





Freshwater Mixed Use Development

50 Lawrence Street Freshwater, NSW

Development Application MAY 2020

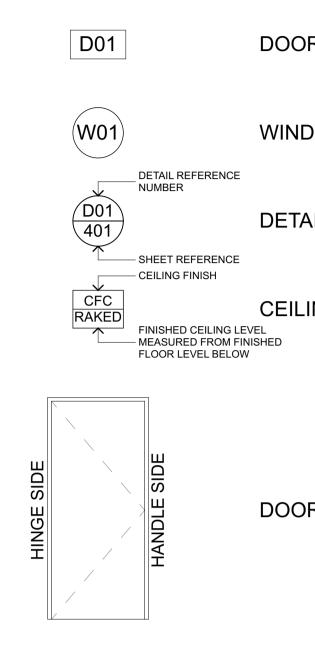




General Abbreviations

AA	ANODISED ALUMINIUM
AHD	AUSTRALIAN HEIGHT DATUM
A/C	AIR CONDITIONING (REFER MECHANICAL DRAWINGS)
AP	ACCESS PANEL
B	BENCH
BEJ	BRICK EXPANSION JOINT (REFER ENGINEERS DRAWINGS)
BL	BLOCK WORK - CEMENT RENDER FINISH - PAINTED
BNCH	BENCH
C	CARPET
CFC	COMPRESSED FIBRE CEMENT
CH	
COL	COLUMN
CONC.	
COS	CONFIRM ON SITE
CT	CERAMIC TILE
CV	COVING
D	DOOR
DP -	DOWN PIPE
E	EXTINGUISHER
FB	FACE BRICKWORK
FC	FIBRE CEMENT SHEETING
FCL	FINISHED CEILING LEVEL
FG	FIXED GLASS
FFL	FINISHED FLOOR LEVEL
FHR	FIRE HOSE REEL
FL	FLUROSCENT LIGHT
FW	FLOOR WASTE
G	GAS INSTANTANEOUS HOT WATER
GD	GRATED DRAIN
GPO	POWER OUTLET
GR	GRAB RAIL
HA	HANDLE
HB	HAND BASIN
HC	HOSE COCK
HR	HAND RAIL
HWU	HOT WATER UNIT
LC	LIGHTWEIGHT CLADDING
LV	LOUVRE
M	MASONRY
MC	METAL ROOF CAPPING
MF	METAL ROOF CAPPING METAL FLASHING
	METAL PLASHING METAL ROOF SHEET
MR	
MIR	
MRPB	MOISTURE RESISTANT PLASTERBOARD
MW	MASONRY WALL
OF	OVERFLOW
PB	PLASTER BOARD - PAINTED
PC	PRECAST CONCRETE
PF	PAINT FINISH
RAG	RETURN AIR GRILLE. REFER MECH ENGINEER
RC	ROOF COWL WITH FLASHING
RD	RECESSED DOWNLIGHT
RS	ROLLER SHUTTER DOOR
RV	ROOF VENTILATION
SD	SMOKE DETECTOR
SDS	SOAP DISPENSER
SG	SLIDING GLASS
SGD	SLIDING GLASS DOOR
SK	SKIRTING
SNK	SINK
SP	DOWN PIPE SPREADER
SPB	SUSPENDED PLASTERBOARD
SPB*	SUSPENDED PLASTERBOARD. MOISTURE RESISTANT
ST	SANDSTONE CLADDING (ON BLOCKWORK)
STR	STORE
SWG	SWING GLASS DOOR
T	TIMBER
тс	TIMBER CLADDING
TF	TIMBER FLOOR
TI	TACTILE GRIP SURFACE INDICATOR
TPH	
	TOILET PAPER DISPENSER
TR	
V	
W	WINDOW
WC	WATER CLOSET
WL	WALL LIGHT
W/PUMP	WATER PUMP FOR TANKS

Drawing Legend





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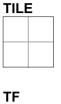
P.O. Box 4400

East Gosford NSW Australia

Ph 02 4321 0503 ACN 129 231 269

Finishes Legend

FLOOR FINISHES



TIMBER FLOOR BOARDS OAK OR SIMILAR REFER FINISHES SCHEDULE

СТ

CONC.

С

CARPET CHARCOAL OR SIMILAR

POLISHED CONCRETE "INSERT COLOUR/TYPE/CODE" REFER FINISHES SCHEDULE

REFER FINISHES SCHEDULE

EXTERIOR PAVING TILE WITH APPLIED SEALER/SLIP

COLOUR TBC

CERAMIC TILE

COLOUR TBC

RESISTANT FINISH

REFER FINISHES SCHEDULE



WALL FINISHES

TIMBER CLADDING OFF-WHITE PAINT FINISH REFER FINISHES SCHEDULE



METAL ROOF SHEETING CHARCOAL POWDERCOATING REFER FINISHES SCHEDULE



CONCRETE BLOCK WORK NATURAL FINISH REFER FINISHES SCHEDULE

RENDERED MASONRY WHITE PAINT FINISH REFER FINISHES SCHEDULE

PRECAST CONCRETE PANEL NATURAL FINISH REFER FINISHES SCHEDULE



SANDSTONE NATURAL FINISH REFER FINISHES SCHEDULE

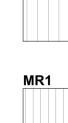
DOOR NUMBER

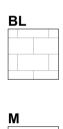
WINDOW NUMBER

DETAIL NUMBER

CEILING FINISH

DOOR IDENTIFICATION



















12/5/20

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REGULATORY ENVIRONMENT

The following planning documents apply:

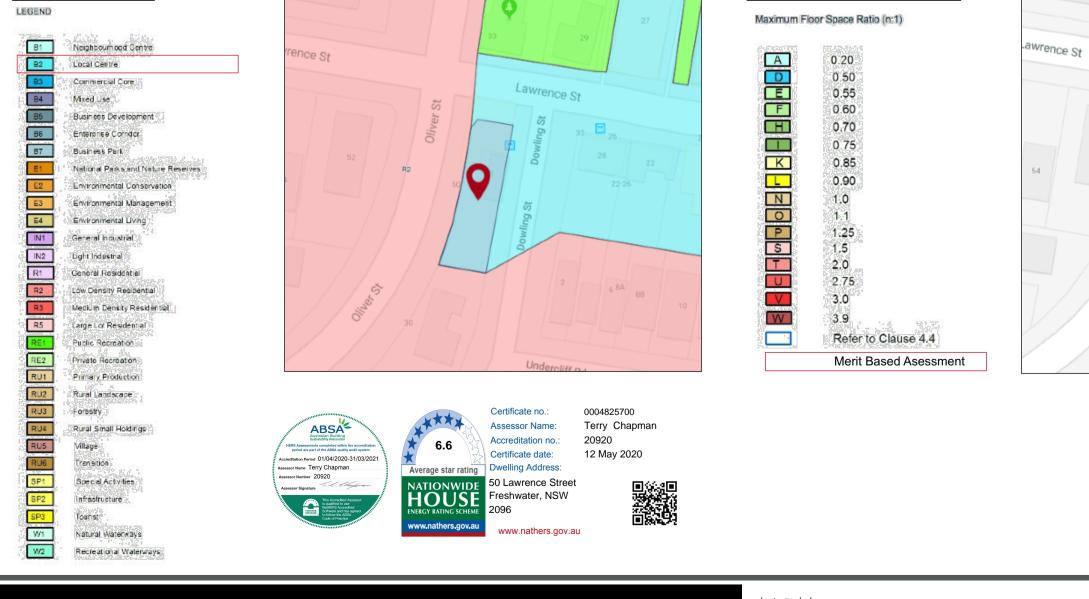
Warringah DCP Warringah DCP - Part G5 - Special Area Controls - Freshwater Village Sept 65 & Apartment Design Guidelines

LEP & MAPPING		
Zone:	B2 - Local Centre- Refer to Part F Zones & Sensitive Areas	GFA:
FSR:	Merit Based Assessment	GF: L1:
Height:	11m (11~11.9m) Maximum 3 Storeys	L2: L3:
Acid Sulfate Soils:	N/A	Total GFA:
Site Area:	590 m ²	<u>Unit Mix:</u>

FRESHWATER VILLAGE DCP/MERIT BASED ASSESSMENT

			- 1	J Deu.
	Setbacks *** Front: Side: Side: Rear: Third Storey Front boundary:	Lawrence Avenue - Up to Boundary (First 2 storeys) Adjoining Dowling St - Merit Based Assessment Adjoining Oliver St - 2m Adjoining Residential Zone Rear - 2m Adjoining Residential Zone 5m		Calculations FSF
	Soft Landscape Area Minimum of 25% of site:			FSR:
	Required:	147.5m ²	ĺ	
	Provided:	L1: 46m ² / L2: 2m ² / L3: 6.18m ² Total: 54.18m ²		
ł			<u> </u>	Freshwater Village DCP Key
	Deep Soil Minimum 50% of soft landscaped area:		<mark>ا </mark>	Street Frontage to have a ve Maximum length of a shopfro
	Required:	74m ²		Awnings on street corners to Step the building roof form
	Provided:	0m²	-	Low scale coastal feel of Fre Buildings not to exceed a ma To ensure that any proposed complements the heritage sign
ł	Apartment Design Guide		1	
	Min. Apartment Sizes: Min. Balcony Sizes:	St/1/2/3 Bedrooms: 35/50/70/90m ² Respectively St/1/2/3 Bedrooms: 4/8/10/12m ² Respectively	a s	Where a side or rear bounda and rear boundary setbacks w streetscape amenity of surrounding proper
				ethacks of neighbouring devi

LAND ZONING



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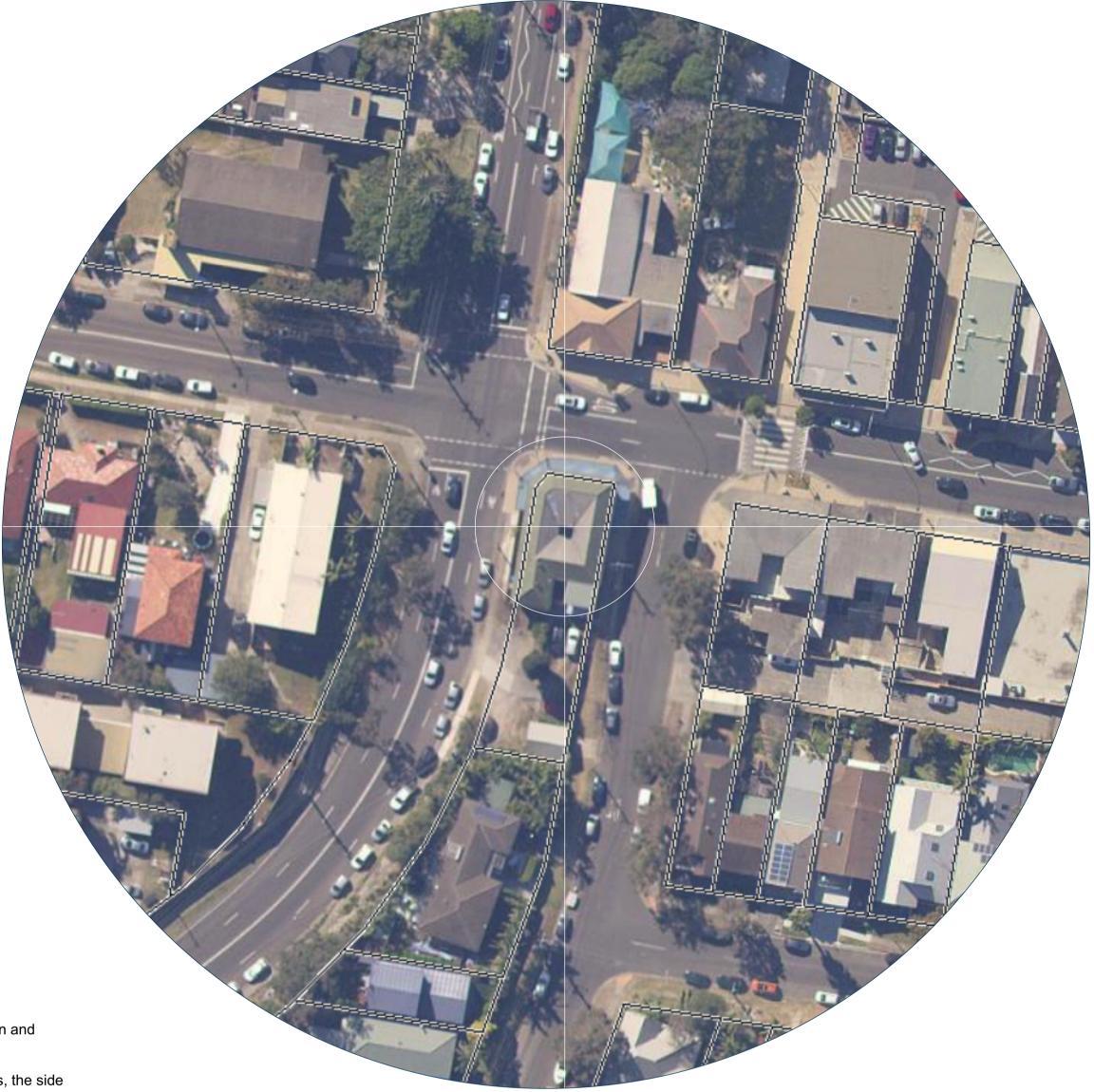
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FLOOR SPACE RATIO

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GFA:		Carparking
GF:	100m ²	Resident Parking
L1:	170m ²	1/2/3 bedrooms: 1/1.2/1.5 bays respectively
L2:	403m ²	
L3:	241m ²	Required: 12.5
		Provided: 15
Total GFA:	914m ²	
		Visitor Parking
Unit Mix:		1 space per 5 dwellings
Studio:	no.2	Required: 2.2
1 Bed:	no.3	Provided: 2
2 Bed:	no.4	Business + Retail:
2 Bed Adaptable:	no.1	Busiliess · Retail.
3 Bed:	no.1	Required: 3.29
		Provided: 3
	_	
Calculations FSF	<u>K</u>	
		TOTAL : 17.99
Site Area:	590m ²	TOTAL : 19
FSR:	1.55:1	



Freshwater Village DCP Key Points:

Street Frontage to have a vertical emphasis

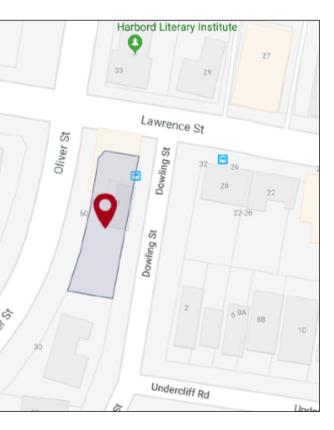
Maximum length of a shopfront 5-10m Awnings on street corners to be wrapped 6m minimum

Low scale coastal feel of Freshwater

Buildings not to exceed a maximum building length of 20m without the provision of separate cores and entry points To ensure that any proposed development within the vicinity of a heritage listed item does not have an adverse impact on and omplements the heritage significance of the item(s)

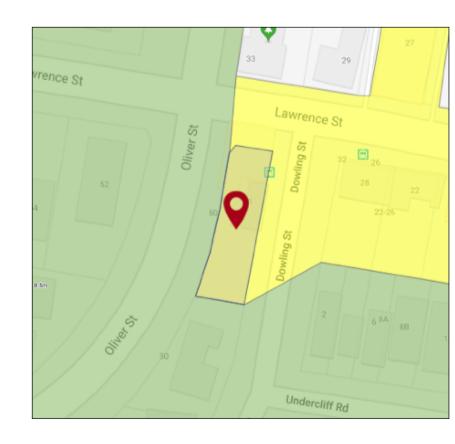
Where a side or rear boundary of the proposed development site does not adjoin residential zoned land other than roads, the side nd rear boundary setbacks will be determined on a merit basis and will have regard to:

menity of surrounding properties setbacks of neighbouring development



HEIGHT OF BUILDING





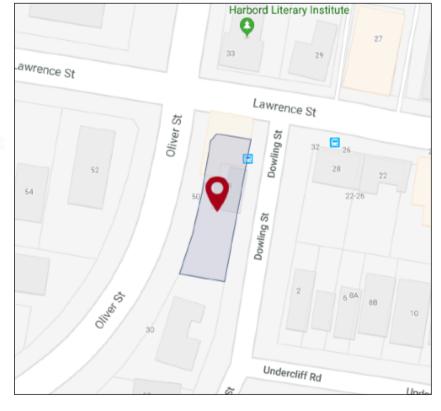
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ACID SULPHATE SOIL

