



CONSTRUCTION NOTES GEOTEXTILE FILTER FABRIC FABRICATE A SEDIMENT BARRIER FROM RUNOFF WATER WITH SEDIMENT GEOTEXTILE MATERIAL
2. SUPPORT GEOTILE WITH MESH TIED TO POSTS AT 1m CTS. 77X/X/ DO NOT COVER INLET WITH GEOTEXTILE ___ FILTERED WATER

EROSION & SEDIMENT CONTROL DETAILS

CALCULATIONS	
EXISTING FLOOR SPACE	88
PROPOSED FLOOR SPACE	221.3
PROPOSED FSR	0.31 : 1
TOTAL SITE AREA	708.2
PRIVATE OPEN SPACE	325
LANDSCAPED AREA	360 (51%)

BASIX COMMITMENTS

RAINWATER TANK MIN. 945 LITRES TO COLLECT RAINWATER RUNOFF FROM AT LEAST

SWIMMING POOL CAPACITY NOT TO EXCEED 32 KILOLITRES SWIMMING POOL TO HAVE A COVER SWIMMING POOL TO HAVE A POOL PUMP TIMER SWIMMING POOL HEATING SOLAR (ELECTRIC BOOSTED)

HOT WATER SYSTEM ELECTRIC HEAT PUMP THAT IS ELIGIBLE TO CREATE RENEWABLE ENERGY CERTIFICATES

LIGHTING
THE APPLICANT MUST ENSURE A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.

FIXTURES
THE APPLICANT MUST ENSURE NEW OR ALTERED SHOWERHEADS HAVE A FLOW RATE NO GREATER THAN 9 LITRES PER MINUTE OR A 3 STAR WATER RATING.
THE APPLICANT MUST ENSURE NEW OR ALTERED TOILETS HAVE A FLOW RATE NO GREATER THAN 4 LITRES PER AVERAGE FLUSH OR A MINIMUM 3 STAR WATER RATING.
THE APPLICANT MUST ENSURE NEW OR ALTERED TAPS HAVE A FLOW RATE NO GREATER THAN 9 LITRES PER MINUTE OR MINIMUM 3 STAR WATER RATING.

SUSPENDED FLOOR WITH ENCLOSED SUBFLOOR INSULATION R0.60 (DOWN) OR R1.30 INCLUDING CONSTRUCTION

EXTERNAL WALLS INSULATION R1.30 (OR 1.70 INCLUDING CONSTRUCTION)

ROOF INSULATION FOR NEW FLAT ROOF TO BE R2.08 (UP), ROOF: FOIL BACKED BLANKET

55mm MEDIUM COLOUR - SOLAR ABSORPTANCE 0.475 - 0.70

VINDOWS W1, 3, 4 & 19 TO BE FITTED WITH EXTERNAL LOUVRES / BLINDS (ADJUSTABLE

OBJECTIVES

TO ENSURE THAT NECESSARY MEASURES ARE EMPLOYED ON THE SITE THAT PROTECT BOTH THE NEIGHBOURHOOD AMENITY AND THE SURROUNDING ENVIRONMENT AND MINIMISE SITE DEGRADATION. THE RECYCLING OF MATERIALS WILL REDUCE TIPPING COSTS.

RESPONSIBILITY

THE CONTRACTOR WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS INCLUDES ASSUMING RESPONSIBLITY FOR THE ACTIONS OF ALL THE SUBCONTRACTORS AS WELL AS ADVISING THEM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT THE WORK.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE VIEWED ALL APPROVED PLANS PRIOR TO THE COMMENCEMENT OF DEMOLITION, EARTHWORKS AND CONSTRUCTION WORKS.

COUNCIL PROPERTY

COUNCIL PROPERTY IS NOT TO BE USED FOR CONSTRUCTION OR STORAGE ACTIVITIES UNLESS PRIOR WRITTEN APPROVAL HAS BEEN OBTAINED. COUNCIL PROPERTY IS NOT TO BE DAMAGED AND IS TO BE KEPT IN A CLEAN, SAFE AND FUNCTIONAL CONDITION BEFORE, DURING AND ON COMPLETION OF THE WORKS.

SHOULD ANY COUNCIL PROPERTY INCLUDING FOOTPATHS BE INADVERTENTLY DAMAGED AS A RESULT OF THE WORKS, COUNCIL MUST BE NOTIFIED IMMEDIATELY.

OPERATING HOURS

TO MINIMISE UNDUE LOSS OF AMENITY, HOURS OF WORK FOR DEMOLITION / EXCAVATION / CONSTRUCTION ARE TO BE RESTRICTED ABSOLUTELY TO THE HOURS INDICATED IN THE CONDITIONS OF CONSENT. NO PLANT OR MACHINERY MAY MOVE ON OR OFF THE SITE OUTSIDE OF RESTRICTED HOURS OF OPERATION.

LARGE EXCAVATION VEHICLES WAITING TO COMMENCE WORK MUST BE REMOTELY LOCATED FROM THE SITE SO AS NOT TO AFFECT THE LOCAL AMENITY. THE CONTRACTOR IS REPONSIBLE FOR ANY CONTRAVENTION BY SUBCONTRACTORS OF THESE CONDITIONS.

