

BERBIGIER HOUSE

ALTERATIONS

44 ENNERDALE CRESCENT  
WHEELER HEIGHTS  
NSW 2097

SUBJECT SITE



EXISTING EXISTING BALCONY 02



PROPOSED PROPOSED ENCLOSURE TO EXISTING BALCONY 02

DEVELOPMENT SUMMARY  
AREA CALCULATIONS

- SITE INFO:  
SITE AREA - 44 ENNERDALE CRESCENT WHEELER HEIGHT= 637.8 m²  
DENSITY SUBZONE R2 (LOW DENSITY RESIDENTIAL)
- GROSS FLOOR AREA (GFA):  
EXISTING TOTAL GROSS FLOOR AREA = 214.4m²  
= 21.6m² LGF +97.4m² GF +95.4m² FF  
PROPOSED TOTAL GROSS FLOOR AREA = 224.5m²  
= 21.6m² LGF+97.4m² GF +105.5m² FF  
  
EXISTING LOWER GROUND FLOOR GFA= 21.6m²= NO CHANGES  
EXISTING GROUND FLOOR GFA= 97.4m² = NO CHANGES  
EXISTING FIRST FLOOR GFA= 95.4m²  
PROPOSED FIRST FLOOR GFA = 105.5m²
- DECK + BALCONY AREAS:  
EXISTING DECK AREAS = 17.2m²+24.6m²+18.4m²+10.7m²=70.9m²  
=LOWER TERRACE + TERRACE + BALCONY 01+ BALCONY 02  
PROPOSED DECK AREAS= 17.2m²+24.6m²+18.4m²=60.2m²
- LANDSCAPE OPEN SPACE AREAS (L.O.S.):  
REQUIRED LANDSCAPE OPEN SPACE >2m WIDTH =  
= MIN 40% OF SITE AREA= 255.1 m²  
EXISTING = PROPOSED LANDSCAPE OPEN SPACE =  
=339.6 +14.8=354.4m² =55.6% >40% COMPLIANT= NO CHANGES
- PRINCIPAL PRIVATE OPEN SPACE (P.O.S.):  
REQUIRED PRIVATE OPEN SPACE = MIN 60m² (>5m)  
EXISTING P.O.S. = 60.2 m² NO CHANGES TO P.O.S.

DRAWING LIST

DA 01	DRAWING LIST + LOCATION PLAN	N.T.S. @ A3
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PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL DWELLING

DA SUBMISSION

CLIENT:  
PAMELA + JEROME BERBIGIER  
44 ENNERDALE CRESCENT  
WHEELER HEIGHTS  
NSW 2097

DESIGN:  
NADINE PRUCKNER  
0418 661 691

PROJECT:  
ALTERATIONS & ADDITIONS TO LOT 86 DP 209117  
44 ENNERDALE CRES.  
WHEELER HEIGHTS

KEY: AWN AWNING  
DB DISTRIBUTION BOARD  
DP DOWNPIPE  
EW EXTERNAL WALL TYPE  
EX EXISTING  
F FENCE  
FB FACE BRICK  
FFL FINISHED FLOOR LEVEL  
FT FLOOR TILE

GB GLASS BALUSTRADE  
LDRY LAUNDRY  
MF METAL FLASHING  
MB METAL BALUSTRADE  
MR METAL ROOFING  
OF OVERFLOW  
PWC PANELISED WALL CLADDING  
PV PHOTOVOLTAIC PANEL  
RG ROOF GUTTER

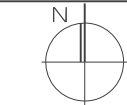
RL REDUCED LEVEL  
RP PAINTED RENDER  
RWH RAIN WATER HEAD  
RWT RAIN WATER TANK  
RT RECYCLED TIMBER  
SC STEEL COLUMN  
SF STEEL FRAME  
SKY SKYLIGHT  
TBC TO BE CONFIRMED

TF TIMBER FRAME/TRIM  
TMB TIMBER  
TOG TOP OF GUTTER  
TP TIMBER POST  
TR TILED ROOF  
TS TIMBER SCREEN  
W WINDOW  
WB WEATHER BOARD  
X EXISTING

A	ISSUED FOR DA	02.12.20
PT	INITIAL ISSUE	02.11.20

DRAWING TITLE:  
DRAWING LIST + LOCATION PLAN

02/12/2020



DRAWING No: Rev:  
DA 01 A



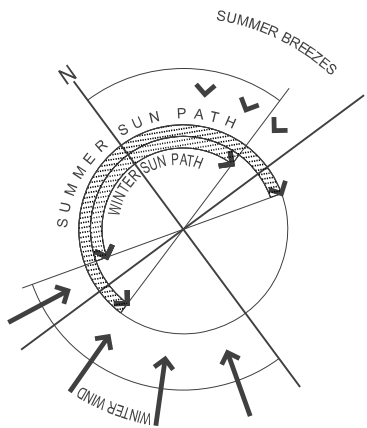


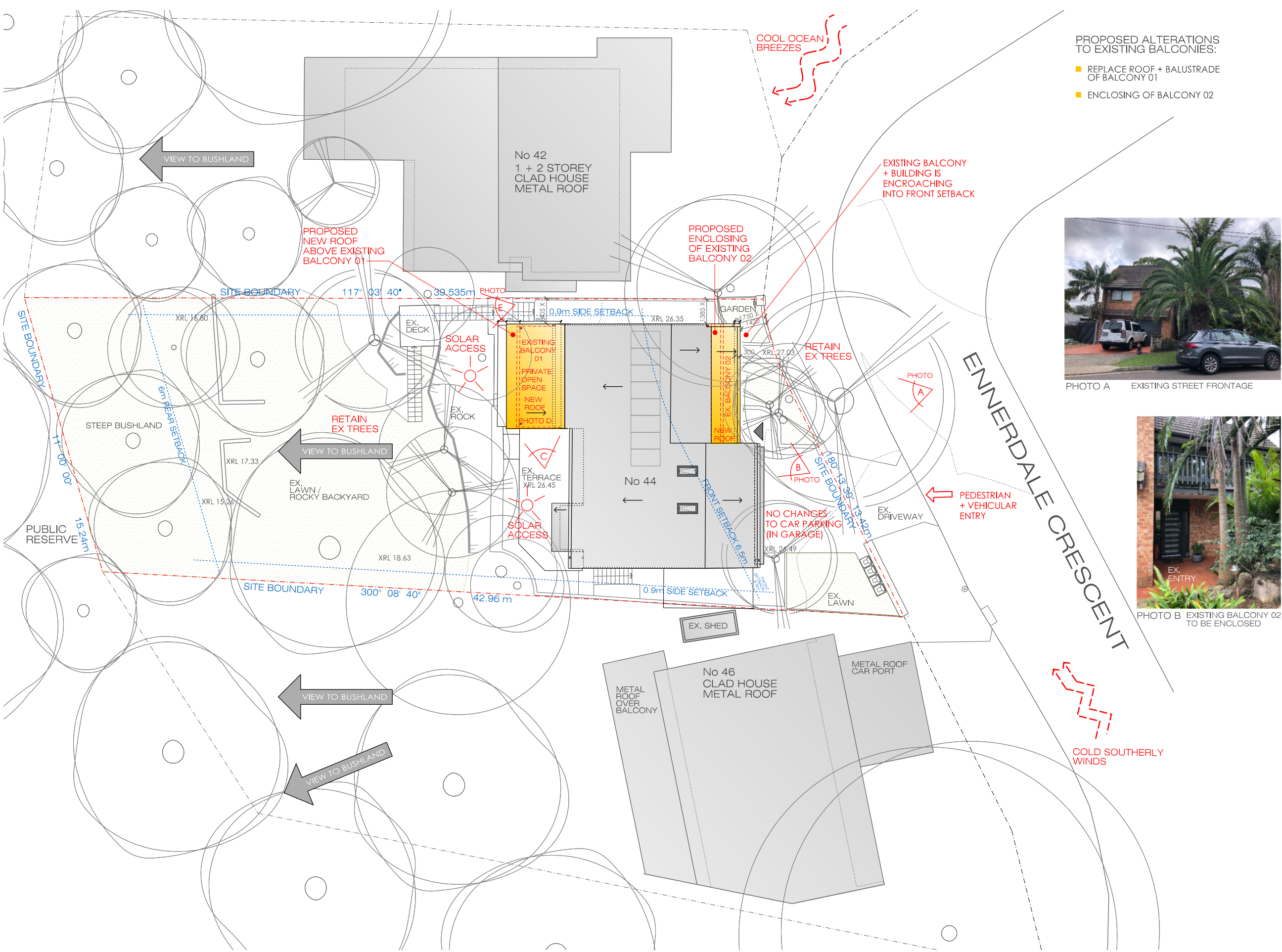
PHOTO C EXISTING BALCONY 01



PHOTO D EXISTING BALCONY 01



PHOTO E STEEP BACKYARD



- PROPOSED ALTERATIONS TO EXISTING BALCONIES:
- REPLACE ROOF + BALUSTRADE OF BALCONY 01
  - ENCLOSING OF BALCONY 02



PHOTO A EXISTING STREET FRONTAGE

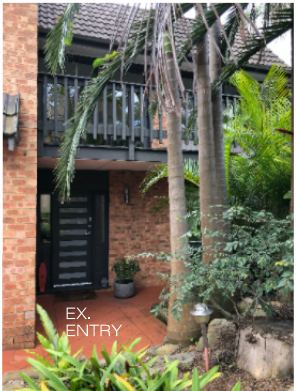


PHOTO B EXISTING BALCONY 02 TO BE ENCLOSED

EXISTING TO BE RETAINED  
PROPOSED NEW WORKS

CLIENT:  
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0418 661 691

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ADDITIONS TO  
LOT 86 DP 209117  
44 ENNERDALE CRES.  
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FT FLOOR TILE

GB GLASS BALUSTRADE  
LDRY LAUNDRY  
MF METAL FLASHING  
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PWC PANELISED WALL CLADDING  
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TOG TOP OF GUTTER  
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TR TILED ROOF  
TS TIMBER SCREEN  
W WINDOW  
WB WEATHER BOARD  
X EXISTING

A	ISSUED FOR DA	02.12.20
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## DA SUBMISSION

