



Pittwater Council

Construction Certificate No: CC0101/03

*Register
copy*

Site Details: **23 PARK AVENUE AVALON NSW 2107**

Legal Description: **Lot 43 DP 13325**

Type of Development: Building Work ☒ Subdivision ☐

Description: **Alterations and Additions to an existing dwelling**

Associated Development Consent No: **N0747/02** Dated: **28/10/2002**

Building Code of Australia Certification: **Class 1a**

Details of plans, documents or Certificates to which this Certificate relates:

1. Architectural plans prepared by Avalon Drafting Dwg No B-092/CC Sheets 1 & 2, dated March 2003
2. Engineering details prepared by Jack Hodgson Consultants Pty Ltd, dated 25 February 2003, Dwg No 20616-1
3. Schedule of Finishes prepared by Avalon Drafting for P & H Owens at 23 Park Avenue, Avalon Beach, undated

I hereby certify that the above plans, documents or Certificates satisfy:

- ☒ The relevant provisions of the Building Code of Australia.
- ☒ The relevant conditions of Development Consent No: **N0747/02**

Further that the work, completed in accordance with the Building Code of Australia, all relevant Australian Standards and these plans and specifications, will comply with the requirements of Section 81A(5) of the Environmental Planning and Assessment (Amendment) Act, 1997.


.....
Development Officer

28.10.03
.....
Date of Endorsement

Note: You are reminded that pursuant to provisions of Clause 81A, you must nominate whether Council or an accredited certifier will be the principal certifying authority, also you must give notice to Council of your intention to commence work at least two days beforehand.



Pittwater Council

ABN 61 340 837 871

All Correspondence to be addressed to General Manager

Units 9, 11 & 12
5 Vuko Place
WARRIEWOOD NSW 2102

Postal Address
P.O. Box 882
MONA VALE NSW 1660
DX 9018 MONA VALE

Telephone (02) 9970 1111
Facsimile (02) 9970 7150
Internet www.pittwaterlga.com.au
Email: pittwater_council@pittwater.nsw.gov.au

Business Hours:

8.00am to 6.00pm, Monday to Thursday

8.00am to 5.00pm, Friday

DA No: N0747/02

28 October 2002

PETER JOHN OWENS
23 PARK AVENUE
AVALON NSW 2107

Dear Sir/Madam

C.C. FEE: 321.75. incl GST.
LONG SERVICE 120.00 ✓
Roads Res: 165.00 ..
606.75.

48 hrs
prior to
start
\$180.00

Development Application for alterations and additions at 23 PARK AVENUE AVALON NSW 2107.

I am pleased to advise that this application has been approved and I attach for your assistance a copy of the Development Consent, the conditions of approval and a copy of the approved plan. The remainder of the plans have been retained for the purposes of issuing the Construction Certificate.


As building works are involved, prior to proceeding with the proposal, it will be necessary for you to lodge a Construction Certificate Application with either Council or an accredited Certifier.

I take this opportunity to direct your attention to Section B of the Consent which details the matters to be satisfied prior to issue of the Construction Certificate.

In addition, pursuant to the provisions of Section 80(10A), of the Environmental Planning and Assessment Act, 1979, the Long Service Levy payable under Section 34 of the Building and Construction Industry Long Service Payments Act, 1996, must be paid prior to issue of the Construction Certificate.

Based on your stated value of development ie \$60000 the Long Service Levy payable is \$120.00.

In the event that you have paid this levy direct to the Building Services Corporation, I will require proof of that direct payment.

 You will also be required to furnish a copy of the Builders Warranty Insurance Certificate OR an Owner/Builder's permit from the Department of Fair Trading must be forwarded to Council prior to release of the Construction Certificate.

If an Owner/Builder's permit is to be applied for, application must be made direct to the Department of Fair Trading. You must quote Development Application No. N0747/02 and supply an unstamped plan with your application. The permit must then be presented to Council when collecting your plans.

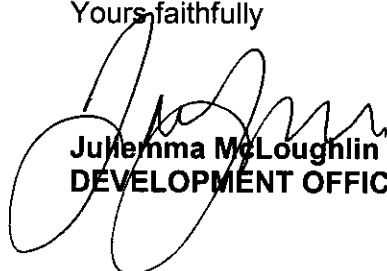
Please note that some sections of the Consent may require the lodgement of Building Component Certificates at various stages of the development. These Certificates must be

returned to Council or the Accredited Certifier prior to issue of the Occupation Certificate or Subdivision Certificate. **You should also note that both Council and the Accredited Certifier will charge a fee for acknowledging compliance with conditions and the issue of the Occupation or Subdivision Certificates.** . You must nominate either Council or an accredited certifier prior to commencing work.

You will be required to notify Council a minimum of 2 days prior to your commencing work on the site.

If there are any matters relating to this approval which require further explanation, please contact me prior to commencing work on the site.

Yours faithfully



Julietta McLoughlin
DEVELOPMENT OFFICER



Pittwater Council ABN 61 340 837 871

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CONSENT NO: N0747/02

ENVIRONMENTAL PLANNING & ASSESSMENT ACT, 1979 (AS AMENDED)

NOTICE TO APPLICANT OF DETERMINATION

OF A DEVELOPMENT APPLICATION

Applicant's Name and Address:

PETER JOHN OWENS, 23 PARK AVENUE AVALON NSW 2107

Being the applicant in respect of Development Application No N0747/02

Pursuant to section 80(1) of the Act, notice is hereby given of the determination by Pittwater Council, as the consent authority, of Development Application No N0747/02 for:

alterations and additions

At:

Lot 43 DP 13325

23 PARK AVENUE AVALON NSW 2107

Decision:

The Development Application has been determined by the granting of consent based on information provided by the applicant in support of the application, including the Statement of Environmental Effects, and in accordance with plans numbered B-092 Amendment C Sheets 1 to 2 dated September 2002 prepared by Avalon Drafting, as amended in red (shown clouded) or as modified by any conditions of this consent.

In accordance with Part A3 "Classification of Buildings and Structures" of the Building Code of Australia, it has been determined that the building or part subject of this consent has a Class 1a & 10a Classification.

The reason for the imposition of the attached conditions is to ensure that the development consented to is carried out in such a manner as to achieve the objectives of the Environmental Planning and Assessment Act 1979 (as amended), pursuant to section 5(a) of the Act, having regard to the relevant matters for consideration contained in section 79C of the Act and the Environmental Planning Instruments applying to the land, as well as section 80A of the Act which authorises the imposing of the consent conditions.

Endorsement of date of consent 28/10/2002

Angus Gordon
GENERAL MANAGER

Per: 



CONDITIONS OF DEVELOPMENT CONSENT

This Consent is not an approval to commence building work. The works associated with this consent can only commence following the issue of the Construction Certificate.

A. PRESCRIBED CONDITIONS

- A1. The proposed works are to be carried out in accordance with the provisions of Clause 98 of the Environmental Planning and Assessment Regulation, 2000.
- A2. **Compliance with the Building Code of Australia**
1. All works are to be carried out in accordance with the requirements of the Building Code of Australia.
 2. In the case of residential building work for which the Home Building Act 1989 requires there to be a contract of insurance in force in accordance with Part 6 of that Act, there is to be such a contract in force.
- A3. **Excavations and backfilling**
1. All excavations and backfilling associated with the erection or demolition of a building must be executed safely and in accordance with appropriate professional standards.
 2. All excavations associated with the erection or demolition of a building must be properly guarded and protected to prevent them from being dangerous to life or property.
- A6. **Protection of public places**
1. If the work involved in the erection or demolition of a building:
 - a. is likely to cause pedestrian or vehicular traffic in a public place to be obstructed or rendered inconveniently, or
 - b. involves the enclosure of a public place,a hoarding or fence must be erected between the work site and the public place.
 2. If necessary, an awning or other structure is to be erected, sufficient to prevent any substance from, or in connection with, the work falling into the public place.
 3. The work site must be kept lit between sunset and sunrise if it is likely to be hazardous to persons in the public place.
 4. Any such hoarding, fence or awning is to be removed when the work has been completed.

NOTE: Hoardings and temporary awnings erected on or over public places are required to be subject to a separate approval from Council.

A7. **Signs to be erected on building and demolition sites**

A sign must be erected in a prominent position on any work site on which work involved in the erection or demolition of a building is to be carried out other than when work is carried out inside



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an existing building or where the premises is to be continuously occupied (both during and outside working hours):

1. stating that unauthorised entry to the work site is prohibited, and
2. showing the name of the person in charge of the work site and a telephone number at which that person may be contacted outside working hours.

B. MATTERS TO BE SATISFIED PRIOR TO ISSUE OF CONSTRUCTION CERTIFICATE

NOTE: The issue of partial or limited Construction Certificates is not permissible under the terms of this consent unless otherwise specifically stated. All outstanding matters referred to in this section are to be submitted to the accredited certifier together. Incomplete Construction Certificate applications/details can not be accepted.