ACCESS POINT

TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET, ALL VEHICLES AND PLANT EQUIPMENT WILL USE A SINGLE ENTRY / EXIT POINT.
A SEDIMENT CONTROL DEVICE IS TO BE PLACED AT THE SITE ACCESS POINT TO PREVENT SEDIMENT DEPOSITION ON ADJOINING ROADS.
THE CONTRACTOR IS RESPONSIBLE TO REMOVE ANY MATERIAL DEPOSITED OFFSITE AS A RESULT OF SPILLAGE OR VEHICLE MOVEMENT. RESTORE AREA TO PREVIOUS STANDARD OR EQUAL. FORM VEHICLE CROSSING FROM 150x50 HARDWOOD PLANKS, CHAMPERED AT ENDS. LAY OVER 150mm ROAD BASE. TIE WITH HOOP IRON STRAPS AT 600 C/C.

HAZARDOUS MATERIALS

ASBESTOS CEMENT SHEETING IF ENCOUNTERED IS TO BE WRAPPED TIGHTLY IN PLASTIC TO COMPLY WITH THE AUSTRALIAN STANDARD AND WORK COVER AUTHORITIES REQUIREMENTS AND TAKEN TO AN APPROVED LANDFILL TIP.

BUILDING MATERIAL STOCKPILE

AT NO TIME MAY BUILDING MATERIALS OR STOCKPILES BE SITUATED ON A PUBLIC RESERVE, ROAD GUTTER OR FOOTPATH, THIS INCLUDES BUILDING OR DEMOLITION MATERIAL, WASTE CONTAINERS, PROTABLE SHEDS, PORTABLE TOILETS AND THE LIKE. ALL BUILDING MATERAILS ARE TO BE STORED WITHIN THE SEDIMENT FENCE ENVELOPE OF THE SUBJECT SITE. ALL LOOSE MATERIAL TO BE COVERED WITH TARPAULINS.

A SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS ETC. AS REQUIRED. THE FEASIBILITY OF THE NOMINATED SITE FOR THE STOCKPILE MUST BE CONFIRMED PRIOR TO COMMENCEMENT.

DUST CONTROL

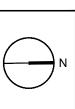
APPROPRIATE METHODS ARE TO BE USED TO PREVENT WIND BLOWN DUST CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR ADJOINING PROPERTIES. WHERE DUST IS CREATED AS A RESULT OF THE WORKS OR SOIL EXPOSURE, THE BARE SOIL AREAS ARE TO BE WATERED DURING THE DAY AND AT THE END OF DAY TO LAY THE DUST. AVOID EARTH MOVING ACTIVITIES WHEN THE WIND IS STRONG ENOUGH TO RAISE VISIBLE DUST. CONTAINMENT OF SITE WASTE

BUILDING MATERIALS MUST NOT BE BURIED ON SITE. DEMOLITION WASTE RESULTING FROM THE WORKS IS NOT TO BE STORED ON FOOTPATHS, STREET GUTTERS OR ROADWAYS ETC. ALL WASTE TO BE PLACED IN RUBBISH SKIPS OR CONTAINERS FOR COLLECTION.

VEHICLE MOVEMENTS

ALL VEHICLES VISITING THE SITE ARE TO COMPLY WITH THE PARKING REGULATIONS IN THE AREA. ALL VEHICLES ARE TO BE WASHED DOWN BEFORE LEAVING THE SITE. ALL POLLUTED WASTERS ARE TO REMAIN ON SITE FOR TREATMENT. ALL TRUCKS AND UTILITIES MUST COVER THEIR LOADS. NO VEHICLE VISITING THE SITE IS TO IMPEDE LOCAL AREA TRAFFIC FLOWS. A LICENSED PERSON WILL DIRECT TRAFFIC AND PEDESTRIANS WHEN TRUCKS ENTER THE SITE.

I G: SIS / EMENT PLAN	PROJECT: ALTERATIONS & ADDITIONS	SHEET No:
2	ADDRESS: 57 LANTANA AVENUE WHEELER HEIGHTS	DATE: SEP. 2022





EXISTING GROUND FLOOR PLAN

DEMOLITION WORK PLAN

THE DEMOLITION OF BUILDINGS AND THE REMOVAL, STORAGE, HANDLING AND DISPOSAL OF BUILDING MATERIALS MUST BE CARRIED OUT IN ACCORDANCE WITH THE RELEVANT REQUIREMENTS OF WORKCOVER NSW, THE NSW DEPARTMENT OF ENVIRONMENT, CLIMATE CHANGE & WATER

- WORK HEALTH & SAFETY ACT 2011 AND REGULATIONS
 WORKCOVER NSW CODE OF PRACTICE FOR THE SAFE REMOVAL OF ASBESTOS
- ASBESTOS

