

KEYYUEN DESIGN PTY LTD

Suite 1302/87-89 Liverpool Street,

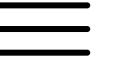
Sydney, NSW, 2000

ABN: 24 615 308 284

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E: gretta@keeyuen.com.au

www.keeyuen.com.au



KEYYUEN

DESIGN & RENOVATION

PROJECT NAME

Manly - Office

PROJECT ADDRESS

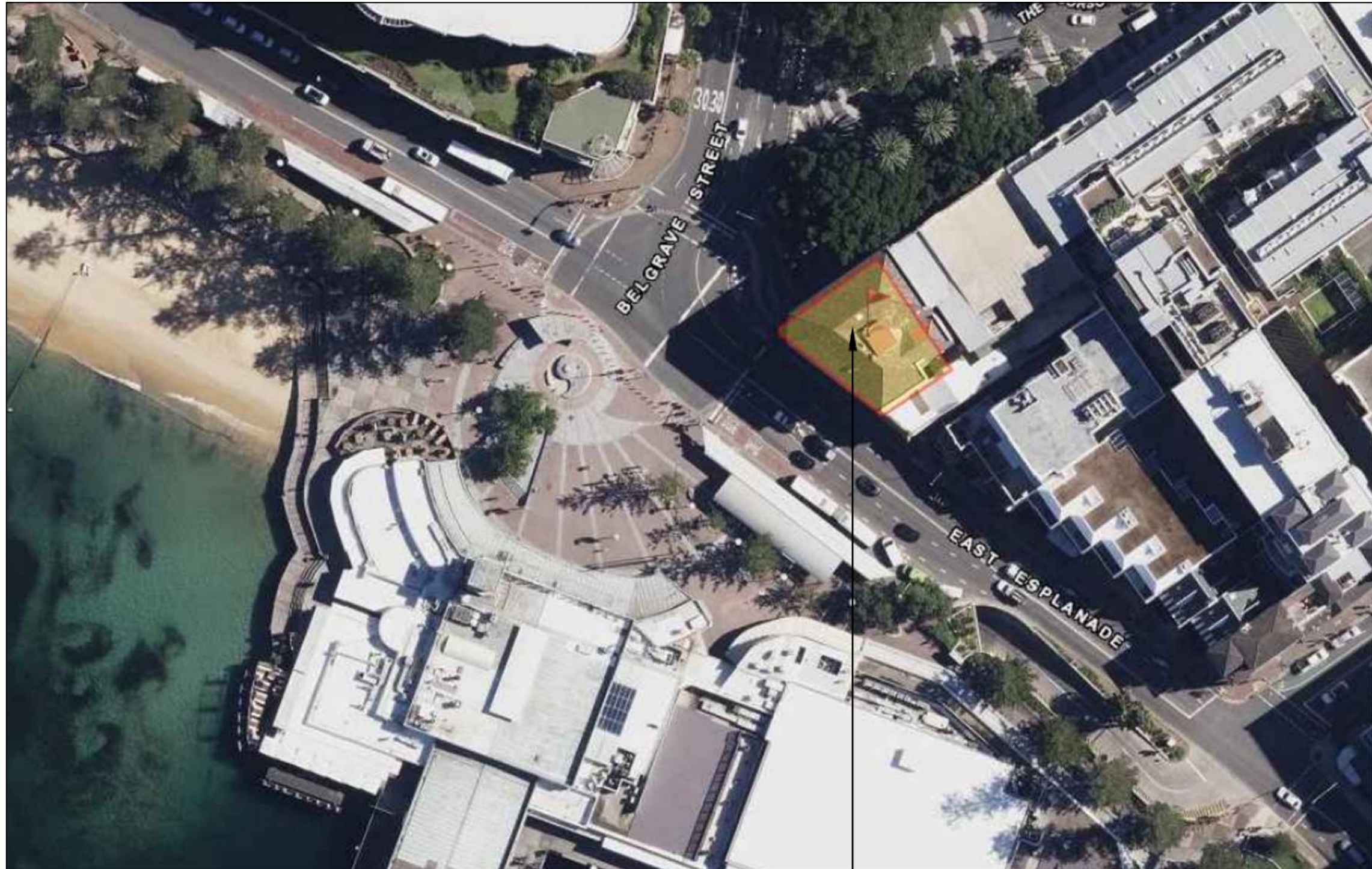
Lot 21/53 East Esplanade, Manly

DESIGNER

GRETTA.L

ISSUE DATE

25th June, 2024



Lot 21/53 East Esplanade, Manly

1 LOCATION PLAN
scale NTS



T: 02 8957 2015
E: info@keeyuen.com.au
A: Suite 1302, 87-89 Liverpool St, Sydney NSW 2000

IMPORTANT NOTE

- Do not scale drawings, figured dimensions are to be followed.
- All works to be in accordance with the building code of Australia and local authority requirements.
- All dimensions are to be confirmed on site prior to construction. In the event of any discrepancies on these drawings, the contractor to contact the designer prior to manufacture.
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- Copyright of these drawings and related documents are reserved by Keeyuen. Any reproduction or distribution of any parts of these drawings and documents are prohibited without permission from Keeyuen.

| REV | DATE | NOTES |
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CLIENT:
Office

PROJECT ADDRESS:
Lot 21/53 East Esplanade, Manly

PROJECT NO:

DRAWING TITLE:
LOCATION PLAN

DRAWING NUMBER:
PL-00

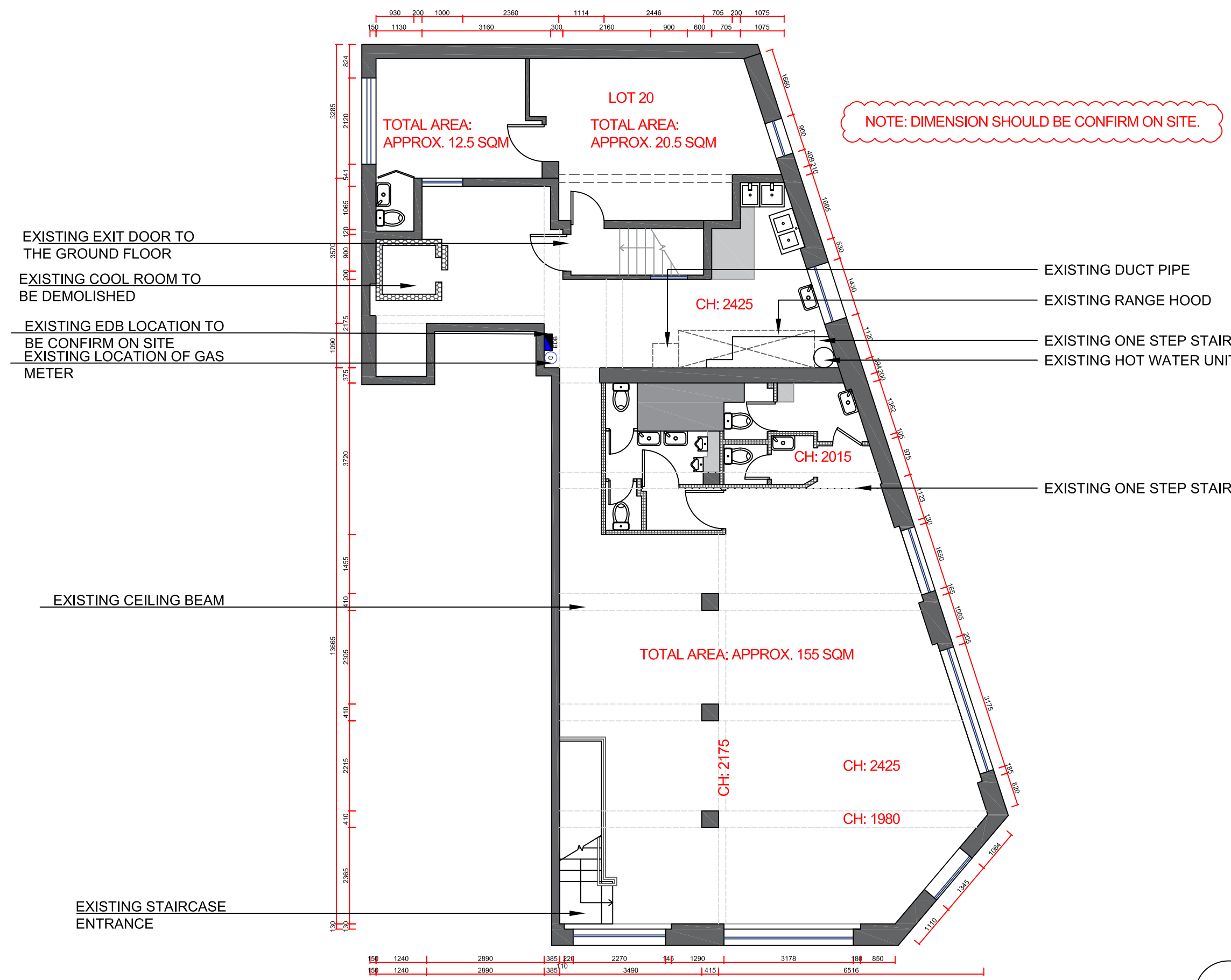
DESIGNER :
Gretta.L

DRAFT BY :

CHECK BY :
Gretta.L

SCALE @ A3:
NTS

ISSUE DATE:
25/06/2024




- NOTE:
- LEASE PLAN BY SHOPPING CENTRE SHOULD BE USED IN CONJUNCTION WITH DESIGN DRAWING DOCUMENTATION.
 - ALL DIMENSIONS MUST BE CHECK ON SITE BEFORE ANY FABRICATION.
 - ART WORK GRAPHIC DIMENSION SHOWN ON THE DRAWING ARE ONLY FOR REFERENCE, BUILDER NEED TO CONFIRM ON SITE SIZE PRIOR FINAL PRINTING.
 - ALL EQUIPMENT CABINET AND COUNTER DETAILS NEED TO BE CONFIRMED WITH CLIENT BEFORE FABRICATION.
 - BUILDER SHOULD CHECK THE BUILDING MANAGEMENT'S REQUIREMENTS REGARDING INTER-TENANCY WALL BEFORE INSTALLING SHELVES OR WALL MOUNTED EQUIPMENTS; OTHERWISE SHELVES AND EQUIPMENT HAVE TO BE SELF SUPPORTED.
 - ALL SERVICES MUST BE COORDINATED AND APPROVED BY OPERATIONS MANAGER PRIOR TO COMMENCEMENT ON SITE.
 - SHOP DRAWING FOR ALL S/S WORK ARE REQUIRED; SHOPFITTER TO SUBMIT TO KEYUEEN DESIGN & RENOVATION AND LANDLORD FOR APPROVAL PRIOR TO MANUFACTURE.

STRUCTURE LEGEND

| | |
|--|-----------------------------------|
| | EXISTING CONCRETE WALLS & COLUMNS |
| | EXISTING PARTITION WALLS |
| | NEW GYPROCK PARTITION WALLS |
| | EXISTING WALLS TO BE DEMOLISHED |

ALL CEILING HEIGHT NEED TO CHECK ON SITE

1 EXISTING FLOOR PLAN
scale 1:100



T: 02 8957 2015
E: info@keeyuen.com.au
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| REV | DATE | NOTES |
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CLIENT:
Office

PROJECT ADDRESS:
Lot 21/53 East Esplanade, Manly

PROJECT NO:

DRAWING TITLE:
EXISTING FLOOR PLAN

DRAWING NUMBER:
PL-01

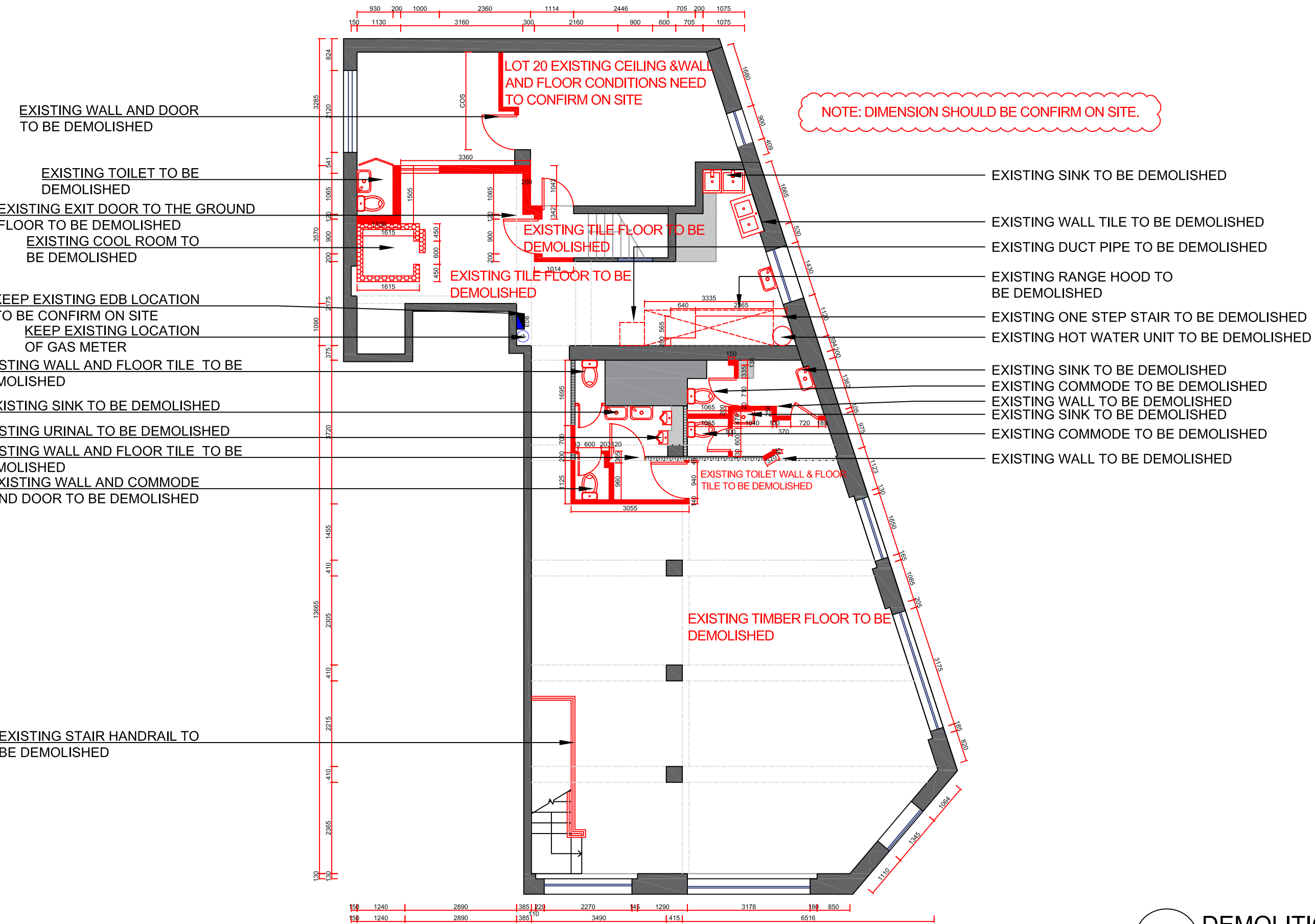
DESIGNER :
Gretta.L

DRAFT BY :

CHECK BY :
Gretta.L

SCALE @ A3:
1:100

ISSUE DATE:
25/06/2024



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STRUCTURE LEGEND

| | |
|--|-----------------------------------|
| | EXISTING CONCRETE WALLS & COLUMNS |
| | EXISTING PARTITION WALLS |
| | NEW GYPROCK PARTITION WALLS |
| | EXISTING WALLS TO BE DEMOLISHED |

ALL CEILING HEIGHT NEED TO CHECK ON SITE

1 DEMOLITION FLOOR PLAN
scale 1:100

T: 02 8957 2015
E: info@keeyuen.com.au
A: Suite 1302, 87-89 Liverpool St, Sydney NSW 2000

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CLIENT:
Office

PROJECT ADDRESS:
Lot 21/53 East Esplanade, Manly

PROJECT NO:

DRAWING TITLE:
DEMOLITION FLOOR PLAN

DRAWING NUMBER:
PL-02

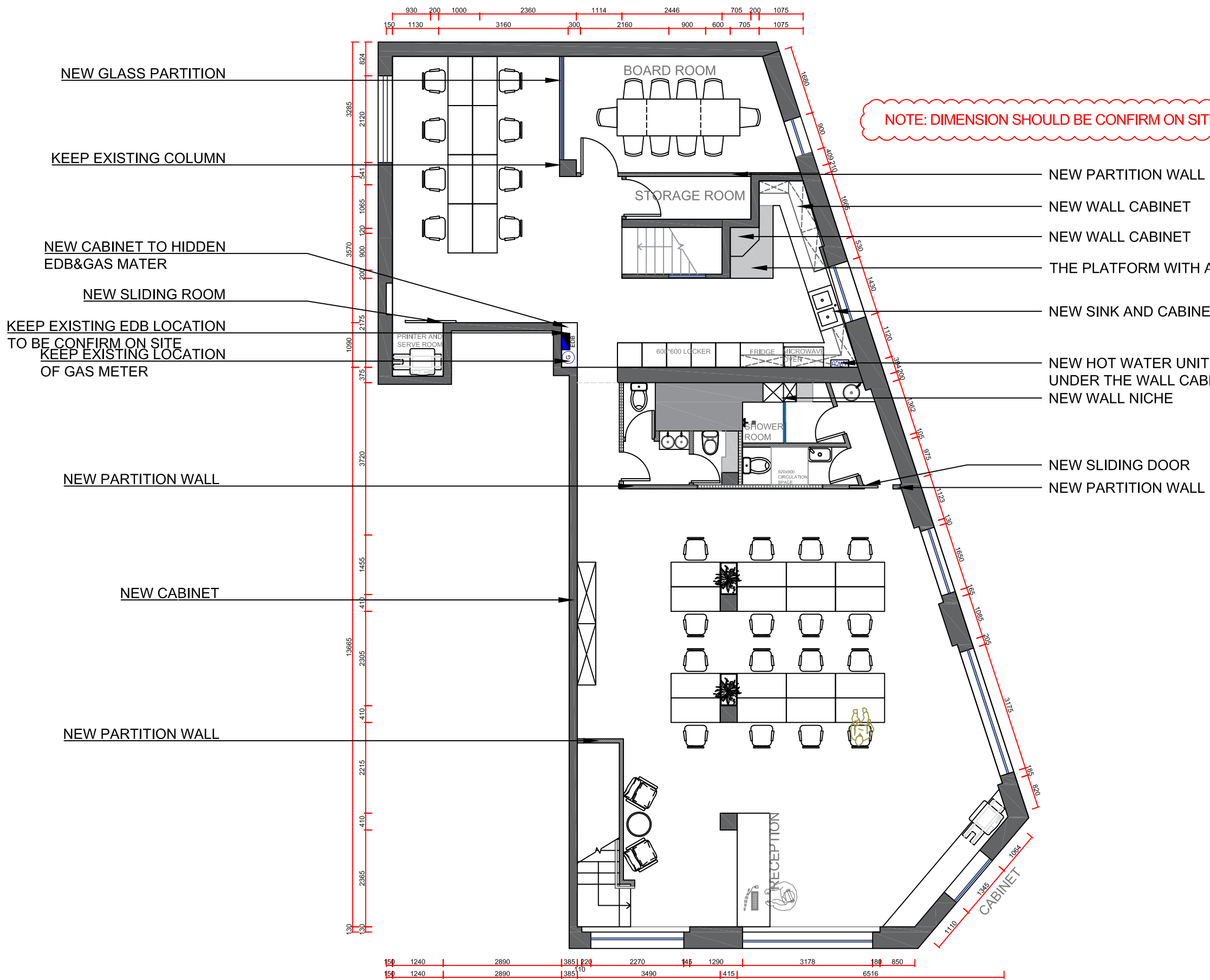
DESIGNER :
Gretta.L

DRAFT BY :