- B10. Three sets of detailed working drawings that comply in all respects with the Building Code of Australia and the conditions of the Development Consent are to be submitted prior to the release of the Construction Certificate.
- B33. The finished surface materials, including colours and texture of any building, shall blend with the surrounding and/or natural materials and shall be non-glare. Three copies of a specification shall be submitted with the Construction Certificate application in the form of a "Schedule of Finishes".
- B60. Three sets of Structural Engineering details are to be submitted prior to release of the Construction Certificate. Each plan/sheet is to be signed by a qualified practising Structural Engineer with corporate membership of the Institute of Engineers Australia (M.I.E), or who is eligible to become a corporate member and has appropriate experience and competence in the related field.

C. MATTERS TO BE SATISFIED PRIOR TO COMMENCEMENT OF WORK

NOTE: It is an offence to commence works prior to issue of a Construction Certificate.

- C6. A certificate prepared by an appropriate qualified person is to be submitted for the following building components, certifying to the satisfaction of Council or the Accredited Certifier that the nominated works have been carried out in accordance with the Building Code of Australia, relevant Australian Standards and any conditions of Development Consent. Works are not to progress past this point until Council or the Accredited Certifier has confirmed that this condition has been satisfied (see copy of form attached).

Where this confirmation of compliance is issued by a private certifier, for the purposes of keeping a public record, a copy of the letter is to be forwarded to Council within 5 working days of the date of issue.

- C6b. Erosion Controls ER-1

D. CONDITIONS TO MINIMISE THE IMPACT OF THE DEVELOPMENT ON THE NATURAL AND BUILT ENVIRONMENT

- D11. Any proposed demolition works shall be carried out in accordance with the requirements of AS2601-1991 "The Demolition of Structures".



Amongst others, precautions to be taken shall include compliance with the requirements of the WorkCover Authority of New South Wales, including but not limited to:

1. Protection of site workers and the general public.
2. Erection of hoardings where appropriate.
3. Asbestos handling and disposal where applicable.
4. Any disused service connections shall be capped off.

Council is to be given 48 hours written notice of the destination/s of any excavation or demolition material. The disposal of refuse is to be to an approved waste disposal depot.

- D12. In order to ensure safe handling of asbestos materials, the re-use or sale of asbestos building materials is prohibited.
- D20. Temporary sedimentation and erosion controls are to be constructed prior to commencement of any work to eliminate the discharge of sediment from the site.
- D21. Sedimentation and erosion controls are to be effectively maintained at all times during the course of construction and shall not be removed until the site has been stabilised or landscaped to the Principal Certifying Authority's satisfaction.
- D23. Adequate measures shall be undertaken to remove clay from vehicles leaving the site so as to maintain public roads in a clean condition.
- D60. The footpath and adjacent roadway is to be kept free of obstruction by building materials and/or plant. All concrete trucks, pumps and associated plant are to be kept wholly within the site. No concrete or slurry is to be discharged into the street or the street drainage system.
- D76. A stamped copy of the approved plans is to be kept on the site at all times, during construction.
- D85. All external glazing is to have a maximum reflectivity index of 25%.
- D89. The hours of construction are restricted to between the hours of 7.00am and 5.00pm Monday - Friday and 7.00am to 1.00pm on Saturdays. No works are to be carried out on Sundays or Public Holidays. Internal building work may be carried out at any time outside these hours, subject to noise emissions from the building or works not being audible at any adjoining boundary.
- D105. The landscaping is to be maintained for the life of the development.
- D106. No storage of building materials or building waste, excavated fill or topsoil storage is to occur within the dripline of trees shown on the approved landscape working drawing(s) as being retained or within protective fenced areas.

Drainage is to be arranged such that fill, building materials or contaminants are not washed into protective fenced areas.

Further, the project manager is to erect signs advising all contractors and visitors to the site that no works or storage are to take place within the dripline of existing trees.

- D107. All natural landscape features, including natural rock outcrops, natural vegetation, soil and watercourses, are to remain undisturbed except where affected by necessary works detailed on approved plans. Details of proposed protection measures are to be detailed on the landscape



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working drawing or associated documentation.

D164. All stormwater is to be disposed of via existing method.

D208. The building is not to be adapted for occupation as a separate occupancy or where relevant, adapted for commercial/industrial activities, without prior Development Consent.

E. MATTERS TO BE SATISFIED PRIOR TO ISSUE OF OCCUPATION CERTIFICATE

NOTE: The issue of interim or partial Occupation Certificates is not permissible within the terms of this consent unless otherwise specifically stated. Prior to the issue of an Occupation Certificate the principal certifying authority is to ensure that Council's assets, including road, kerb and gutter and drainage facilities adjacent or near to the site have not been damaged as a result of the works. Where such damage has occurred, it is to be repaired to Council's written satisfaction prior to the issue of an Occupation Certificate or suitable arrangements put in place to effect those repairs at a future date to Council's written satisfaction. Should this process not be followed, Council will pursue action against the principal accredited certifier in relation to the recovery of costs to effect such works.

NOTE: It is an offence to occupy the building or part thereof to which this consent relates prior to issue of an Occupation Certificate.

E10. A certificate prepared by an appropriate qualified person is to be submitted for the following building components, certifying to the satisfaction of Council or the accredited certifier that the nominated works have been carried out in accordance with the Building Code of Australia, relevant Australian Standards and any conditions of Development Consent. Works are not to progress past this point until Council or the Accredited Certifier has confirmed that this condition has been satisfied (see copy of form attached).

Where this confirmation of compliance is issued by a private certifier, for the purposes of keeping a public record, a copy of the letter is to be forwarded to Council within 5 working days of the date of issue.

E10a. Pest control PST-1

E10d. Footings/slabs/piers/retaining walls FN-1

E10e. Bearers and joists and subfloor ventilation BJ-1

E10f. Wall, roof frames and window location FM-1

E10g. Wet areas WA-1

E10h. Masonry construction, accessories and weatherproofing MC-1

E10j. Stair construction ST-1

E10k. Balustrading adequacy BA-1

E10l. Glazing GL-1

E10m. Artificial lighting and mechanical ventilation LV-1



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E10p. Smoke alarms SA-1

- E86. The **building** is not to be occupied or used until an Occupation Certificate has been issued, confirming that the project complies with the relevant standards and the conditions of development consent. The request for an Occupation Certificate is to be accompanied by a copy of all of the Compliance Certificates required by the conditions of development consent (see copy of form attached).

F. MATTERS TO BE SATISFIED PRIOR TO ISSUE OF SUBDIVISION CERTIFICATE

Nil

G. ADVICE

- G23. Failure to comply with the relevant provisions of the Environmental Planning and Assessment Act, 1979 (as amended) and/or the conditions of this Development Consent may result in the serving of penalty notices (on-the-spot fines) under the summary offences provisions of the above legislation or legal action through the Land and Environment Court, again pursuant to the above legislation.
- G24. The applicant is also advised to contact the various supply and utility authorities, ie Sydney Water, Sydney Electricity, Telstra etc. to enquire whether there are any underground utility services within the proposed excavation area.
- G25. It is the Project Manager's responsibility to ensure that all of the Component Certificates/certification issued during the course of the project are lodged with Council. Failure to comply with the conditions of approval or lodge the Component Certificates/certification will prevent Council from issuing the Occupation Certificate or the Building Certificate.
- G26. In accordance with Section 80A(1)(d) and (e) of the Act, any consent given shall be void if the development to which it refers is not commenced within two (2) years after the date of approval, provided that Council may, if good cause be shown, grant an extension of renewal of such consent beyond such period.

NOTE: Council may be prepared to consider an extension of this Consent period for a further 12 months, however, the request for extension would have to be received during the initial 2 year period.

- G27. To ascertain the date upon which the determination becomes effective, refer to Section 83 of the Environmental Planning and Assessment Act, 1979 (as amended).
- G28. Should any of the determination not be acceptable, you are entitled to request reconsideration under Section 82A of the Environmental Planning and Assessment Act, 1979. Such request to Council must be made in writing together with a \$500 fee, within 28 days from the date of determination.
- G29. If you are dissatisfied with this decision, Section 97 of the Environmental Planning and Assessment Act, 1979, gives you a right of appeal to the Land and Environment Court within 12 months of the date of endorsement of this Consent.
-

PITTWATER COUNCIL

CONSTRUCTION CERTIFICATE APPLICATION

2nd Floor, Unit 11, No 5 Vuko Place, Warriewood
PO Box 882, MONA VALE NSW 2103
DX 9018, MONA VALE
Facsimile: (02) 9970 7150
Telephone: (02) 9970 1111



Office Use Only:

C/C NO: CC0101/03

FILE AND PART NO: _____

PROPERTY NO: _____

OFFICER: _____

TARGET DATE: _____

APPROVAL NO: _____

POST OUT ☐ or PICK UP ☐ _____

18/03/03

LODGEMENT

- All information required by the schedule and checklist are to accompany this application.
- Incomplete applications will not be accepted.
- Fees are to be paid at the time of lodgement.
- To minimise delays it is suggested that you lodge this application between the hours of 10.00am and 4.30pm weekdays.

