

CALCULATIONS	
EXISTING FLOOR SPACE	88
PROPOSED FLOOR SPACE	221.3
PROPOSED FSR	0.31 : 1
TOTAL SITE AREA	708.2
PRIVATE OPEN SPACE	325
LANDSCAPED AREA	360 (51%)

## BASIS COMMITMENTS

RAINWATER TANK: MIN. 94.5 LITRES TO COLLECT RAINWATER RUNOFF FROM AT LEAST 100m<sup>2</sup> OF ROOF AREA

SWIMMING POOL CAPACITY NOT TO EXCEED 32,000 LITRES

SWIMMING POOL TO HAVE A COVER

RAINWATER POOL TO HAVE A POOL PUMP/TIMER

SWIMMING POOL HEATING SOLAR (ELECTRIC BOOSTER)

HOT WATER SYSTEM ELECTRIC HEAT PUMP THAT IS ELIGIBLE TO CREATE RENEWABLE ENERGY CERTIFICATES

### LIGHTING

THE APPLICANT MUST ENSURE A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.

### FIXTURES

THE APPLICANT MUST ENSURE NEW OR ALTERED SHOWERS/HEADS HAVE A FLOW RATE NO GREATER THAN 4 LITRES PER MINUTE OR 3.4 STAR WATER RATING.

THE APPLICANT MUST ENSURE NEW OR ALTERED TOILETS HAVE A FLOW RATE NO GREATER THAN 4 LITRES PER AVERAGE FLUSH OR A MINIMUM 3 STAR WATER RATING.

THE APPLICANT MUST ENSURE NEW OR ALTERED TAPS HAVE A FLOW RATE NO GREATER THAN 6 LITRES PER MINUTE OR A MINIMUM 3 STAR WATER RATING.

SUPPLIED FLOOR WITH ENCLOSED SURFLOOR INSULATION R0.60 (DOWN) OR R1.00 (UP) INCLUDING CONSTRUCTION

EXTERNAL WALLS INSULATION R130 (DOWN) R170 INCLUDING CONSTRUCTION

ROOF INSULATION FOR NEW ROOF TO BE R150 (UP) ROOF: FOL, BACKED BLANKET 55mm LIGHT COLOUR - SOLAR ABSORPTANCE = 0.475

ROOF INSULATION FOR NEW FLAT ROOF TO BE R0.28 (UP) ROOF: FOL, BACKED BLANKET 55mm MEDIUM COLOUR - SOLAR ABSORPTANCE 0.475

ALL NEW WINDOWS TO BE STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE: 7.63 SED TO BE FITTED)

WINDOWS W1, 3 & 4 TO 10 TO 0.75 WITH EXTERNAL LOUVERS / BLINDS (ADDITIONAL)

ALL VEHICLES VISITING THE SITE ARE TO COMPLY WITH THE PARKING REGULATIONS IN THE AREA. ALL VEHICLES ARE TO BE WASHED DOWN BEFORE LEAVING THE SITE. ALL POLLUTED WATERS ARE TO REMAIN ON SITE FOR TREATMENT. ALL TRUCKS AND UTILITIES MUST COVER THEIR LOADS. NO VEHICLE VISITING THE SITE IS TO IMPEDE LOCAL AREA TRAFFIC FLOWS. A LICENSED PERSON WILL DIRECT TRAFFIC AND PEDESTRIANS WHEN TRUCKS ENTER THE SITE.



THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS.

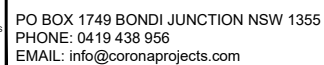
THE BUILDING / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, LEVELS, GROUNDLINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.

PREFERENCES OF DIMENSIONED MEASUREMENTS TO BE TAKEN OVER SCALED MEASUREMENTS.