 WORKCOVER NSW GUIDELINES AND CODES OF PRACTICE

 AUSTRALIAN STANDARD 2601 (2001) DEMOLITION OF STRUCTURES

 THE PROTECTION OF ENVIRONMENT OPERATIONS ACT 1997 AND REGULATIONS

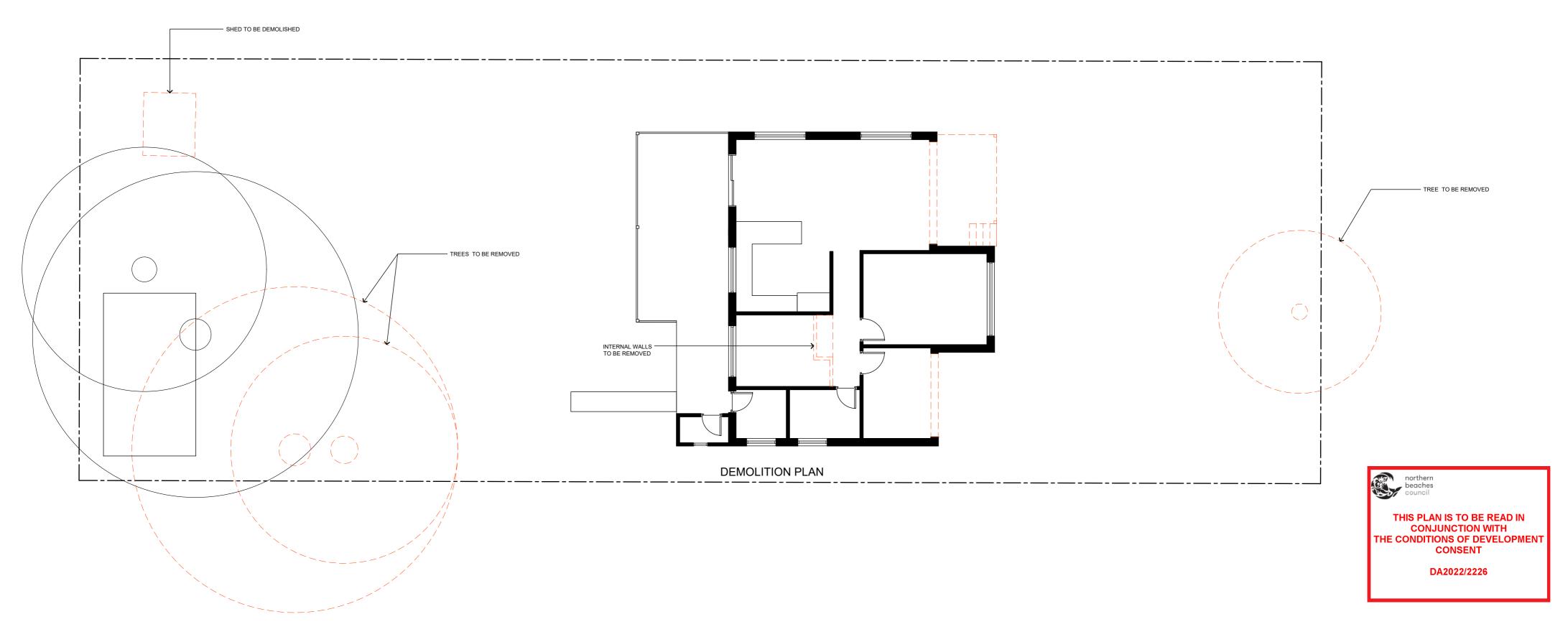
 RELEVANT EPA GUIDELINES

REMOVAL OF ASBESTOS MATERIALS

WORK INVOLVING THE DEMOLITION, STORAGE OR DISPOSAL OF ASBESTOS PRODUCTS AND MATERIALS MUST BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

- RELEVANT OCCUPATIONAL HEALTH & SAFETY LEGISLATION AND WORKCOVER NSW REQUIREMENTS

 A WORKCOVER LICENSED DEMOLITION OF ASBESTOS REMOVAL CONTRACTOR MUST UNDERTAKE REMOVAL OF MORE THAN 10m OF BONDED ASBESTOS (OR AS OTHERWISE SPECIFIED BY WORKCOVER OR RELEVANT LEGISLATION), REMOVAL OF FRIABLE ASBESTOS MATERIAL MUST ONLY BE UNDERTAKEN BY CONTRACTOR THAT HOLDS A CURRENT FRIABLE ASBESTOS REMOVAL LICENCE. A COPY OF THE RELEVANT LICENCE MUST BE PROVIDED TO THE PRINCIPAL CERTIFYING AUTHORITY. AUTHORITY.