THIS APPLICATION RELATES TO: (please tick)

☒ BUILDING WORK

☐ SUBDIVISION WORK

AN EXISTING DEVELOPMENT CONSENT FOR THIS SITE

Consent No NO 747/02 Date 28/10/03

A CONCURRENT DEVELOPMENT APPLICATION

Application No _____ Date _____

SITE DETAILS: (please print)

House No 23 Street/Road PARK AVE. Suburb AVALEN

Postcode 2108 Lot 43 Section _____ Deposited Plan 13325

Description of Proposal _____

Re-roof, Alterations & Additions
new side decks & internal
layout.

VALUE OF DEVELOPMENT: \$.....60,000.....

Nominated Building Classification: Class(es).....

THE CHECKLIST

- We suggest you use the left hand column as your checklist, Council staff will check off the items in the right hand column.
- All of the details in the relevant sections must be included in your application, or it will not be accepted.

INFORMATION REQUIRED TO ACCOMPANY THIS APPLICATION:

For Building Work See Items A – J in the checklist.

For Subdivision – See Items A, B, C, F and J in the checklist.

| YOUR USE | STAFF USE |
|---|--|
| A COMPLIANCE WITH CONSENT CONDITIONS | |
| | All information required by the conditions of development consent, prior to the issue of the Construction Certificate accompanies this application. |
| B COMPLIANCE CERTIFICATE A Certificate which signifies compliance with conditions of development consent, Australian or Industry standards or the Building Code of Australia. | |
| | A copy of any Compliance Certificates which may have been issued in respect of this proposal, accompanies this application. |
| C SITE PLAN An aerial view of the site showing existing and proposed buildings and the following information. Minimum Scale 1:200 | |
| | <p>North point and all boundary dimensions of the block.</p> <p>All existing/proposed buildings on the site and their setback or distance to the boundary; the location of windows and doors. Proposed additions to existing buildings are to be clearly identified (preferably coloured).</p> <p>The outline of buildings on the adjoining sites, the setback or distance from the street and common boundary including the location of windows and doors.</p> <p>Any easements or right of way over the site, existing/proposed stormwater drainage lines or watercourses.</p> <p>Existing/proposed fences, swimming pools, retaining walls, driveways or parking areas, garbage or trade waste holding areas.</p> |
| D ELEVATIONS A view of all sides of the building and the site profile. Minimum scale 1:100 | |
| | <p>All relevant elevations detailed and identified (i.e. north, south etc) with the proposed additions clearly identified.</p> <p>Existing/proposed ground levels and all floor to ceiling heights.</p> <p>Reduced levels (RL's) to Australian Height Datum (AHD) shown for all roof ridges, floor and ceiling levels for the existing/proposed building and those on adjoining sites, also street levels.</p> <p>Roof profile, material, colour, reflectivity and eaves width are shown.</p> <p>The outline of buildings on the adjoining sites.</p> |

CONSTRUCTION CERTIFICATE PROCEDURE

ADDRESS:

23 Park Avenue, Avalon

CC NO: _____

DA NUMBER: No 747/02

1. THE WORKING PLANS/STRUCTUREL/GEOTECHNICAL
ENGINEERING PLANS/EROSION CONTROL PLANS ETC
COMPLY WITH THE CONDIIONS OF DEVELOPMENT
CONSENT

DEVELOPMENT OFFICER: Sean O'Brien 20/3/03
Consulting Building Surveyor /
Town Planner.

REASONS WHY NOT?

2. THE LANDSCAPE PLAN COMPLY WITH THE
CONDITIONS OF DEVELOPMENT CONSENT

LANDSCAPE OFFICER:: N/A

REASONS WHY NOT?

3. THE WORKING DRAWINGS COMPLY WITH THE BCA

BUILDING SURVEYOR: Sean O'Brien 20/3/03

REASONS WHY NOT? Consulting Building Surveyor /
Town Planner.

**PITTSBURGH COUNCIL
DEVELOPMENT DIVISION
FILE NOTE**

RECORD OF MEETING/ENQUIRY/TELEPHONE CALL/ COMPLAINT

DATE:..... FILE No:.....

PARTICIPANTS.....

ADDRESS.....

.....

.....

.....

.....

.....

.....

.....

.....

.....

.....

.....

.....

.....

OFFICERS SIGNATURE.....



Pittwater Council

Construction Certificate No: _____

WHO WILL BE SIGNING THIS CC OFF _____
(ie who will we return it to)

Site Details: 23 Park Avenue, Avalon

Legal Description: Lot 43 DP 13325

Type of Development: Building Work ☒ Subdivision ☐

Description: Alterations and additions to an existing

Associated Development Consent No: Dwelling No 747/02 Dated: 28/10/02

Building Code of Australia Certification: Class 1a

Details of plans, documents or Certificates to which this Certificate relates:

- 1/ Architectural plans prepared Avalon Drafting, dwg. N° B-092/00
Sheets 1 & 2 dated March 2003.
- 2/ Eng. Details prepared by Jack Hodgson Consultants Pty Ltd
dated 25 Feb. 2003 dwg. N° 20616 -1
- 3/ Schedule of finishes prepared by Avalon Drafting for P&H Owens
at 23 Park Ave, Avalon Beach, undated. JAS 20/3/03

I hereby certify that the above plans, documents or Certificates satisfy:

☒ The relevant provisions of the Building Code of Australia.

☒ The relevant conditions of Development Consent No: (N0747/02) JAS 20/3/03

Further that the work, completed in accordance with the Building Code of Australia, all relevant Australian Standards and these plans and specifications, will comply with the requirements of Section 81A(5) of the Environmental Planning and Assessment (Amendment) Act, 1997.

24/03/03
Development Officer

[Signature]
Date of Endorsement

Note: You are reminded that pursuant to provisions of Clause 81A, you must nominate whether Council or an accredited certifier will be the principal certifying authority, also you must give notice to Council of your intention to commence work at least two days beforehand.

Schedule of External Colours, Textures & Finishes



THE COUNCIL OF PITTWATER
CONSTRUCTION CERTIFICATE

This is a copy of submitted plans,
documents or Certificates associated
with the issue of the Construction Certificate.

Alterations & Additions

at

23 Park Avenue, Avalon Beach NSW 2107

for

Mr & Mrs P&H Owens

Pittwater Council

ABN: 61340837871

**TAX INVOICE
OFFICIAL RECEIPT**

18/03/2003 Receipt No 110677

To P J & H M OWENS

| Qty/ Applic | Reference | Amount |
|----------------|-------------|----------|
| 23 | TCER-Cons | \$292.50 |
| GL Rec | 23 PARK AVE | |
| | GST | \$29.25 |
| GL Rec | | |
| | QLSL-Buil | \$120.00 |
| GL Rec | 23 PARK AVE | |
| | HKER-RR A | \$165.00 |
| GL Rec | 23 PARK AVE | |
| To GL Receipt: | | |

| | |
|------------------|----------|
| Total Amount: | \$606.75 |
| Includes GST of: | \$29.25 |

| Amounts Tendered | |
|------------------|----------|
| Cheque | \$606.75 |
| Total | \$606.75 |
| Rounding | \$0.00 |
| Change | \$0.00 |
| Nett | \$606.75 |



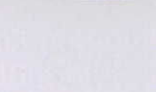
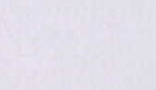


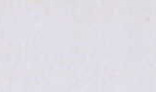
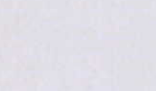
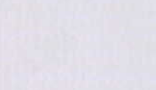
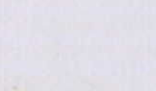

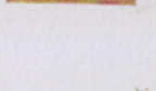
Printed 18/03/2003 10:06:19
Cashier GHill