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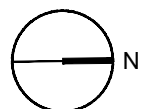
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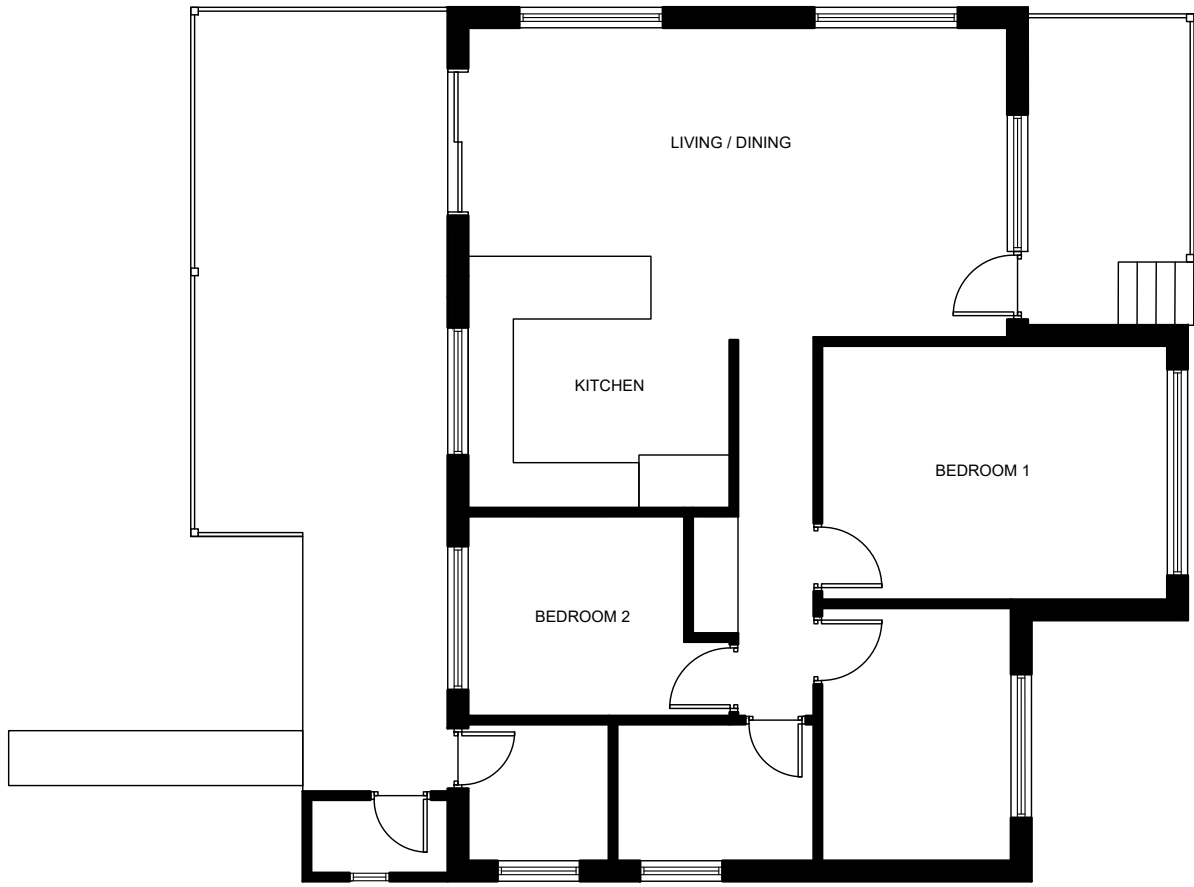