CHECK BY :
Gretta.L

SCALE @ A3:
1:100

ISSUE DATE:
25/06/2024



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STRUCTURE LEGEND

| | |
|--|-----------------------------------|
| | EXISTING CONCRETE WALLS & COLUMNS |
| | EXISTING PARTITION WALLS |
| | NEW GYPROCK PARTITION WALLS |
| | EXISTING WALLS TO BE DEMOLISHED |

ALL CEILING HEIGHT NEED TO CHECK ON SITE

- SHOPFITTER TO CONFIRM QUANTITY, LOCATION AND SIZE OF ALL EXISTING COLUMNS ON SITE ASAP, PRIOR TO ANY WORK DONE. ADVISE DESIGNER ACCORDINGLY ON ANY MAJOR DISCREPANCIES.
- SHOPFITTER TO CONFIRM LOCATION OF EXISTING EDB PRIOR TO ANY WORK DONE & ADVISE DESIGNER ACCORDINGLY.
- SHOPFITTER TO CONFIRM SIZE & ADVISE BEST LOCATION OF GAS METER, IF PROPOSED LOCATION IS NOT IDEAL, PRIOR TO ANY WORK DONE & ADVISE DESIGNER ACCORDINGLY.

- NOTE:**
- ALL FURNITURE TYPE AND SPECIFICATION TO BE CONFIRMED WITH CLIENT PRIOR INSTALLATION.
 - EXHAUST HOOD TO HAVE MINIMUM 150MM OVERHANG AT FRONT AND SIDES, TO COMPLY TO AS 1668.2

1 PROPOSED FLOOR PLAN
scale 1:100

T: 02 8957 2015
E: info@keeyuen.com.au
A: Suite 1302, 87-89 Liverpool St, Sydney NSW 2000

IMPORTANT NOTE

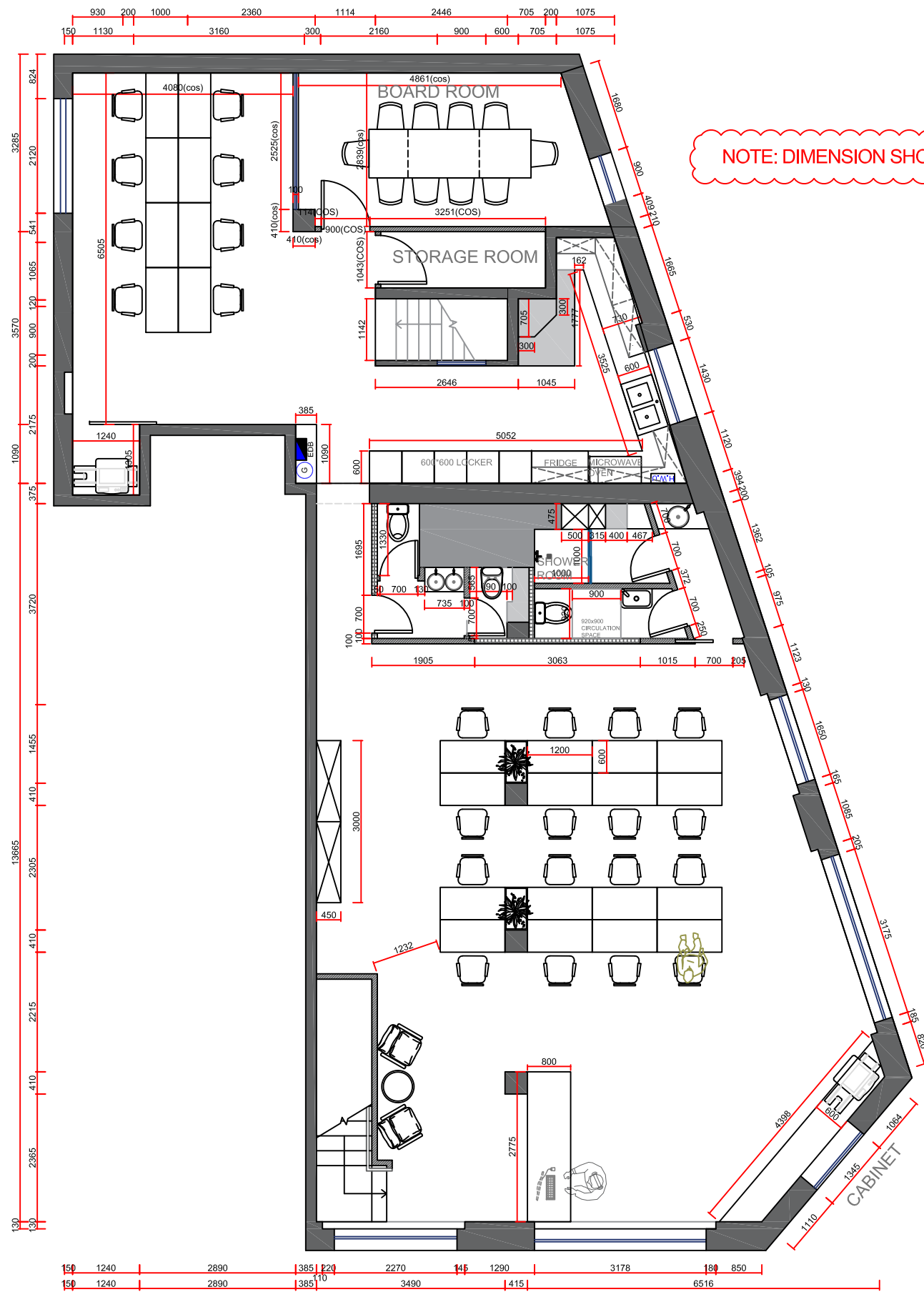
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| REV | DATE | NOTES |
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CLIENT:
Office

PROJECT ADDRESS:
Lot 21/53 East Esplanade, Manly

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|--|-----------------------------|------------|---------------------------|
| PROJECT NO: | DESIGNER : Gretta.L | DRAFT BY : | CHECK BY : Gretta.L |
| DRAWING TITLE: PROPOSED FLOOR PLAN | SCALE @ A3: 1:100 | | ISSUE DATE: 25/06/2024 |
| DRAWING NUMBER: PL-03 | | | |



NOTE: DIMENSION SHOULD BE CONFIRM ON SITE.