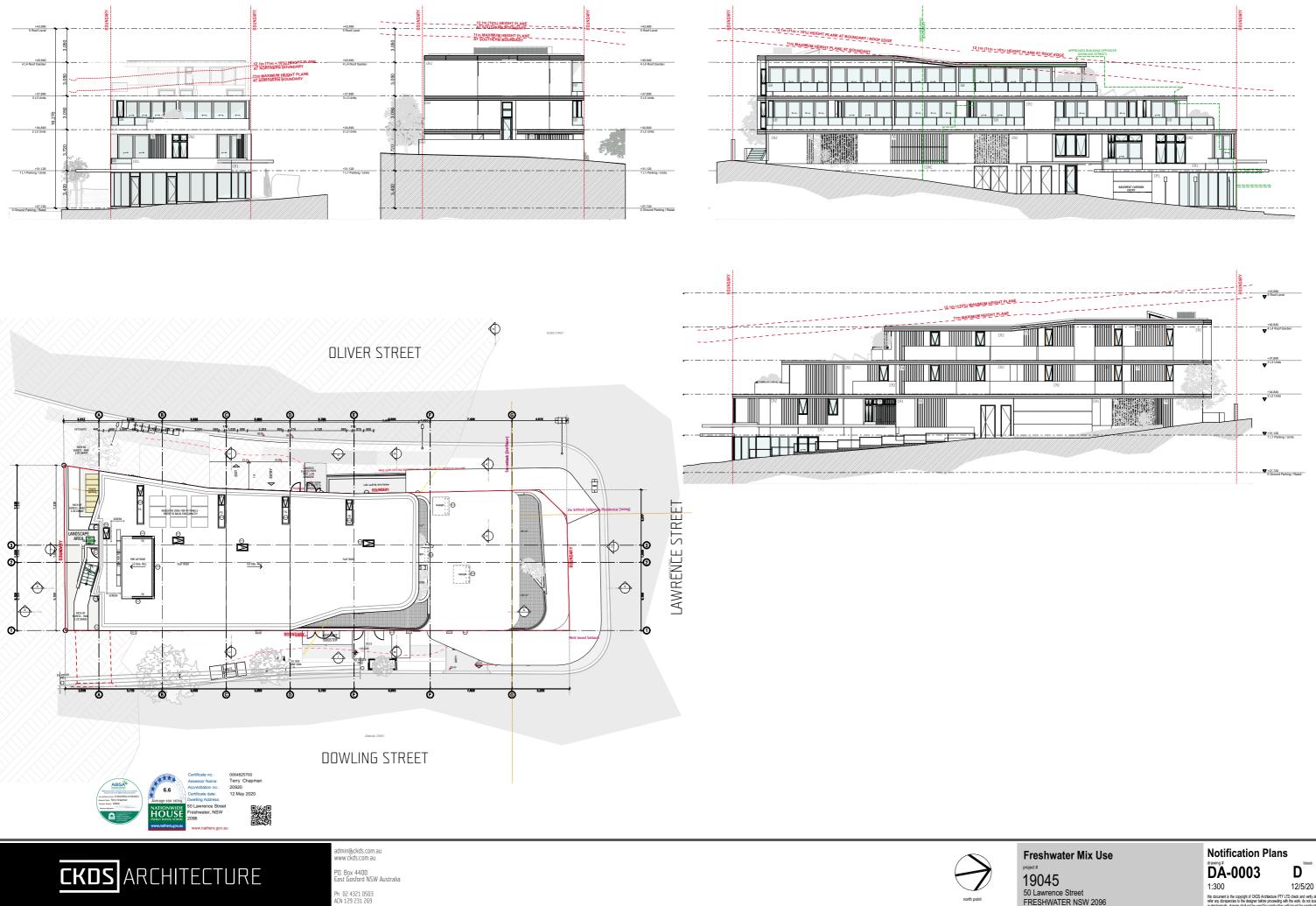
Class 1 - All Works Class 2 Works below ground surface | Class 3 - Works beyond 1m below ground surface Class 4 Works beyond 2m below ground surface Class 5 - Works within 500m of adjacent classes 1-4







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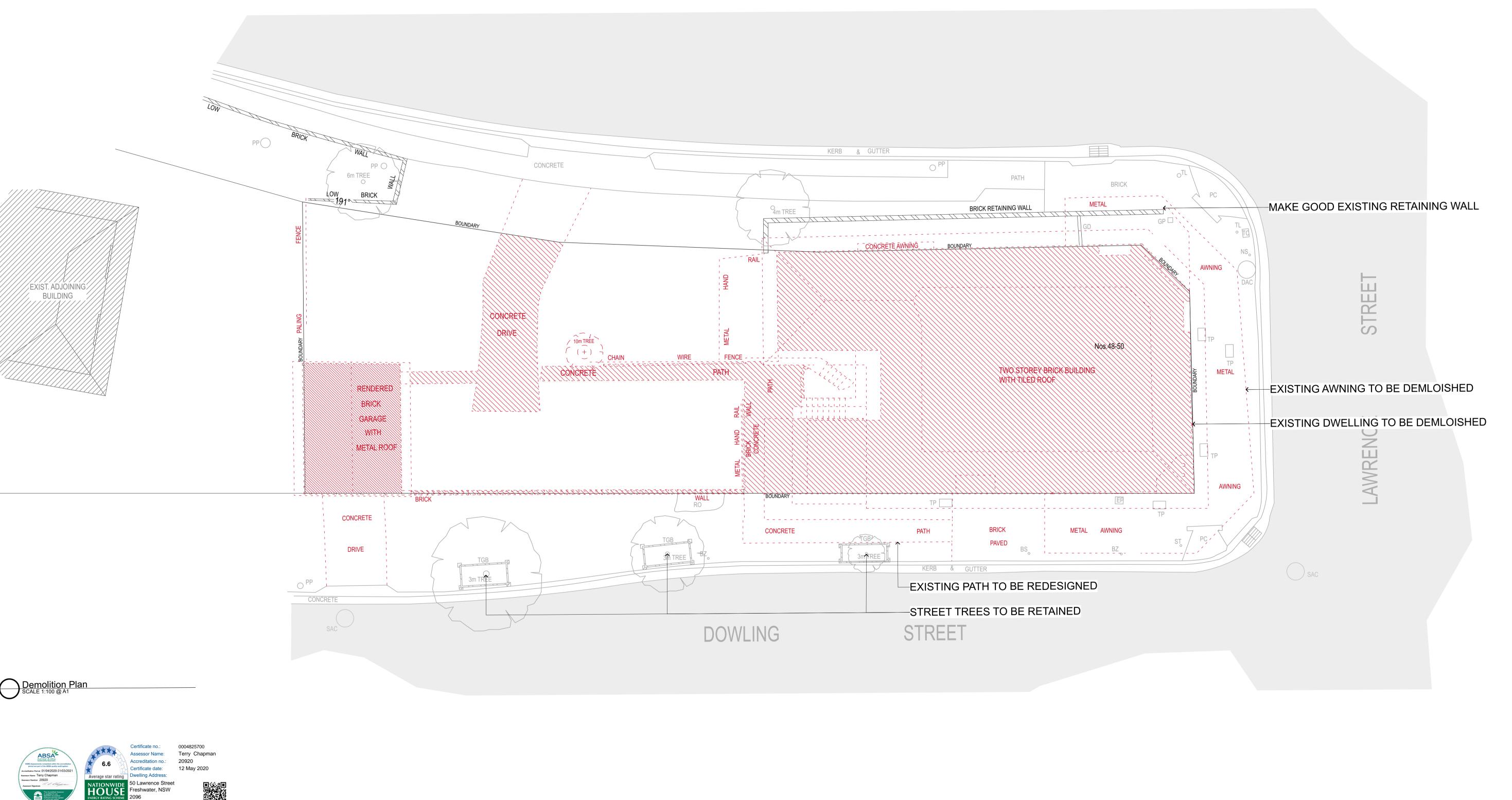
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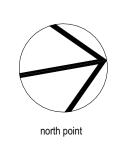
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Freshwater Mix Use project # **19045** 50 Lawrence Street FRESHWATER NSW 2096

Demolition Plan drawing # **DA-0101** 1:100



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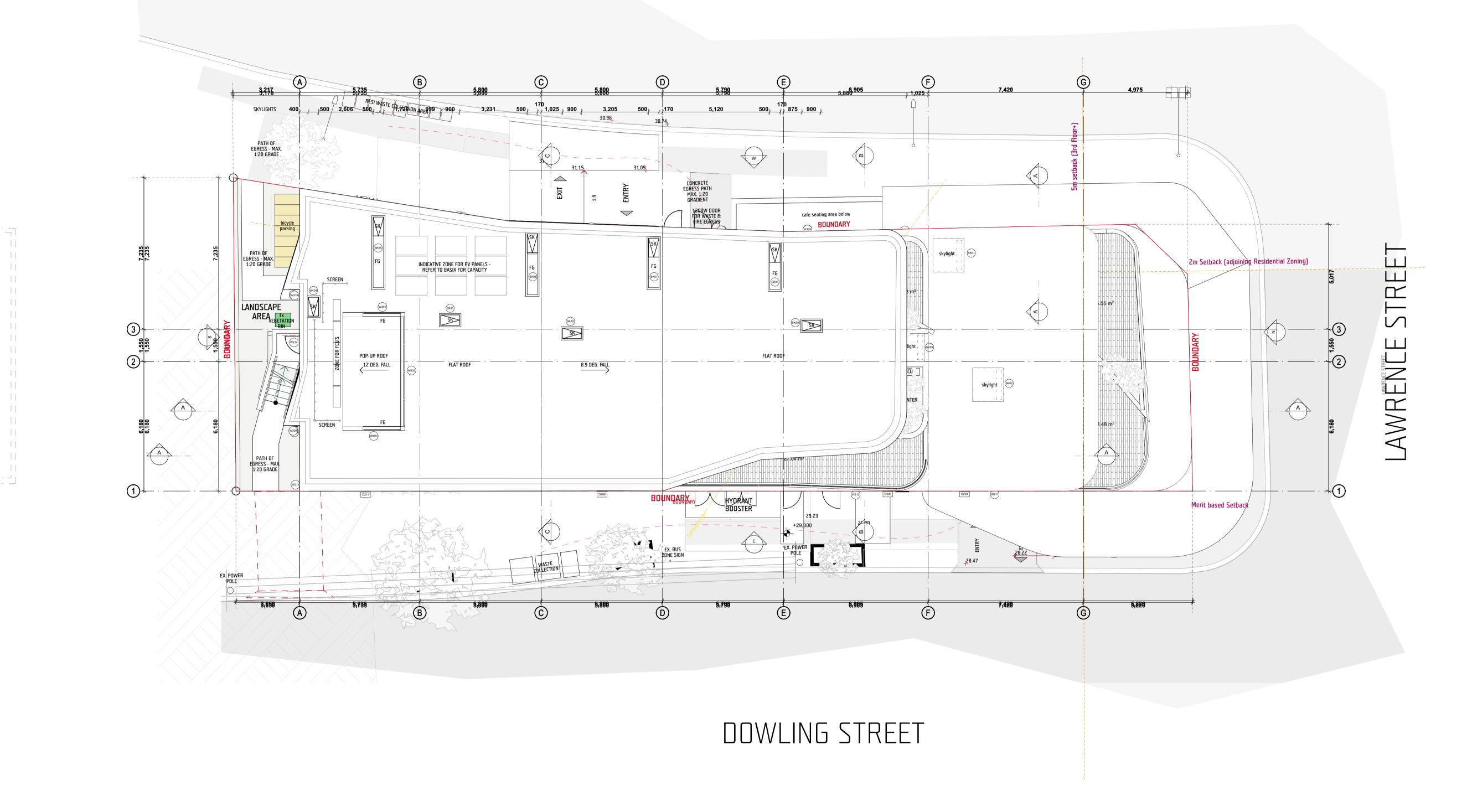




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OLIVER STREET





Site Plan ^{drawing #}**DA-1002** 1:100



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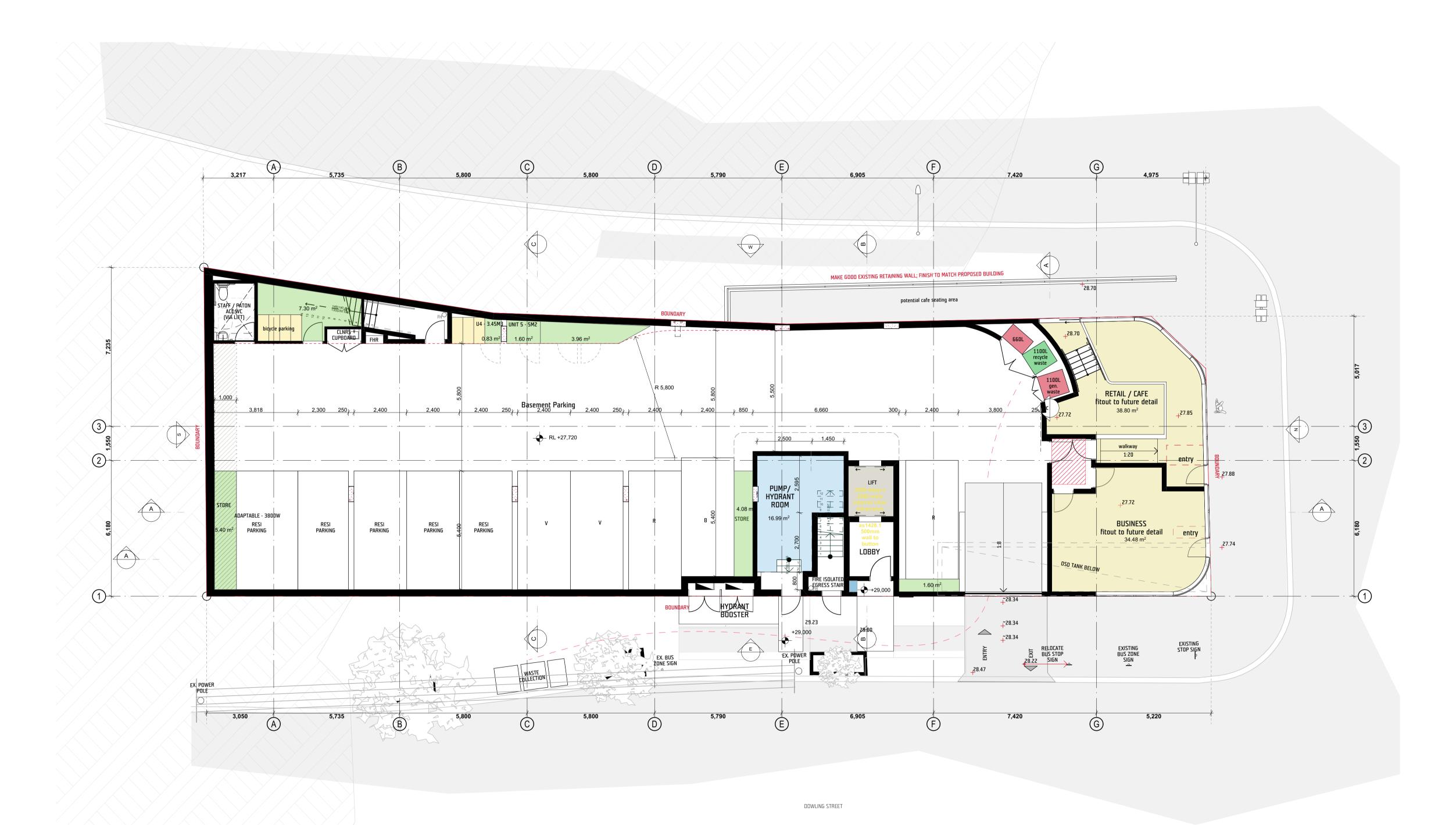
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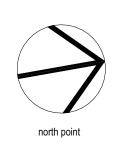


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0004825700 Terry Chapman 20920 12 May 2020







Ground Floor Plan ^{drawing #} **DA-1101** 12/5/20 1:100 this document is the copyright of CKDS Architecture PTY LTD check and verify all dimensions on site. refer any dicrepancies to the designer before proceeding with the work. do not scale drawings manually or electronically. drawing shall not be used for construction until issued for construction by designer.