DRAWING TITLE:  
SITE ANALYSIS  
+ SITE PLAN

1:200 @ A3

0 1 2 4 6 8 10m

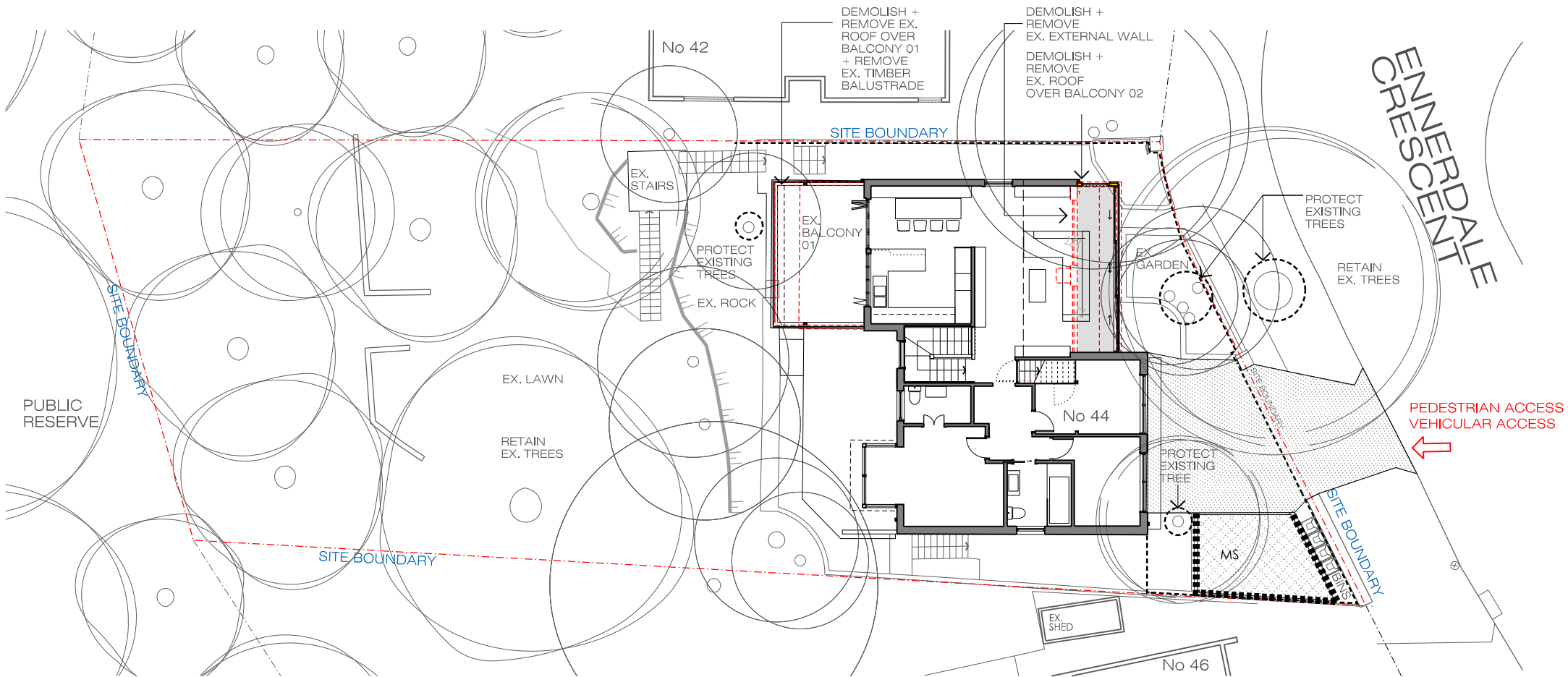
02/12/2020



DRAWING No: Rev:  
DA 02 A



- NEW EXTENSION (IN SECTION)
- NEW EXTENSION
- EXISTING TO BE RETAINED
- EXISTING TO BE REMOVED
- VEHICLE ACCESS DURING DEMOLITION/CONSTRUCTION
- MS MATERIALS STOCKPILE
- SEDIMENT CONTROL FENCE
- SITE FENCE

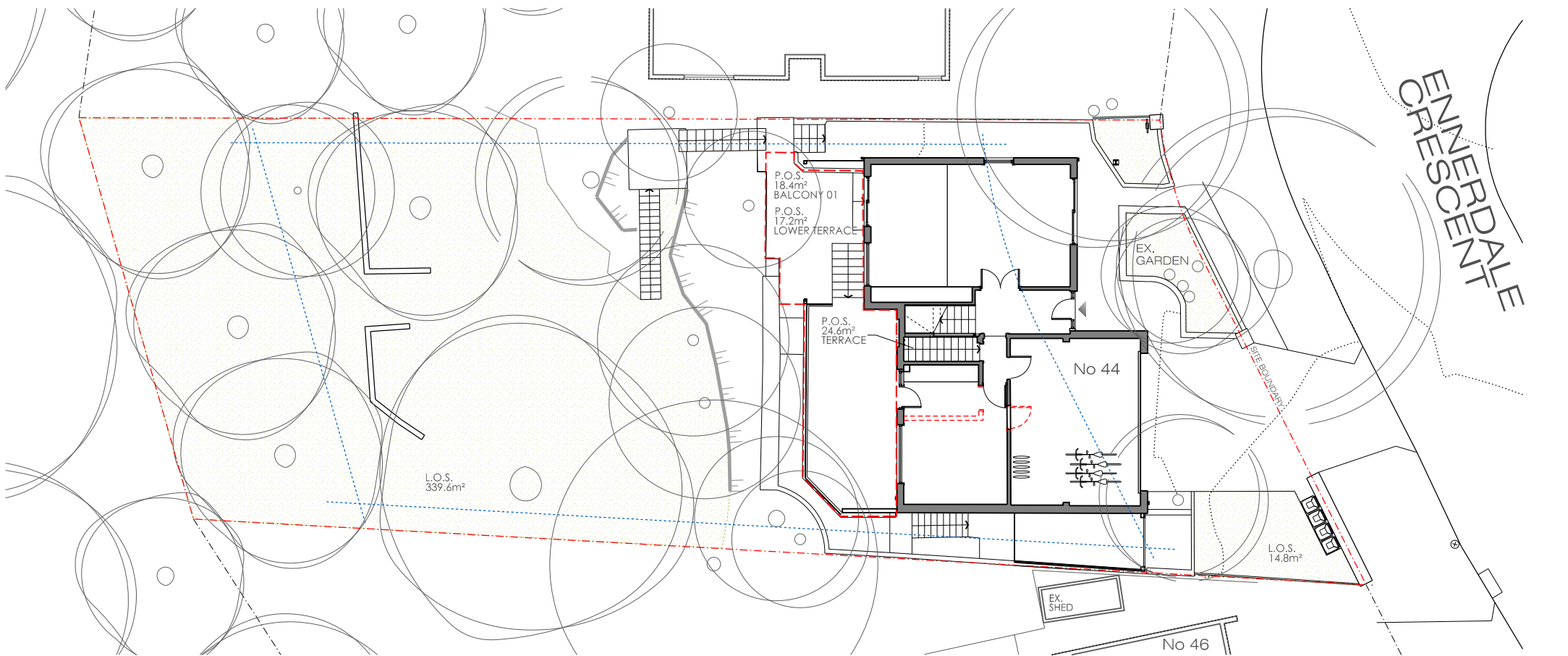


## 01 | SITE MANAGEMENT PLAN + DEMOLITION PLAN FF

- LANDSCAPE OPEN SPACE (L.O.S.)
- PRIVATE OPEN SPACE (P.O.S.)
- LAWN
- GRAVEL
- GRASS PAVERS

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## 02 | LANDSCAPE OPEN SPACE PLAN + DEMOLITION PLAN GF

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DESIGN:  
NADINE PRUCKNER  
0418 661 691

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ALTERATIONS &  
ADDITIONS TO  
LOT 86 DP 209117  
44 ENNERDALE CRES.  
WHEELER HEIGHTS

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DB DISTRIBUTION BOARD  
DP DOWNPIPE  
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EX EXISTING FENCE  
FB FACE BRICK  
FFL FINISHED FLOOR LEVEL  
FT FLOOR TILE

GB GLASS BALUSTRADE  
LD LDRY LAUNDRY  
MF METAL FLASHING  
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RT RECYCLED TIMBER  
SC STEEL COLUMN  
SF STEEL FRAME  
SKY SKYLIGHT  
TBC TO BE CONFIRMED

TF TIMBER FRAME/TRIM  
TMB TIMBER  
TOG TOP OF GUTTER  
TP TIMBER POST  
TR TIMBER POST  
TS TIMBER SCREEN  
W WINDOW  
WB WEATHER BOARD  
X EXISTING

A ISSUED FOR DA 02.12.20  
P1 INITIAL ISSUE 02.11.20

DRAWING TITLE:  
SITE MANAGEMENT, DEMOLITION  
+ LANDSCAPE OPEN SPACE PLAN

1:200 @ A3  
0 1 2 4 6 8 10m

02/12/2020  
DRAWING No: Rev:  
DA 03 A

Architectural floor plan of an existing building, showing various rooms and setbacks. The plan is bounded by a red dashed line labeled "SITE BOUNDARY".

Rooms and areas include:

- EX. BALCONY 01: XFT, XFLL 29.230
- EX. DINING: XTMB, CH 2475, 8.7 m<sup>2</sup>
- EX. KITCHEN: XTMB, CH 2470, 10.1 m<sup>2</sup>
- EX. STAIRS: XTMB
- EX. ENS: XFT, CH 2450
- EX. P+J: XCPT, CH 2470
- EX. BATH: XFT, CH 2375
- EX. LIVING: XTMB, CH 2470, 21.9 m<sup>2</sup>, XFLL 29.280
- EX. BALCONY 02: XFT, XFLL 29.230
- EX. MIA: XCPT, CH 2460
- EX. LUCA: XCPT, CH 2465

Setbacks and boundaries:

- 0.9m SIDE SETBACK (top and bottom)
- FRONT SETBACK 6.55m (bottom right)
- SITE BOUNDARY (red dashed line)

Other labels and notes:

- BEAM ABOVE CH 2205
- BEAM ABOVE CH 2175
- RIDGE ABOVE
- ROOF ABOVE
- XDP
- ST
- AI

02	EXISTING
	FIRST FLOOR PLAN

02/12/2020

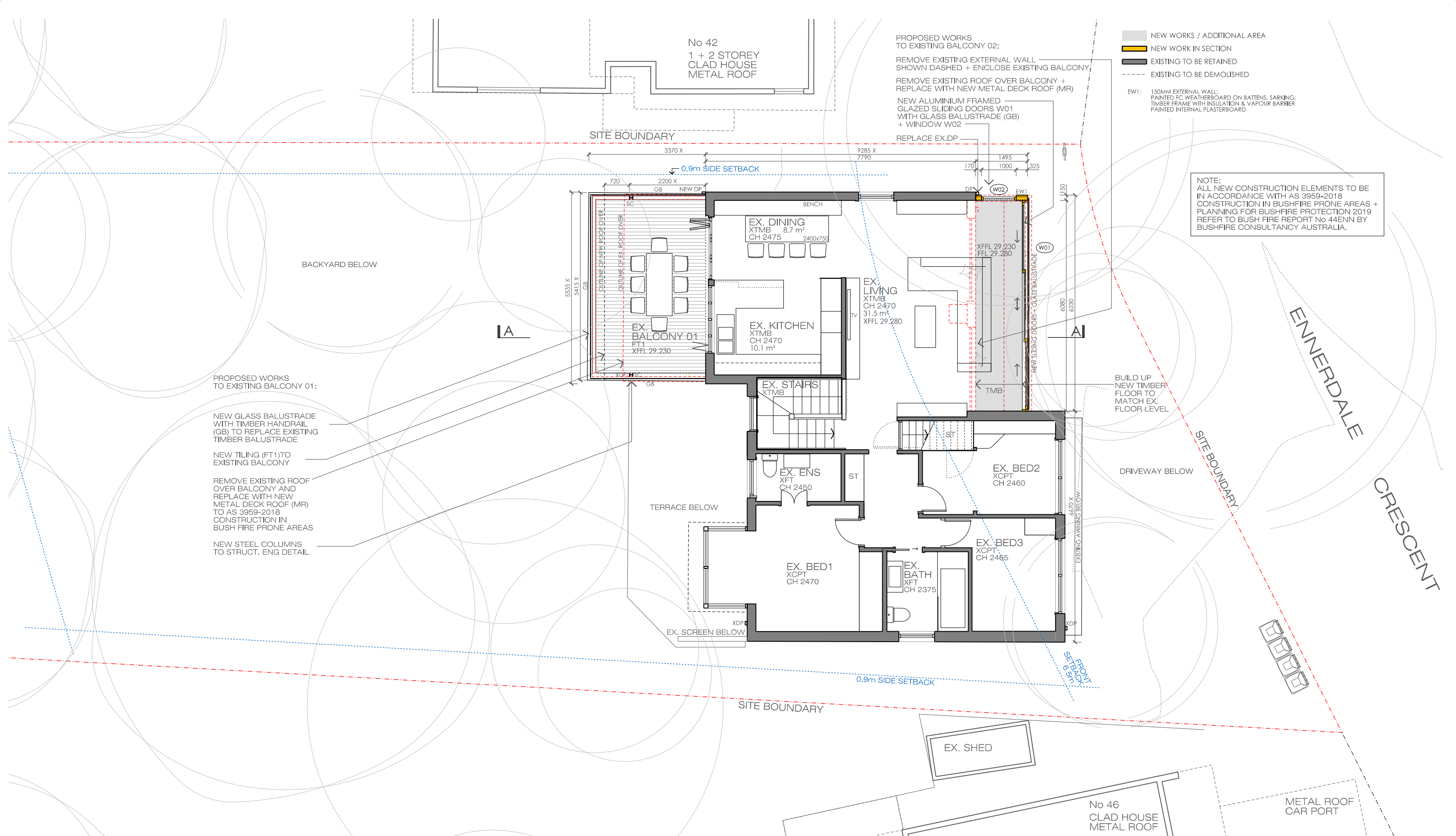
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DRAWING No: Rev:

DA 10 A







## 01 | FIRST FLOOR PLAN

## DA SUBMISSION

CLIENT:  
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44 ENNERDALE CRES.  
WHEELER HEIGHTS

KEY:

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DP	DOWNPIPE
EW	EXTERNAL WALL TYPE
EX	EXISTING
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FB	FACE BRICK
FFL	FINISHED FLOOR LEVEL
FT	FLOOR TILE

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LD	LAUNDRY
MF	METAL FLASHING
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SKY	SKYLIGHT
TBC	TO BE CONFIRMED

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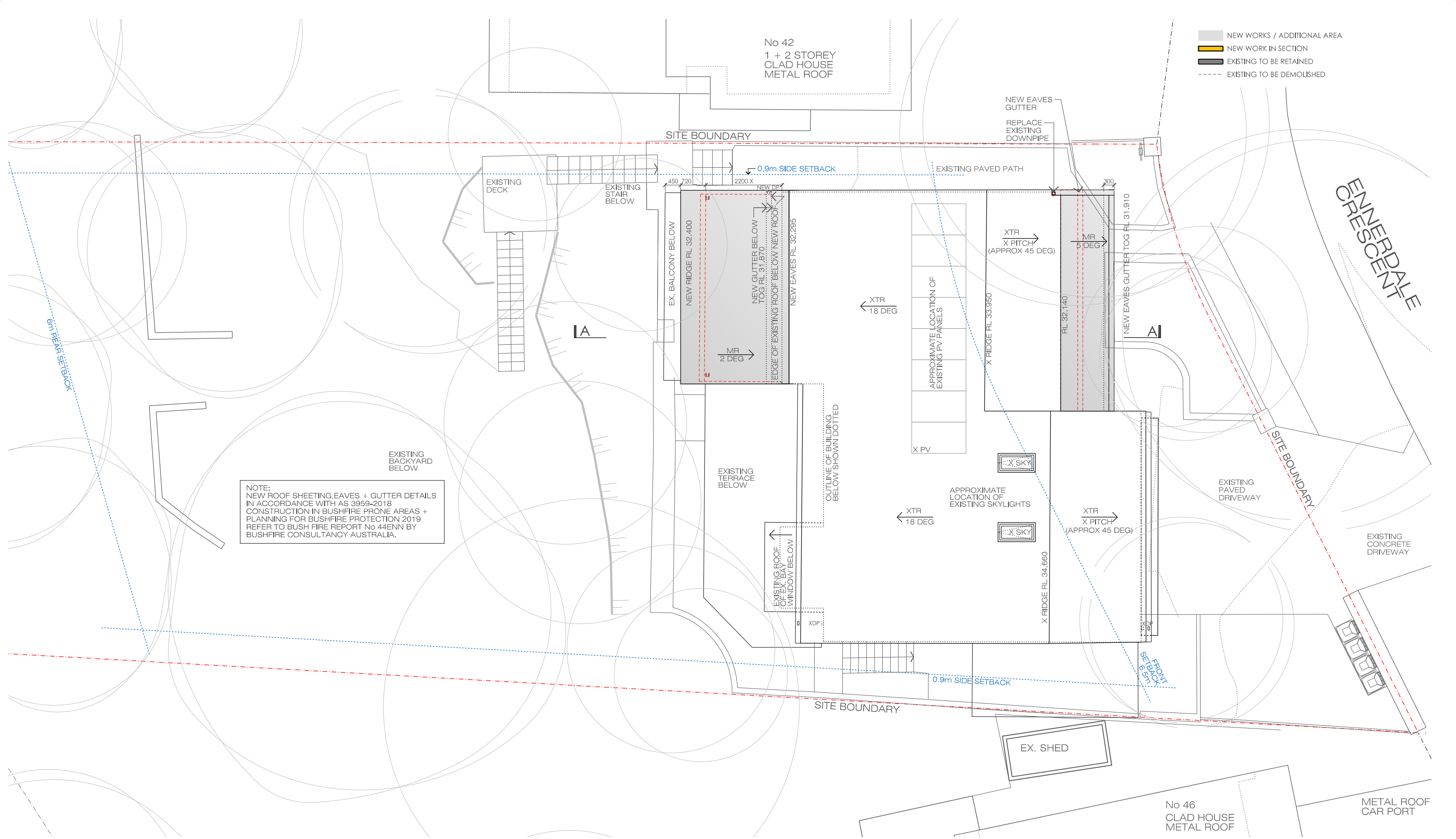
A	ISSUED FOR DA
P1	INITIAL ISSUE
02.12.20	02.11.20

DRAWING TITLE:  
FIRST FLOOR PLAN

1:100 @ A3  
0 0.5 1 2 3 4 5m

02/12/2020  
DRAWING No: Rev:  
DA 12 A





01 | ROOF PLAN

DA SUBMISSION

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ROOF PLAN

1:100 @ A3  
0 0.5 1 2 3 4 5m

02/12/2020  
DRAWING No: Rev:  
DA 13 A

USE FIGURED DIMENSIONS ONLY - DO NOT SCALE.

FOR EXISTING AND NEW BUILDING WORKS, CONFIRM ALL DIMENSIONS & LEVELS ON SITE PRIOR TO CONSTRUCTION.

ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASEMENTS ARE SUBJECT TO VERIFICATION BY A SURVEY.