- NOTE:**
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STRUCTURE LEGEND

| | |
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| | EXISTING CONCRETE WALLS & COLUMNS |
| | EXISTING PARTITION WALLS |
| | NEW GYPROCK PARTITION WALLS |
| | EXISTING WALLS TO BE DEMOLISHED |

ALL CEILING HEIGHT NEED TO CHECK ON SITE

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1 DIMENSION FLOOR PLAN
scale 1:100



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E: info@keeyuen.com.au
A: Suite 1302, 87-89 Liverpool St, Sydney NSW 2000

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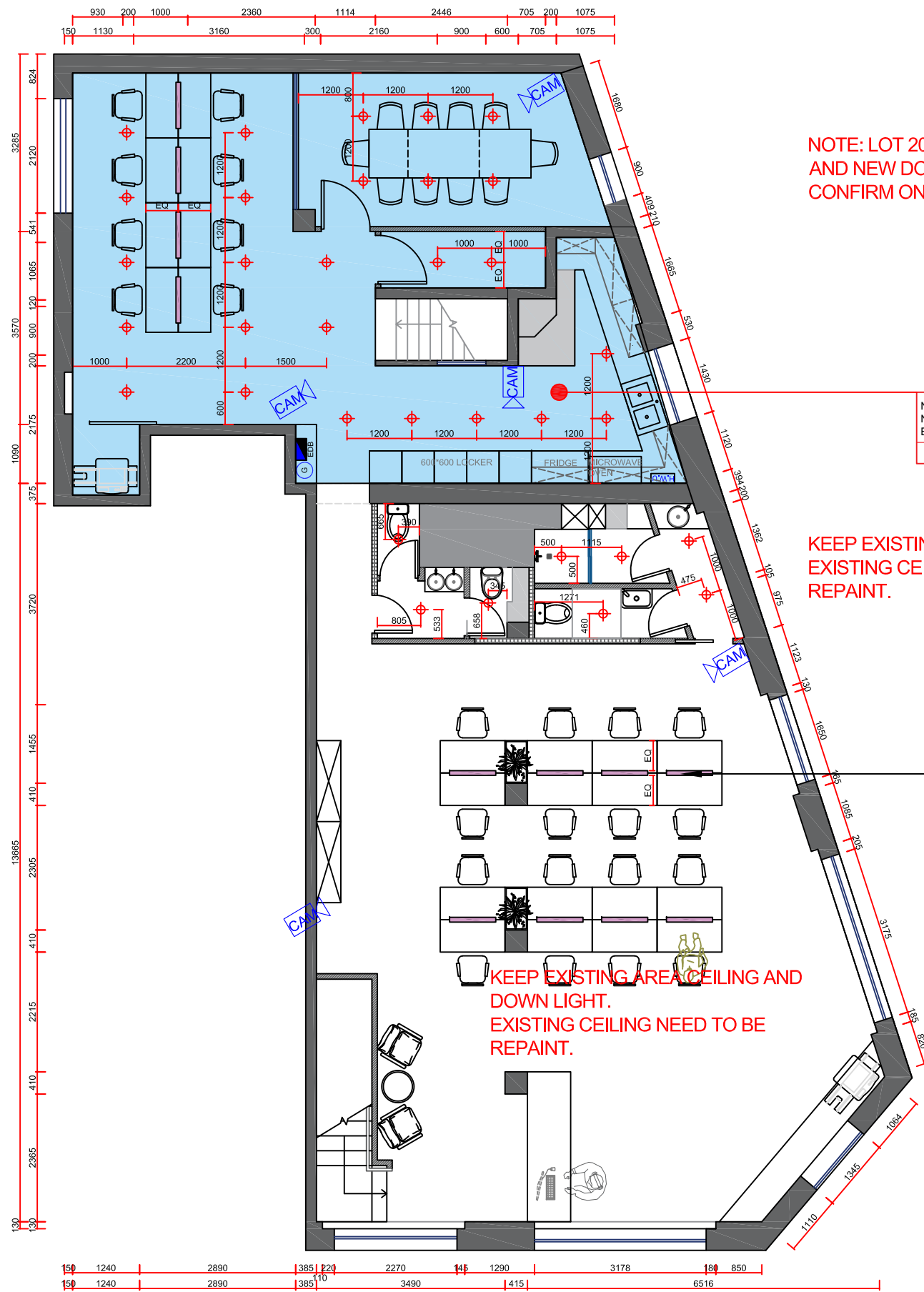
| REV | DATE | NOTES |
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CLIENT: Office
PROJECT ADDRESS: Lot 21/53 East Esplanade, Manly

PROJECT NO: DESIGNER : Gretta.L DRAFT BY: CHECK BY : Gretta.L

DRAWING TITLE: **DIMENSION FLOOR PLAN** SCALE @ A3: **1:100**

DRAWING NUMBER: **PL-04** ISSUE DATE: **25/06/2024**



NOTE: LOT 20 AREA'S NEW CEILING AND NEW DOWN LIGHT NEED TO CONFIRM ON SITE

NEW GYPROCK CEILING.
NEW GYPROCK CEILING TO COVER EXISTING CEILING PIPES.
CH: 2300

KEEP EXISTING TOILET CEILING.
EXISTING CEILING NEED TO BE REPAINT.

NEW PENDANT LIGHT.THE SIZE AND STYLE NEED TO CONFIRM WITH CLIENT.

KEEP EXISTING AREA CEILING AND DOWN LIGHT.
EXISTING CEILING NEED TO BE REPAINT.