B RESI WASTE COLLECTION AREA PATH OF Egress - Max. 1:20 grade FHR PATH OF Egress - Max. 1:20 grade SERVICE VEHICLE 3 11/17/24/m3 - -RAKED CEILING BELOW STAIR ABOVE _____ $\left(\left| v \right\rangle \right)$ RESI PARKING 2 RESI PARKING RESI PARKING A 5,400 5.400 RESI PARKING RESI Parking A PATH OF Egress - Max. 1:20 grade 49 - 5.60 . UZ - 5.25m³ 1.75 m² .33 m² U9 - 7.02m3 11 L1 Parking / Units A SCALE 1:100 @ A3 5,735 B



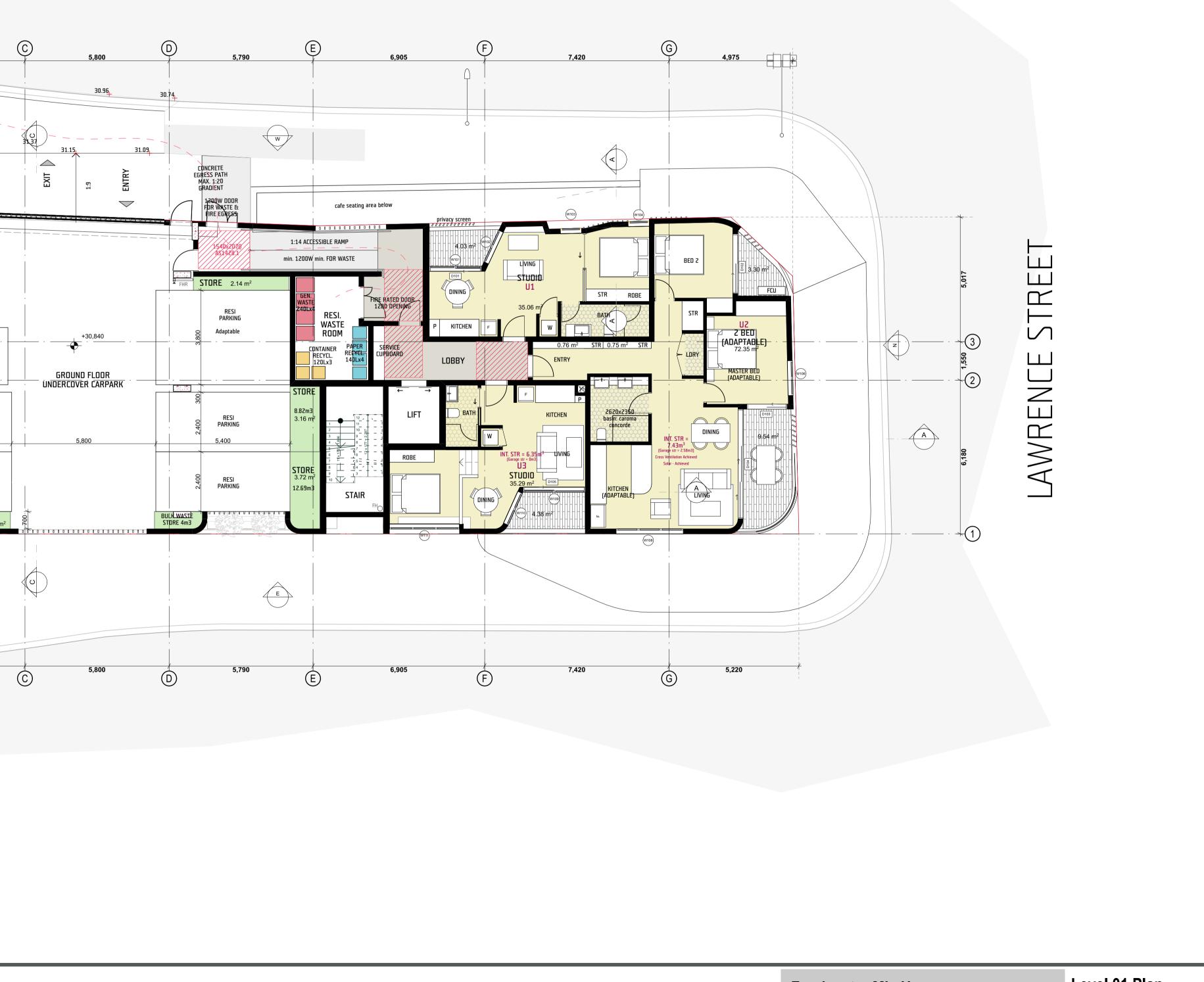
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OLIVER STREET





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Level 01 Plan drawing # **DA-1102** 1:100



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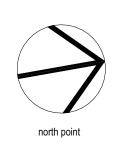
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Level 02 Plan drawing # **DA-1103** 1:100



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NOTES:



- ALL ADAPTABLE BATHROOMS IN COMPLIANCE WITH AS1428.1 - REINFORCEMENT PROVIDED IN BATHROOM WALLS TO ALLOW FOR INSTALLATION OF GRAB-RAIL BARS - SECONDARY PLUMBING PROVIDED FOR FUTURE ADAPTATION





STREE

AWRENCE

-3

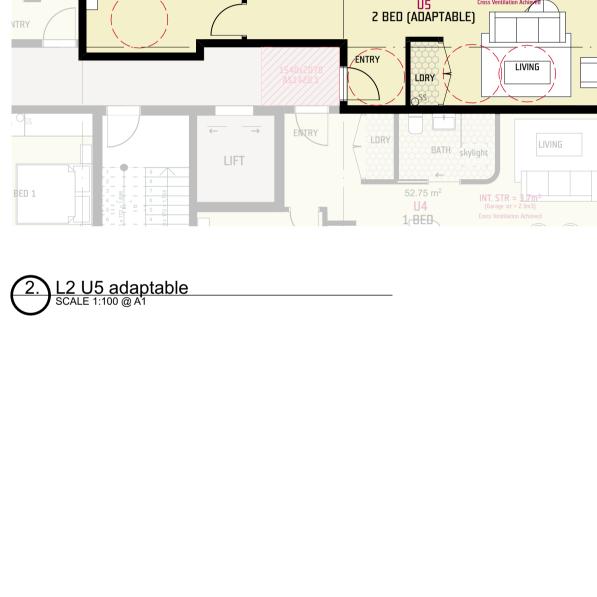
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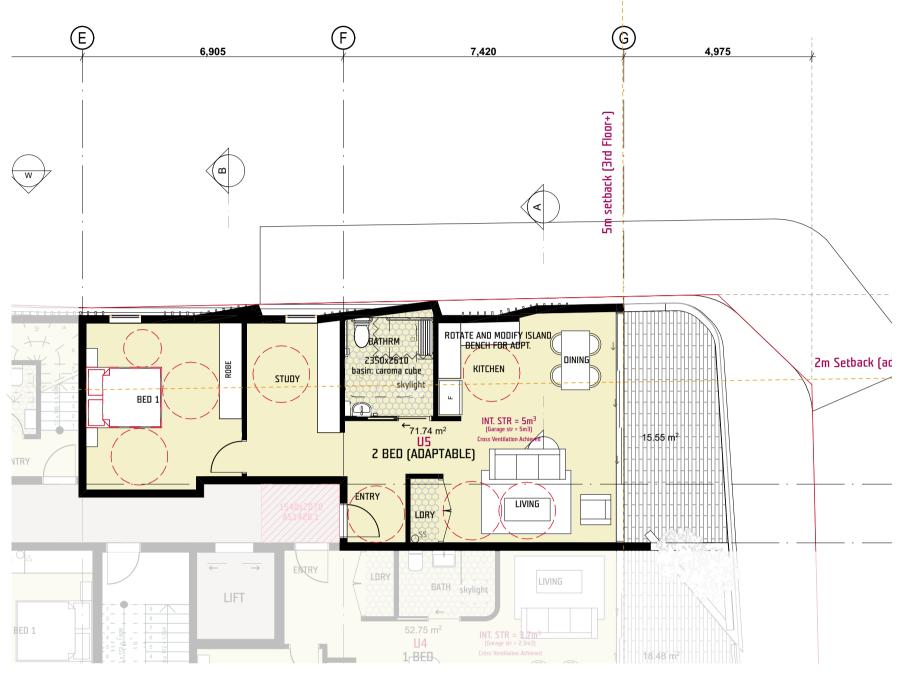
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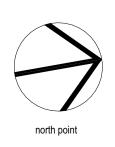
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Adapted Layouts drawing # **DA-1106** 1:100 12/5/20



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- FOR EXTERNAL FINISHES PLEASE REFER DA-7001

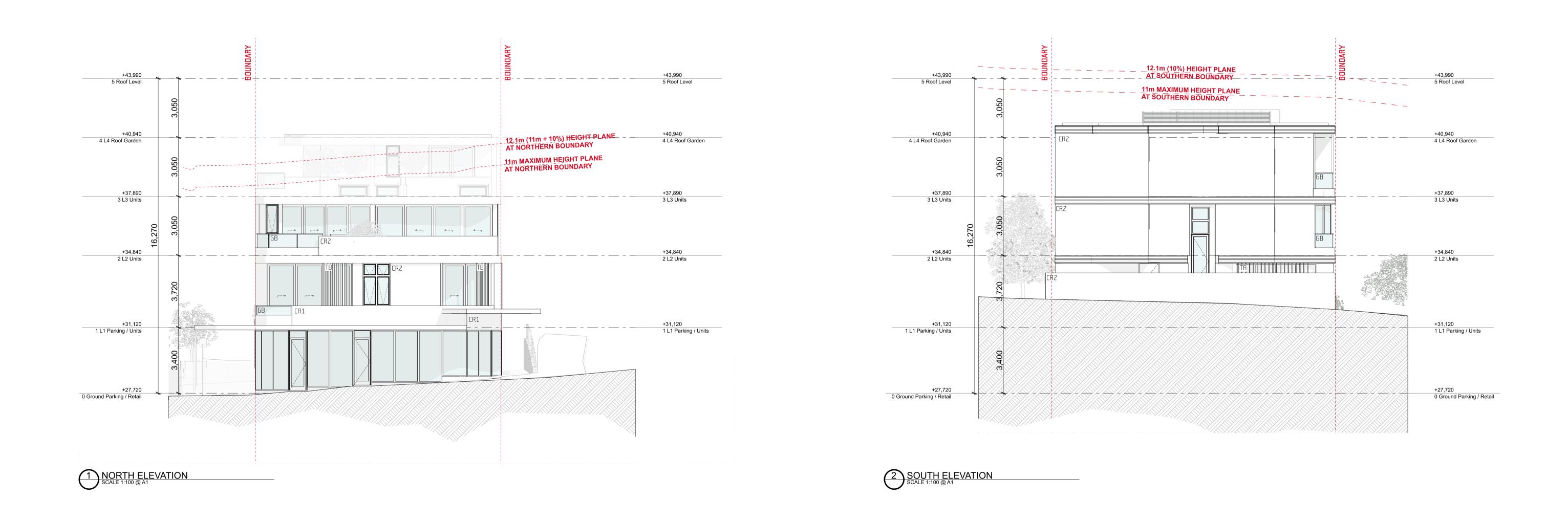
20920

Certificate no .: **** Assessor Name: Accreditation no.: 6.6 Assessments completed within riod are part of the ABSA qualit creditation Period 01/04/2020-31 assessor Name Terry Chapman Assessor Number 20920 Certificate date: Dwelling Address) Lawrence Street ATIONWIDE HOUSE reshwater, NSW Nath Software w.nathers.gov.au

NOTES:

0004825700 Terry Chapman

12 May 2020





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North/ South Elevation ^{drawing #} **DA-2001**



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**** 6.6 n Period 01/04/2020-3 ditation Period UT/VH72022 C assor Namber 20920 Assessor Number 20920 verage star rating HOUS ENERGY RATING SCHE

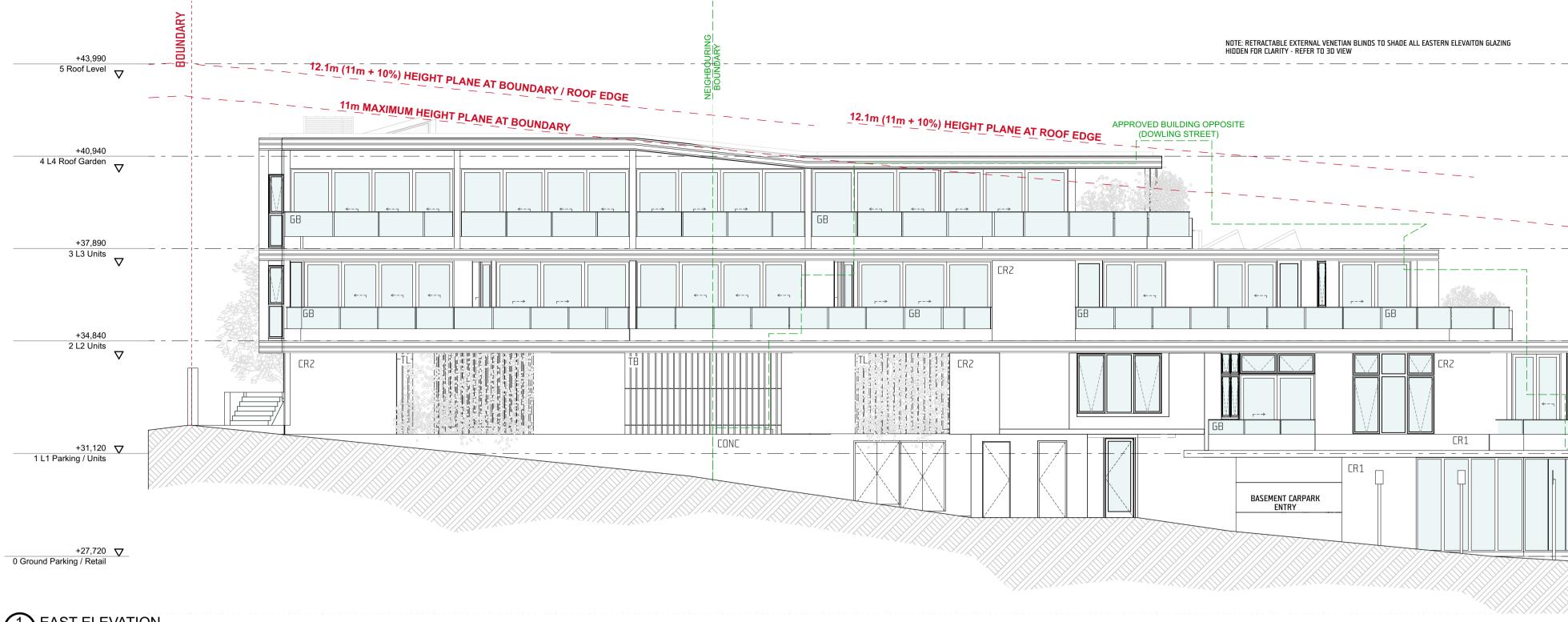
Certificate no .: 0004825700 Terry Chapman Assessor Name: Accreditation no.: 20920 Certificate date: 12 May 2020 Dwelling Address: 0 Lawrence Street Freshwater, NSW 2096 www.nathers.gov.au

- FOR EXTERNAL FINISHES PLEASE REFER DA-7001

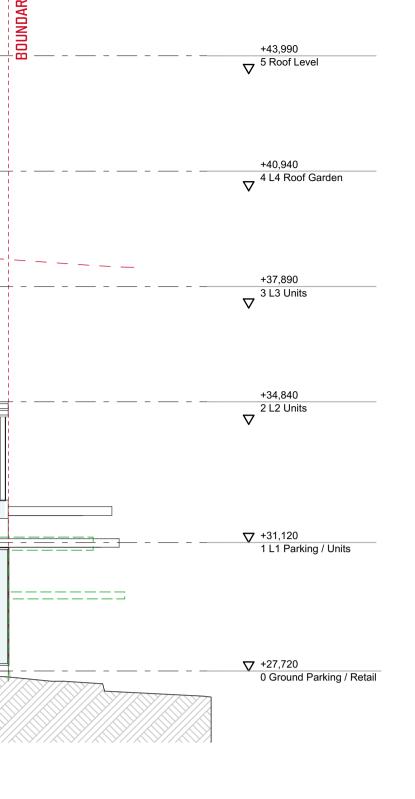
NOTES:











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East/ West Elevation drawing # **DA-2002** 1:100 12/5/20 this document is the copyright of CKDS Architecture PTY LTD check and verify all dimensions on site. refer any dicrepancies to the designer before proceeding with the work. do not scale drawings manually or electronically. drawing shall not be used for construction until issued for construction by designer.