Specification

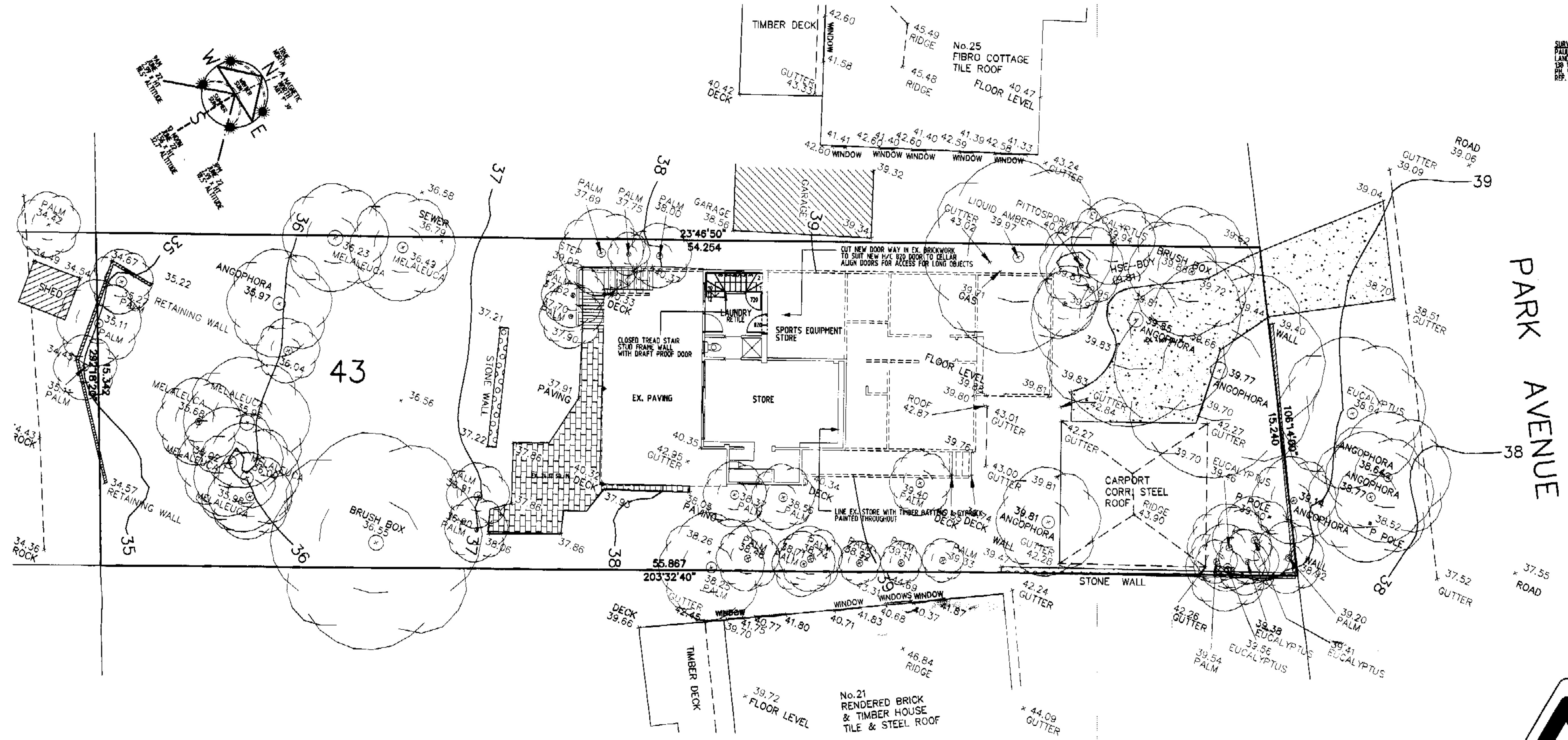
This schedule is to be read in conjunction with the enclosed plans.

Materials and Colours

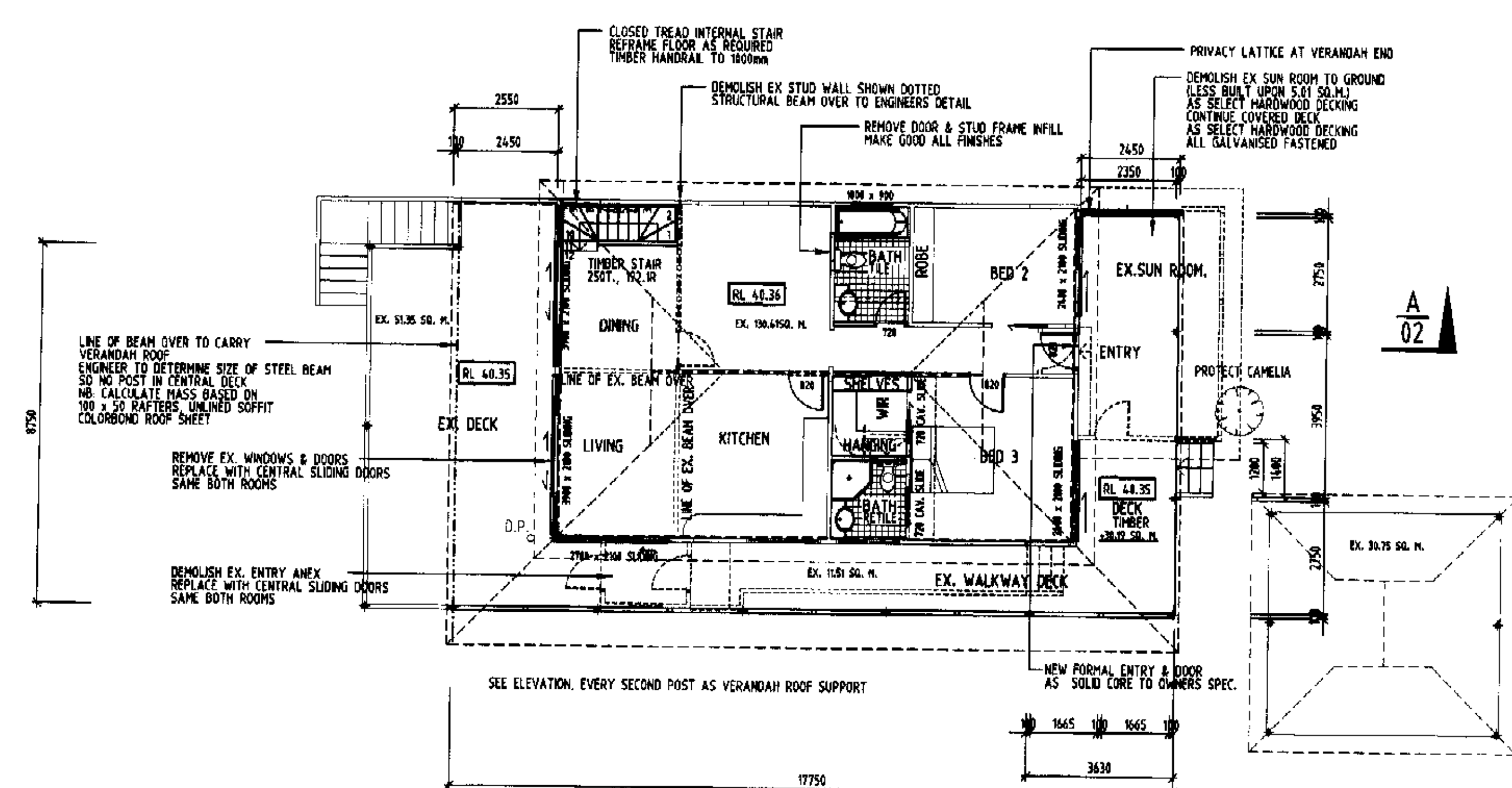
Provide material and colours as set out in the following schedule

| Items | Material and Description | Colour | Sample |
|-------------------------------|--|---|---|
| ROOF | ARMOUR GREY COLORBOND CUSTOMORF ROOF SHEETING WITH RIDGE & FLAT BARGE CAPPING ON BATTENS & INSULATION | COLORBOND ARMOUR GREY |  |
| GUTTERING & DOWNPIPES | 125 x 70mm ZINCALUME QUAD GUTTERING WITH 100 x 75 MIN. DOWNPIPES | COLORBOND ARMOUR GREY |  |
| ROOF FASCIA & BARGE BOARDS | 190 x 19mm FINGERJOINTED PRE-PRIMED TIMBER FASCIA | DULUX 'CHARCOAL' |  |
| EAVES LINING | 6mm F.C. SHEETING | DULUX 'CHINA WHITE' |  |
| WINDOWS & DOORS | ALUMINIUM FRAMED POWDERCOAT FINISH | CHARCOAL |  |
| MASONRY WALLS | (SUBFLOOR ONLY) CEMENT BAGGED BRICK WORK | DULUX 'ZUCCHINI' |  |
| WEATHERBOARDS | DRESSED PROFILE WEATHERBOARDS MILLWOOD SMOOTH GALV. NAILED & PUNCHED | DULUX 'ZUCCHINI' |  |
| DECKING | 100 x 25 SELECT GRADE KILN DRIED HARDWOOD GALV. NAILED & PUNCHED | CABOTS / SIKKENS NATURAL UV INHIBITED DECKING OILS 'CYPRESS/TALLOWWOOD' |  |
| HANDRAILS | 150 x 45 DRESSED KILN DRIED HARDWOOD MITRE JOINTS EPOXY GLUED | CABOTS / SIKKENS NATURAL UV INHIBITED DECKING OILS 'LIGHT CEDAR' |  |
| STAIR TREADS (EXTERNAL) | 250 x 50 ROUGH SAWN HARD WOOD COURSE SANDED ON TOP FACE & EDGE | CABOTS / SIKKENS NATURAL UV INHIBITED DECKING OILS 'CYPRESS/TALLOWWOOD' |  |
| BALUSTRADES | 100 x 100 DRESSED & CHAMFERED POSTS KILN DRIED HARDWOOD STAINLESS STEEL 3/16" WIRE & BOTTLE SCREW TENSIONED HORIZONTAL WIRES AT MIN. 125mm APART | CABOTS / SIKKENS NATURAL UV INHIBITED DECKING OILS 'CYPRESS/TALLOWWOOD' |  |
| EXTERNAL PAVING | MANUFACTURED PRE CAST PAVERS 200 x 200 x 50 THICK, COARSE TEXTURE | TERRACOTTA |  |