EXISTING NORTH-EAST ELEVATION

EXISTING SITE PHOTOS: NW



EXISTING BALCONY 01



EXISTING BALCONY 01



EXISTING BACKYARD



EXISTING BACKYARD



EXISTING SOUTH-EAST ELEVATION

EXISTING SITE PHOTOS - SE



EXISTING BALCONY 02



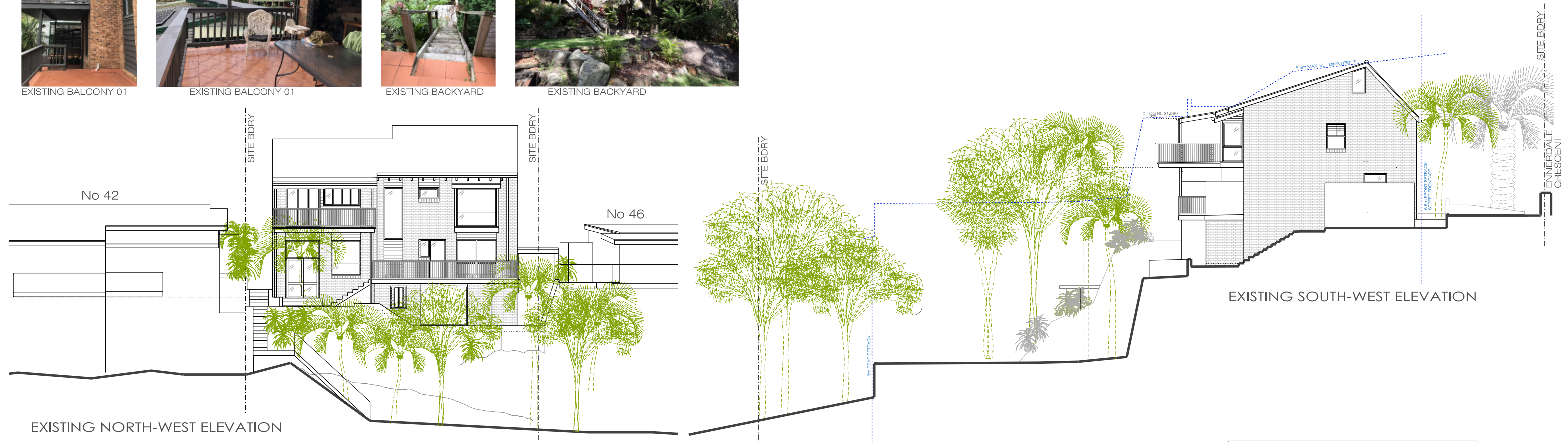
EXISTING STREET FRONTAGE



EXISTING ENTRY



EXISTING BALCONY 02



EXISTING NORTH-WEST ELEVATION

EXISTING SOUTH-WEST ELEVATION

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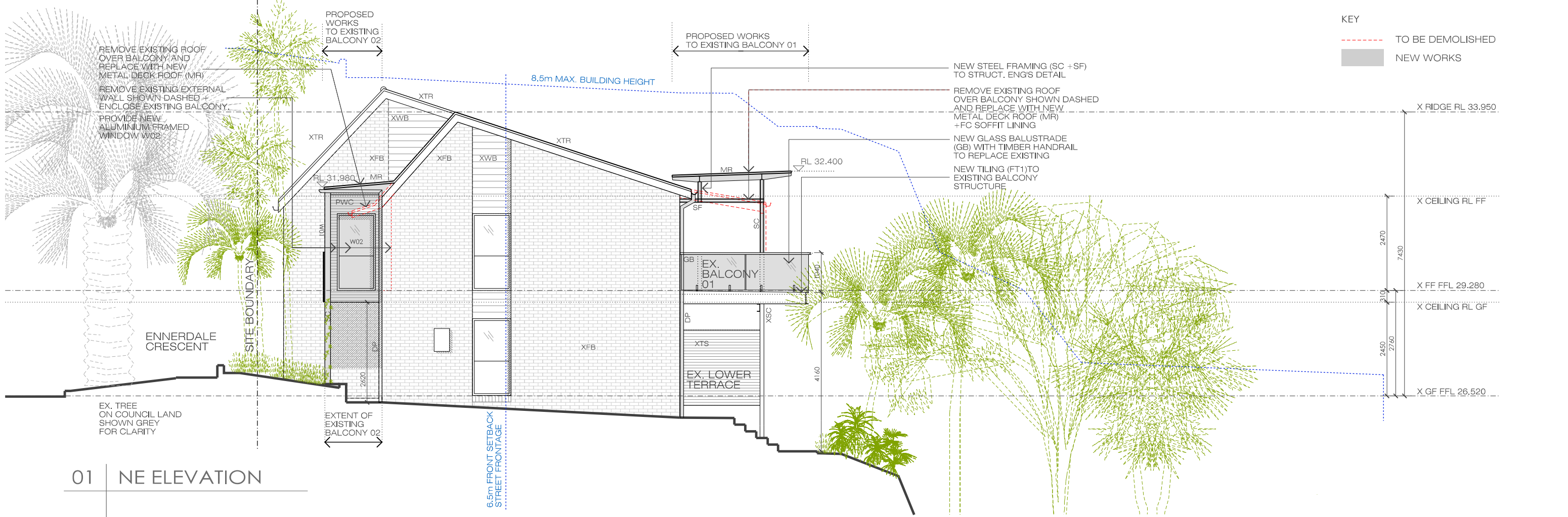
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EXISTING ELEVATIONS

1:200 @ A3  
0 2 4 6 8 10m

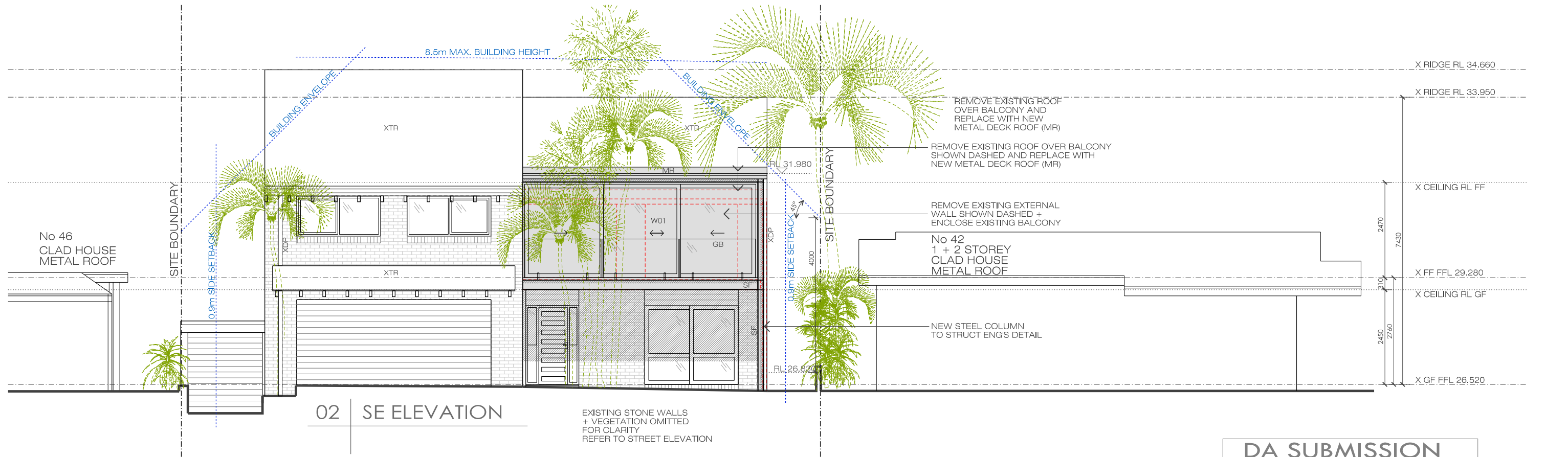
02/12/2020

DRAWING No: Rev:  
DA 20 A





01 | NE ELEVATION



02 | SE ELEVATION

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DRAWING TITLE:  
ELEVATIONS 01

1:100 @ A3  
0 0.5 1 2 3 4 5m

DRAWING No: Rev:  
DA 21 A  
02/12/2020









DA SUBMISSION

DRAWING No: Rev:  
DA 23 A

ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASEMENTS ARE SUBJECT TO VERIFICATION BY A SURVEY.



SE ELEVATION



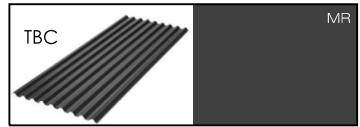
SW ELEVATION



NW ELEVATION



NE ELEVATION



MR - METAL ROOF SHEETING :  
COLORBOND SPANDEK OR LONGLINE TBC  
COLOUR: COLORBOND "MONUMENT MATT"



XTR - EXISTING TILED ROOF  
EXISTING ROOF TILES



PWC1 - PANELISED WALL CLADDING  
HORIZONTAL FIBRE CEMENT CLADDING  
PAINTED - COLOUR : DULUX 'RAKU' TBC



SF - PAINTED EXPOSED STEEL FRAMING :  
METAL PAINT - MUROBOND BRIDGE PAINT  
COLOUR: CARBON



G - ALUMINIUM FRAMED GLAZING :  
POWDERCOATED FRAMES  
COLOUR BLACK TBC

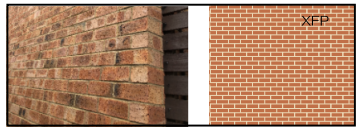
NOTE:  
ALL NEW CONSTRUCTION ELEMENTS TO BE  
IN ACCORDANCE WITH AS 3959-2018  
CONSTRUCTION IN BUSHFIRE PRONE AREAS +  
PLANNING FOR BUSHFIRE PROTECTION 2019  
REFER TO BUSH FIRE REPORT NO 44ENN BY  
BUSHFIRE CONSULTANCY AUSTRALIA.



COLORBOND GUTTERS + DPs  
COLOUR: COLORBOND "WOODLAND GREY"



BARGEBOARDS, PAINTED  
COLOUR TO MATCH 'WOODLAND GREY'



XFB - EXISTING FACE BRICK



XTS - EXISTING TIMBER PRIVACY SCREEN :  
NEW PAINT FINISH  
COLOUR: 'WOODLAND GREY' TBC



FT - BALCONY FLOOR TILES  
CERAMIC TILES - CONCRETE OR TIMBER LOOK  
TBC



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F FENCE  
FB FACE BRICK  
FFL FINISHED FLOOR LEVEL  
FT FLOOR TILE

GB GLASS BALUSTRADE  
LDRY LAUNDRY  
MF METAL FLASHING  
MB METAL BALUSTRADE  
MR METAL ROOFING  
OF OVERFLOW  
PWC PANELISED WALL CLADDING  
PV PHOTOVOLTAIC PANEL  
RG ROOF GUTTER

RL REDUCED LEVEL  
RP PAINTED RENDER  
RWH RAIN WATER HEAD  
RWT RAIN WATER TANK  
RT RECYCLED TIMBER  
SC STEEL COLUMN  
W WINDOW  
SKY SKYLIGHT  
TBC TO BE CONFIRMED

TF TIMBER FRAME/TRIM  
TMB TIMBER  
TOG TOP OF GUTTER  
TP TIMBER POST  
TR TILED ROOF  
TS TIMBER SCREEN  
W WINDOW  
WB WEATHER BOARD  
X EXISTING