+43,990 5 Roof Level 11m HEIGHT LIMIT +40,940 4 L4 Roof Garden UNIT 7 UNIT 8 +37,890 3 L3 Units UNIT 6 +34,840 2 L2 Units _____ **GF PARKING** DLIVER STREET ACCESS 7 INDICATIVE NATURAL GROUND LINE +31,120 1 L1 Parking / Units BASEMENT PARKING +27,720 0 Ground Parking / Retail A Section A SCALE 1:100 @ A1 A B C 0004825700 Terry Chapman Certificate no .: Assessor Name: 20920 Accreditation no.: Certificate date: 12 May 2020 Dwelling Address: 50 Lawrence Street Freshwater, NSW 2096 www.nathers.gov.au admin@ckds.com.au www.ckds.com.au **CKDS** ARCHITECTURE P.O. Box 4400 East Gosford NSW Australia Ph 02 4321 0503 ACN 129 231 269

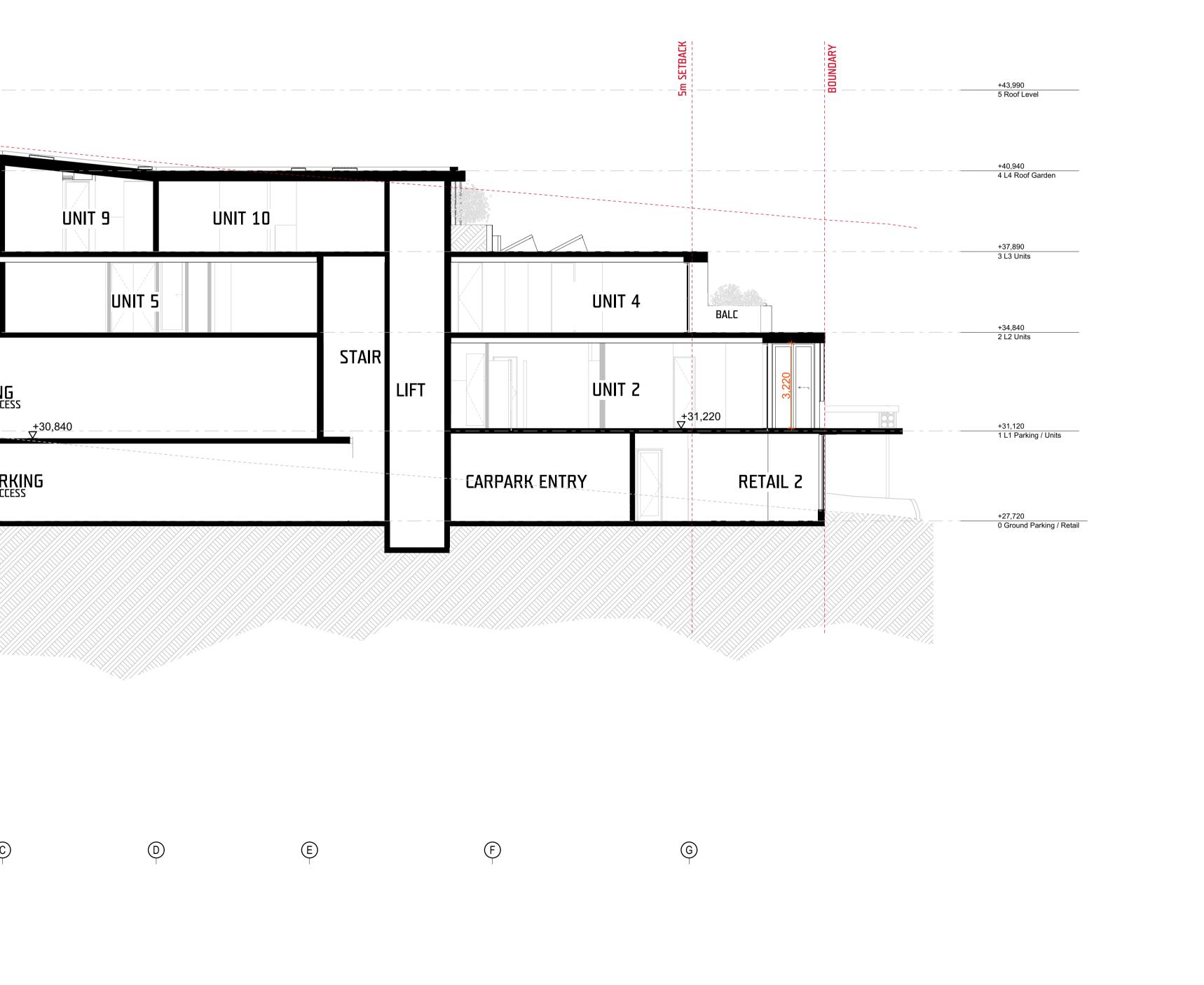
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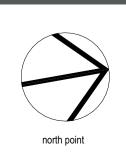
NATIONWIDE HOUSE ENERGY RATING SCHEME

age star rating

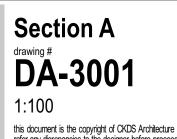
or Name Terry Chapm

Assessor Number 200920 Assessor Signature





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0004825700

12 May 2020

20920

Terry Chapman

Certificate no .:

Assessor Name:

Accreditation no.:

Certificate date:

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Dwelling Address:

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Freshwater, NSW

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6.6

NATIONWID HOUSE ENERGY RATING SCHEM

rage star rating

Assessor Name Terry Chapman Assessor Number 20920 Assessor Signature

+43,990 5 Roof Level

+37,890 3 L3 Units

+34,840 2 L2 Units

+31,120

1 L1 Parking / Units

+27,720 0 Ground Parking / Retail

Scale 1:100 @ A1

BALC

UNIT 4

UNIT 3

LOBBY

(1)

+40,940 4 L4 Roof Garden

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2 3

UNIT 11

UNIT 5

 \mathbb{N}

BASEMENT PARKING

RAMP

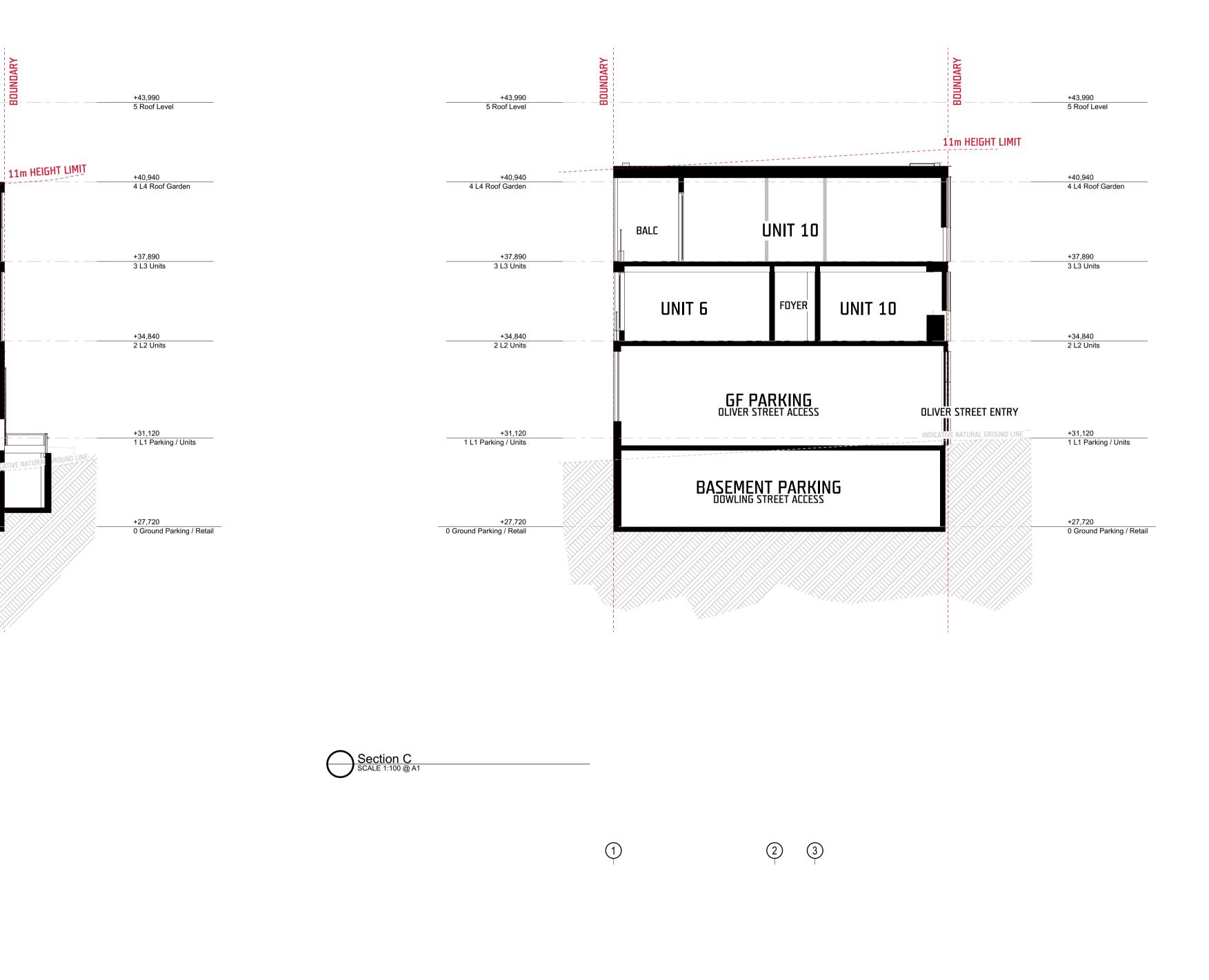
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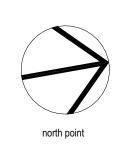
FOYER

LIFT

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Section B + C drawing # **DA-3002** 1:100



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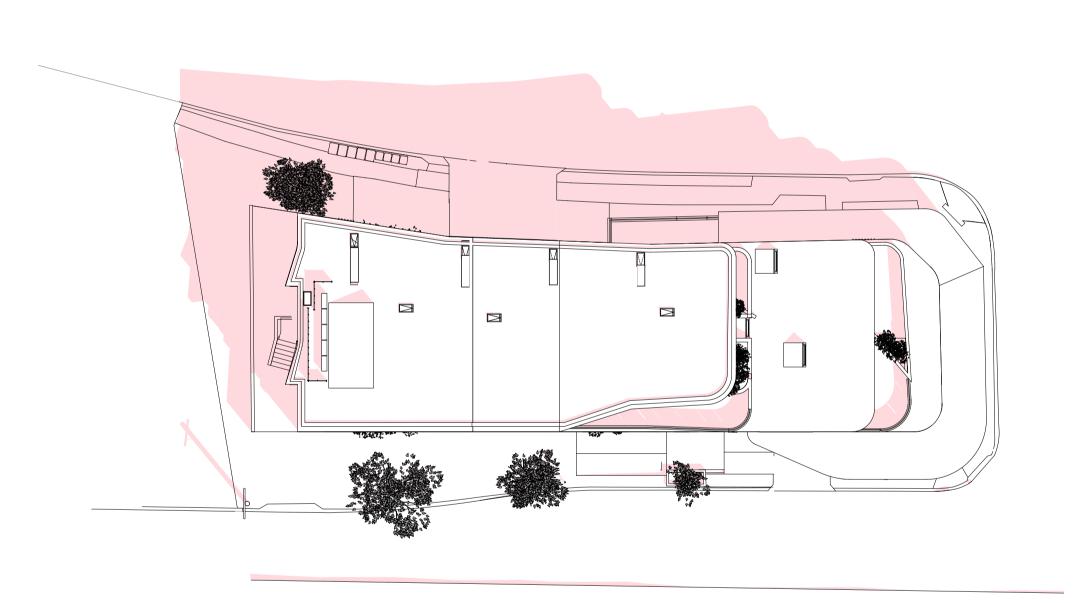


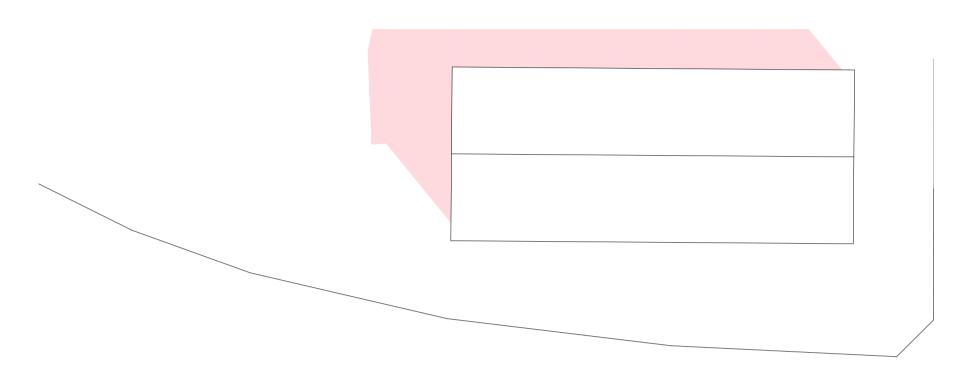
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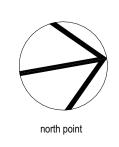
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March Shadows 9am SCALE 1:250 @ A1