SURVEY INFORMATION PROVIDED BY:-
PAUL KERN & COMPANY
LAND AND ENGINEERING SURVEYORS
309 VALLARTA ROAD, NEWPORT 2160
PH. 9977-3081
FAX. 9977-3082
REF. 0302



LOWER GROUND FLOOR AND SITE PLAN



EXISTING GROUND FLOOR PLAN

DCP No. LP20 - AVALON VALLEY LOCALITY PLAN
ALLOWABLE SITE COVERAGE 50%

SITE CALCULATIONS

| | |
|---------------------------|--------------|
| SITE AREA | 838.30 SQ. M |
| EX. DRIVEWAY & CONC. AREA | 41.49 SQ. M |
| EX. CARPORT AREA | 30.75 SQ. M |
| EX. FLOOR AREA | 136.41 SQ. M |
| EX. DECK AREA (REAR) | 51.35 SQ. M |
| EX. DECK AREA (SIDE) | 11.51 SQ. M |
| EX. PAVED AREA | 24.17 SQ. M |
| EX. BUILT UPON AREA | 289.68 SQ. M |
| | 34.55% |

| | |
|-----------------------|--------------|
| DEMOLISHED AREA | 20.25 SQ. M |
| PROPOSED DECK & STAIR | 30.19 SQ. M |
| TOTAL PROPOSED | 50.44 SQ. M |
| TOTAL BUILT UPON AREA | 299.62 SQ. M |
| | 35.74% |

| | |
|------------|--------|
| CARPARKING | 2 CARS |
|------------|--------|

- NOTES**
1. ALL DIMENSIONS ARE IN MILLIMETRES U.N.O. AND SHOULD BE VERIFIED ON SITE BY THE BUILDER WHO WILL BE RESPONSIBLE FOR THE ACCURATE SETTING OUT OF THE JOB.
 2. ANY DISCREPANCIES MUST BE RESOLVED PRIOR TO COMMENCEMENT OF WORK.
 3. ALL CONSTRUCTION IS TO COMPLY WITH THE RELEVANT SAA BUILDING CODES AND TO THE LOCAL COUNCIL REQUIREMENTS AND OTHER AUTHORITIES CONCERNED.
 4. ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASEMENTS ARE SUBJECT TO VERIFICATION BY A SITE SURVEY.
 5. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED READINGS.
 6. ALL TIMBER CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE AS 1684.
 7. ROOF WATER AND SUB SOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER OR AS DIRECTED BY LOCAL INSPECTORS.
 8. FINAL POSITION OF ALL DOWNPIPES TO BE DECIDED BY ROOF PLUMBER.
 9. ANY STRUCTURAL DETAILS OR DESIGN IS TO BE SUPPLIED BY A STRUCTURAL ENGINEER.
 10. ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM.
 11. ALL ELECTRICAL, POWER & LIGHT OUTLETS AS DETERMINED BY OWNER.
 12. MAKE GOOD & REPAIR ALL EXISTING FINISHES AFFECTED BY NEW WORK. RE-USE EXISTING MATERIALS WHERE POSSIBLE.
 13. ANY DETAILING IN ADDITION TO WHAT IS SUPPLIED ON THIS DRAWING SHALL BE RESOLVED BETWEEN THE OWNER & THE BUILDER.

| | | |
|------|----------|--------------------------------------|
| CC | 6/3/2003 | ISSUED FOR CONSTRUCTION CERTIFICATE |
| MARK | 5/9/2002 | ISSUE TO CLIENT FOR COUNCIL APPROVAL |
| DATE | | AMENDMENT |

PROJECT: PROPOSED ALTERATIONS AND ADDITIONS AT 23 PARK AVENUE, AVALON FOR MR. & MRS. P. OWENS

THIS IS A COPY OF SUBMITTED PLANS. DOCUMENTS OR CERTIFICATES ASSOCIATED WITH THE ISSUE OF THE CONSTRUCTION CERTIFICATE.

WORKING DRAWINGS
FLOOR PLANS AND SITE PLAN

| | | | |
|-------|------------|-------------|-----------|
| SCALE | DATE | SHEET NO. | OF |
| 1:100 | MARCH 2003 | 1 | 2 |
| DRAWN | CHECKED | PROJECT No. | AMENDMENT |
| A.B. | | 8-092 | CC |