A	ISSUED FOR DA	02.12.20
P1	INITIAL ISSUE	02.11.20

DRAWING TITLE:  
COLOURED ELEVATIONS  
& FINISHES SCHEDULE

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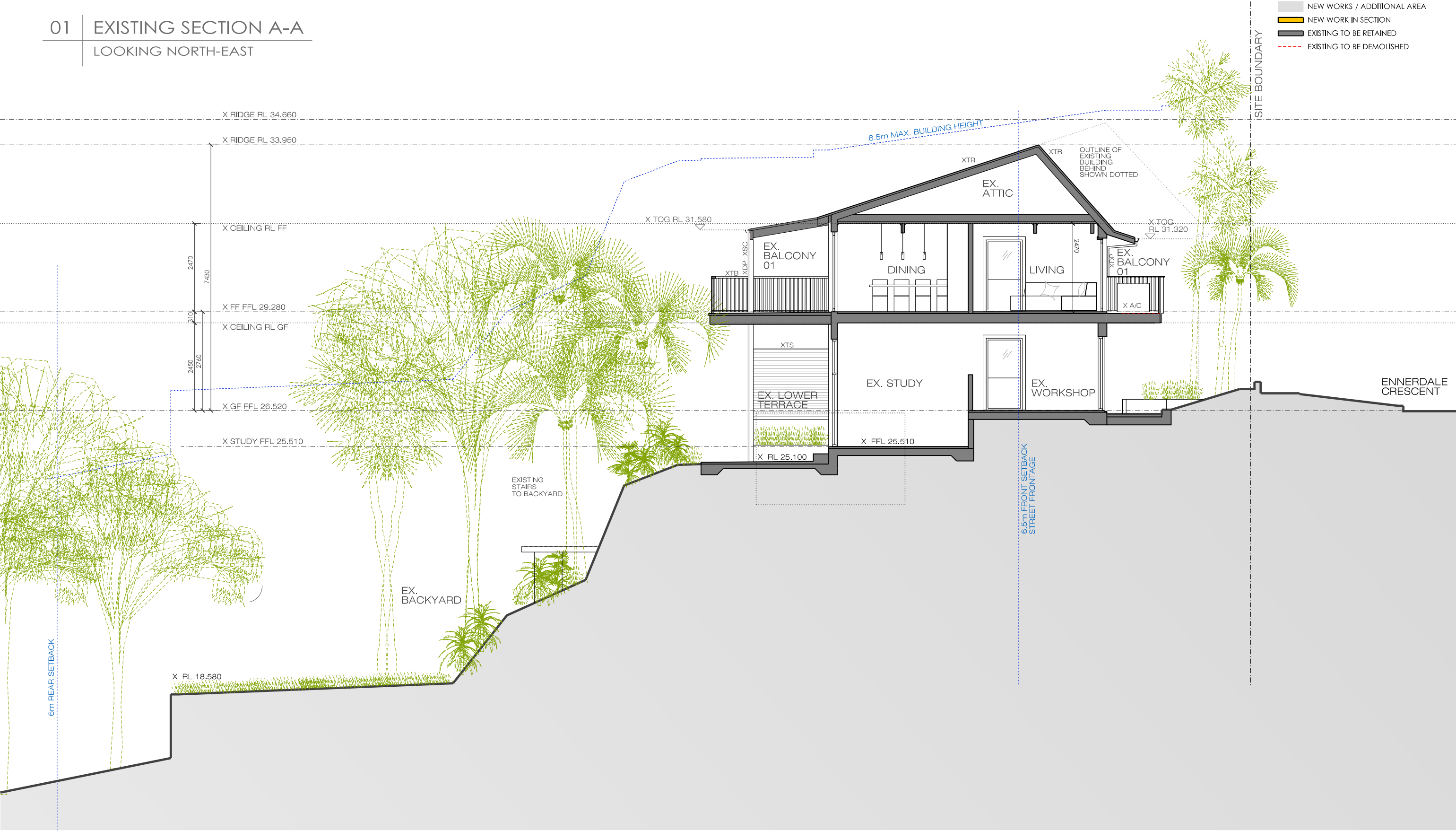
02/12/2020

DRAWING No: Rev:  
DA 24 A



01 | EXISTING SECTION A-A  
LOOKING NORTH-EAST

- NEW WORKS / ADDITIONAL AREA
- NEW WORK IN SECTION
- EXISTING TO BE RETAINED
- EXISTING TO BE DEMOLISHED



DA SUBMISSION

CLIENT:  
PAMELA + JEROME BERBIGIER  
44 ENNERDALE CRESCENT  
WHEELER HEIGHTS  
NSW 2097

DESIGN:  
NADINE PRUCKNER  
0418 661 691

PROJECT:  
ALTERATIONS &  
ADDITIONS TO  
LOT 86 DP 209117  
44 ENNERDALE CRES.  
WHEELER HEIGHTS

KEY:  
AWN AWNING  
DB DISTRIBUTION BOARD  
DP DOWNPIPE  
EW EXTERNAL WALL TYPE  
EX EXISTING  
F FENCE  
FB FACE BRICK  
FFL FINISHED FLOOR LEVEL  
FT FLOOR TILE

GB GLASS BALUSTRADE  
LDRY LAUNDRY  
MF METAL FLASHING  
MB METAL BALUSTRADE  
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OF OVERFLOW  
PVC PANELISED WALL CLADDING  
PV PHOTOVOLTAIC PANEL  
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RWH RAIN WATER HEAD  
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RT RECYCLED TIMBER  
SC STEEL COLUMN  
SF STEEL FRAME  
SKY SKYLIGHT  
TBC TO BE CONFIRMED

TF TIMBER FRAME/TRIM  
TMB TIMBER  
TOG TOP OF GUTTER  
TP TIMBER POST  
TR TILED ROOF  
TS TIMBER SCREEN  
W WINDOW  
WB WEATHER BOARD  
X EXISTING

A	ISSUED FOR DA	02.12.20
P1	INITIAL ISSUE	02.11.20

DRAWING TITLE:

EXISTING  
SECTION

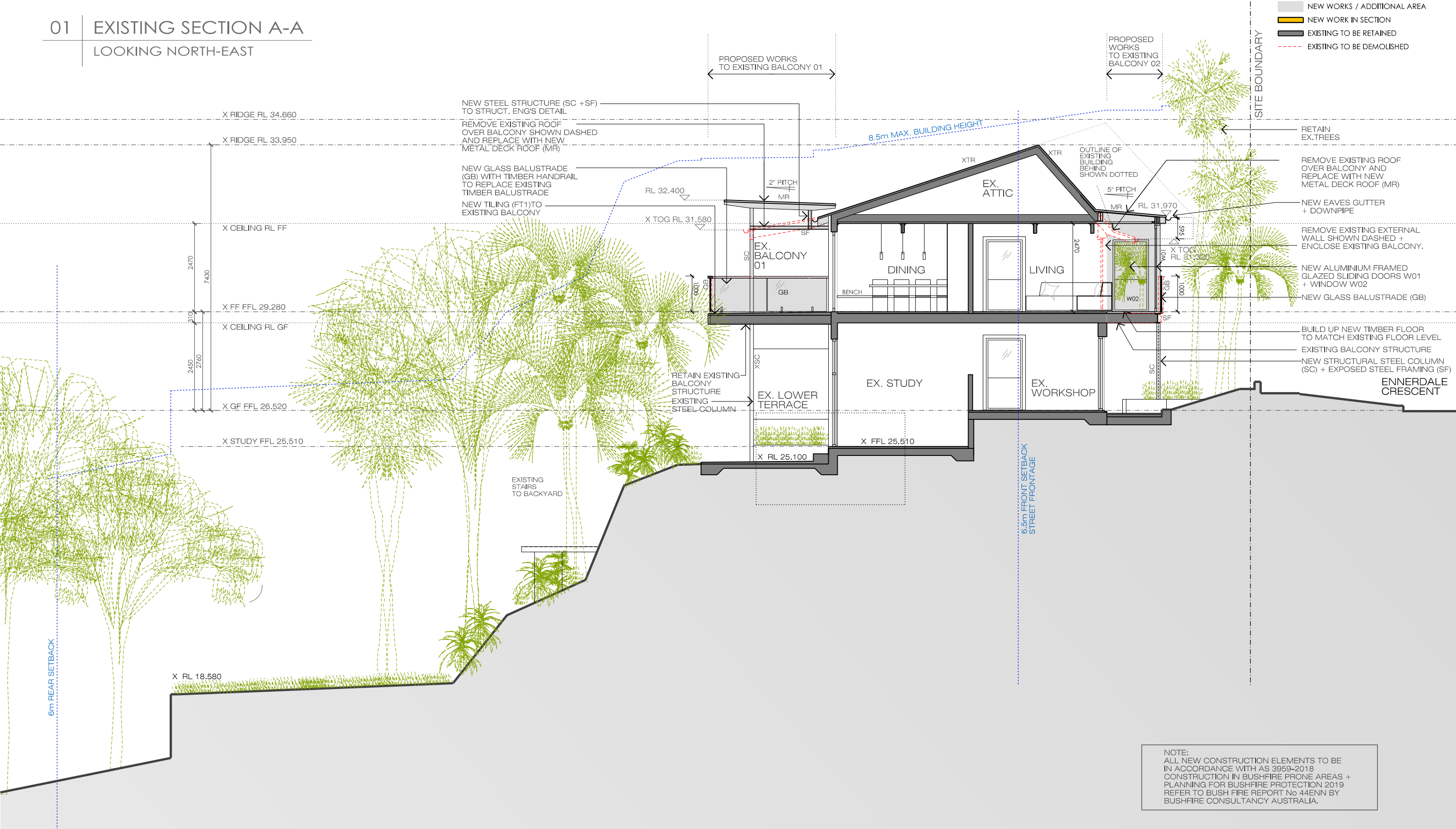
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02/12/2020

DRAWING No: Rev:  
DA 30 A

01 | EXISTING SECTION A-A  
LOOKING NORTH-EAST



DA SUBMISSION

CLIENT:  
PAMELA + JEROME BERBIGIER  
44 ENNERDALE CRESCENT  
WHEELER HEIGHTS  
NSW 2097

DESIGN:  
NADINE PRUCKNER  
0418 661 691

PROJECT:  
ALTERATIONS &  
ADDITIONS TO  
LOT 86 DP 209117  
44 ENNERDALE CRES.  
WHEELER HEIGHTS

KEY:

AWN	AWNING
DB	DISTRIBUTION BOARD
DP	DOWNPIPE
EW	EXTERNAL WALL TYPE
EX	EXISTING
F	FENCE
FB	FACE BRICK
FFL	FINISHED FLOOR LEVEL
FT	FLOOR TILE

GB	GLASS BALUSTRADE
LD	LAUNDRY
MF	METAL FLASHING
MB	METAL BALUSTRADE
MR	METAL ROOFING
OF	OVERFLOW
PWC	PANELISED WALL CLADDING
PV	PHOTOVOLTAIC PANEL
RG	ROOF GUTTER

RL	REDUCED LEVEL
RP	PAINTED RENDER
RWH	RAIN WATER HEAD
RWT	RAIN WATER TANK
RT	RECYCLED TIMBER
SC	STEEL COLUMN
SF	STEEL FRAME
SKY	SKYLIGHT
TBC	TO BE CONFIRMED