SCALE:  
1:100 @ A2

ADDRESS:  
57 LANTANA AVENUE  
WHEELER HEIGHTS

DATE:  
SEP. 2022





EXISTING GROUND FLOOR PLAN

DEMOLITION WORK PLAN

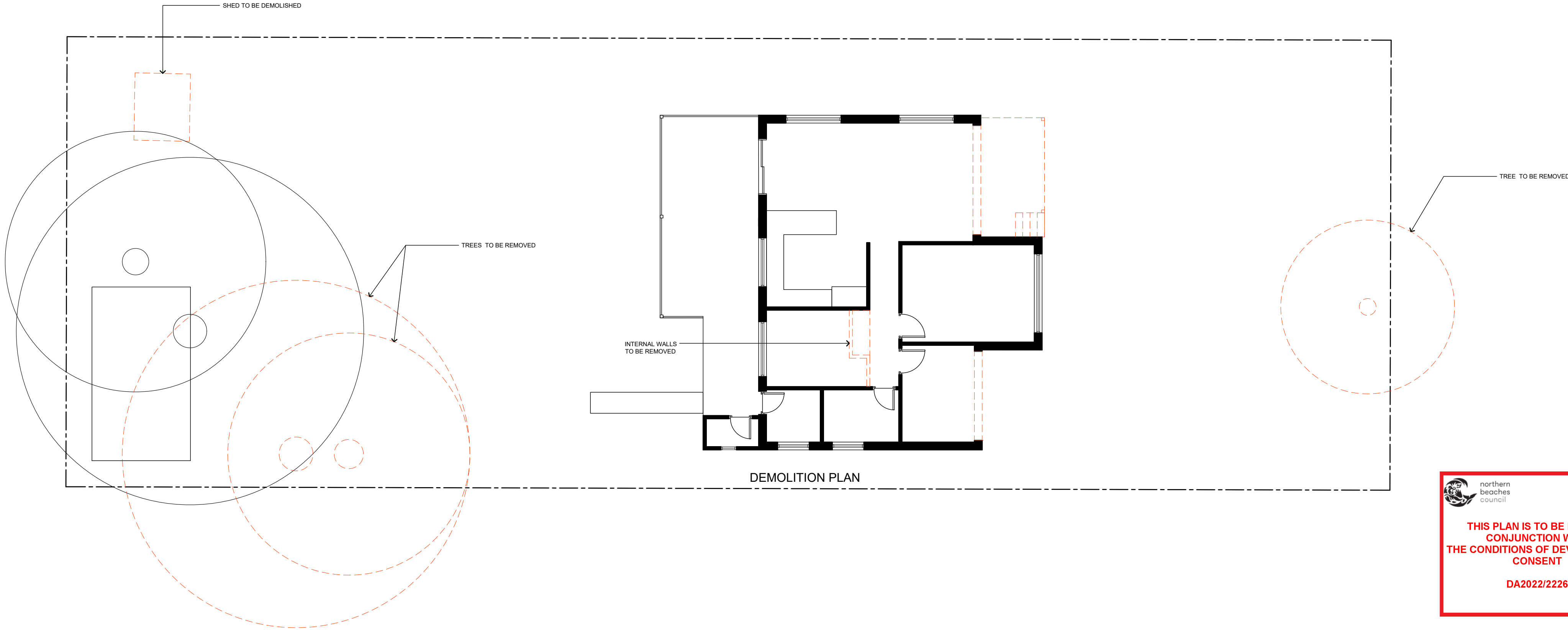
THE DEMOLITION OF BUILDINGS AND THE REMOVAL, STORAGE, HANDLING AND DISPOSAL OF BUILDING MATERIALS MUST BE CARRIED OUT IN ACCORDANCE WITH THE RELEVANT REQUIREMENTS OF WORKCOVER NSW, THE NSW DEPARTMENT OF ENVIRONMENT, CLIMATE CHANGE & WATER INCLUDING:

- WORK HEALTH & SAFETY ACT 2011 AND REGULATIONS
- WORKCOVER NSW CODE OF PRACTICE FOR THE SAFE REMOVAL OF ASBESTOS
- WORKCOVER NSW GUIDELINES AND CODES OF PRACTICE
- AUSTRALIAN STANDARD 2601 (2001) - DEMOLITION OF STRUCTURES
- THE PROTECTION OF ENVIRONMENT OPERATIONS ACT 1997 AND REGULATIONS
- RELEVANT EPA GUIDELINES

REMOVAL OF ASBESTOS MATERIALS

WORK INVOLVING THE DEMOLITION, STORAGE OR DISPOSAL OF ASBESTOS PRODUCTS AND MATERIALS MUST BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

- RELEVANT OCCUPATIONAL HEALTH & SAFETY LEGISLATION AND WORKCOVER NSW REQUIREMENTS
- A WORKCOVER LICENSED DEMOLITION OF ASBESTOS REMOVAL CONTRACTOR MUST UNDERTAKE REMOVAL OF MORE THAN 10m<sup>2</sup> OF BONDED ASBESTOS (OR AS OTHERWISE SPECIFIED BY WORKCOVER OR RELEVANT LEGISLATION). REMOVAL OF FRIABLE ASBESTOS MATERIAL MUST ONLY BE UNDERTAKEN BY CONTRACTOR THAT HOLDS A CURRENT FRIABLE ASBESTOS REMOVAL LICENCE. A COPY OF THE RELEVANT LICENCE MUST BE PROVIDED TO THE PRINCIPAL CERTIFYING AUTHORITY.



DEMOLITION PLAN



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2022/2226



AMENDMENTS

31.01.23 A BULK REDUCED

THE WORK IS TO BE COMPLETED WITHIN THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY LAWS.  
THE BUILDING MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, PL, GRID, KILN AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.  
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PO BOX 1749 BONDI JUNCTION NSW 1355  
PHONE: 04 19 438 956  
EMAIL: info@coronaprojects.com