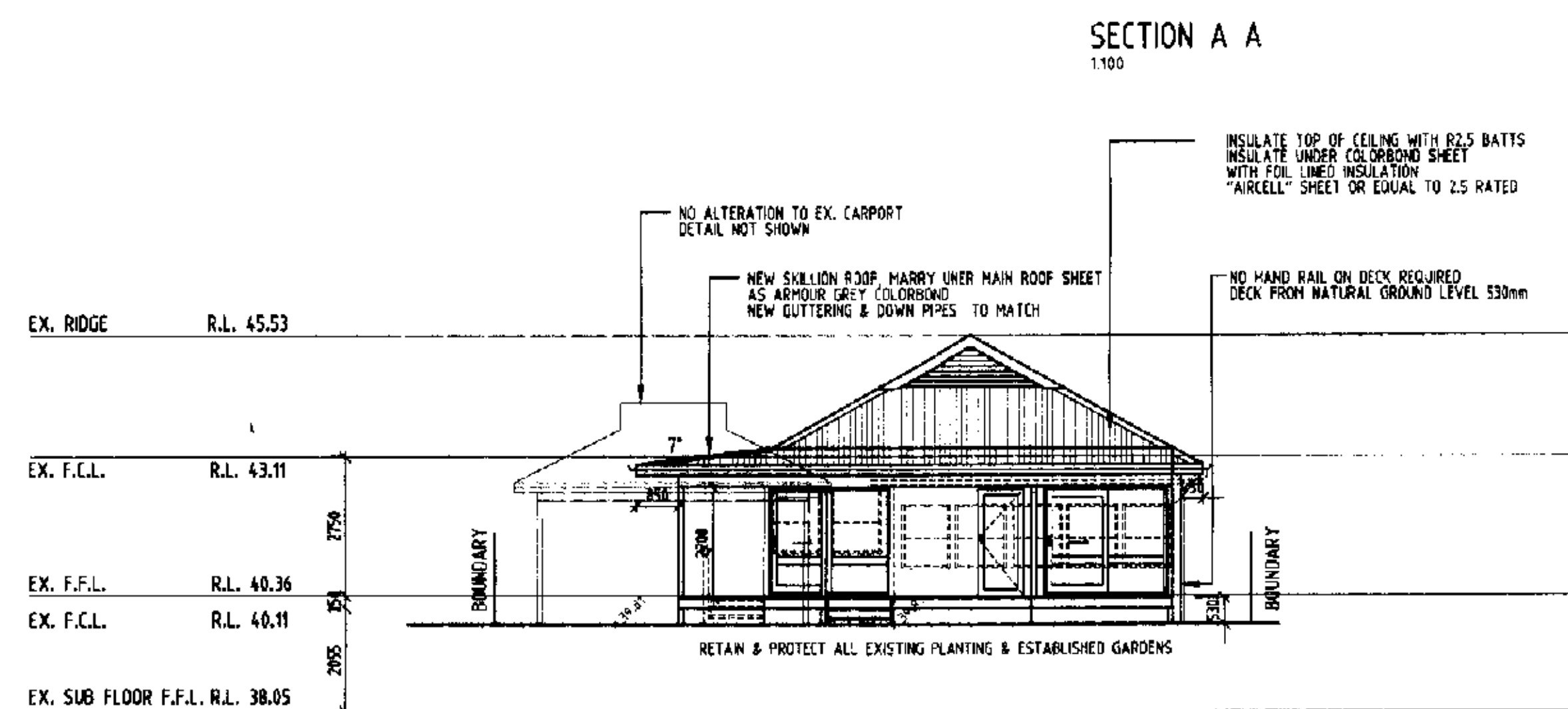
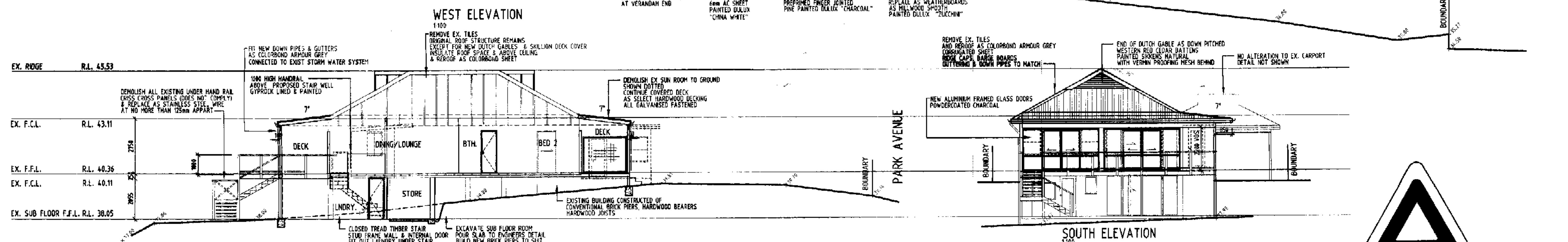
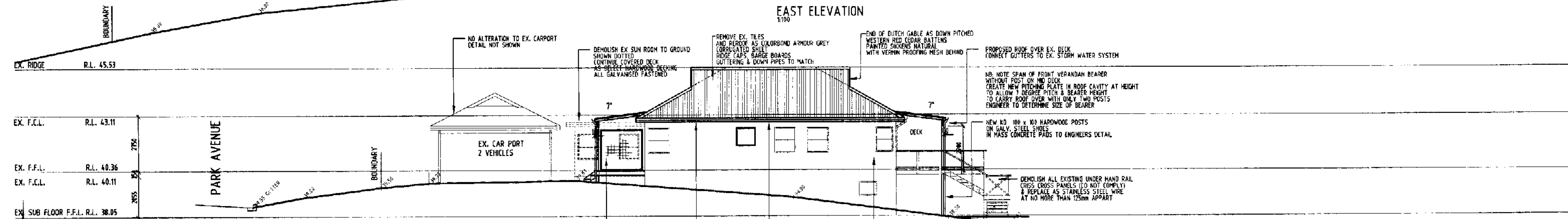
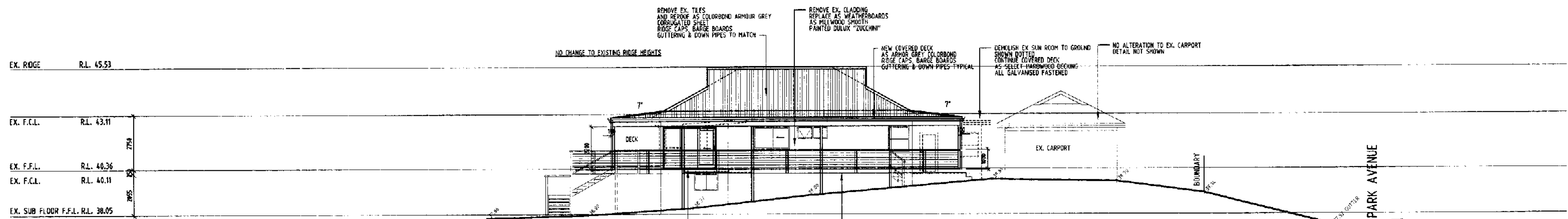
PLAN OR DOCUMENT CERTIFICATION
I am a qualified BUILDING DESIGNER/STRUCTURAL DRAFTSMAN.
I hold the following qualifications or licence No. _____
BUILDING CERTIFICATE - SYDNEY TYPE

Further I am appropriately qualified to certify this component of the project

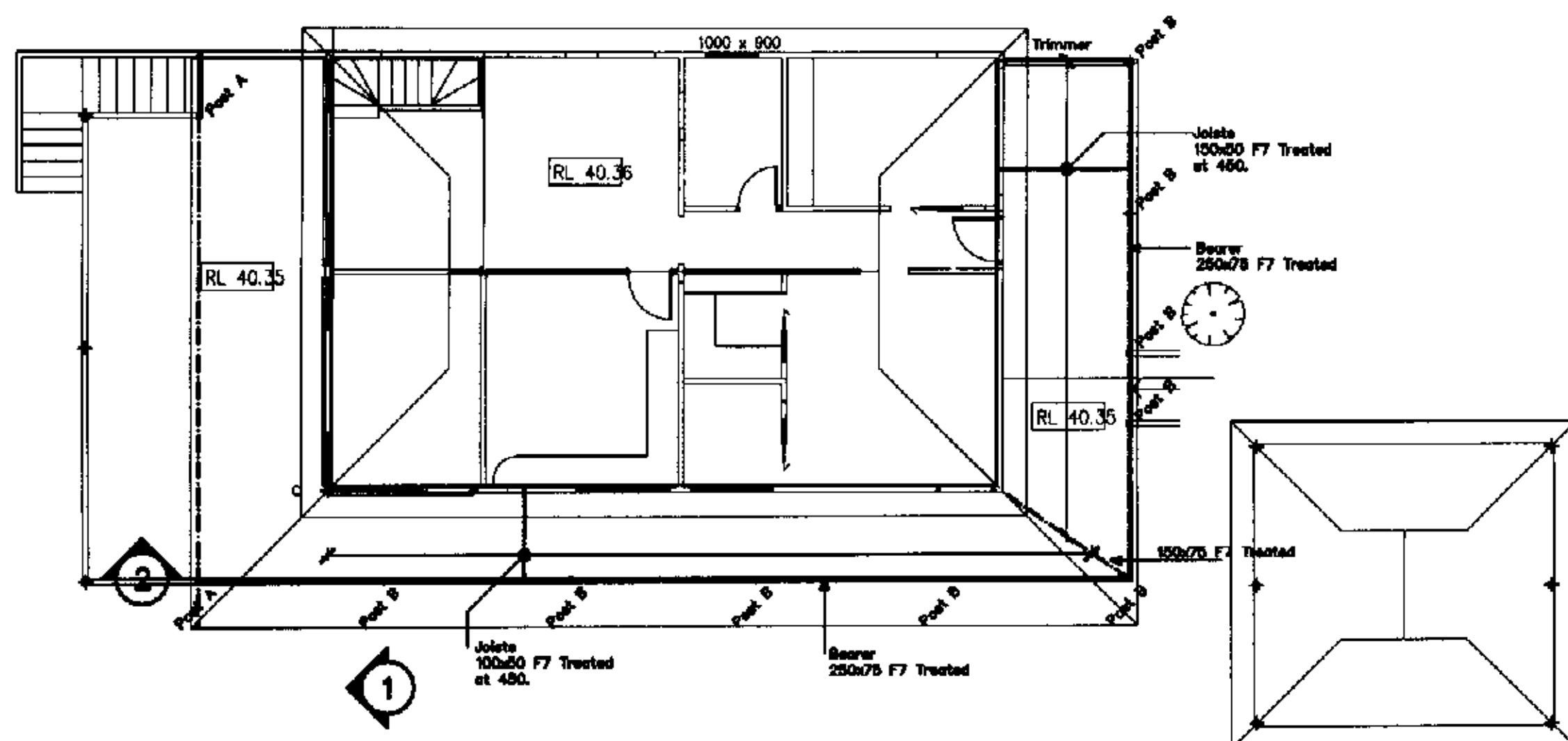
I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia and/or relevant Australian industry standards.

