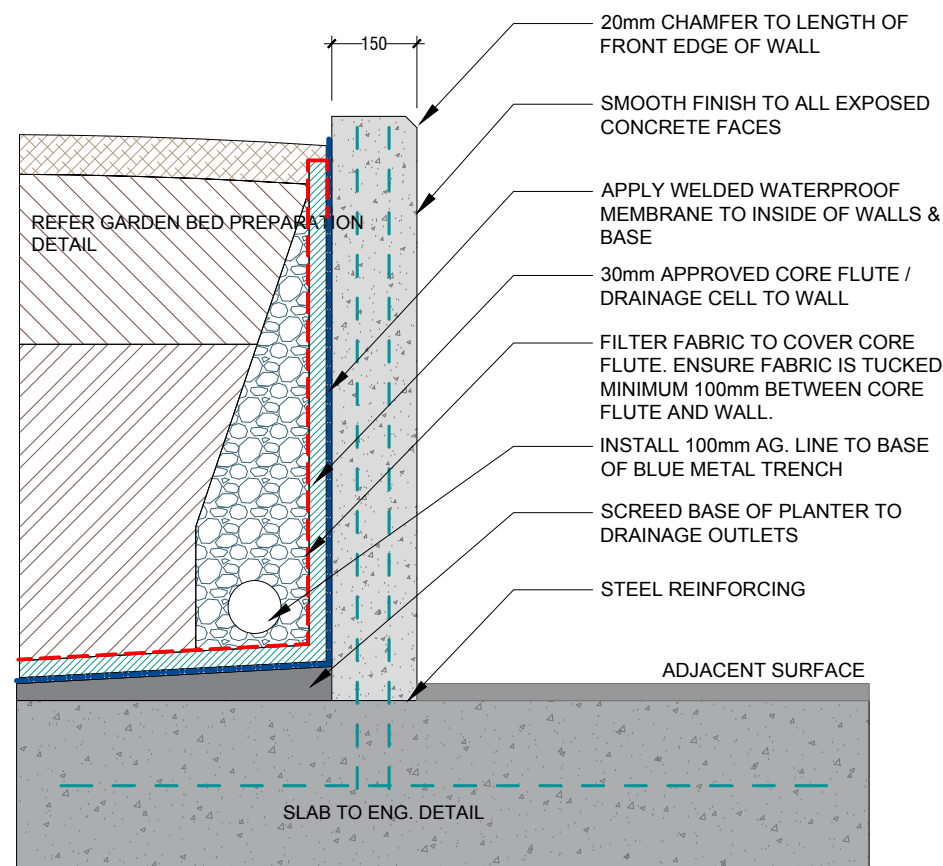
LANDSCAPE PLAN

PROPOSED RESIDENTIAL
DEVELOPMENT

48 LAWRENCE STREET

FRESHWATER

DWG.No:	
LPDA 20 - 190 / 3	
SCALE:	
AS SHOWN @ A3	
DATE:	
MARCH 20	
DRAWN:	CHECKED:
K.Z	R.F

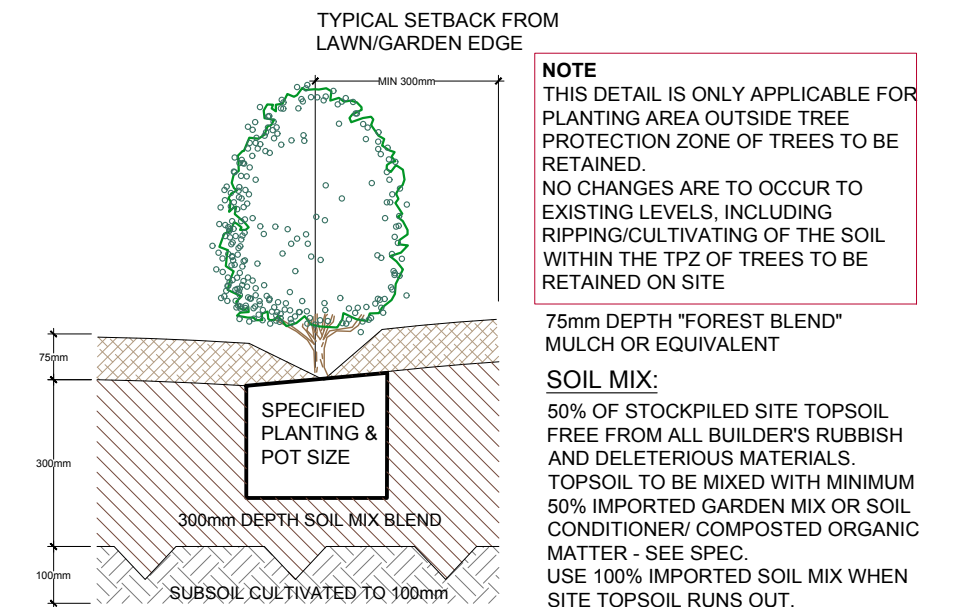