DRAWING:  
EXISTING GROUND FLOOR PLAN & DEMOLITION WORK PLAN

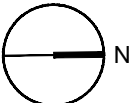
SCALE:  
1:100 @ A2

PROJECT:  
ALTERATIONS & ADDITIONS

ADDRESS:  
57 LANTANA AVENUE  
WHEELER HEIGHTS

SHEET No:  
01

DATE:  
SEP. 2022



LOT 1  
DP 522409

LOT 2  
DP 522409

LOT 1  
DP 1140808

LOT 2  
DP 1260770

■ DENOTES  
LANDSCAPED AREAS

 **northern  
beaches  
council**

**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2022/2226**



AMENDMENTS		<div><div></div><div>Corona Projects</div><div>PO BOX 1749 BONDI JUNCTION NSW 1355 PHONE: 0419 438 956 EMAIL: info@coronaprojects.com</div></div>	DRAWING: PROPOSED GROUND FLOOR PLAN	PROJECT: ALTERATIONS & ADDITIONS	SHEET No: 02	<div><div></div><div>N</div></div>
31.01.23	A BULK REDUCED		SCALE: 1:100 @ A2	ADDRESS: 57 LANTANA AVENUE WHEELER HEIGHTS	DATE: SEP. 2022	




LOT 1  
DP 522409

LOT 2  
DP 522409

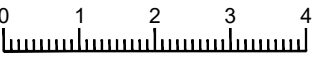
LOT 1  
DP 1140808

LOT 2  
DP 1260770

 **northern  
beaches  
council**

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CONSENT**

**DA2022/2226**



AMENDMENTS		
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DRAWING:  
PROPOSED FIRST FLOOR PLAN

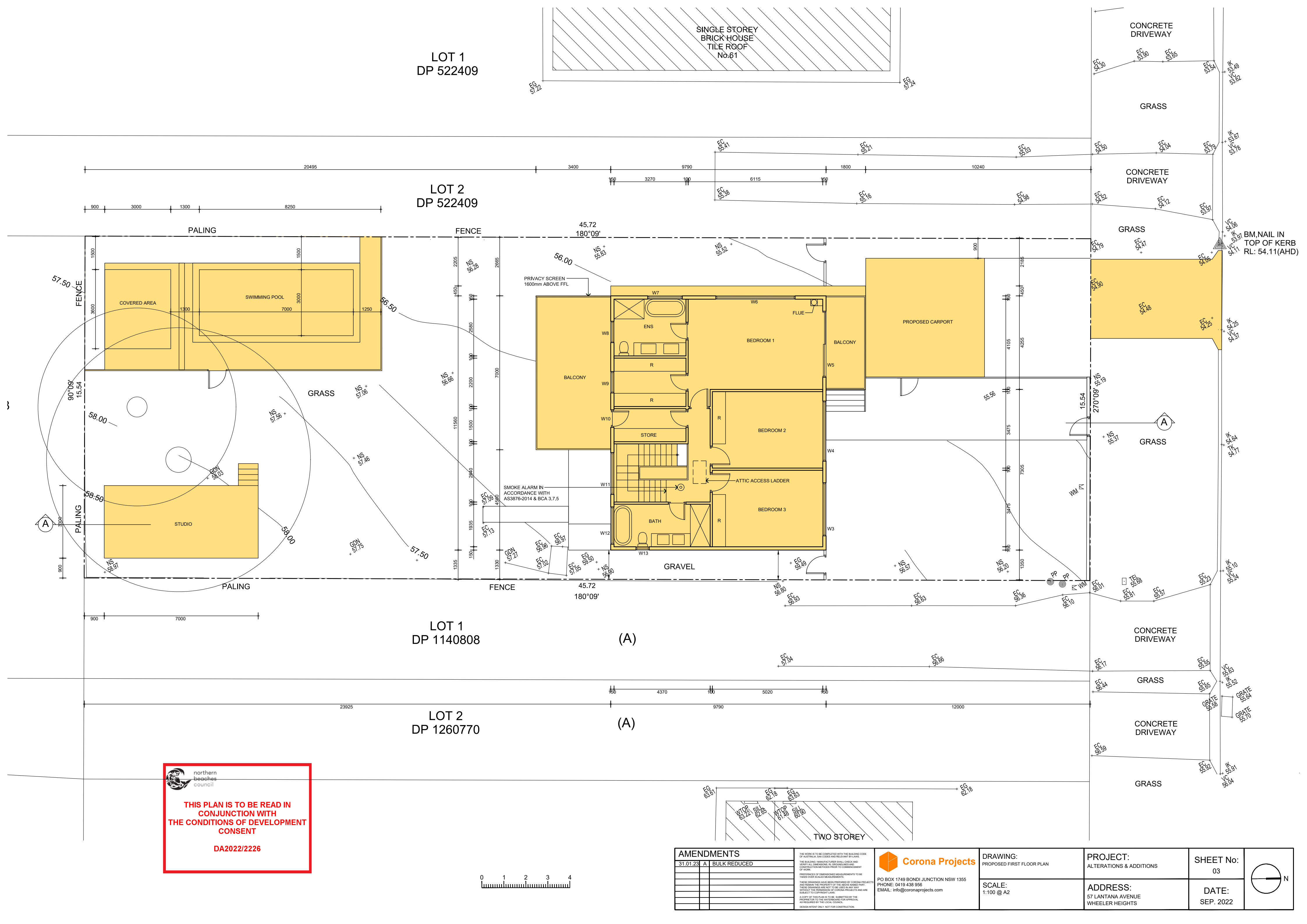
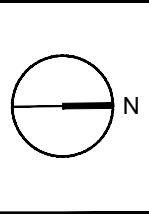
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1:100 @ A2