- REFLECTED CEILING NOTE:**
1. ALL EDGE LIT STYLE EXIT SIGN AND EMERGENCY LIGHT SHOULD BE INSTALL IN ACCORDANCE WITH BCA
 2. BUILDER SHOULD CONTACT THE BUILDINGS'S NOMINATED MECHANICAL ENGINEER OR SERVICE CONSULTANT TO REVIEW ALL THE ALTERATION JOB AND OBTAIN ALL THE RELEVANT CERTIFICATES BEFORE CONSTRUCTION. NEW MECHANICAL WORKS MUST COMPLY WITH SECTION J OF BCA.
 3. ALL LIGHTS SAMPLE MUST BE PROVIDED BY BUILDER FOR APPROVAL BEFORE INSTALLATION
 4. ALL NEW GYPROCK LINED CEILING. ENSURE COMPLIANCE WITH RELEVANT BCA & AUSTRALIAN STANDARD AS PER FIRE ENGINEER'S SPECIFICATIONS
 5. CONTRACTOR TO ENSURE SUFFICIENT LIGHTING WITHIN RETAIL SPACE AND COMPLY WITH ELECTRICAL CONSUMPTION
 6. ALL AREAS TO HAVE INDIVIDUAL LIGHTING/ EQUIPMENT SWITCH POINTS. CONTRACTOR TO ADVISE BEST LOCATION FOR EACH AREA.

- NOTE:**
- ALL DIMENSIONS TO BE CONFIRMED ON SITE.
 - READ IN CONJUNCTION WITH SERVICES DRAWING.
 - CONFIRM WITH CLIENT FOR EQUIPMENT & SPECS PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO CONNECT OR RELOCATE THE SERVICES FOLLOW MANUFACTURER'S INSTRUCTIONS TO SUIT NEW DESIGN.
 - ALL NEW WALLS IN DRINK BAR AREA TO BE OF SOLID MASONRY CONSTRUCTION.
 - CONTRACTOR TO ENSURE STRUCTURAL INTEGRITY OF JOINERY.
 - ALL STEEL WELDS TO BE GROUND SMOOTH AND FINISHED. NO SHARP EDGES.
 - NO VISIBLE WIRING AND FIXING.

| LEGENDS | |
|---------|-----------------------------------|
| | NEW RECESSED DOWN LIGHT. |
| | NEW PENDANT LIGHT |
| | CAMERA (TBC WITH CLIENT&LOCATION) |

1 REFLECTED CEILING PLAN
scale 1:100

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E: info@keeyuen.com.au
A: Suite 1302, 87-89 Liverpool St, Sydney NSW 2000

IMPORTANT NOTE

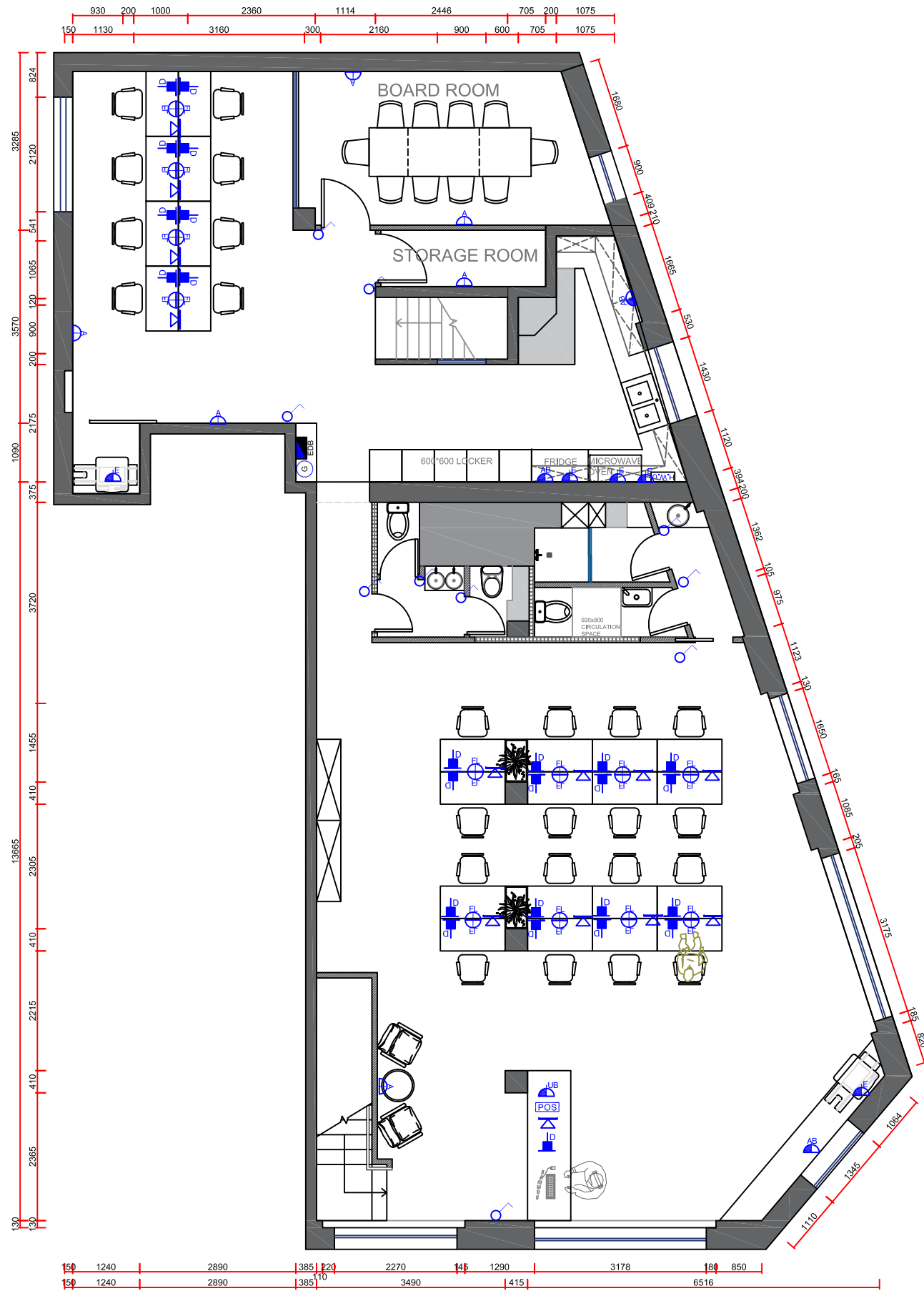
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CLIENT:
Office

PROJECT ADDRESS:
Lot 21/53 East Esplanade, Manly

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| PROJECT NO: | DESIGNER : Gretta.L | DRAFT BY : | CHECK BY : Gretta.L |
| DRAWING TITLE: REFLECTED CEILING PLAN | | SCALE @ A3: 1:100 | |
| DRAWING NUMBER: PL-05 | | ISSUE DATE: 25/06/2024 | |



ELECTRICAL NOTE:

1. THIS ELECTRICAL LAYOUT TO BE READ IN CONJUNCTION WITH DETAIL DRAWINGS FOR LOCATION OF EQUIPMENT (ON OVERHEAD SHELVES, FLOOR, WALL, ETC) TO DETERMINE LOCATION OF CORRESPONDING GPO. CONTRACTOR TO CONFIRM WITH CLIENT FINAL LOCATION OF GPO ON SITE.
2. ENSURE ALL UNDER BENCH EQUIPMENT ALIGNS WITH BENCH TOP, DOES NOT IMPEDE ON EGRESS. GPO LOCATION TO BE ADJUSTED ACCORDINGLY.
3. ALL CORE HOLE AND FLOOR CHASING SHOULD GET APPROVAL FROM LANDLORD/ CENTER MANAGER PRIOR COMMENCE ON SITE.
4. ALL WORKS TO BE OF A HIGH STANDARD & MUST COMPLY WITH BCA, AUSTRALIAN STANDARDS, LOCAL AUTHORITY GUIDELINES, LESSOR REQUIREMENTS & ALL OTHER RELEVANT REGULATIONS. ENSURE ALL APPROVALS ARE IN PLACE PRIOR TO CONSTRUCTION
5. CONTRACTOR SHOULD PROVIDE ALL THE CERTIFICATIONS AS REQUIRED BY LOCAL AUTHORITIES.
6. CONTRACTOR TO CONFIRM WITH SUPPLIER POWER INPUT, REQUIREMENT AND DIMENSION OF EQUIPMENT PRIOR TO CONSTRUCTION / INSTALLATION. ALL EQUIPMENT TO BE INSTALLED AS PER MANUFACTURER'S SPECS.
7. CONTRACTOR TO LIAISE WITH CLIENT PRIOR TO FABRICATION OR INSTALLATION OF ALL GENERAL SERVICES (E.G. GPO, SWITCHES, FIRE EXTINGUISHERS, ETC)
8. CONTRACTOR TO CONTACT BASE BUILDING NOMINATED MECHANICAL ENGINEER OR SERVICE CONSULTANT TO REVIEW ALL ALTERATION JOB & OBTAIN ALL RELEVANT CERTIFICATES PRIOR TO CONSTRUCTION


NOTE:

- CONFIRM ALL POWER REQUIREMENT WITH CLIENT / SUPPLIER PRIOR TO ANY WORK DONE
- CONFIRM ALL SPARE GPO'S REQUIRED WITH CLIENT PRIOR TO ANY WORK DONE

| LEGENDS | |
|---------|--|
| | DOUBLE SOCKET OUTLET 10AMP 240V GPO ABOVE BENCH TOP 150mm |
| | DOUBLE SOCKET OUTLET 10AMP 240V GPO UNDER BENCH TOP 150mm |
| | SINGLE OR DOUBLE GPO TO SUIT EQUIPMENT. CONTRACTOR TO ENSURE SUITABLE AMPS/PHASE |
| | DOUBLE GPO OFF FLOOR 300MM |
| | DOUBLE GPO ON THE FLOOR |
| | DOUBLE GPO ON CEILING |
| | POS LINE |
| | TELEPHONE LINE POINT |
| | INTERNET LINE |
| | LIGHT SWITCH |
| | EXISTING EDB LOCATION TO BE CONFIRMED ON SITE |

1 ELECTRICAL FLOOR PLAN

scale 1:100



T: 02 8957 2015
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 A: Suite 1302, 87-89 Liverpool St, Sydney NSW 2000

IMPORTANT NOTE

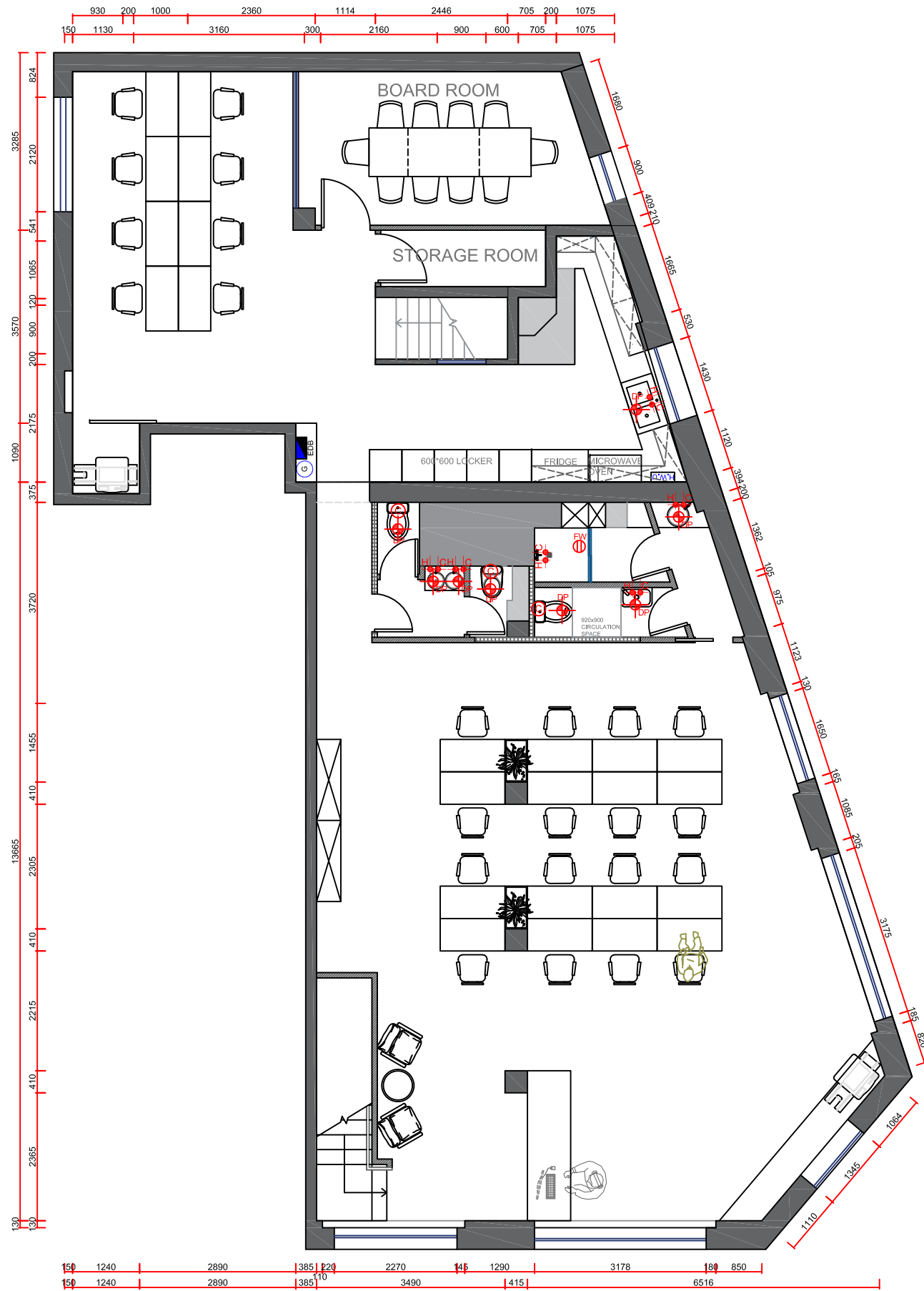
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CLIENT:
Office