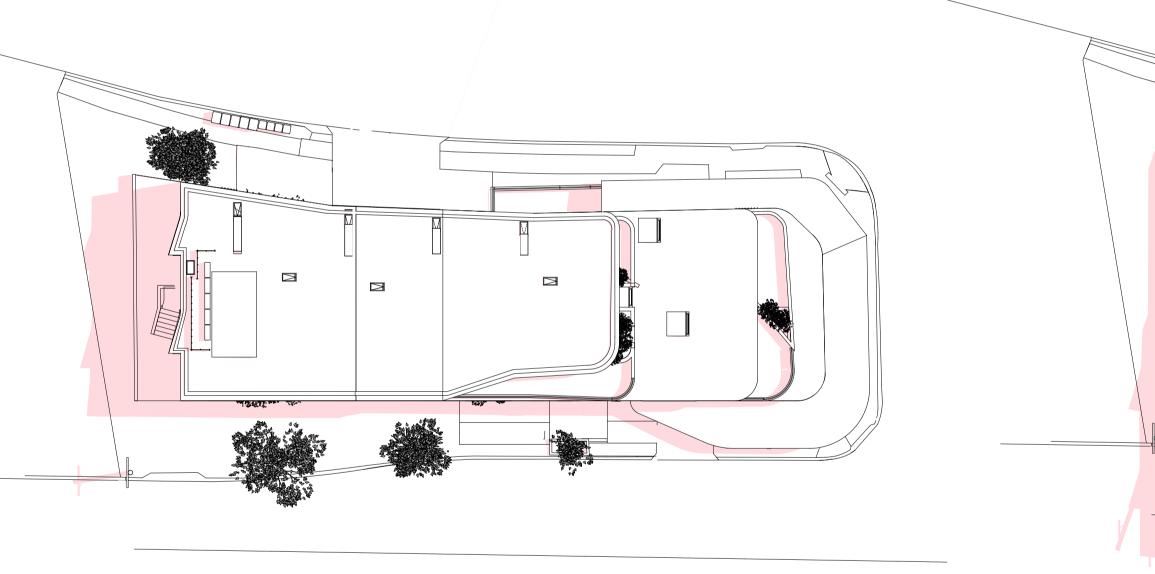


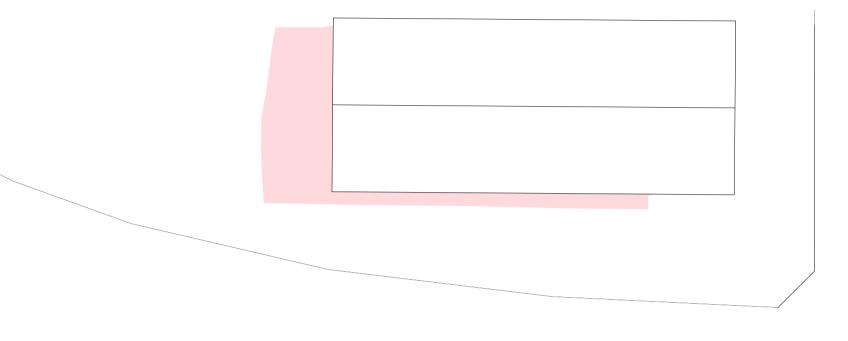


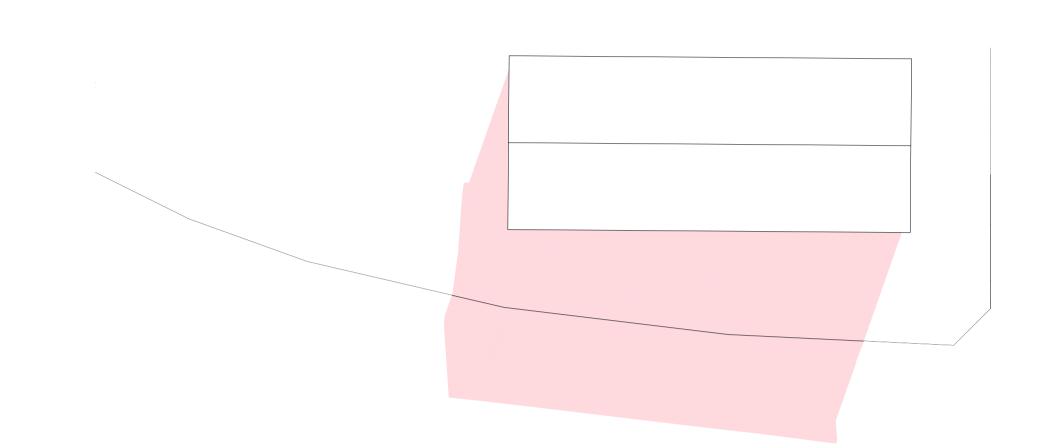


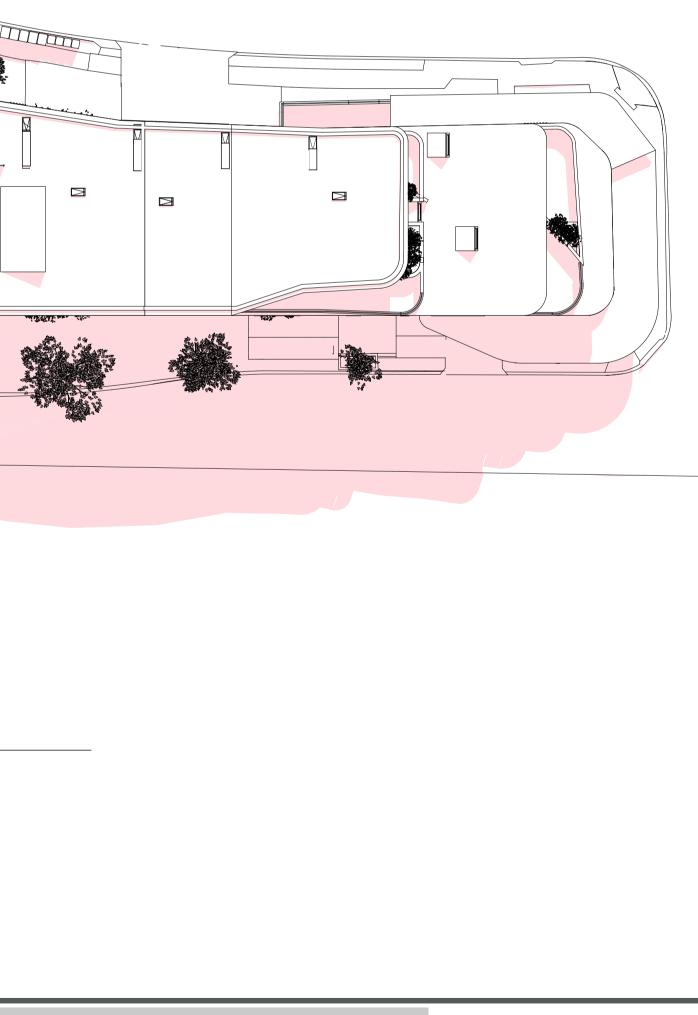
March Shadows Noon SCALE 1:250 @ A1

March Shadows 3pm SCALE 1:250 @ A1





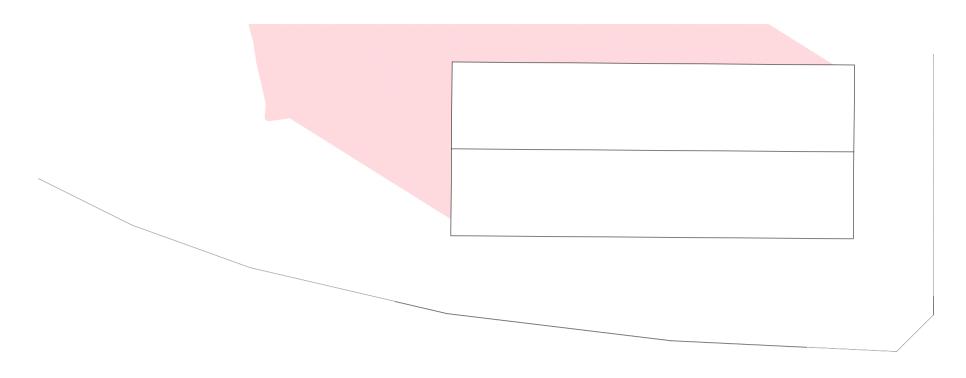


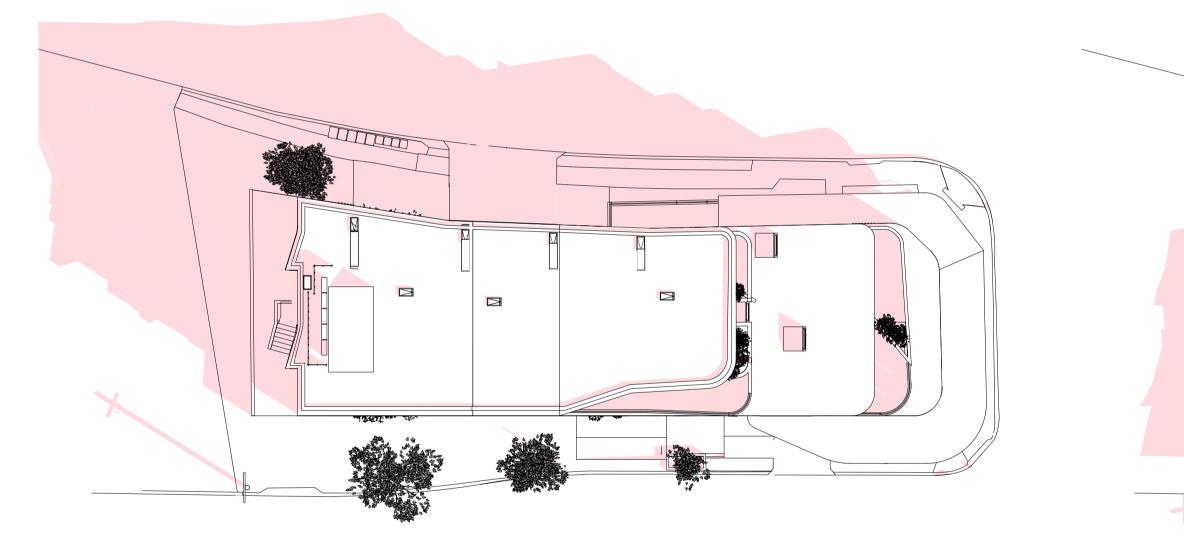


Freshwater Mix Use project # **19045** 50 Lawrence Street FRESHWATER NSW 2096

Shadow Diagrams March drawing # DA-4001 F







June Shadows 9am SCALE 1:250 @ A1

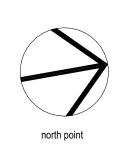


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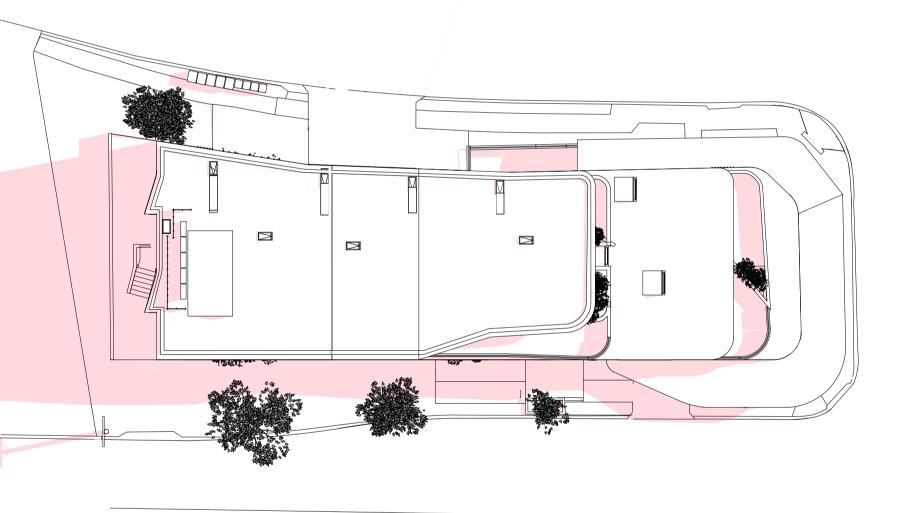
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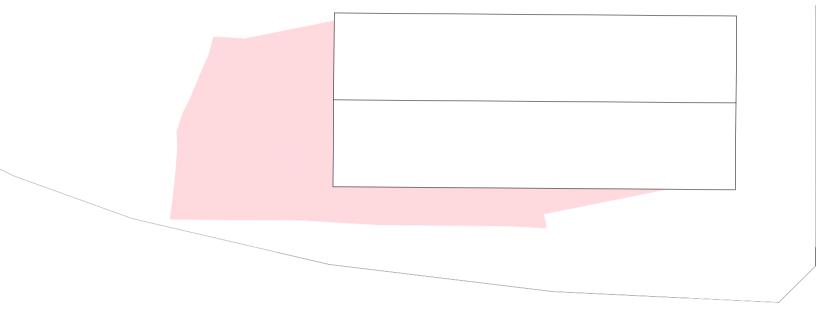
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June Shadows Noon SCALE 1:250 @ A1

June Shadows 3pm SCALE 1:250 @ A1









Ζ

Freshwater Mix Use project # 19045 50 Lawrence Street FRESHWATER NSW 2096

Shadow Diagrams June drawing # DA-4002 F



Certificate no .:

Assessor Name:

Accreditation no.:

Certificate date: Dwelling Address: 50 Lawrence Street

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NATIONWIDI

0004825700 Terry Chapman 20920 12 May 2020

admin@ckds.com.au www.ckds.com.au

P.O. Box 4400 East Gosford NSW Australia

Ph 02 4321 0503 ACN 129 231 269

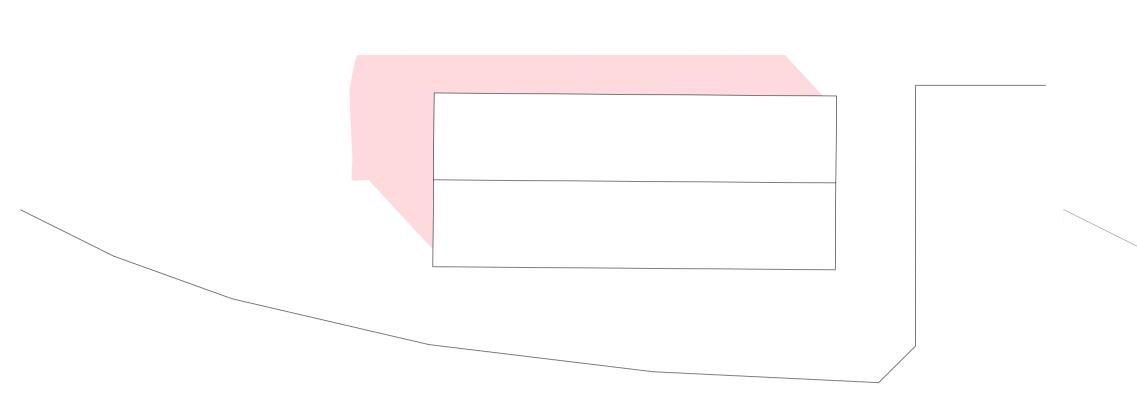


ABSA Australian Building

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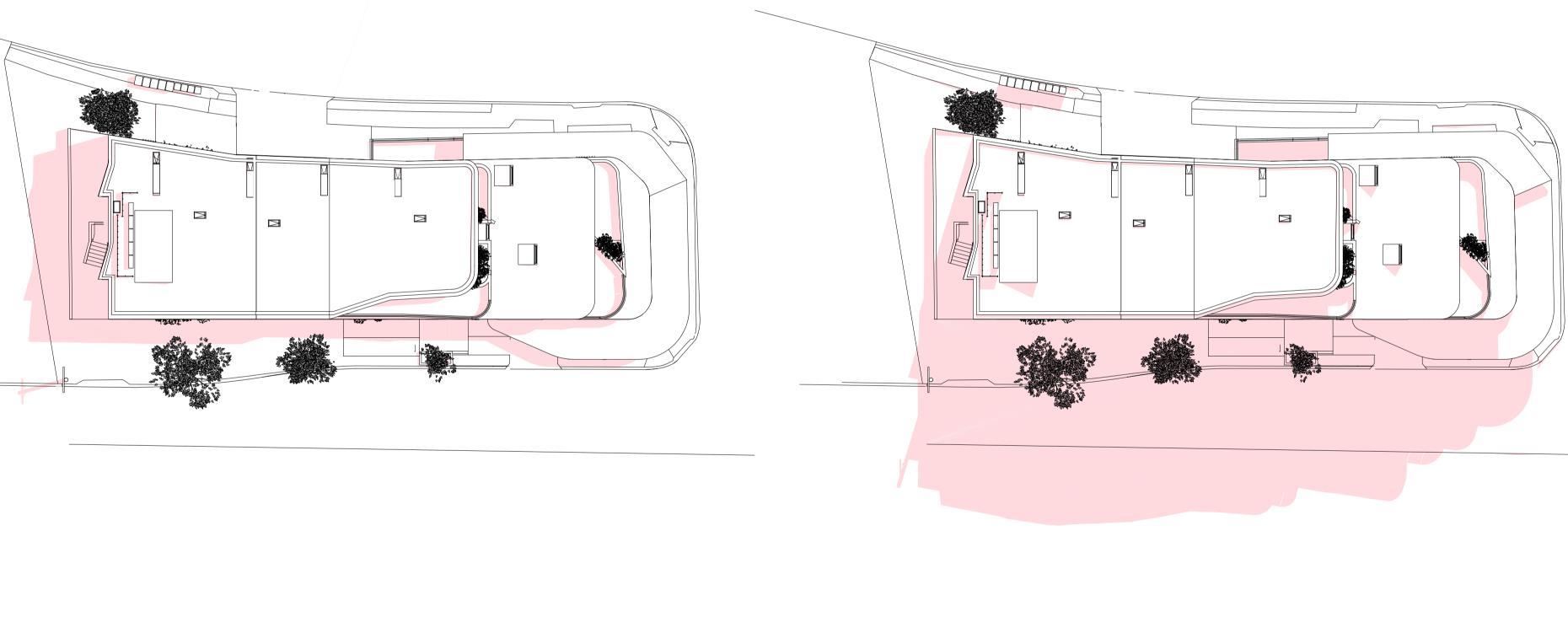