ANDREW SOLTE 6/3/2003 Andrew Solte

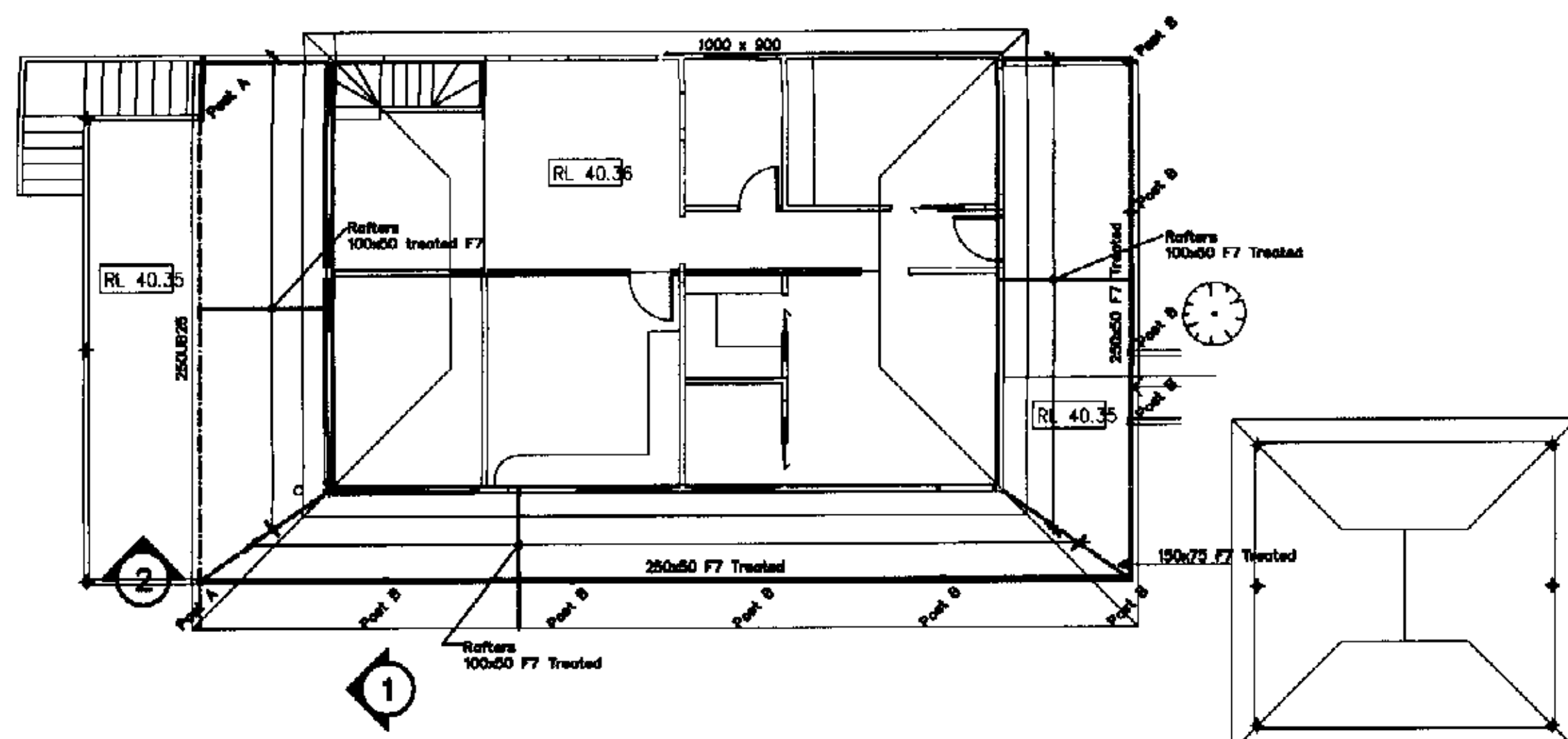




| | |
|---|---|
| PLAN OR DOCUMENT CERTIFICATION | |
| I am a qualified REGISTERED PROFESSIONAL DRAFTSMAN. | |
| I hold the following qualifications or Licence No. <u>REGISTERED PROFESSIONAL DRAFTSMAN - 810817</u> | |
| Further, I am appropriately qualified to certify this component of the project. | |
| I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia and/or relevant Australian Industry Standards. | |
| NAME <u>ANDREW BOLT</u> | DATE <u>8/3/2003</u> Signature <u>Andrew Bolt</u> |
| CC <u>6/3/2003</u> | ISSUED FOR CONSTRUCTION CERTIFICATE |
| <u>5/9/2002</u> | ISSUE TO CLIENT FOR COUNCIL APPROVAL |
| MARK DATE AMENDMENT | |
| PROJECT | |
| PROPOSED ALTERATIONS AND ADDITIONS AT 23 PARK AVENUE, AVALON | |
| MR. & MRS. P. OWENS | |
| THIS DRAWING IS A COPY OF SUBMITTED PLANS. DOCUMENTATION CERTIFICATE GENERATED WITH THE ISSUE OF THE CONSTRUCTION CERTIFICATE. | |
| WORKING DRAWING SECTION AND ELEVATIONS | |
| SCALE 1:100 & 1:200 | DATE MARCH 2003 |
| DRAWN A.B. | CHECKED |
| SHEET No. 2 OF 2 | PROJECT No. B-092 |
| AMENDMENT CC | |

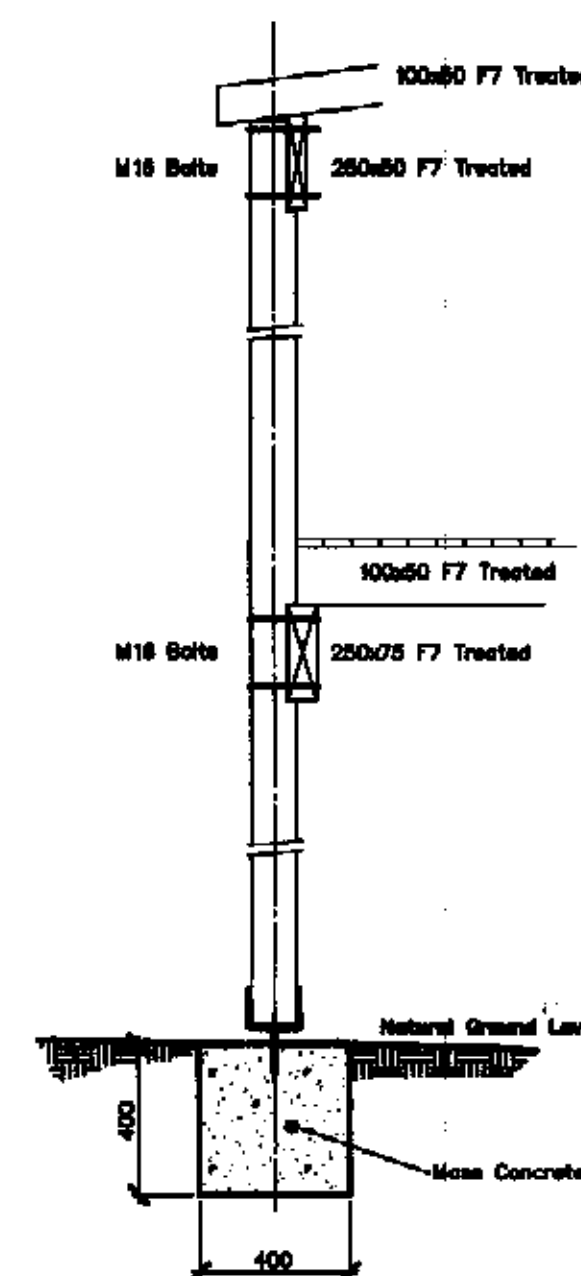


DECK MARKING PLAN
Scale 1:100

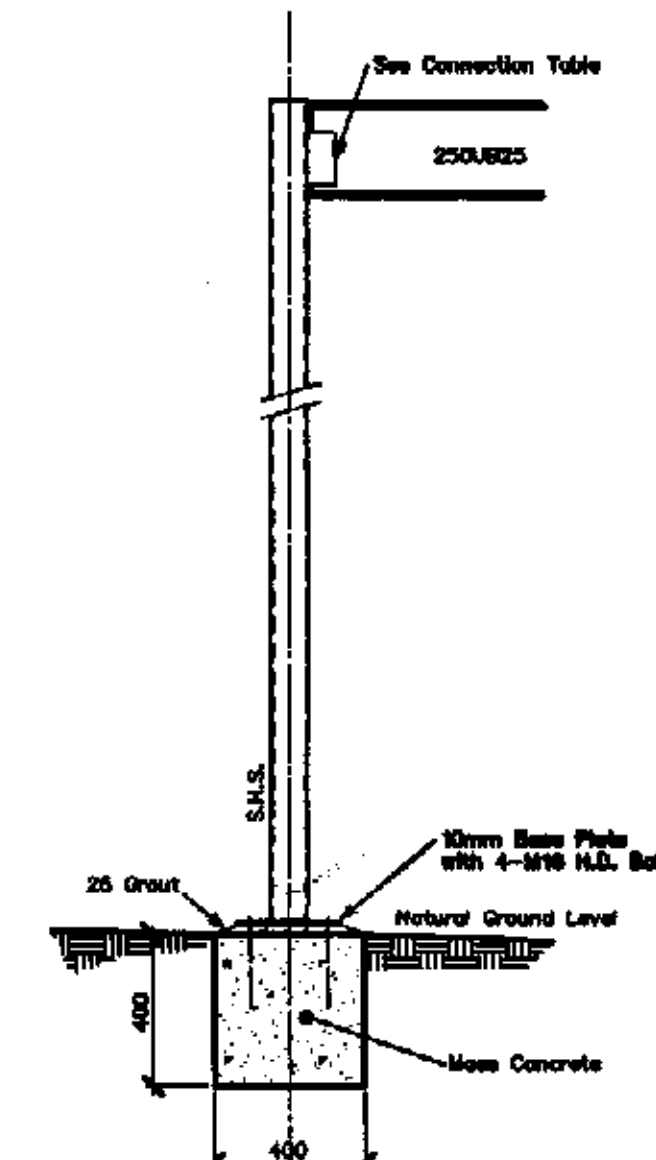


ROOF PLAN
Scale 1:100

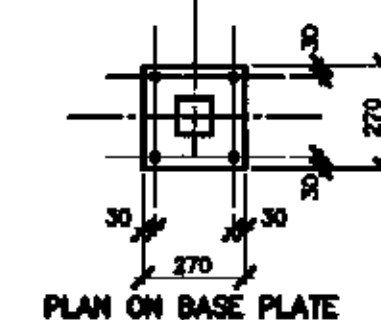
POSTS
Post A 100x100x5.0 S.H.S.
Post B 120x120 treated & primed F7.