PROJECT ADDRESS:
Lot 21/53 East Esplanade, Manly

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|--|-----------------------------|------------|---------------------------|
| PROJECT NO: | DESIGNER : Gretta.L | DRAFT BY : | CHECK BY : Gretta.L |
| DRAWING TITLE: ELECTRICAL FLOOR PLAN | SCALE @ A3: 1:100 | | ISSUE DATE: 25/06/2024 |
| DRAWING NUMBER: PL-06 | | | |



HYDRAULIC NOTE

- CENTRE ENGINEER AND OPERATIONS MANAGER APPROVAL IS REQUIRED FOR ALL FLOOR PENETRATION & CHASING PRIOR TO CONSTRUCTION
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH BCA, LOCAL COUNCIL REGULATION AND AUSTRALIAN STANDARDS.
- IN-FLOOR & IN SINK DRY BASKET ARRESTORS TO BE INSTALLED TO ALL FLOOR WASTE POINT & SINK TO COMPLY WITH SYDNEY WATER REGULATION.
- ALL FLOOR WASTE TO BE 120MM DIAMETER, DRAINAGE POINT AND TUNDISH TO BE 60MM DIAMETER. ALL CORE HOLES 180MM OFFSET FROM WALL OTHER WISE NOMINATED AS DRAWINGS.
- ENSURE THERE IS SUFFICIENT ROOM FOR WATER UNIT.
- REUSE EXISTING WASTE POINTS WHERE POSSIBLE. CONTRACTOR TO CONFIRM LOCATION AND TO DISCUSS WITH DESIGNER PRIOR TO MARK UP OF NEW CORE HOLES.
- READ IN CONJUNCTION WITH CLIENTS'S EQUIPMENT SCHEDULE AND KITCHEN EQUIPMENT PLAN. CONFIRM SPECS AND LOCATION WITH CLIENT PRIOR TO ORDERING ALL DIMENSIONS TO EQUIPMENT. TO BE CONFIRMED WITH SUPPLIER PRIOR TO CONSTRUCTION. CONTRACTOR TO FOLLOW MANUFACTURERS INSTRUCTION FOR ALL EQUIPMENT INSTALLATION. CONTRACTOR TO CONFIRM HYDRAULIC INPUT FOR EACH EQUIPMENT PRIOR TO INSTALLATION.
- CORE HOLE LAYOUT TO BE SUBMITTED FOR ENGINEERS APPROVAL. PRIOR TO COMMENCEMENT OF CORE HOLE CUTTING
- ALL WET AREAS WITHIN THE TENANCY MUST HAVE WATERPROOF MEMBRANE INSTALLED TO ENCLOSE ENTIRE FLOOR, FLOOR WASTES, PENETRATIONS AND WALLS TO MINIMUM HEIGHT OF 150mm FROM THE FLOOR FINISH LEVEL.

NOTE:

- ALL DIMENSIONS TO BE CONFIRMED ON SITE.
- READ IN CONJUNCTION WITH SERVICES DRAWING.
- CONFIRM WITH CLIENT FOR EQUIPMENT & SPECS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO CONNECT OR RELOCATE THE SERVICES FOLLOW MANUFACTURER'S INSTRUCTIONS TO SUIT NEW DESIGN.
- ALL NEW WALLS IN DRINK BAR AREA TO BE OF SOLID MASONRY CONSTRUCTION.
- CONTRACTOR TO ENSURE STRUCTURAL INTEGRITY OF JOINERY.
- ALL STEEL WELDS TO BE GROUND SMOOTH AND FINISHED.
- NO SHARP EDGES.
- NO VISIBLE WIRING AND FIXING.

LEGENDS

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| | COLD WATER @ 600 AFFL.ENSURE MEET 'WELS' RATING STANDARDS |
| | HOT & COLD WATER @ 600 AFFL.ENSURE MEET 'WELS' RATING STANDARDS |
| | GAS CONNECTION CONTRACTOR TO CONFIRM THE FINAL AND EXACT GAS PROVISION REQUIREMENT FOR THE APPLIANCES WITH KITCHEN CONTRACTOR |
| | DRAIN POINT CONNECTED TO TRADE WASTE 50MM OR 90MM CORE HOLE |
| | EXISTING FLOOR WASTE |

1 HYDRAULICS FLOOR PLAN
scale 1:100

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IMPORTANT NOTE

- Do not scale drawings, figured dimensions are to be followed.
- All works to be in accordance with the building code of Australia and local authority requirements.
- All dimensions are to be confirmed on site prior to construction. In the event of any discrepancies on these drawings, the contractor to contact the designer prior to manufacture.
- Measurements for the fabrication of secondary components are to be taken on site to suit.
- Contractor's responsibility to obtain approvals from authorities including local council and water board prior to construction.
- Contractor to liaise with third party suppliers to confirm exact requirements, including electrical data comms, Hydraulics and any other related requirements
- Contractor to ensure structural integrity and feasibility of all units/components prior to fabrication. All structural components shall be read in accordance to details and specifications prepared by a structural engineer.
- All architectural documentations are to be read in conjunction with other consultant's drawings/specification and all other related documents.
- Copyright of these drawings and related documents are reserved by Keeyuen. Any reproduction or distribution of any parts of these drawings and documents are prohibited without permission from Keeyuen.

| REV | DATE | NOTES |
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| | | |

CLIENT:
Office

PROJECT ADDRESS:
Lot 21/53 East Esplanade, Manly

| | | | |
|---|------------------------|------------|---------------------------|
| PROJECT NO: | DESIGNER : Gretta.L | DRAFT BY : | CHECK BY : Gretta.L |
| DRAWING TITLE: HYDRAULICS FLOOR PLAN | SCALE @ A3: 1:100 | | ISSUE DATE: 25/06/2024 |
| DRAWING NUMBER: PL-07 | | | |