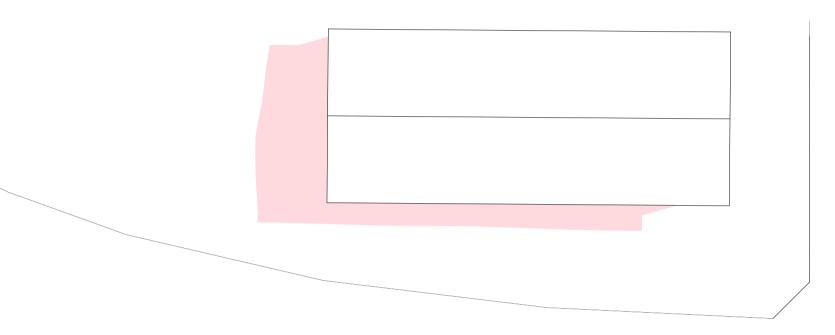


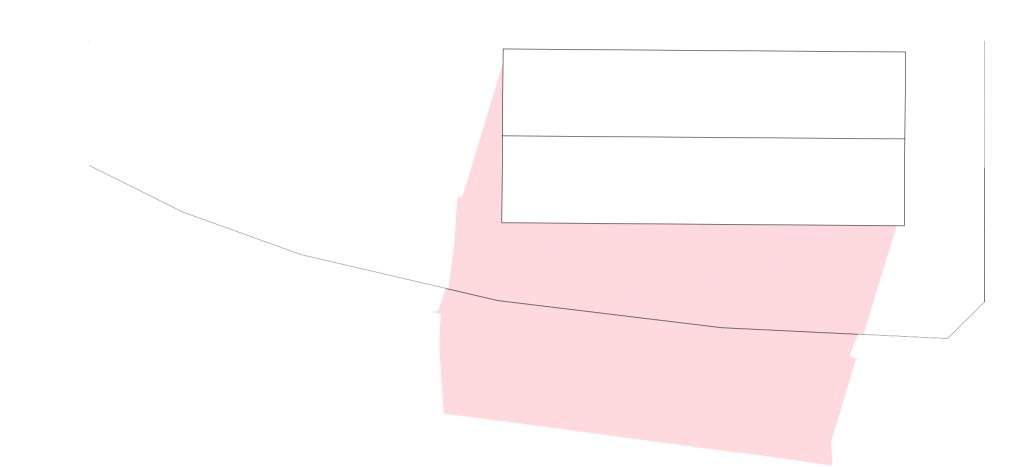


Sept Shadows Noon SCALE 1:250 @ A1

Scale 1:250 @ A1







Freshwater Mix Use project # **19045** 50 Lawrence Street FRESHWATER NSW 2096

Shadow Diagrams Sept drawing # DA-4003 F 1:250



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External Material Schedule ^{drawing #} **DA-7001**

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DOOR SCHEDULE					
NAME Sliding Door 23 Sliding Door 24	Sliding Door 23 Sliding Door 23 Sliding Door D104 D105 D2 4,410×3,320 2,500×2,630 6,100×2,6	201 D202 D203	Sliding Door 23 Sliding Do D204 1 2,100×2,267 2,100×2	D205 D206	Sliding Door 23 Sliding Door 23 D207 D208 1,735×2,650 5,600×2,250
			• • • •		Ζ
NAME Sliding Door 23 Sliding Door 24	Sliding Door 23 Door 23 Sliding Door D211 D212 D3 4,975×2,250 850×2,760 2,400×2,6	301 D302 D303	Sliding Door 23 Sliding Do D304 5,600×2,650 5,602×2	D305 D306	0 - -
Basix Requirements Summary - Multi DwellingFreshwater Unit DevelopmentPrepared by Chapman Environmental Services50 Lawrence Streetwww.basixcertificates.com.auFreshwaterNSW20961300 004 914		Thermal Performanceor TypesSuspended concrete slabernal WallsSteel framed With Pronto Rendere		rd insulation carpark ceiling only	Light 4
Water Target40Water Score41Energy Target35Energy Score35Max. Heating Load is (MJ/m²)40Actual Heating Load19.9Max. Cooling Load is (MJ/m²)26Actual Cooling Load23.6	Party	ernal WallsPlasterboardty WallsAFS or equivalinting (floor over)Concrete above plasterboard	with Nil with Nil with Nil		
Basix CommitmentsLandscapingTotal area of garden & lawn (m²)Ref PlansArea of indige	enous/low water use plants (m ²) 0 Ceili	ings (roof over) Concrete above plasterboard	with R2.5 Foilboa	rd insulation	
	4 star All taps 5 star Roof	f Concrete Metal	with Waterproof with R1.3 roof bla		
Alternative Water n/a Pool and Spa n/a		AF double glazed clear Or single Glaze	Group B AI M-004-01 I	J-Value 4.80 or less SHGC 0.51 +/- 5% J-Value 4.80 or less SHGC 0.59 +/- 5%	
Hot water systemGas instantaneousBathroom ventilationIndividual fan, ducted to facade or roof	Rating5 starwithManual switch on/off	to all windows and glazed doors unless no AF TB double glazed argon filled LowE	ted otherwise	-Value 2.91 or less SHGC 0.44 +/- 5%	Z
Kitchen ventilationIndividual fan, ducted to facade or roofLaundry ventilationIndividual fan, ducted to facade or roofCooling - living areas1-phase airconditioning	withManual switch on/offWinewithManual switch on/offRatingEER 2.5 - 3.0	to all windows and glazed doors unless no Unit 4, Unit 6, Unit 7, Unit 9,		-Value 2.90 or less SHGC 0.51 +/- 5%	Ш
Energy Cooling - bedrooms 1-phase airconditioning Heating - living areas 1-phase airconditioning	Rating EER 2.5 - 3.0 n/a Rating EER 2.5 - 3.0 n/a	Group A windows are Awning, Bifold, Cas Group B windows are Double hung, Fixed		are Bifold, Entry, French or Hinged are Sliding or Stacker	2
Heating - bedrooms 1-phase airconditioning Alternate Energy Photovoltaic system able to generate at least Gas cooktop & electric oven No outdoor clothesline required	RatingEER 2.5 - 3.0 3.5 peak kilowatts of electricityNote	AF = Aluminium Framed TB = Therm		TF = Timber Framed	
		Unit 1 - No Change Unit 2 - No Change Unit 3 - W109 removed			
		Unit 4 - D202, D203, D204, D205 - 2400mr Unit 5 - W205, W206, W207 - 1800X600 /	_	ternal blind fitted	ш – Ц
Certificate no.: 0004825700		Unit 6 - D206, D207, D208 - 2400mm high Unit 7 <i>-</i> D209, D210, D211 - 2400mm high Unit 8 - W201, W301 - 1800x600 // W308	- D211 to have an external blind fitted		
Absense number for the subscription Assessor Name: Terry Chapman Accreditation no.: 20920 Certificate date: 12 May 2020 Weigned a star ration Weigned a star ration		Unit 9 - W201, W301 - 1800x600 // W308 Unit 9 - W202, W302 - 1800x600 // W307 Unit 10 - W203, W303 - 1800x600 // W309	deleted // D305 - 2400mm high		Ш
Aussess russes Terry Chapman Aussess russes 20920 Aussess russes and ausses a		Unit 11 - W204, W304, W305 - 1800x600	_		_
admin@ckds.com.au www.nathers.gov.au			F	reshwater Mix Use	Glazing Schedule

			Basix Rec	quirements Summary	- Multi Dwelling			
Freshwater Unit Dev	elopment		Prepare	d by Chapman Enviro	nmental Services		C	()
50 Lawrence Street			www.ba	sixcertificates.com.a	J			
Freshwater	NSW	2096	1300 00	4 914				
Water Target		40	Water Sco	re	41			
Energy Target		35	Energy Sco	ore	35			
Max. Heating Load is	(MJ/m²)	40	Actual Hea	ating Load	19.9			
Max. Cooling Load is	(MJ/m²)	26	Actual Coc	oling Load	23.6			
				Basix Commitme	ents			
Landscaping	Total area	of garden &	lawn (m²)	Ref Plans	Area of indi	genous/low	water use plants (m ²)	0
Fixtures	Shower h	eads	3 star (>	7.5 but <= 9 L/min)	Toilets	4 star	All taps	5 5 star
Alternative Water	n/a							
Pool and Spa	n/a							
	Hot water	rsystem	Gas instan	taneous		Rating	5 star	
		ventilation	Individual	fan, ducted to facade	e or roof	with	Manual switch on/c	off
	Kitchen ve	entilation	Individual	fan, ducted to facade	e or roof	with	Manual switch on/c	off
	Laundry v	entilation	Individual	fan, ducted to facade	e or roof	with	Manual switch on/o	off
Enormy	Cooling -	living areas	1-phase ai	rconditioning		Rating	EER 2.5 - 3.0	
Energy	Cooling -	bedrooms	1-phase ai	rconditioning		Rating	EER 2.5 - 3.0	n/a
	Heating -	living areas	1-phase ai	rconditioning		Rating	EER 2.5 - 3.0	n/a
	Heating -	bedrooms	1-phase ai	rconditioning		Rating	EER 2.5 - 3.0	
	Alternate			aic system able to ger	nerate at least	3.5	peak kilowatts of elec	tricity
	Gas cookt	op & electric	oven	No outdoo	or clothesline requ	ired	Indoor clothes	line required



CKDS ARCHITECTURE

P.D. Box 4400 East Gosford NSW Australia

Ph 02 4321 0503 ACN 129 231 269

					Fresh	water Mix Use		lazing Schedule	issue
		W203, W303 - 1800x600 // W W204, W304, W305 - 1800x60		-					ш С
Unit 7 - D209, D210, D211 - 2400mm high - D211 to have an external blind fitted Unit 8 - W201, W301 - 1800x600 // W308 deleted // D306 - 2400mm high Unit 9 - W202, W302 - 1800x600 // W307 deleted // D305 - 2400mm high								>	
Unit 4 - D202, D203, D204, D205 - 2400mm high //W211, D204, D205, W212 to have an external blind f Unit 5 - W205, W206, W207 - 1800X600 // D204 2400mm high Unit 6 - D206, D207, D208 - 2400mm high // D208 to have an external blind fitted					blind fitted			— Ц	
	Unit 2 - N Unit 3 - W	lo Change lo Change V109 removed							
Notes	AF = Alum	ninium Framed TB = The	rmally Broken Aluminiur			mber Framed		-	۵ ۵
	Group A v	nit 6, Unit 7, Unit 9, windows are Awning, Bifold, (windows are Double hung, Fix				fold, Entry, French or Hing ding or Stacker	ed		Σ
AF TB double glazed argon filled LowEWindows and Doorsto all windows and glazed doors unless noted otherwise -					•	e 2.91 or less SHGC 0.4 e 2.90 or less SHGC 0.5			ш
		le glazed clear Or single Gla dows and glazed doors unless	(•	e 4.80 or less SHGC 0.5 e 4.80 or less SHGC 0.5		-	Z
Roof	Concret Metal		azed Low E	with R1.3 r	rproof memb roof blanket		Colour Light Colour Light		F
Ceilings (roof over)		e above plasterboard			Foilboard ins		Colour Licht		
Party Walls Ceiling (floor over)		equivalint e above plasterboard		with Nil with Nil					۵ ۵
Internal Walls	Plasterb			with Nil					_
External Walls		amed With Pronto Rende	ered Panels			bulk insulation	Colour Light		
Floor Types	Suspend	Thermal Performar ded concrete slab	nce Assessment Base			ments sulation carpark ceilin	g only		
00×2,650 4,2	50×2,650	4,250×2,650	5,600×2,6	650	5,602×2,650	5,420×2,6	50		-
g Door 23 Sliding D301	g Door 23 D302	Sliding Door 23 D303	Sliding Door D3	23 Sli 304	ding Door 23 D305	Sliding Door 2			-
									Z
<	< 		• • •			⊢ ⊢			
	6-7						1		
	D202 00×2,650	D203 2,400×2,650	2,100×2,2		D205 2,100×2,271	D2 4,435×2,6		D207 2,650 5,6	D208 600×2,250
	g Door 23	Sliding Door 23	Sliding Door		ding Door 23	Sliding Door			ig Door 23
*	· · · · ·	←-¬				←-¬			

riesnwaler with Use project # **19045** 50 Lawrence Street FRESHWATER NSW 2096

^{drawing #} **DA-7101** 2:1



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WINDOW SCHEDULE								
ELEVATION								
ID	W101	W102	W103	W104				
W x H	2,100×570	1,400×3,200	850×1,500	850×1,500				
SILL HEIGHT	2,650	220	1,150	1,150				
COMMENT								

WINDOW SCHEDULE								
ELEVATION								
ID	W111	W201	W202	W203				
WxH	2,810×2,000	850×1,500	850×1,500	850×1,500				
SILL HEIGHT	675	1,150	1,150	1,150				
COMMENT								

WINDOW SCHEDULE					
ELEVATION					
ID	W214	W215	W301	W302	
WxH	900×1,400	530×2,400	850×1,550	850×1,550	
SILL HEIGHT	3,890	250	1,300	1,300	
COMMENT					

SKYLIGHT SCHEDULE - REFER TO ROOF PLAN



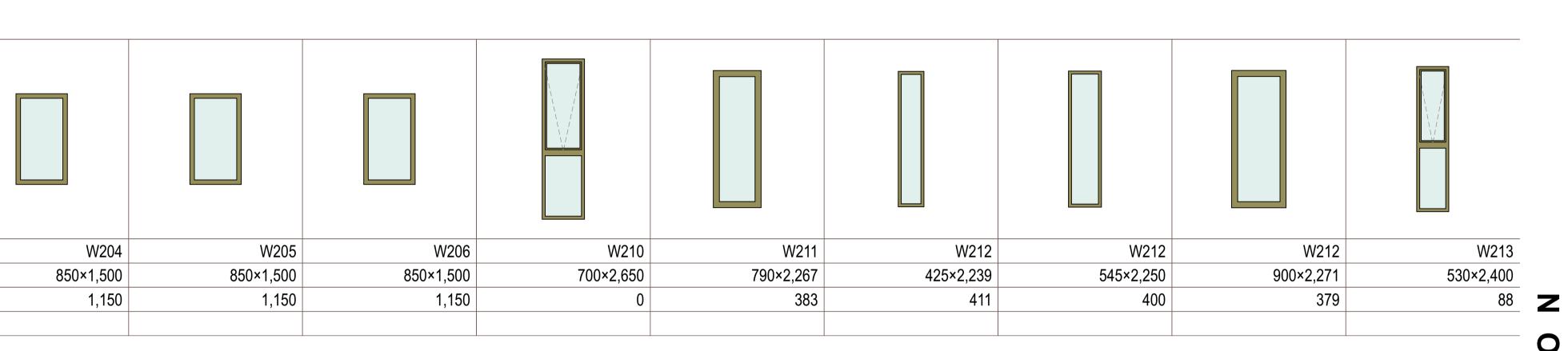
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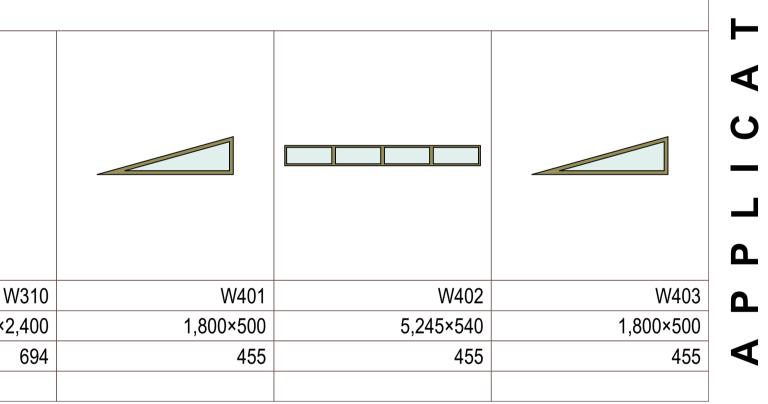
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W106	W108	W109	W110
1,400×2,200	2,700×2,700	2,500×690	1,400×3,260
1,120	185	2,530	0



W303	W304	W305	W306	W309	W3
850×1,550	850×1,294	850×1,282	700×1,650	500×2,400	530×2,4
0	1,303	1,315	1,000	46	6







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Freshwater Mix Use

3D Perspective drawing # **SK-0003** 1:208.33



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Freshwater Mix Use project# 19045 50 Lawrence Street FRESHWATER NSW 2096

3D Perspective drawlog # SK-0004 1:209.49



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APARTMENT DEVELOPMENT

48 LAWRENCE STREET, FRESHWATER NSW DWG.No: LPDA 20 - 190 / 1



			_
port byAura Tree S	Services prep	ared on March 2020	
Size (Ht x Sp)	Condition	Action	
7x7.5	Good	Remove & replace	
14.5x5	Good	Remove	
6.5x6.5	Fair	Remove & replace	
ENT			
d for review			
ct's comments & storm	water plan		
ct's comments & ameno	ded architectural	plan	

Phone: 9922 5312 Fax: 8209 4982 Mob: 0413 861 351

www.conzept.net.au enquiries@conzept.net.au

LEGEND & SCHEDULE

1. ALL FINAL PLANT QUANTITIES INDICATED ON PLANS SHALL BE CHECKED AND VERIFIED BY SUCCESSFUL LANDSCAPE CONTRACTOR. 2. ANY PLANT SUBSTITUTES REQUIRED DUE TO UNAVAILABILITY SHALL BE RECOMMENDED BY THE LANDSCAPE CONTRACTOR TO BEST MATCH SUBSTITUTED PLANTS AND APPROVED PRIOR TO PURCHASING BY THE LANDSCAPE ARCHITECT.