TYPICAL IN SITU RETAINING WALL ON SLAB DETAIL

SCALE 1:10

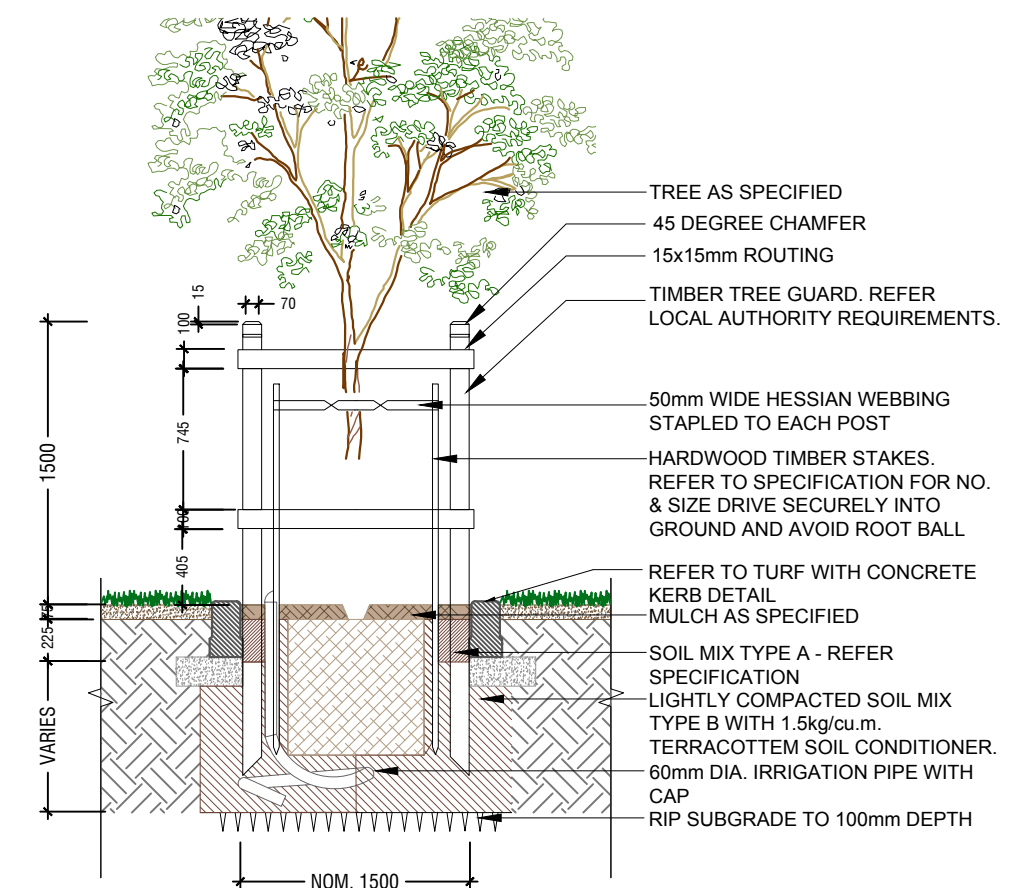


Tensile wire sample image






TYPICAL GARDEN PREPARATION DETAIL

SCALE 1:10



STREET TREE GUARD DETAIL

SCALE: 1:20

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