SECTION 1
TYPICAL PAD DETAIL - Post B
SCALE 1:20



SECTION 2
TYPICAL PAD DETAIL - Post A
SCALE 1:20



PLAN ON BASE PLATE

- CONCRETE NOTES**
- All concrete work to be in accordance with AS 3600.
 - f_{ck} = 40 MPa for all slab, beams & columns.
= 25 MPa for slabs, beams and beams.
= 20 MPa for block filling and footings.
 - Maximum aggregate size = 20 for footings, slabs & beams.
= 10 for block filling.
 - Slump = 80.
 - All concrete, including block filling to be vibrated.
 - Slabs to be kept damp for at least 14 days after placing or to be protected by an approved curing membrane.
 - Bar Chairs to be no more than 50mm air to air spacing.
 - Reinforcing steel to comply with AS/NZS 4671:2001, and to be 100% unless noted otherwise. (where 50% = strength grade in megapascals & R = Normal ductility class).
 - Reinforcement to be tied at every other intersection minimum.

- STEELWORK NOTES**
- Fabricate and erect all structural steelwork in accordance with AS 4100, AS 1054 and the specification.
 - Do not alter dimensions by cutting the structural elements.
 - Clip all waste tips of slabs.
 - All steelwork to be hot dipped galvanized. Unless Otherwise Noted.
 - Unless otherwise noted use:
a) 8mm continuous flat weld
b) 10mm thick gusset, fin and plate, weld of round.
c) 8mm dia. 4.8/6 bolts
 - Minimum and bearing 100mm.

- TIMBER NOTES**
- All work (including bracing, wind bracing & tie down) shall be carried out in accordance with AS 1654.3, AS 1720.1 & the specification.
 - Refer to the Architect's Drawings and the specification for all timber sizes not shown on these drawings.
 - All timber shall be free of gum veins, pockets, knots holes or splits within 150mm of any connection.
 - Refer to specification for preservatives and finishes to timbers.
 - All bolts, nuts, washers and timber connectors shall be hot dip galvanized unless noted otherwise.

**THE COUNCIL OF PITTSBURGH
CONSTRUCTION CERTIFICATE**

This is a copy of submitted plans,
documents or Certificates associated
with the issue of the Construction Certificate.

PLAN OR DOCUMENT CERTIFICATION

I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...
I hold the following qualifications or licence No.M.Eng.Sc.
.....F.I.E.Aust.Nper3.Struct.Civil.No.149788.....
Further I am appropriately qualified to certify this component of the project.
I hereby state that these plans or details comply with the conditions of
development consent, the provisions of the Building Code of Australia.
A.S.1170, A.S.1170.1, A.S.1170.2, A.S.1884, A.S.2870, A.S.3600, A.S.3700
A.S.4100

Jack D. Hodgson 2/3/03 J. Hodgson
Name Date Signature

No. Amendment Drawn Date

STRUCTURAL DETAILS

**PROPOSED ALTERATIONS & ADDITIONS
23 PARK AVENUE
AVALON**

The Structural Details shown on this Drawing are Not to change
under any circumstances. No Certificate will be issued for work
Not in accordance with this Drawing.


JACK HODGSON CONSULTANTS PTY. LIMITED.

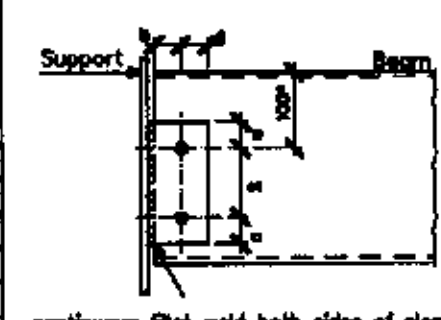
Consulting Civil, Geotechnical, and Structural Engineers.
11 Bungan Street, MONA VALE, NSW, 2105, P.O. Box 268, NSW, 1600.
Telephone (02) 9979 8133, Facsimile (02) 9979 8025, A.C.N. 053 408 011

Designed JDH Drawn ARC Job No. Drawing No.
Checked JDH Scale 1:100,20 mm
Date 25 FEBRUARY 2003

20616-1

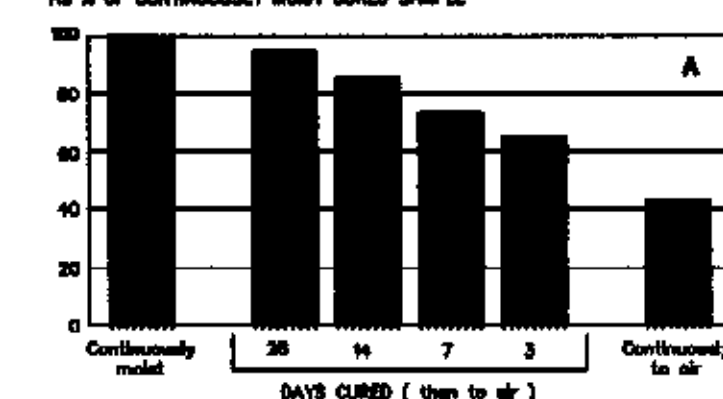
WEB SIDE PLATE CONNECTION TABLE

| Beam Size | Plate (mm) | | Dimensions (mm) | | | | | No. of Bolts | Bolt Size | Hole Dia. (mm) | Weld Size | Connection Details |
|-----------|------------|-----------|-----------------|----|----|----|----|--------------|-----------|----------------|-----------|---|
| Depth | Width | Thickness | a | b | c | s | | | | | | |
| 150 UB | 120 | 75 | 8 | 25 | 30 | 30 | 70 | 2 | M20 | 22 | 8 | <div>* Indicates where possible</div>  |
| 180 UB | 130 | 75 | 8 | 30 | 30 | 30 | 70 | 2 | M20 | 22 | 8 | |
| 200 UB | 130 | 75 | 8 | 30 | 30 | 30 | 70 | 2 | M20 | 22 | 8 | |
| 250 UB | 140 | 90 | 8 | 35 | 35 | 35 | 70 | 2 | M20 | 22 | 8 | |
| 310 UB | 210 | 90 | 8 | 35 | 35 | 35 | 70 | 3 | M20 | 22 | 8 | |
| 380 UB | 210 | 90 | 8 | 35 | 35 | 35 | 70 | 3 | M20 | 22 | 8 | |
| 410 UB | 250 | 90 | 8 | 35 | 35 | 35 | 90 | 3 | M20 | 22 | 8 | |
| 480 UB | 250 | 90 | 8 | 35 | 35 | 35 | 90 | 3 | M20 | 22 | 8 | |
| 150 UC | 120 | 75 | 8 | 25 | 30 | 30 | 70 | 2 | M20 | 22 | 8 | |
| 200 UC | 140 | 90 | 8 | 35 | 35 | 35 | 70 | 2 | M20 | 22 | 8 | |
| 250 UC | 140 | 90 | 8 | 35 | 35 | 35 | 70 | 2 | M20 | 22 | 8 | |
| 150 PFC | 130 | 75 | 8 | 30 | 30 | 30 | 70 | 2 | M16 | 18 | 6 | |
| 180 PFC | 130 | 75 | 8 | 30 | 30 | 30 | 70 | 2 | M16 | 18 | 6 | |
| 200 PFC | 150 | 75 | 8 | 30 | 30 | 30 | 90 | 2 | M16 | 18 | 6 | |
| 230 PFC | 180 | 90 | 8 | 35 | 35 | 35 | 90 | 2 | M20 | 22 | 8 | |
| 300 PFC | 210 | 90 | 8 | 35 | 35 | 35 | 90 | 2 | M20 | 22 | 8 | |
| 300 PFC | 210 | 90 | 8 | 35 | 35 | 35 | 70 | 3 | M20 | 22 | 8 | |



IMPORTANCE OF CURING CONCRETE

COMPRESSIVE STRENGTH AT 90 DAYS
AS % OF CONTINUOUSLY CURED SAMPLE



Effect of curing duration on: (A) compressive strength and (B) concrete permeability

Acknowledgement: Diagram is based on fig 1.2 of Guide to Concrete Repair & Protection (SAA/1884:1995)