3. WORKS CERTIFIED FOR FINAL OCCUPANCY CERTIFICATE ARE TO MATCH APPROVED LANDSCAPE PLANS. 4. LANDSCAPE CONTRACTOR SHALL LOCATE AND AVOID SITE STORM WATER & DRAINAGE SERVICES. LOCATE TREES A MINIMUM 1.25M FROM PITS

5. ALL PLANTING AROUND EXISTING TREES SHALL BE ADJUSTED TO AVOID DAMAGE AND CLASHING WITH SURFACE ROOTS. 6. THE NATURE STRIP (STREET FRONTAGE) FOR THE SITE IS PUBLIC LAND, AND

ONLY AUTHORIZED WORKS MAY OCCUR HERE. EXISTING CONDITIONS SUCH AS STREET TREES, COUNCIL PLANTING ETC SHALL BE RETAINED AND PROTECTED DURING CONSTRUCTION, UNLESS SPECIFIC APPROVAL HAS BEEN GRANTED FOR NEW WORK IN THIS AREA.

TREES

Botanical Name: Lagerstroemia 'Natchez' Common Name: Crepe Myrtle (Exotic) Pot size: Mature H x S: Qty Required:

100Lt

6m x 4m

SHRUBS AND HEDGES

Botanical Name: Rhaphiolepis indica Common Name: Indian Hawthorn (Exotic) Pot size: 300mm Mature H x S: 1.5m x 1.8m Qty Required: 2

Botanical Name: Viburnum odoratissimum Common Name: Sweet Viburnum (Exotic) Pot size: 300mm Mature H x S: 3m x 2m 5 Qtv Required:

ACCENT PLANTS

Botanical Name: Phormium tenax 'Purpureum' Common Name: New Zealand Flax (Exotic) Pot size: 300mm Mature H x S: 0.9m x 0.9m Qty Required:

GRASSES / GROUNDCOVERS

Climber Mix: Cissus antarctica Pyrostegia venusta Pandorana jasminiodes

Pot size: 100mm Mature H x S: 0.3m x climbing 7/m2 (14.4m2 total) Qty Required: Botanical Name: Myoporum parvifolium 'Yareena'

Common Name: Creeping Boobialla (Native) Pot size: 140mm Mature H x S: 0.15m x spreading Qty Required: 7/m2 (3.0m2 total)

LANDSCAPE PLAN NOTES

This plan should be read in conjunction with the architectural and hydraulics plans. Work specific to these plans should be prepared in accordance to these plans, including specification and details prior to the installation of landscaping, and should not be altered or compromised during landscape construction Elements such as drainage swales may be incorporated in garden bed areas (using non-floatable mulch) without compromising the capacity or form.

This plan has been prepared for Development Application approval only, not for construction.

This plan has been prepared with reference to **NORTHERN** BEACHES Councils Landscaping Guidelines & requirements. Planting proposed using mainly indigenous, commercially available plant species selected from local planting lists and the BASIX local plant list and from Sydney Waters "Plant Selector"web site one-drip rated native plants (acceptable for Basix planting).

The Design & location of new letter boxes shall be in accordance with Australia Post's "Requirements for Delivery of Mail to Residential Premises" published Feb '97. All noxious weeds listed in Councils weed lists & located on the site shall be continually removed & suppressed. Reinstate all boundary fencing in poor condition with Council approved 1.8m fencing to rear of building line, rake to 1m forward of BL. Pollution. sediment & erosion control devices as specified shall be in place, and maintained for the duration of the construction period. Proposed excavation near existing established trees to be supervised by arborist.

D.A approved landscape plan's are required to be constructed as approved to obtain occupancy certificate. Permeable areas may be indicated to achieve site coverage restrictions & should be constructed as drawn on this plan.

SAMPLE IMAGES Images are diagrammatic only, and final planting species may vary, as determined by Council Approva



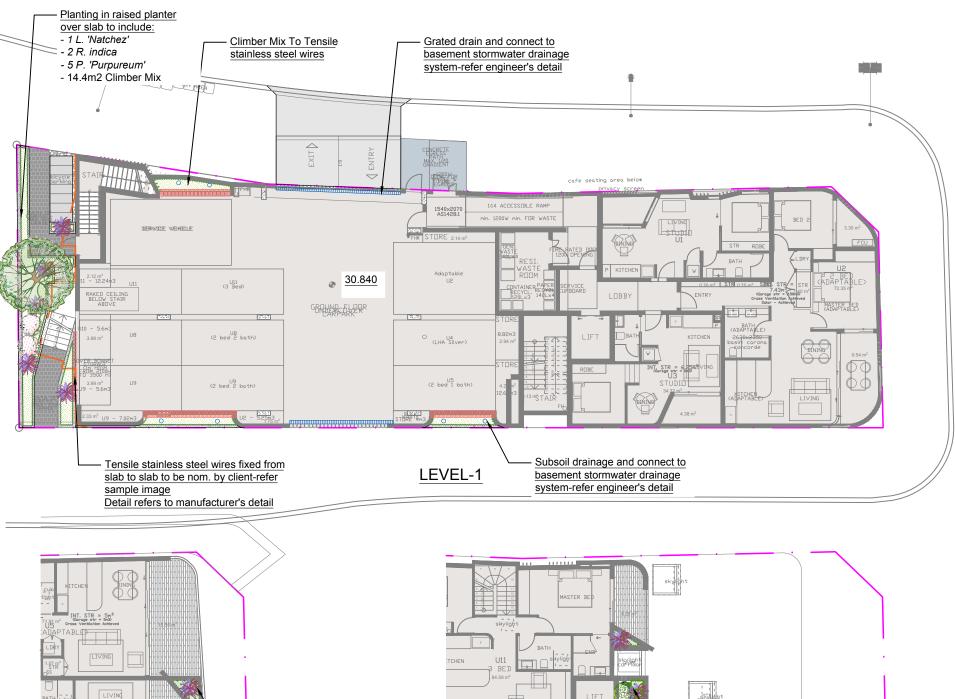




Lagerstro



Viburnum odoratissi



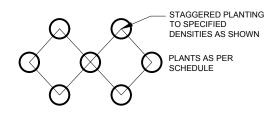




	ſ	General Notes:	AILA Associate			REV	DATE	NOTATION/AMENDMENT	COUNCIL		1
	OTHER LANDSCAPE ITEMS			www.dialbefo	preyoudig.com.au	A	26.2.2020	Preliminary plan prepared for review	NORTHERN BEACHES		
		Figured dimensions take preference to scale readings. Verify all dimensions on site. PDF/d plans may vary slightly in Scale for that indicated on plans. Report any discrepancies to the Landscape				В	03.04.202	0 Co-ordinated with architect's	1		
ğΑ.	Decorative gravel over slab to be nom. by	Architect before proceeding with the work.	<u>se</u>		DIAL 1100			comments & stormwater plan	CLIENT	Cor	-
52	client	Copyright Sulphurcrest Enterprises Pty Ltd Trading as CONZEPT	Australian Institute of	B	EFORE YOU DIG	С	09.04.20	Co-ordinated with architect's comments &			Zepi
	Retaining / raised planter wall - refer detail	C (ABN: 75 623 405 630) This drawing is protected by copyright. All rights are reserved. Unless permitted under the Copyright Act	Landscape Architects	-				amended architectural plan			_
	U	1968, no part of this drawing may in any form or by any means be reproduced, published, broadcast or			\frown				ARCHITECT	Landscap	pe Architecta
	Tensile stainless steel wires to be nom. by	transmitted without the prior written permission of the copyright owner. If the Status of this drawing is not signed off For Construction it may be subject to change, alteration or							CKDS ARCHITECTURE	Conzept	Suite 101. 506 Miller St
	client	amendment at the discretion of our office. If so, Conzept is not liable for any loss, damage, harm or injury								Landscape Architects	CAMMERAY NSW 2062
	detail refers to manufacturer's detail	whether special, consequential, direct or indirect, suffered by you or any other person as a result of your use of this drawing for construction purposes.	Bar Scale		\smile				STATUS / ISSUE		Phone: 9922 5312
	Street tree tree guard-refer detail	These plans and associated IP remain the property of Sulphurcrest Enterprises (T/A Conzept) until such time as all agreed payments are made in full. We retain the right to withdraw this information from the assessment				. –			DA - ISSUE C	www.conzept.net.au	Fax: 8209 4982
		process if such payments are not made following the notification period.	0 3	2 4	6 8	10m				enquiries@conzept.net.a	au Mob: 0413 861 351

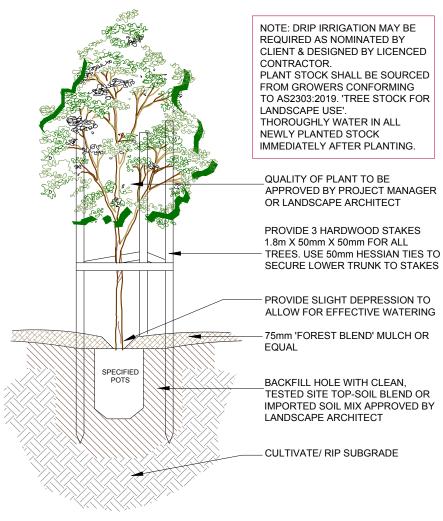
Decorative gravel over slab to be nom. by client
Retaining / raised planter wall - refer detail
Tensile stainless steel wires to be nom. by client

Т	ITLE:	DWG.No:	
	LANDSCAPE PLAN	LPDA 20	- 190 / 2
		SCALE:	
pi	PROPOSED RESIDENTIAL DEVELOPMENT		@ A3
iecis		DATE:	
Miller St SW 2062	48 LAWRENCE STREET	MARC	CH 20
22 5312		DRAWN:	CHECKED:
09 4982 8 861 351	FRESHWATER	K.Z	R.F
9 4982	FRESHWATER		



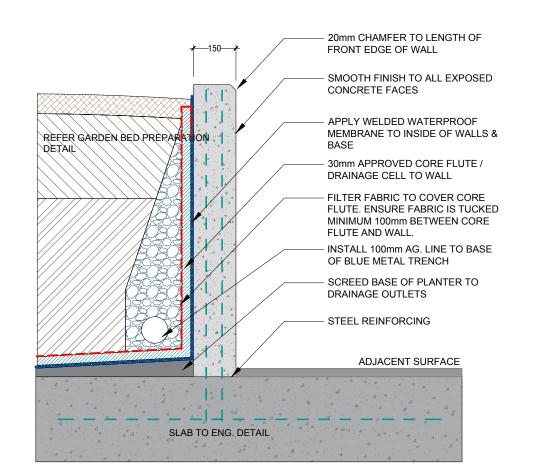
MASS PLANTING SETOUT

N.T.S



TREE PLANTING DETAIL SCALE: NTS

(ONLY APPLICABLE FOR PLANTING AREA OUTSIDE TREE PROTECTION ZONE OF TREES TO BE RETAINED. NO CHANGES ARE TO OCCUR TO EXISTING LEVELS, INCLUDING RIPPING/CULTIVATING OF THE SOIL WITHIN THE TPZ OF TREES TO BE RETAINED ON SITE)



TYPICAL IN SITU RETAINING WALL ON SLAB DETAIL SCALE 1:10



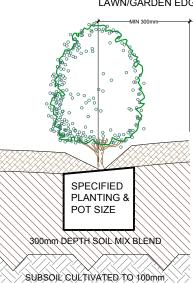
ttps://www.tensile.com.au/project/stonnington-city-council-office/

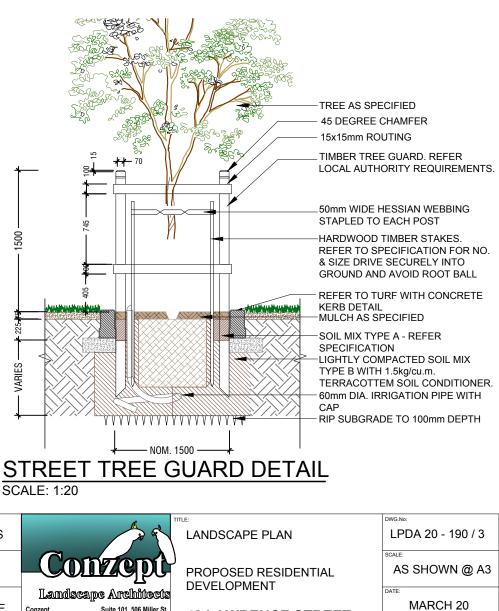
SCALE: 1:20

SCALE 1:10

Tensile wire sample image

	AILA Associate		REV	/ DATE	NOTATION/AMENDMENT	COUNCIL		A .
		www.dialbeforeyoudig.com.au	Α	26.2.2020	Preliminary plan prepared for review	NORTHERN BEACHES		A R
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						CLIENT		10000
ses Pty Ltd Trading as CONZEPT	Australian Institute of Landscape Architects	BEFORE YOU DIG						Zepi
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phurcrest Enterprises (T/A Conzept) until such time						STATUS / ISSUE		Phone: 9922 5312
phurcrest Enterprises (T/A Conzept) until such time tht to withdraw this information from the assessment						DA - ISSUE A	www.conzept.net.au	Fax: 8209 4982
fication period.							enquiries@conzept.net.	au Mob: 0413 861 351





48 LAWRENCE STREET

R.F

K.Z

FRESHWATER

General Notes:

y vary slightly in Scale for that indicated on pla shitect before proceeding with the work.

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her special, consequential, direct or indirect, suffe

TYPICAL SETBACK FROM LAWN/GARDEN EDGE

NOTE

THIS DETAIL IS ONLY APPLICABLE FOR PLANTING AREA OUTSIDE TREE PROTECTION ZONE OF TREES TO BE RETAINED NO CHANGES ARE TO OCCUR TO

EXISTING LEVELS, INCLUDING **RIPPING/CULTIVATING OF THE SOIL** WITHIN THE TPZ OF TREES TO BE RETAINED ON SITE

75mm DEPTH "FOREST BLEND" MULCH OR EQUIVALENT

SOIL MIX:

50% OF STOCKPILED SITE TOPSOIL FREE FROM ALL BUILDER'S RUBBISH AND DELETERIOUS MATERIALS. TOPSOIL TO BE MIXED WITH MINIMUM 50% IMPORTED GARDEN MIX OR SOIL CONDITIONER/ COMPOSTED ORGANIC MATTER - SEE SPEC USE 100% IMPORTED SOIL MIX WHEN SITE TOPSOIL RUNS OUT.