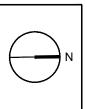


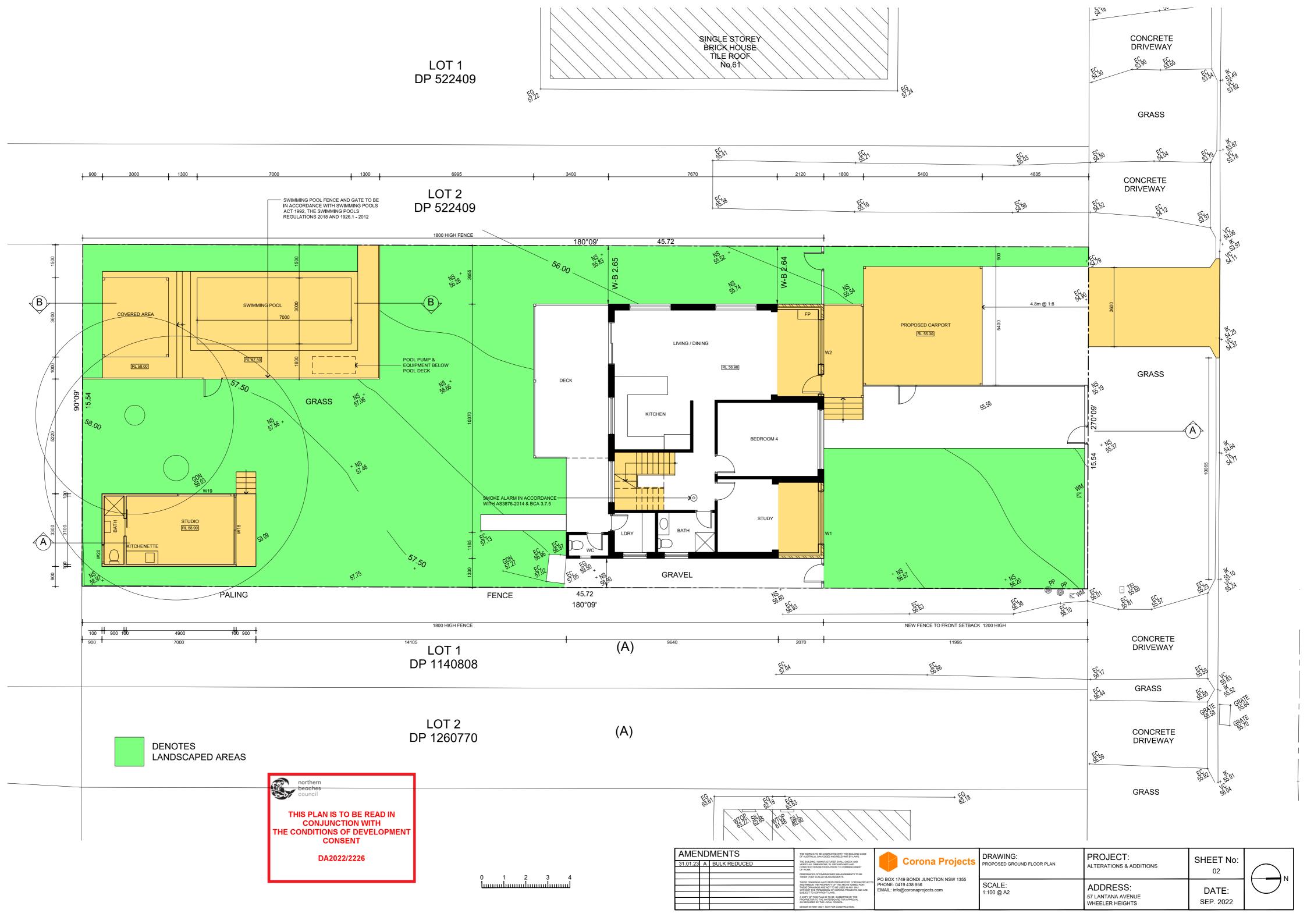


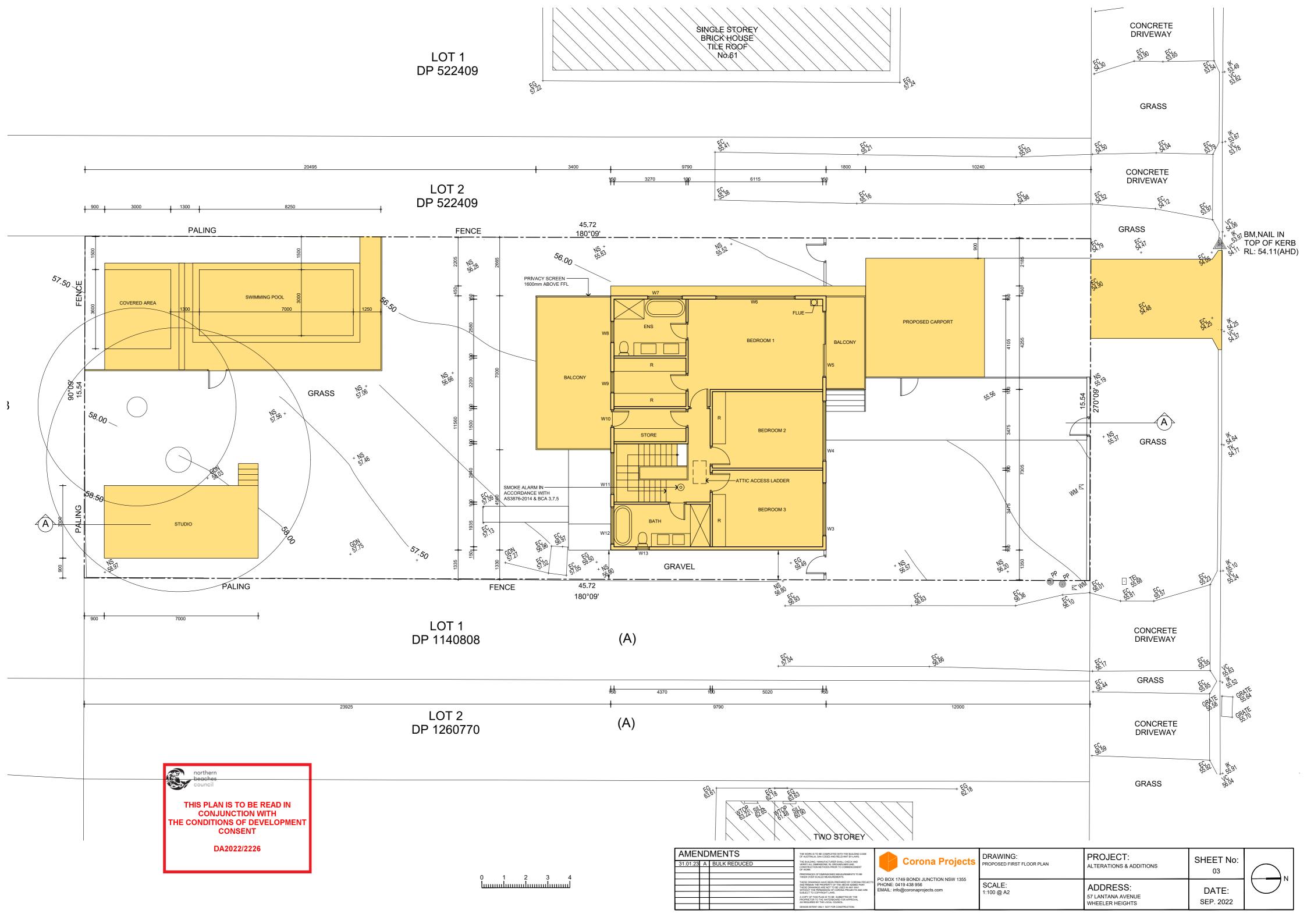
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1.01.23	Α	BULK REDUCED	THE BUILDING / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL GROUNDLINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.
			PREFERNCES OF DIMENSIONED MEASUREMENTS TO BE TAKEN OVER SCALED MEASUREMENTS.
			THESE DRAWINGS HAVE BEEN PREPARED BY CORONA PROJEC AND REMAIN THE PROPERTY OF THE ABOVE NAMED PART. THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY WITHOUT THE PERMISSION OF CORONA PROJECTS AND ARE SUBJECT TO COPYRIGHT LAWS.
			A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATERBOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL.
			DESIGN INTENT ONLY. NOT FOR CONSTRUCTION.