TF	TIMBER FRAME/TRIM
TMB	TIMBER
TOG	TOP OF GUTTER
TP	TIMBER POST
TR	TILED ROOF
TS	TIMBER SCREEN
W	WINDOW
WB	WEATHER BOARD
X	EXISTING

A	ISSUED FOR DA	02.12.20
P1	INITIAL ISSUE	02.11.20

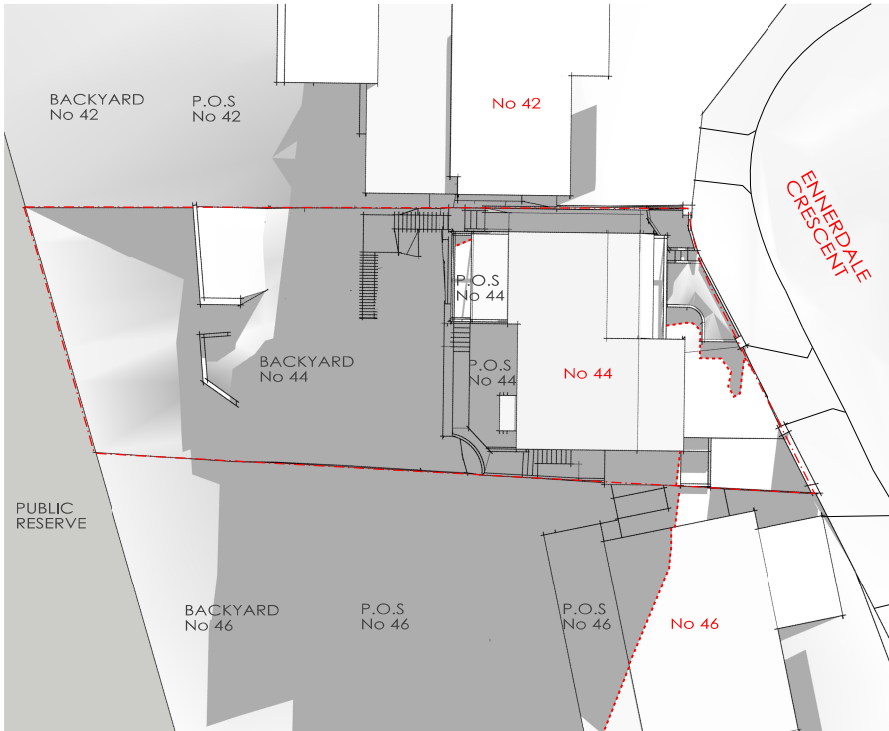
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PROPOSED  
SECTION

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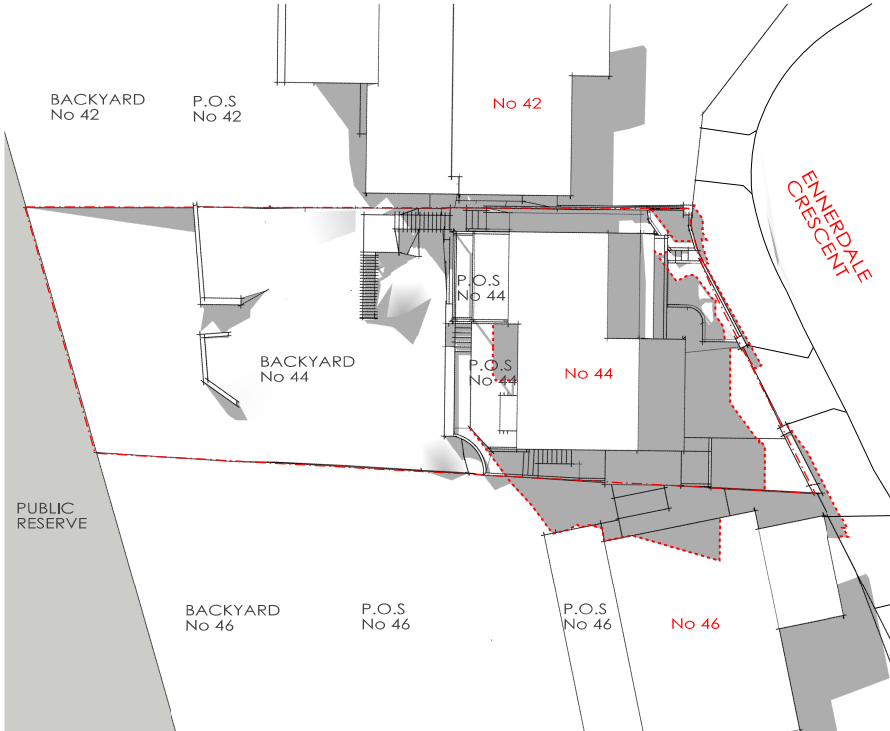
02/12/2020  
DRAWING No: Rev:  
DA 31 A



EXISTING SHADOW DIAGRAMS



EXISTING 21st JUNE @ 9 AM

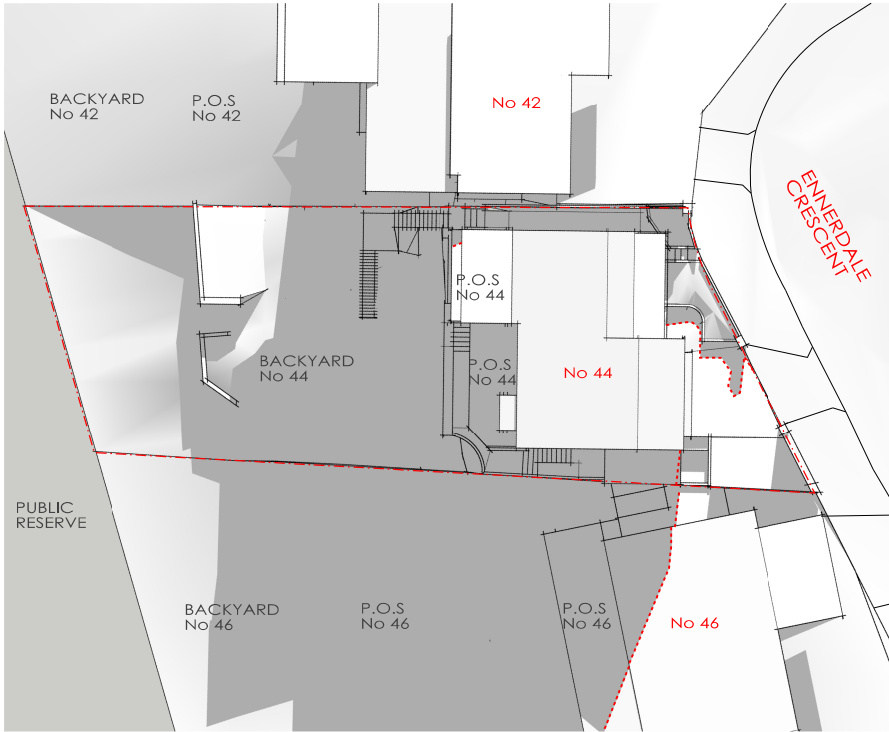


EXISTING 21st JUNE @ NOON



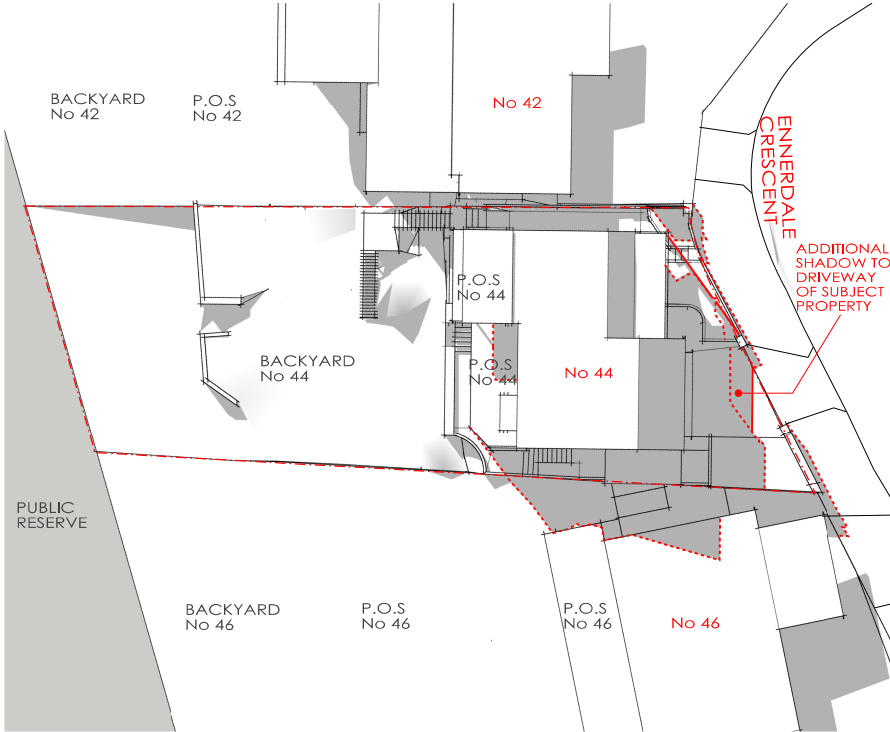
EXISTING 21st JUNE @ 3 PM

PROPOSED SHADOW DIAGRAMS



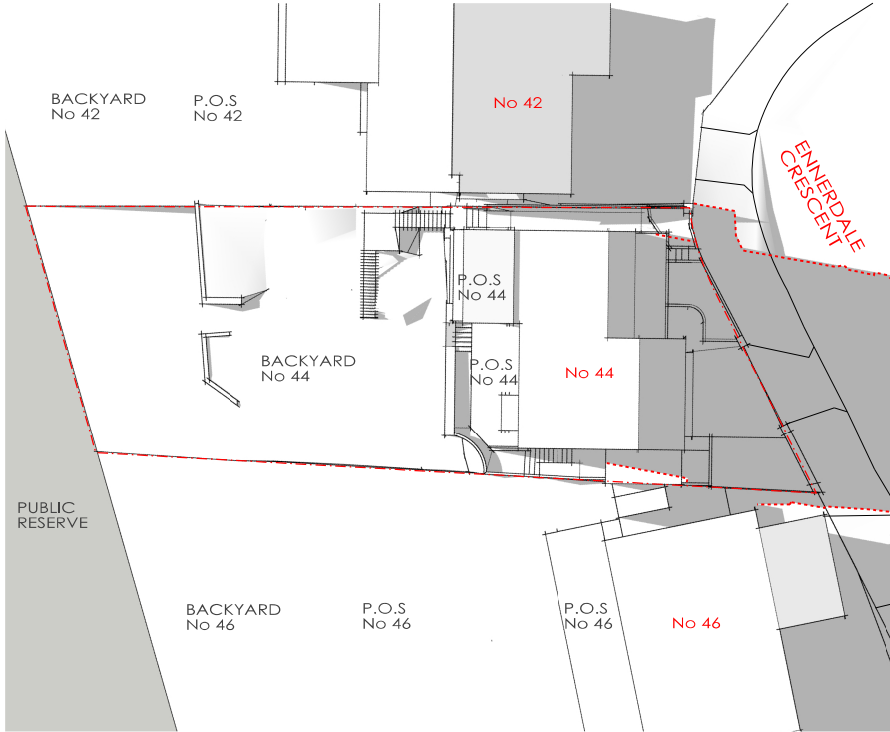
PROPOSED 21st JUNE @ 9 AM

NEIGHBOURING PROPERTIES No 42 + No 46: NO CHANGE IN SOLAR ACCESS  
SUBJECT PROPERTIES : NO ADDITIONAL SHADOW TO P.O.S



PROPOSED 21st JUNE @ NOON

NEIGHBOURING PROPERTIES No 42 + No 46: NO CHANGE IN SOLAR ACCESS  
SUBJECT PROPERTIES : ADDITIONAL SHADOW TO DRIVEWAY ONLY