PROJECT:  
ALTERATIONS & ADDITIONS

ADDRESS:  
57 LANTANA AVENUE  
WHEELER HEIGHTS

SHEET No:  
03

DATE:  
SEP. 2022



LOT 1  
DP 522409

LOT 2  
DP 522409

LOT 1  
DP 1140808

LOT 2  
DP 1260770

  
northern  
beaches  
council

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CONSENT**

**DA2022/2226**



AMENDMENTS		
31.01.23	A	BULK REDUCED

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OF AUSTRALIA, SAA CODES AND RELEVANT BY LAWS.

THE BUILDING MANUFACTURER SHALL CHECK AND  
VERIFY ALL DIMENSIONS, IN ORDER TO AVOID ANY  
CONSTRUCTION DEFECTS PRIOR TO COMMENCEMENT  
OF WORK.

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DRAWING:  
STORAGE ATTIC PLAN

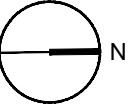
SCALE:  
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PROJECT:  
ALTERATIONS & ADDITIONS

ADDRESS:  
57 LANTANA AVENUE  
WHEELER HEIGHTS

SHEET No:  
04

DATE:  
SEP. 2022



LOT 1  
DP 522409

LOT 2  
DP 522409

LOT 1  
DP 1140808

LOT 2  
DP 1260770

 northern  
beaches  
council

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THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2022/2226**



SINGLE STOREY  
BRICK HOUSE  
TILE ROOF  
No.61

 **Corona Projects**

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EMAIL: info@coronaprojects.com

DRAWING:  
PROPOSED ROOF PLAN

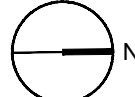
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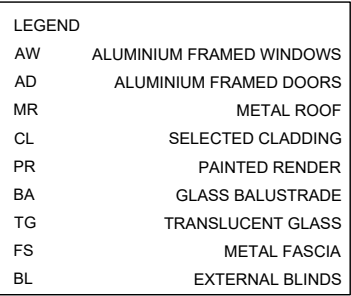
PROJECT:  
ALTERATIONS & ADDITIONS


ADDRESS:  
57 LANTANA AVENUE  
WHEELER HEIGHTS

SHEET No:  
05

DATE:  
SEP. 2022





<b>AMENDMENTS</b> 31.01.23 A BULK REDUCED		 <b>Corona Projects</b>  PO BOX 1748 BONDI JUNCTION NSW 1355 PHONE: 0410 428 998 EMAIL: info@coronaprojects.com	<b>DRAWING:</b> PROPOSED ELEVATIONS	<b>PROJECT:</b> ALTERATIONS & ADDITIONS	<b>SHEET No:</b> 06
THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS.  THE BUILDING STANDARDS/CHARTER SHALL CHECK AND VERIFY ALL DIMENSIONS, TO BE APPROVED AND ENDORSED THROUGH THE RELEVANT PRIOR TO COMMENCEMENT.  PREFERENCE OF DIMENSIONED MEASUREMENTS TO BE GIVEN OVER SCALE MEASUREMENTS.  THESE DRAWINGS HAVE BEEN PREPARED BY CORONA PROJECTS AND REMAIN THE PROPERTY OF THE ABOVE NAMED PARTY. NO PART OF THESE DRAWINGS ARE TO BE USED IN ANY WAY WITHOUT THE PERMISSION OF CORONA PROJECTS AND ARE SUBJECT TO COPYRIGHT LAWS.  A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATERWAYS FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL.  DESIGN INTENT ONLY, NOT FOR CONSTRUCTION.			<b>SCALE:</b> 1:100 @ A2	<b>ADDRESS:</b> 57 LANTANA AVENUE WHEELAHER HEIGHTS	<b>DATE:</b> SEP. 2022