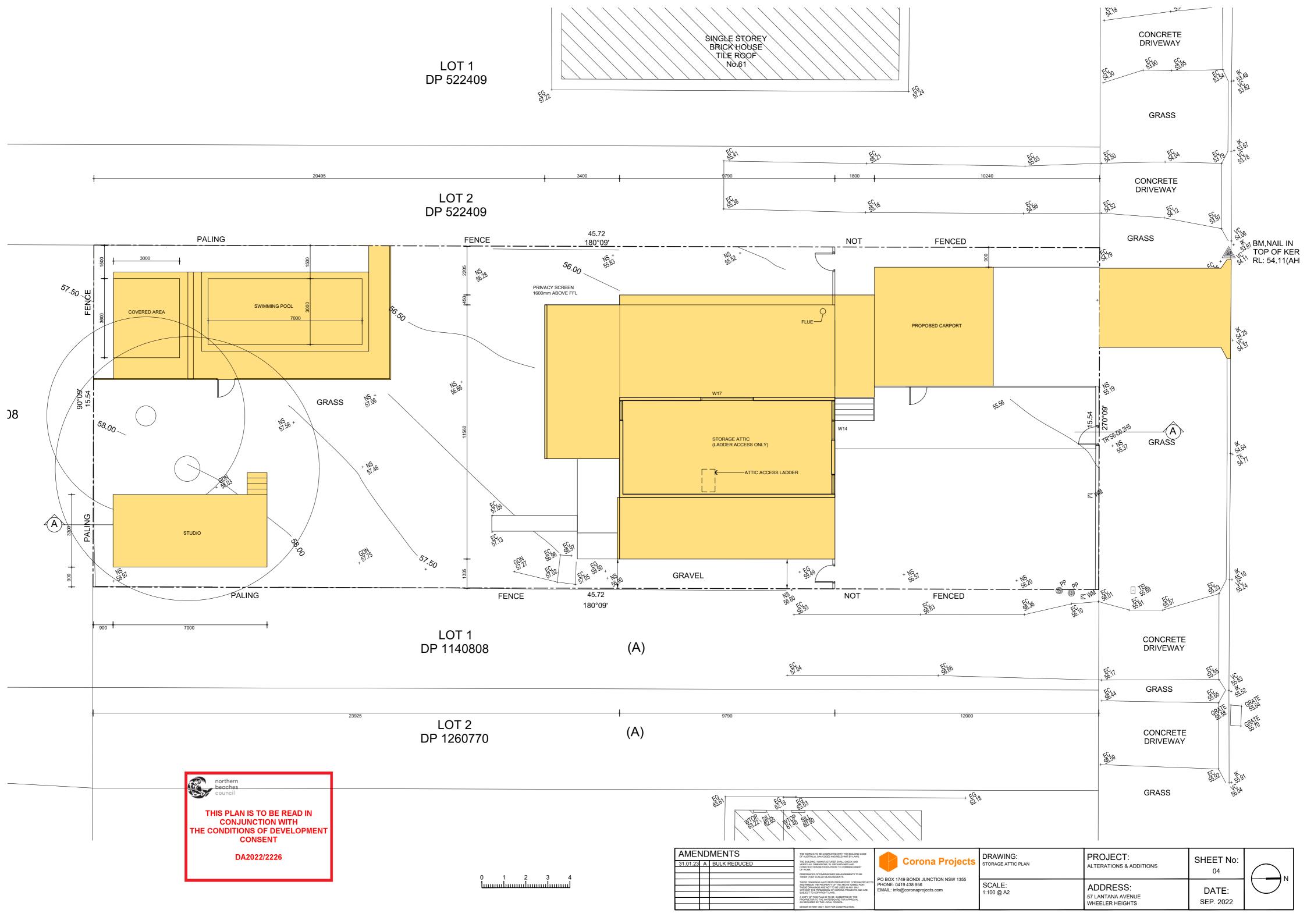


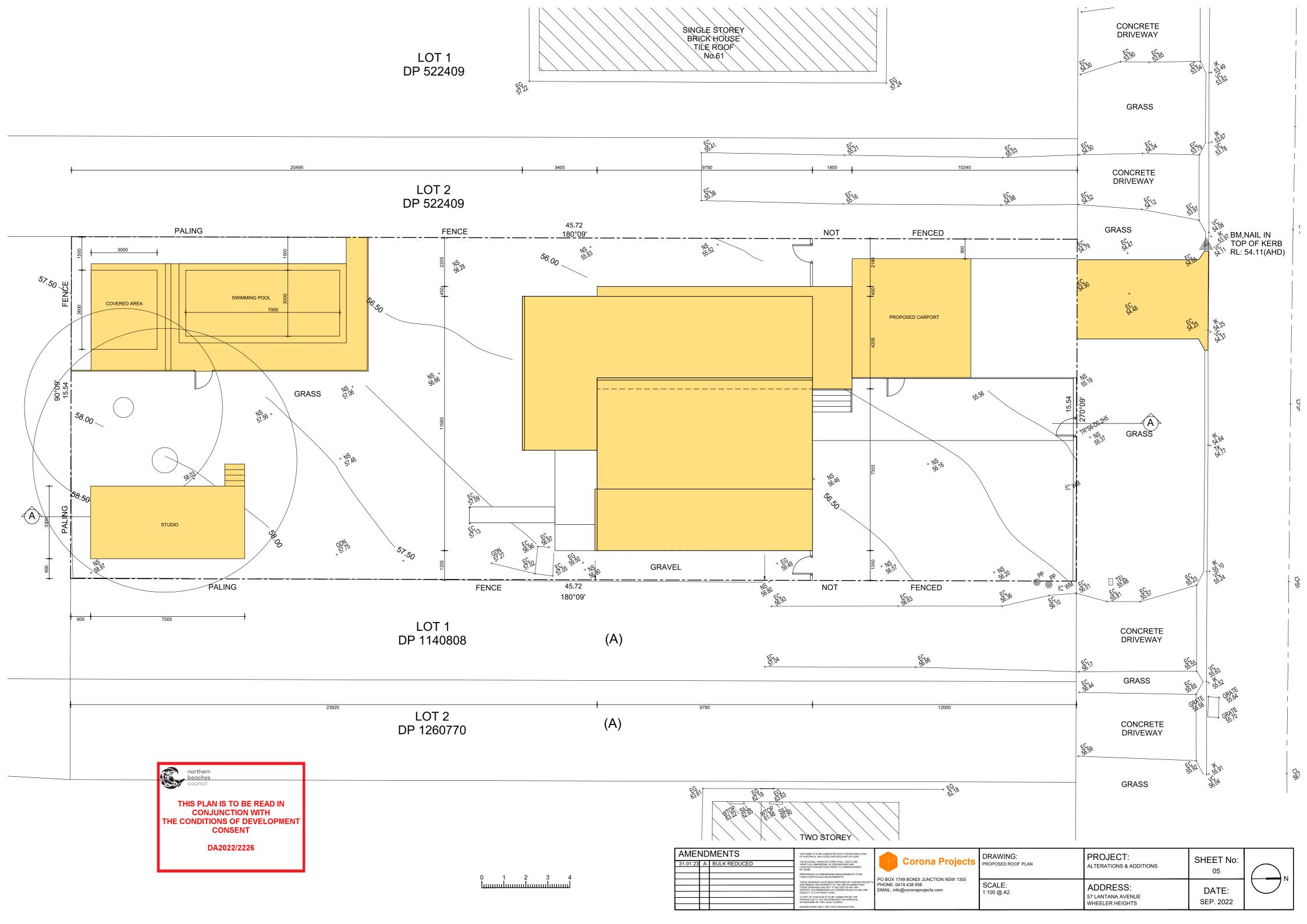
DRAWING: EXISTING GROUND FLOOR PLAN & DEMOLITION WORK PLAN	PROJECT: ALTERATIONS & ADDITIONS	SHEET No:
SCALE: 1:100 @ A2	ADDRESS: 57 LANTANA AVENUE WHEELER HEIGHTS	DATE: SEP. 2022