PROPOSED 21st JUNE @ 3 PM

NEIGHBOURING PROPERTIES No 42 + No 46: NO CHANGE IN SOLAR ACCESS  
SUBJECT PROPERTIES : NO ADDITIONAL SHADOW TO P.O.S

SHADOW DIAGRAMS

..... EXISTING SHADOW  
- - - - - PROPOSED SHADOW  
P.O.S. PRIVATE OPEN SPACE

ACCESS TO SUNLIGHT REQUIREMENTS:  
MIN 50% OF REQUIRED AREA OF PRIVATE OPEN SPACE  
ARE TO RECEIVE A MIN OF 3 HOURS OF SUNLIGHT  
BETWEEN 9AM AND 3PM ON JUNE 21.

SHADOW PROJECTIONS:  
WHEELER HEIGHTS  
LATITUDE 33.7315° S  
LONGITUDE 151.2802° E

WINTER SOLSTICE 21ST JUNE:  
09 AM ALT 19 DEG AZM 42 DEG  
12 PM ALT 33 DEG AZM 359 DEG  
03 PM ALT 18 DEG AZM 316 DEG

CONCLUSION

THE NEIGHBOURING PROPERTIES: No 42, No 46 + No 23 ARE UNAFFECTED BY SOLAR ACCESS  
OR OVERSHADOWING OF THEIR PRIVATE OPEN SPACE (P.O.S.) FROM THE PROPOSED DEVELOPMENT.  
MIN 50% OF REQUIRED P.O.S. RECEIVES 3 HRS OF SUNLIGHT ON JUNE 21.

THE SUBJECT PROPERTY: THE PROPOSED ENCLOSURE OF BALCONY TO THE STREET WILL CAST AN ADDITIONAL  
SHADOW ONTO THE DRIVEWAY OF THE SUBJECT PROPERTY. THE P.O.S. IN THE BACKYARD IS UNAFFECTED  
AND WILL STILL MAINTAIN 3 HRS OF SUNLIGHT TO A MIN. 50% OF THE REQUIRED P.O.S. ON JUNE 21.

TREES NOT SHOWN FOR CLARITY.



DA SUBMISSION

CLIENT:  
PAMELA + JEROME BERBIGIER  
44 ENNERDALE CRESCENT  
WHEELER HEIGHTS  
NSW 2097

DESIGN:  
NADINE PRUCKNER  
0418 661 691

PROJECT:  
ALTERATIONS &  
ADDITIONS TO  
LOT 86 DP 209117  
44 ENNERDALE CRES.  
WHEELER HEIGHTS

KEY: Awn AWNING  
DB DISTRIBUTION BOARD  
DP DOWNPIPE  
EW EXTERNAL WALL TYPE  
EX EXISTING  
F FENCE  
FB FACE BRICK  
FFL FINISHED FLOOR LEVEL  
FT FLOOR TILE

GB GLASS BALUSTRADE  
LD LDRY LAUNDRY  
MF METAL FLASHING  
MB METAL BALUSTRADE  
MR METAL ROOFING  
OF OVERFLOW  
PVC PANELLED WALL CLADDING  
PV PHOTOVOLTAIC PANEL  
RG ROOF GUTTER

RL REDUCED LEVEL  
RP PAINTED RENDER  
RWH RAIN WATER HEAD  
RWT RAIN WATER TANK  
RT RECYCLED TIMBER  
SC STEEL COLUMN  
SF STEEL FRAME  
SKY SKYLIGHT  
TBC TO BE CONFIRMED

TF TIMBER FRAME/TRIM  
TMB TIMBER  
TOG TOP OF GUTTER  
TP TIMBER POST  
TR TILED ROOF  
TS TIMBER SCREEN  
W WINDOW  
WB WEATHER BOARD  
X EXISTING