TYPICAL GARDEN PREPARATION DETAIL

LANDSCAPE WORK SPECIFICATION

PRELIMINARIES

1.01 GENERAL

The following general conditions should be considered prior to the commencement of landscape works:

The landscape plans should be read in conjunction with the architectural plans, hydraulic plans, service plans and survey prepared for the proposed development

- All services including existing drainage should be accurately located prior to the commencement of landscape installation. Any proposed tree planting which falls close to services will be relocated on site under the instruction of the landscape architect.
- Installation of conduit for required irrigation, electrical and other services shall be completed prior to the commencement of hardscap works and hardstand pours
- All outdoor lighting specified by architect or client to be installed by qualified electrician
- Anomalies that occur in these plans should be brought to our immediate attention. Where an Australian Standard applies for any landscape material testing or installation technique, that standard shall be followed.

1.02 PROTECTION OF ADJACENT FINISHES

The Contractor shall take all precautions to prevent damage to all or any adjacent finishes by providing adequate protection to these areas / surfaces prior to the commencement of the Works

1.03 PROTECTION OF EXISTING TREES

Existing trees identified to be retained shall be done so in accordance with AS 4970-2009 Protection of trees on development sites as well as in accordance with the tree protection measures prepared by project arborist

Where general works are occurring around such trees, or pruning is required, a qualified Arborist shall be engaged to oversee such works and manage tree health.

Existing trees designated on the drawing for retention shall be protected at all times during the construction period. Any soil within the drip-line of existing trees shall be excavated and removed by hand only. No stockpiling shall occur within the root zone of existing trees to be retained.

Any roots larger in diameter than 50mm shall only be severed under instruction by a gualified arborist. Roots smaller than 50mm diameter shall be cut cleanly with a say

Temporary fencing shall be installed around the base of all trees to be retained prior to the commencement of landscape works. Where possible this fencing will be located around the drip line of these trees, or a minimum of 3m from the trunk. The fencing shall be maintained for the full construction period.

1.04 EROSION & POLLUTION CONTROL

The Contractor shall take all proper precautions to prevent the erosion of soil from the subject site. The contractor shall install erosion & sediment control barriers and as required by council, and maintain these barriers throughout the construction period. Note that the sediment control measures adopted should reflect the soil type and erosion characteristics of the site.

Erosion & pollution control measures shall incorporate the following:

Construction of a sediment trap at the vehicle access point to the subject site. Sediment fencing using a geotextile filter fabric in the location indicated on the erosion control plan or as instructed on site by the

landscape architect. Earth banks to prevent scour of stockpiles

- Sandbag kerb sediment traps
- Straw bale & geotextile sediment filter
- Exposed banks shall be pegged with an approved Jute matting in preparation for mass planting

Refer to 'Guidelines for Erosion and Sediment Control on Building Sites' by DLWC (2000) for construction techniques

SOIL WORKS

2.01 MATERIALS

Specified Soil Conditioner (Generally to improve site soil)

The specified soil conditioner for site top-soil improvement shall be an organic mix complies with AS 4454-2012 Composts, soil conditioners and mulches. Note that for sites where soil testing indicates toxins or extremes in pH, or soils that are extremely poor, allow to excavate and supply 300mm of imported soil mix

New gardens & proposed Planting

New garden and planting areas shall consist of a 50/50 mix of clean site soil (refer d) below) and imported soil. All mixes are to comply with AS4419-2003 Soils for Landscaping and garden use, & AS 4454 Composts, Soil conditioners & mulches.

Specified Soil Mix - Turf

The specified soil mix for all turf areas shall be a min 75mm layer of imported soil mix consisting of 80% washed river sand (reasonably coarse), and 20% composted organic matter equivalent to mushroom compost or soil conditioner, or other approved lawn top dress

Site Topsoil

Site topsoil is to be clean and free of unwanted matter such as gravel, clay lumps, grass, weeds, tree roots, sticks, rubbish and plastics, and any deleterious materials and materials toxic to plants. The topsoil must have a pH of between 5.5 and 7. Use 100% imported soil mix when site when site topsoil runs out.

2 02 INSTALLATION

Note: No level changes (Cut or Fill), soil ripping within the Tree Protection Zones of trees to be retained

a) Testing All testing is to be conducted in accordance with AS4419-2003 Soils for Landscaping and garden use Methods for testing soils for engineering purposes. Site soil shall be given a pH test prior to modifying to ensure conditions are appropriate for planting as stated above. Tests shall be taken in several areas where planting is proposed, and the pH shall be adjusted accordingly with sulphur or lime to suit.

Note that a soil test conducted by the Sydney Environmental & Soil Laboratory or approved equal shall be prepared for all commercial, industrial and multi-unit residential sites. The successful landscape contractor shall implement the recommendations of this test

Set Out of Individual Trees & Mass Planting Areas

All individual tree planting positions and areas designated for mass planting shall be set out with stakes or another form of marking, ready for inspection and approval. Locate all services.

c) Establishing Subgrade Levels

bubgrade levels are defined as the finished base levels prior to the placement of the specified material (i.e. soil conditioner). The following subgrade levels shall apply: Mass Planting Beds - 300mm below existing levels with specified imported soil mix.

as all agreed payments are made in full. We retain the right to withdraw this information from the ass

Turf areas - 100mm below finished surface level

Note that all subgrades shall consist of a relatively free draining natural material, consisting of site topsoil placed previously by the Civil Contractor. No builders waste material shall be acceptable.

Subgrade Cultivation

Cultivate all subgrades to a minimum depth of 100mm in all planting beds and all turf areas, ensuring a thorough breakup of the subgrade into a reasonably coarse tilth. Grade subgrades to provide falls to surface and subsurface drains, prior to the placement of the final specified soil

e) Drainage Works

Install surface and subsurface drainage where required and as detailed on the drawing. Drain subsurface drains to outlets provided, with a minimum fall of 1:100 to outlets and / or service pits

Placement and Preparation of Specified Soil Conditioner & Mixes.

Trees in turf & beds - Holes shall be twice as wide as root ball and minimum 100mm deeper - backfill hole with 50/50 mix of clean site soil and imported "Organic Garden Mix" as supplied by ANL or approved equal. Mass Planting Beds - Install specified soil conditioner to a compacted depth of 100mm

Place the specified soil conditioner to the required compacted depth and use a rotary hoe to thoroughly mix the conditioner into the top 300mm of garden bed soil. Ensure thorough mixing and the preparation of a reasonably fine tith and good growing medium in preparation for planting. Turf Areas - Install specified soil mix to a minimum compacted depth of 75mm.

Place the specified soil mix to the required compacted depth and grade to required finished soil levels, in preparation for planting and turfing.

PI ANTING

3.01 MATERIALS

a) Quality and Size of Plant Material

All trees supplied above a 251 container size must be grown and planted in accordance with AS 2303 2019 Tree stock for landscape use. Certification that trees have been grown to AS2303:2018 guidelines is to be provided upon request of Council's Tree Management Officer

Above - Ground Assessment: he following plant quality assessment criteria should be followed:

Plant true to type, Good vigour and health, free from pest & disease, free from injury, self-supporting, good stem taper, has been pruned correctly, is apically dominant, has even crown symmetry, free from included bark & stem junctions, even trunk position in pot, good stem

structure

Below - Ground Assessment: Good root division & direction, rootball occupancy, rootball depth, height of crown, non-suckering For further explanation and description of these assessment criteria, refer to AS2303:2019.

All Plant material shall be to the type and size specified. No substitutions of plant material shall be permitted without written prior approval by the Landscape Architect. No plant shall be accepted which does not conform to the standards listed above

b) Stakes and Ties

Provide min. 3 No. Stakes and ties to all plants identified as trees in the plant schedule. Stakes shall be sound, unpainted, straight hardwood, free of knots and pointed at one end. They shall be 2200mm x 50mm x 50mm Hardwood, or approved alternative. Ties shall be 50mm wide hessian webbing material.

c) Fertilisers

Fertilisers shall be approved slow release fertilisers suitable for the proposed planting types. Note that for native plants, specifically Proteaceae family plants including Grevillea species, low phosphorus fertilizers shall be used.

d) Mulch Mulch shall be an approved equal to "Forest Blend" as supplied by ANL. Mulch shall be completely free from any soil, weeds, rubbish or other debris.

Turf

. Turf shall be soft leaf Buffalo or equivalent (unless stated otherwise), free from any weeds and other grasses, and be in a healthy growing

3.02 INSTALLATION

a) Setting Out

All planting set out shall be in strict accordance with the drawings, or as directed. Note that proposed tree planting located near services should be adjusted at this stage. Notify Landscape Architect for inspection for approval prior to planting.

b) Planting All plant material shall be planted as soon after delivery as possible. Planting holes for trees shall be excavated as detailed and specified. Plant containers shall be removed and discarded, and the outer roots gently teased from the soil mass. Immediately set plant in hole and backfill with specified soil mix, incorporating the approved quantity of fertiliser for each plant type. Ensure that plants are set plumb vertically and root balls set to the consolidated finished grades detailed on the drawings. Compact the backfilled soil and saturate by hand watering to expel any remaining air pockets immediately after planting

Staking and Tying

Staking and tying shall be in strict accordance with the drawings and shall occur immediately following plant placement and soil backfilling. All plants identified as "Trees" on the planting schedule shall be staked with a min. 3 stakes.

Mulching

Mulch for general planter bed shall be an approved equal to "Forest Blend" as supplied by ANL. Mulch shall be completely free from any soil, weeds, rubbish or other debris. Mulch for bio-retention/rain garden area where is required shall be non-floatable materials that could include crushed rock, gravel, coarse river sand, scoria or river pebbles. 4-7mm screenings or similar.

Turfina

Moisten soil prior to the turf being laid. Turf shall be neatly butt jointed and true to grade to finish flush with adjacent surfaces. Incorporate a lawn fertilizer and thoroughly water in. Keep turf moist until roots have taken and sods/rolls cannot be lifted. Keep all traffic off turf until this has occurred. Allow for top dressing of all turf areas. All turf shall be rolled immediately following installation.

Nature Strip and public domain works

The nature strip (street frontage) for the site is public land, and only authorized works may occur here. Existing Conditions such as street frees, council planting etc shall be retained and protected during construction, unless specific approval has been granted for new work in this area. Where council policy specifies a particular unit paver, material finish, pattern or treatment, it shall be the

contractors responsibility to check and verify that this material & treatment is correct and current prior to undertaking construction works

HARDSCAPE WORKS

4.01 GENERAL

The Contractor shall undertake the installation of all hardscape works as detailed on the drawing, or where not detailed, by manufacturers specification

General Notes:	AILA Associate		REV	DATE	NOTATION/AMENDMENT	COUNCIL		<i>A</i> .
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ese plans and associated IP remain the property of Sulphurcrest Enterprises (T/A Conzept) until such time all approved payments are made in full. We retain the night to withdraw this information from the accomment				+			www.conzept.net.au	Fax: 8209 498

DA - ISSUE A

Paving - refer to t	ypical details prov
satisfying Council	permeable surfa
a la all in a second a star star.	

shall nominate the appropriate paving material to be used. the Landscane Architect

IRRIGATION WORKS

5.01 GENERAL (PERFORMANCE SPECIFICATION)

building contractual arrangements

on terraces, over slabs and in Communal Open Spaces determined by the building contract.

New irrigation systems to planting areas shall be a Commercial Grade Irrigation System conforming to all relevant Australian standards, including AS 3500 & the Gas and Electricity (Consumer Safety) Act 2017, Workplace Health & Safety Act 2011, & the latest Sydney Water Code

efficient usage of wate

centres with galv wire pins

service and conduit locations

CONSOLIDATION AND MAINTENANCE

Topping up of mulched areas.

Adjusting ties to Stakes

water supply

6.01 GENERAL

Paving - refer to twical details provided, and applicable Australian Standards. Permeable paving may be used as a suitable means of ace requirements, while providing a useable, hardwearing, practical surface. In most instances, the client

Australian Standards shall be adhered to in relation to all concrete, masonry & metal work. Some details are typical and may vary on site. All hardscape works shall be setout as per the drawings, and inspected and approved by the Landscape Architect prior to installal workmanship shall be of the highest standard. Any gueries or problems that arise from hardscape variations should be bought to the attention of

Your attention is directed to any obligations or responsibilities under the Dividing Fences Act, 1991 in respect of adjoining property owner/s which may arise from this application. Any enquiries in this regard may be made to the Crown Lands on 1300 886 235.

This is a general Irrigation Performance Specification only, as a guide for projects requiring irrigation systems as part of consent requirements or

An automated irrigation system is recommended for the effective establishment of new gardens, and to assist with the success of planting areas The inclusion of this general specification is no guarantee that an irrigation system forms part of the landscape scope of works, which will be

An automated drip-irrigation system is to be installed to all gardens, planters and lawn areas in accordance with the approved Irrigation Design. This system shall be designed and installed by a qualified and licensed irrigation specialist, to the highest industry standards and to maximise the

The Installer is required to obtain all approvals necessary for the completion of works in accordance with the Laws of Australia, Laws of the State of NSW. Northern Beaches Council By-Laws and Ordinance

Drawings: - The Landscape Contractor nominated Licensed Irrigation Specialist shall provide irrigation drawings for approval upon engagement.

Design Requirements: - The irrigation system shall be installed prior to all planting works. It shall incorporate a commercially available irrigation system, with sub-surface dripper lines to irrigate all gardens, planters and lawn areas. It shall incorporate a suitable back flow prevention device for the scale of works, an in-line filter, check valves, and suitable high and low density poly hose fittings and PVC piping to achieve flow rates suitable for specified planting. - The irrigation application rate shall not exceed the infiltration rate of the soil or creates run-off

The landscape contractor shall check the existing pressure available from the ring mains and size irrigation piping to suit. Supply shall be from local hose cock where available. - All piping and fittings shall be buried 50mm below the finished soil levels in garden and lawn areas, and secured in position at 500mm

Size of pipes shall be selected to ensure the working pressure at the end of the line does not decrease by more than 5%.

Services Co-ordination: - Co-ordination required by Landscape Contractor or Project Manager to provide required conduit, pipe work and penetration through slabs and planter walls for water and power provisions. The Landscape Contractor shall be engaged with the Irrigation Specialist to co-ordinate with the Project Manager to identify the preferred

Project Manager and Landscape Contractor to establish area suitable for irrigation control system with required area, power provision and

 Testing & Defects:

 Upon completion of installation, the system shall be tested, including:

 Main Line Pressure Test: The main line is pressurised to test for leaks. All valves are shut and the pressure is taken over a determined

Dripper Pressure Test: Measurement at flushing valves are taken and the pressure gauged to make sure it conforms to the manufacturer recommendations. The inlet pressure is then tested under the same conditions to check it does not exceed 300Kpa. All components are to be satisfactorily functional and operational prior to approval. Should any defect develop, or the capacity or efficiency of the system decline during the agreed maintenance system, then these faults shall be immediately rectified.

Warranty : - A full 12 month warranty shall be included to cover labour and all parts.

<u>Further Documentation:</u>
 On request, a detailed irrigation performance specification report can be issued.

The consolidation and maintenance period shall be 12 months beginning from the approved completion of the specified construction work (Practical Completion). A qualified landscape maintenance contractor shall undertake the required landscape maintenance works. Consolidation and maintenance shall mean the care and maintenance of Contracted works by accepted landscaping or horticultural practices, ensuring that all plants are in optimum growing conditions and appearance at all times, as well as rectifying any defects that become apparent in the contracted

This shall include, but not be limited to, the following items where and as required:

Watering all planting and lawn areas / irrigation mainter Clearing litter and other debris from landscaped areas.

Removing weeds, pruning and general plant maintenance.

Replacement of damaged, stolen or unhealthy plants. Make good areas of soil subsidence or erosion.

ment for Insect and disease control Fertilizing with approved fertilizers at correct rates.

Mowing lawns & trimming edges each 14 days in summer or 18 days in winter

Maintenance of all paving, retaining and hardscape elements.

On the completion of the maintenance period, the landscape works shall be inspected and at the satisfaction of the superintendent or lan architect, the responsibility will be signed over to the client.



SPECIFICATIONS

PROPOSED RESIDENTIAL DEVELOPMENT



DWG.No:	DWG.No:					
LPDA 20 - 190 / 4						
SCALE:						
DATE:						
MARCH 20						
DRAWN:	CHECKED:					
K.Z	R.F					