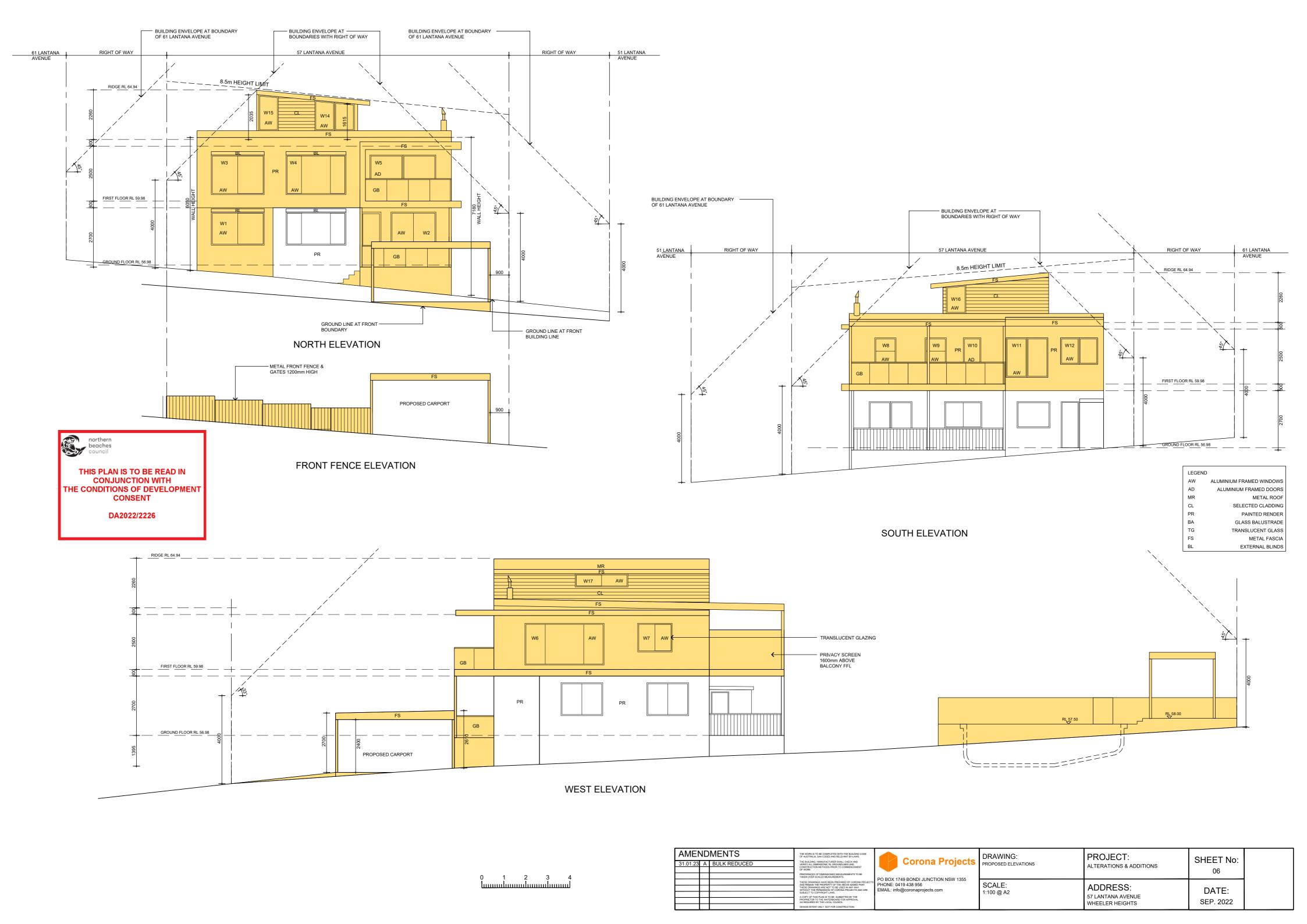


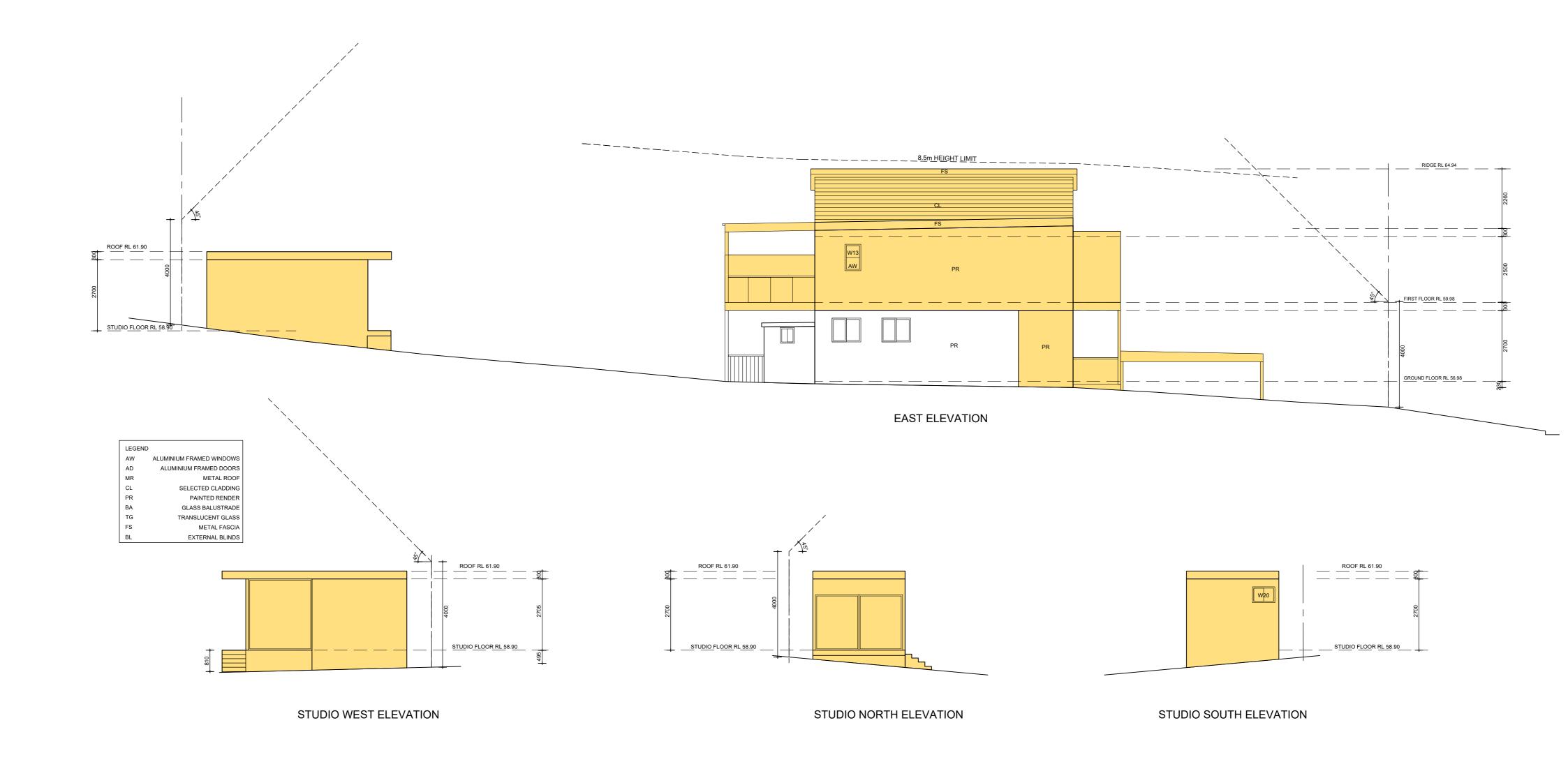






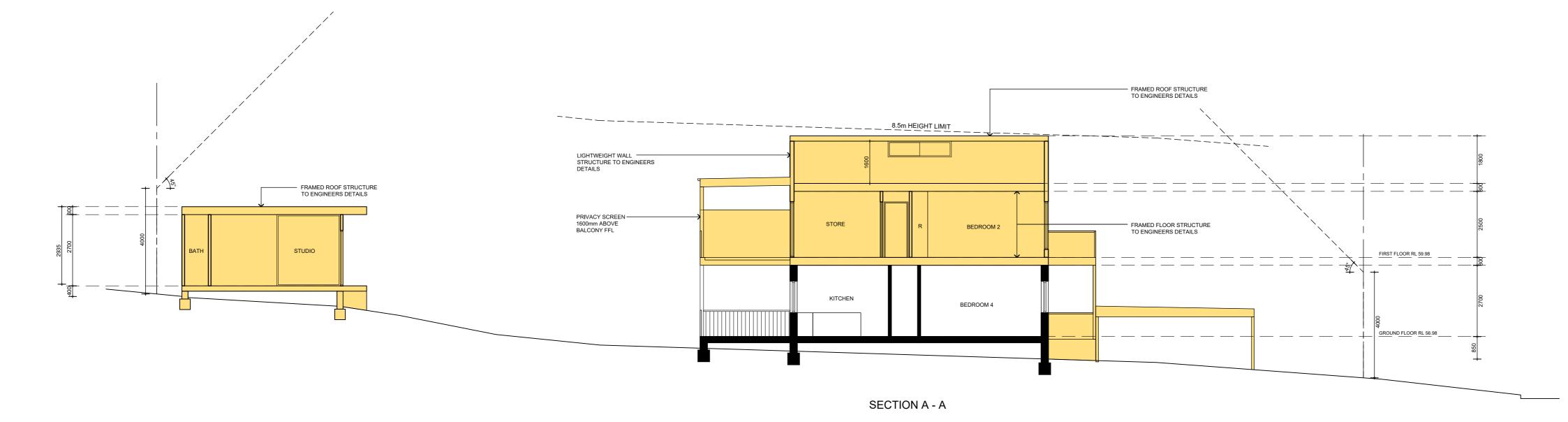


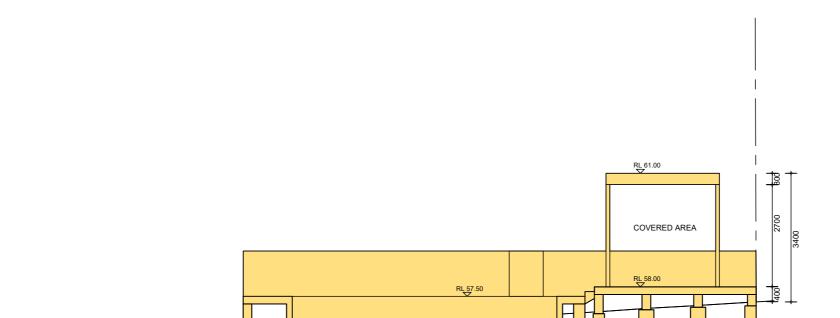






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SWIMMING POOL SECTION B - B



AMENDMENTS 31.01.23 A BULK REDUCED	THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAN CODES AND RELEVANT BY ALWS. THE BUILDING HAMINEATLIBER SHALL CHECK AND VERRY ALL DIMENSIONS, BY, GROUNDLINES AND ONSTRUCTION METHODS PRIOR TO COMMENCEMENT ONSTRUCTION METHODS PRIOR TO COMMENSIONEMENT PREFERENCES OF DIMENSIONED MEASUREMENTS TO BE TAKEN OVERS EACH DEMOSITIES.	Corona Projects	DDODOGED OF OTIONO	PROJECT: ALTERATIONS & ADDITIONS	SHEET No: 08
	THESE DRAWINGS HAVE BEEN PREPARED BY CORONA PROJECTS AND REMAIN THE PROPERTY OF THE ABOVE NAMED PART. THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY.	PO BOX 1749 BONDI JUNCTION NSW 1355 PHONE: 0419 438 956 EMAIL: info@coronaprojects.com		ADDRESS: 57 LANTANA AVENUE WHEELER HEIGHTS	DATE: SEP. 2022