A	ISSUED FOR DA
	02.12.20

DRAWING TITLE:  
SHADOW DIAGRAMS 01



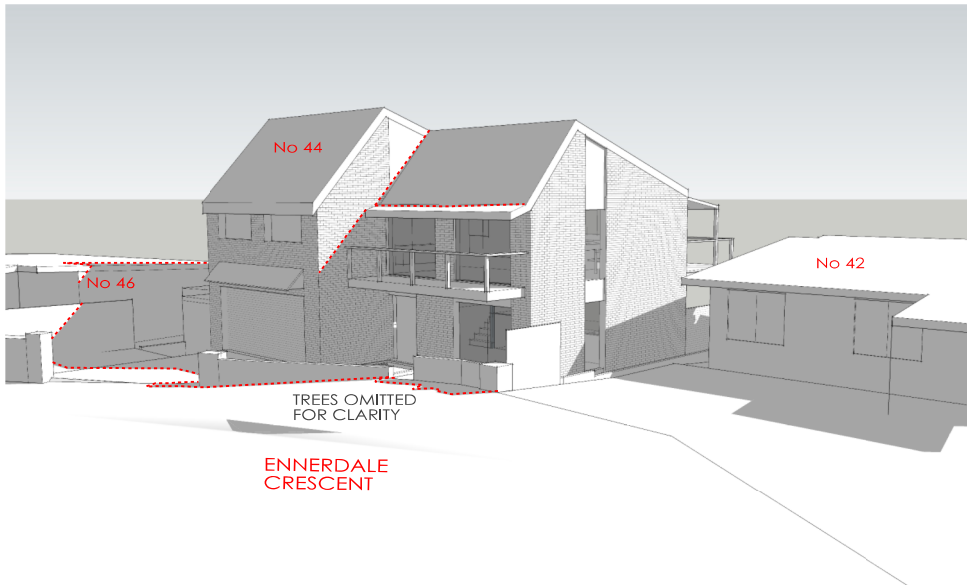
02/12/2020



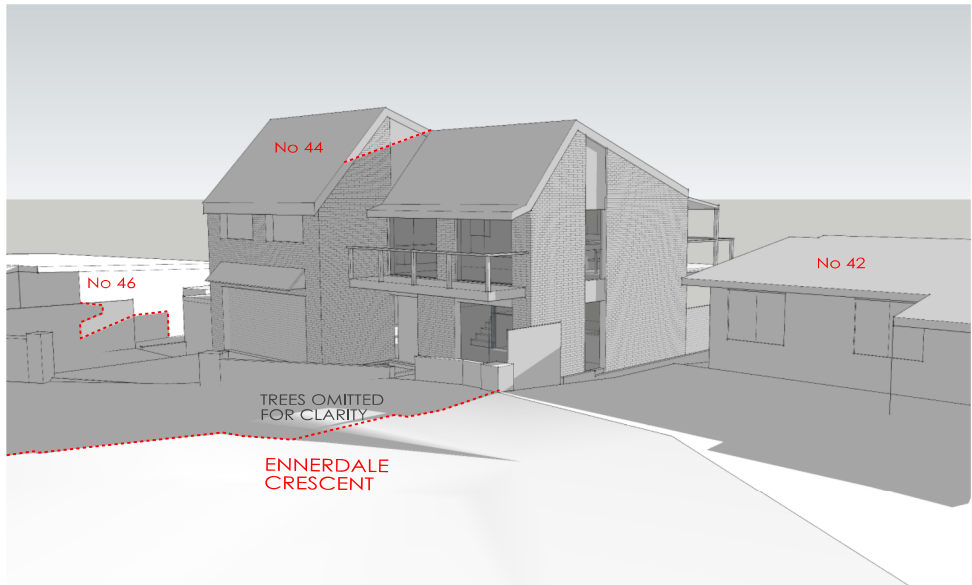
DRAWING No: Rev:  
DA 40 A



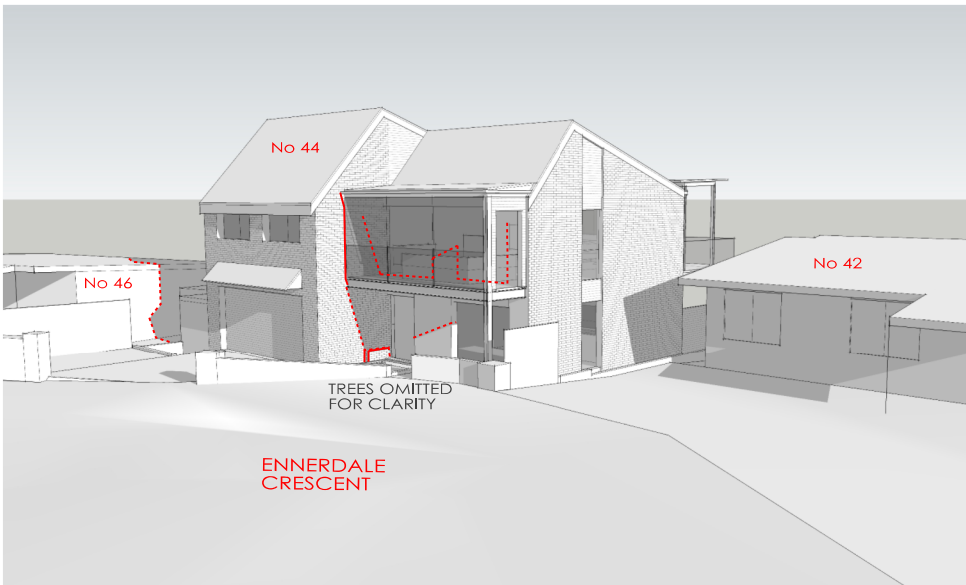
EXISTING 21st JUNE @ 9 AM



EXISTING 21st JUNE @ NOON

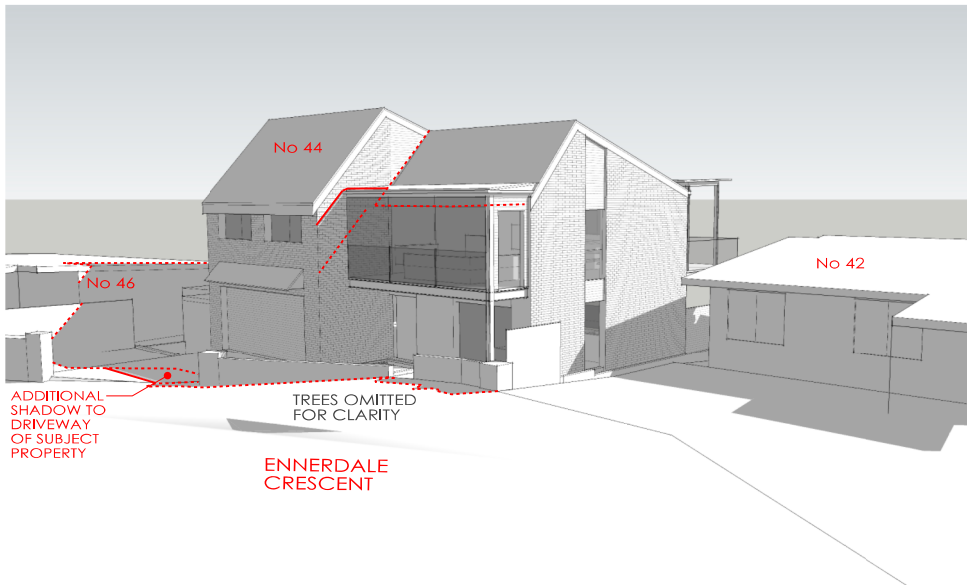


EXISTING 21st JUNE @ 3 PM



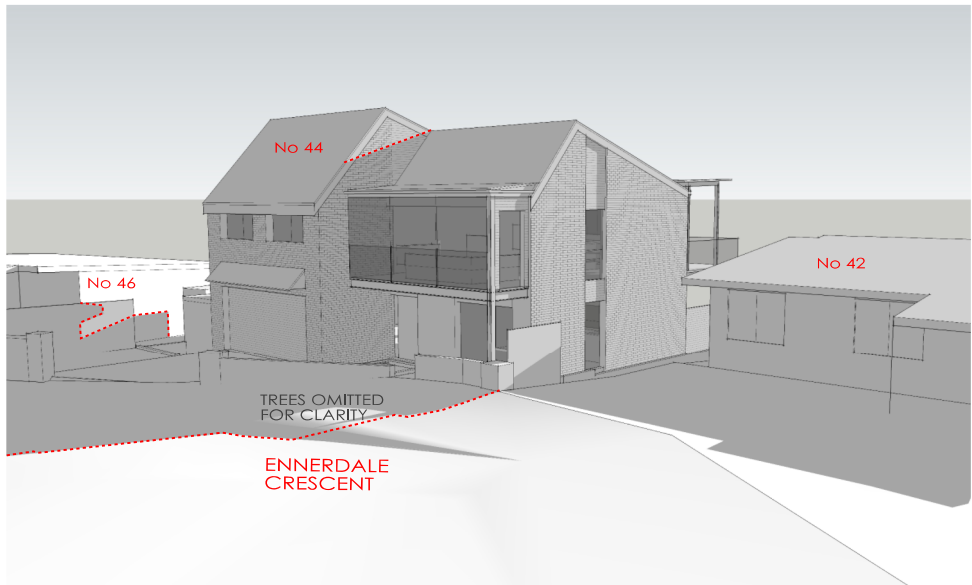
PROPOSED 21st JUNE @ 9 AM

NEIGHBOURING PROPERTIES No 42 + No 46: NO CHANGE IN SOLAR ACCESS  
SUBJECT PROPERTIES : NO ADDITIONAL SHADOW TO P.O.S



PROPOSED 21st JUNE @ NOON

NEIGHBOURING PROPERTIES No 42 + No 46: NO CHANGE IN SOLAR ACCESS  
SUBJECT PROPERTIES : ADDITIONAL SHADOW TO DRIVEWAY ONLY



PROPOSED 21st JUNE @ 3 PM

NEIGHBOURING PROPERTIES No 42 + No 46: NO CHANGE IN SOLAR ACCESS  
SUBJECT PROPERTIES : NO ADDITIONAL SHADOW TO P.O.S

SHADOW DIAGRAMS

..... EXISTING SHADOW  
— PROPOSED SHADOW  
P.O.S. PRIVATE OPEN SPACE

ACCESS TO SUNLIGHT REQUIREMENTS:  
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ARE TO RECEIVE A MIN OF 3 HOURS OF SUNLIGHT  
BETWEEN 9AM AND 3PM ON JUNE 21.

SHADOW PROJECTIONS:  
WHEELER HEIGHTS  
LATITUDE 33.7315° S  
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WINTER SOLSTICE 21ST JUNE:  
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OR OVERSHADOWING OF THEIR PRIVATE OPEN SPACE (P.O.S.) FROM THE PROPOSED DEVELOPMENT.  
MIN 50% OF REQUIRED P.O.S. RECEIVES 3 HRS OF SUNLIGHT ON JUNE 21.

THE SUBJECT PROPERTY: THE PROPOSED ENCLOSURE OF BALCONY TO THE STREET WILL CAST AN ADDITIONAL  
SHADOW ONTO THE DRIVEWAY OF THE SUBJECT PROPERTY. THE P.O.S. IN THE BACKYARD IS UNAFFECTED  
AND WILL STILL MAINTAIN 3 HRS OF SUNLIGHT TO A MIN. 50% OF THE REQUIRED P.O.S. ON JUNE 21.

TREES NOT SHOWN FOR CLARITY.

DA SUBMISSION

CLIENT:  
PAMELA + JEROME BERBIGIER  
44 ENNERDALE CRESCENT  
WHEELER HEIGHTS  
NSW 2097

DESIGN:  
NADINE PRUCKNER  
0418 661 691

PROJECT:  
ALTERATIONS &  
ADDITIONS TO  
LOT 86 DP 209117  
44 ENNERDALE CRES.  
WHEELER HEIGHTS

KEY:  
AWN AWNING  
DB DISTRIBUTION BOARD  
DP DOWNPIPE  
EW EXISTING  
EX EXISTING  
F FENCE  
FB FACE BRICK  
FFL FINISHED FLOOR LEVEL  
FT FLOOR TILE

GB GLASS BALUSTRADE  
LD LDRY LAUNDRY  
MF METAL FLASHING  
MB METAL BALUSTRADE  
MR METAL ROOFING  
OF OVERFLOW  
PWC PANELISED WALL CLADDING  
PV PHOTOVOLTAIC PANEL  
RG ROOF GUTTER

RL REDUCED LEVEL  
RP PAINTED RENDER  
RWH RAIN WATER HEAD  
RWT RAIN WATER TANK  
RT RECYCLED TIMBER  
SC STEEL COLUMN  
SF STEEL FRAME  
SKY SKYLIGHT  
TBC TO BE CONFIRMED

TF TIMBER FRAME/TRIM  
TMB TIMBER  
TOG TOP OF GUTTER  
TP TIMBER POST  
TR TILED ROOF  
TS TIMBER SCREEN  
W WINDOW  
WB WEATHER BOARD  
X EXISTING

ISSUED FOR DA	02.12.20
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DRAWING TITLE:  
SHADOW DIAGRAMS 02

02/12/2020

DRAWING No: Rev:  
DA 41 A



BASIX NOTES:

44 ENNERDALE CRESCENT, WHEELER HEIGHTS

SITE AREA: 637.8 m2  
L.G.A.: NORTHERN BEACHES COUNCIL

TO BE READ IN CONJUNCTION WITH  
BASIX CERTIFICATE No A399960

WINDOWS / GLAZING REQUIREMENTS

BASIX Certificate number: A399960

page 4 / 5

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors								
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:							✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.							✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.						✓	✓	✓
Windows and glazed doors glazing requirements								
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type		
			Height (m)	Distance (m)				
W1	SE	15	7.27	4.97	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W2	NE	2.1	7.62	1.67	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		

CONSTRUCTION / INSULATION REQUIREMENTS

BASIX Certificate number: A399960

page 3 / 5

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
internal wall shared with garage: plasterboard (R0.36)	nil				
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (100 mm)	dark (solar absorptance > 0.70)			
raked ceiling, pitched/skillion roof: framed	ceiling: R3.00 (up), roof: foil/sarking	dark (solar absorptance > 0.70)			

FIXTURES & SYSTEMS

BASIX Certificate number: A399960

page 2 / 5

Fixtures and systems					Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting							
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.						✓	✓

LEGEND

BASIX Certificate number: A399960

page 5 / 5

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

CLIENT:  
PAMELA + JEROME BERBIGIER  
44 ENNERDALE CRESCENT  
WHEELER HEIGHTS  
NSW 2097

DESIGN:  
NADINE PRUCKNER  
0418 661 691

PROJECT:  
ALTERATIONS &  
ADDITIONS TO  
LOT 86 DP 209117  
44 ENNERDALE CRES.  
WHEELER HEIGHTS

KEY: AWN AWNING  
DB DISTRIBUTION BOARD  
DP DOWNPIPE  
EW\_ EXTERNAL WALL TYPE\_  
EX\_ EXISTING  
F FENCE  
FB FACE BRICK  
FFL FINISHED FLOOR LEVEL  
FT FLOOR TILE

GB GLASS BALUSTRADE  
LDRY LAUNDRY  
MF METAL FLASHING  
MB METAL BALUSTRADE  
MR METAL ROOFING  
OF OVERFLOW  
PWC PANELISED WALL CLADDING\_  
PV PHOTOVOLTAIC PANEL  
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TF TIMBER FRAME/TRIM  
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TS TIMBER SCREEN  
W WINDOW  
WB WEATHER BOARD  
X\_ EXISTING\_

A ISSUED FOR DA 02.12.20

DA SUBMISSION

DRAWING TITLE:  
BASIX SPECIFICATION

N.T.S.

02/12/2020  
DRAWING No: Rev:  
DA 50 A

